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**General**  
 All work to comply with the BCA (Building Code of Australia) 002  
 Brickwork to comply with BCA Part 3.3  
 Roof and wall cladding to comply with BCA Part 3.5  
 Glazing to comply with BCA part 3.6  
 Smoke alarms accordance with BCA Part 3.7.2 Provide li off hinges to doors of enclosed sanitary compartments in accordance with BCA Part 3.8

Stairs and balustrades shall be provided where indicated and as required by BCA and complying with Part 3.9

**Termite Management**  
 Termite protec on to comply with BCA part 3.1.3

**Structural Framing**  
 Timber floor, wall and roof frames to comply with AS1684 - Light Timber Framing Code or manufacturers specifications

**Structural Engineer**  
 Footing and slabs as per structural engineers details and specifica ons



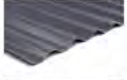


**Site Setout and Services**  
 The builder will confirm measurements and loca ons of services on site  
 All work to comply with relevant local authority requirements

**Tree Protection**  
 Development to be undertaken in accordance with the Tree Protec on ACT 2005

**Building Energy Assessment**  
 All work to comply with the building energy assessment, relevant Australian Standard and the BCA

**Erosion and Sediment Control**  
 The development is to comply with the Environment Protec on Authority, Environment Protec on Guidelines for Construc on and Land Development in the ACT, August 2007.

**Abbreviation Definition**  
 AAW Aluminum Awning Window  
 ACW Aluminum Casement Window  
 ADH Aluminum Double Hung Window  
 AFW Aluminum Fixed Window  
 AS Australian Standard  
 ASD Aluminum Sliding Door  
 ASW Aluminum Sliding Window  
 Bath Bathroom  
 BAL Bushfire A ack Level  
 BCA Building Code of Australia  
 Bed Bedroom  
 BIR Built In Wardrobe  
 FFL Finished Floor Level  
 FGL Finished Ground Level  
 GFA Gross Floor Area  
 Ldry Laundry  
 NGL Natural Ground Level  
 TAW Timber Awning Window  
 TCW Timber Casement Window  
 TDH Timber Double Hung Window  
 TFW Timber Fixed Window  
 TSD Timber Sliding Door  
 TSW Timber Sliding Window  
 WIR Walk In Wardrobe

CODE	APPLICATION	DESCRIPTION
 WC1	WALL COVERING 1	PAINTER TIMBER COMPOSITE WEATHERBOARDS
 WC2	WALL COVERING 2	PAINTER TIMBER COMPOSITE WEATHERBOARDS
 RC	ROOF COVERING	CORRUGATED SHEET ROOF COVERING / COLORBOND
 WD	WINDOW AND DOOR FRAMES	ALUMINIUM WINDOW AND DOOR FRAMES
 EV	EAVES	FIBRE CEMENT SHEETING



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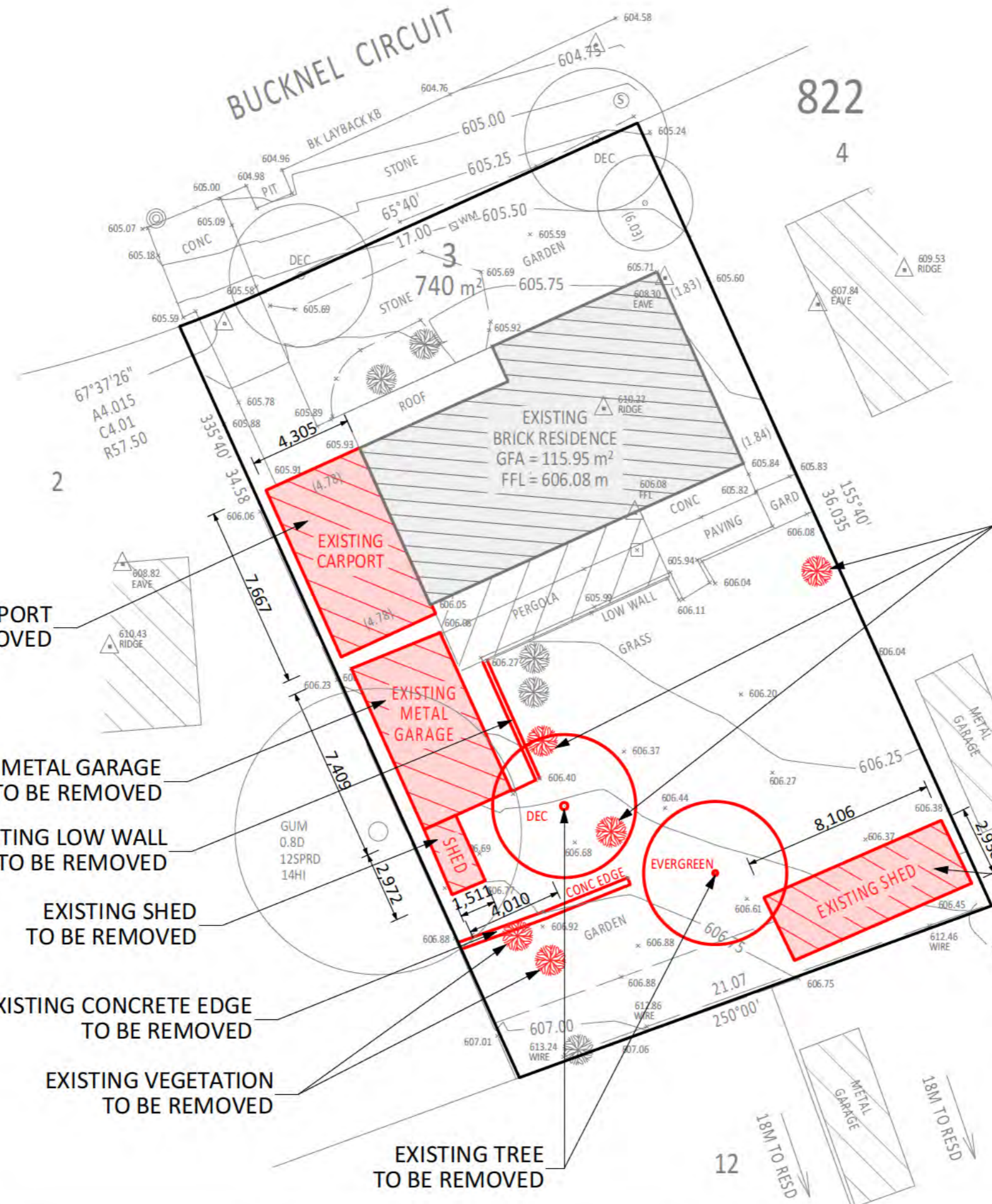
**AREAS:**  
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 Total Roof Area 156.85 m<sup>2</sup>  
 Entry Deck Area 3.06 m<sup>2</sup>

REV	DATE
6	30/06/2019

CUSTOMER APPROVAL

NAME	SIGNATURE	DATE

DRAWING NAME		
<b>COLOUR SCHEDULE</b>		
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER
	<b>A3</b>	<b>1</b>



EXISTING CARPORT TO BE REMOVED

EXISTING VEGETATION TO BE REMOVED

EXISTING METAL GARAGE TO BE REMOVED

EXISTING LOW WALL TO BE REMOVED

EXISTING SHED TO BE REMOVED

EXISTING CONCRETE EDGE TO BE REMOVED

EXISTING VEGETATION TO BE REMOVED

EXISTING TREE TO BE REMOVED

EXISTING SHED TO BE REMOVED

### LEGEND

SYMBOL	DESCRIPTION
WM	WATER METER
S	SEWER MANHOLE

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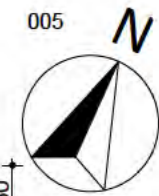
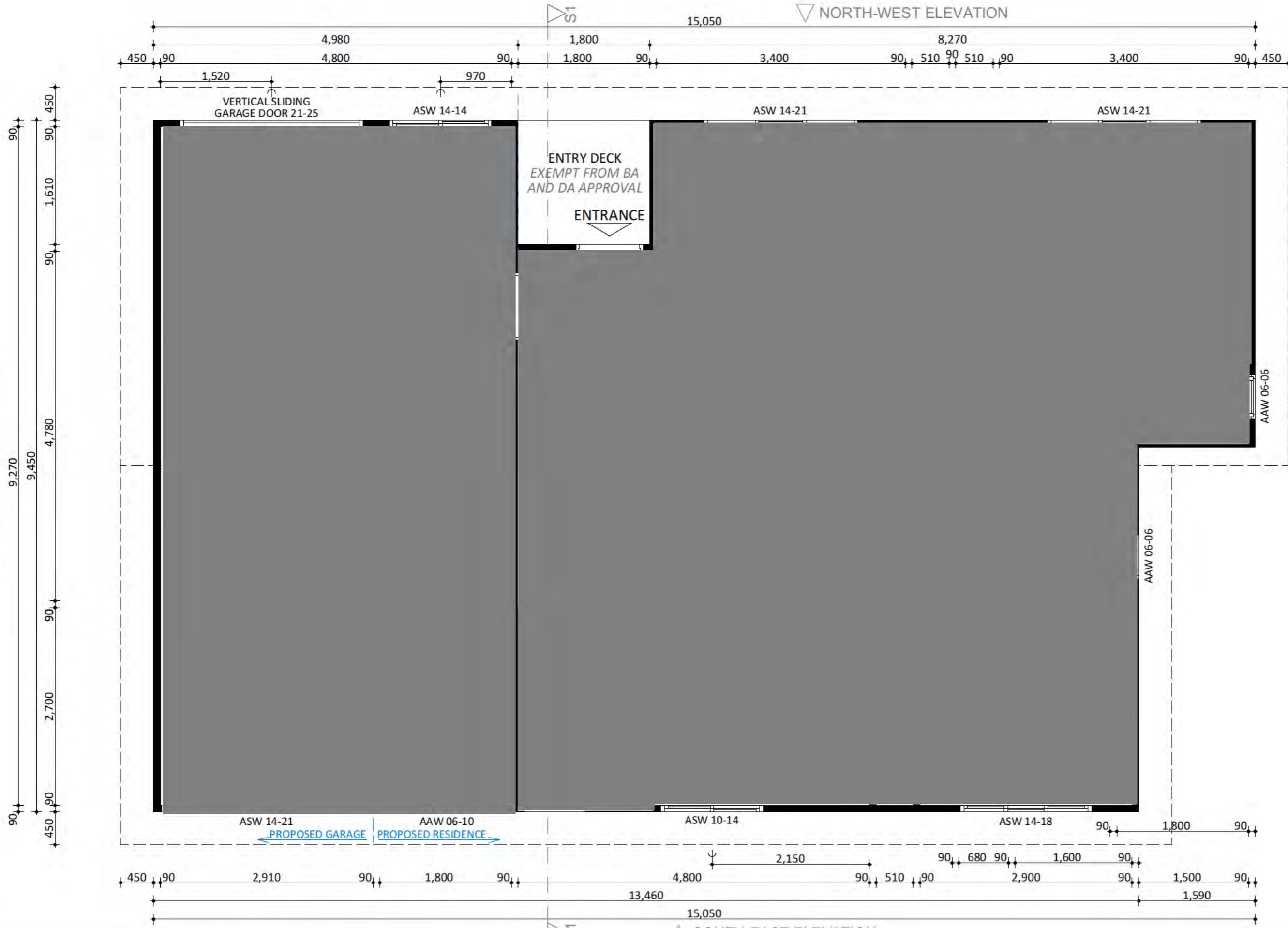
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REV	DATE	DRAWING NAME
6	30/06/2019	DEMOLITION PLAN
CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

DRAWING SCALE	SHEET SIZE	DRAWING NUMBER
1:200	A3	2



▽ SOUTH-WEST ELEVATION



△ NORTH-EAST ELEVATION

△ SOUTH-EAST ELEVATION

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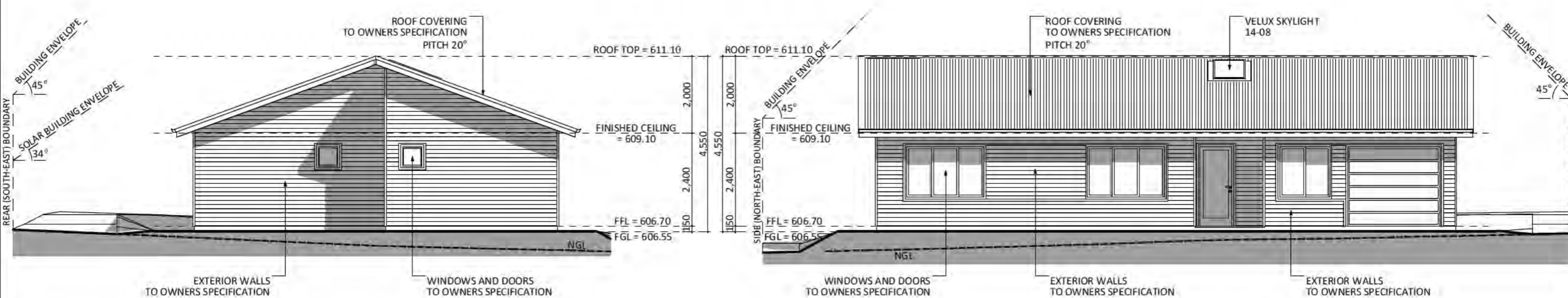
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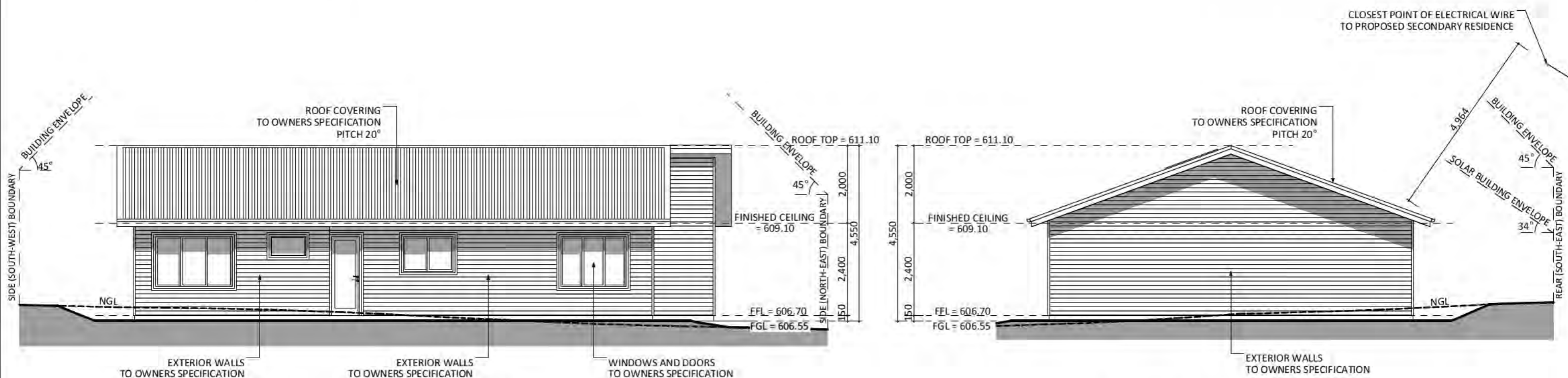
NAME	SIGNATURE	DATE

DRAWING NAME <b>FLOOR PLAN</b>		
DRAWING SCALE <b>1:50</b>	SHEET SIZE <b>A3</b>	DRAWING NUMBER <b>4</b>



NORTH-EAST ELEVATION

NORTH-WEST ELEVATION



SOUTH-EAST ELEVATION

SOUTH-WEST ELEVATION

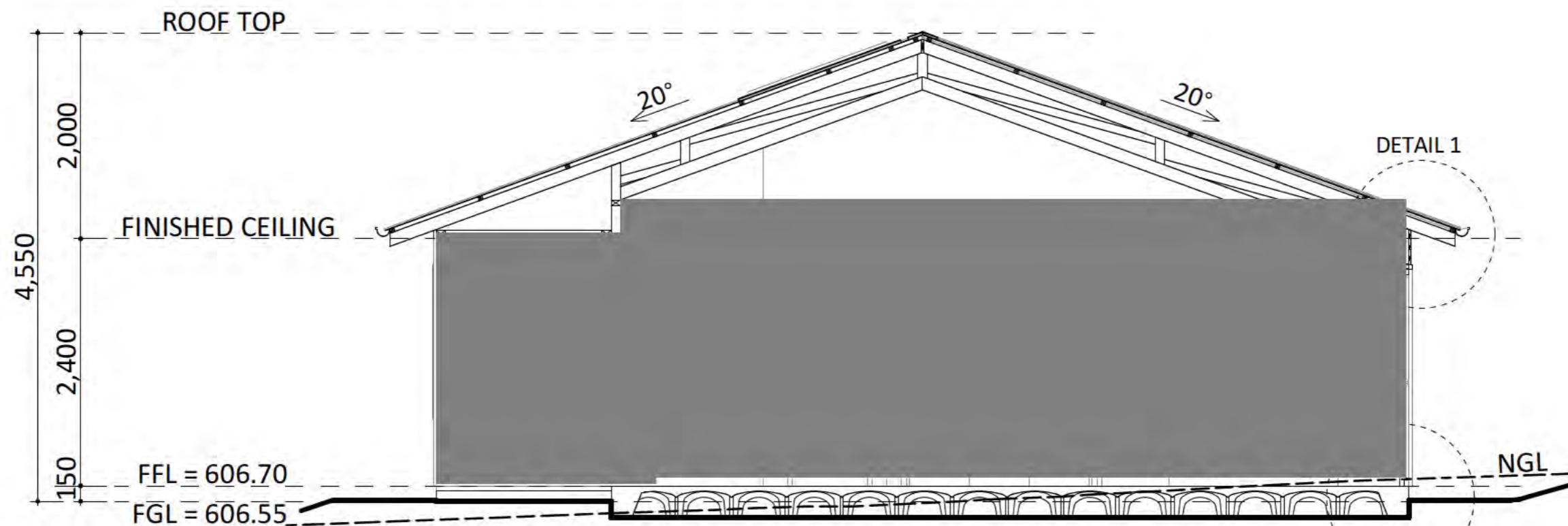
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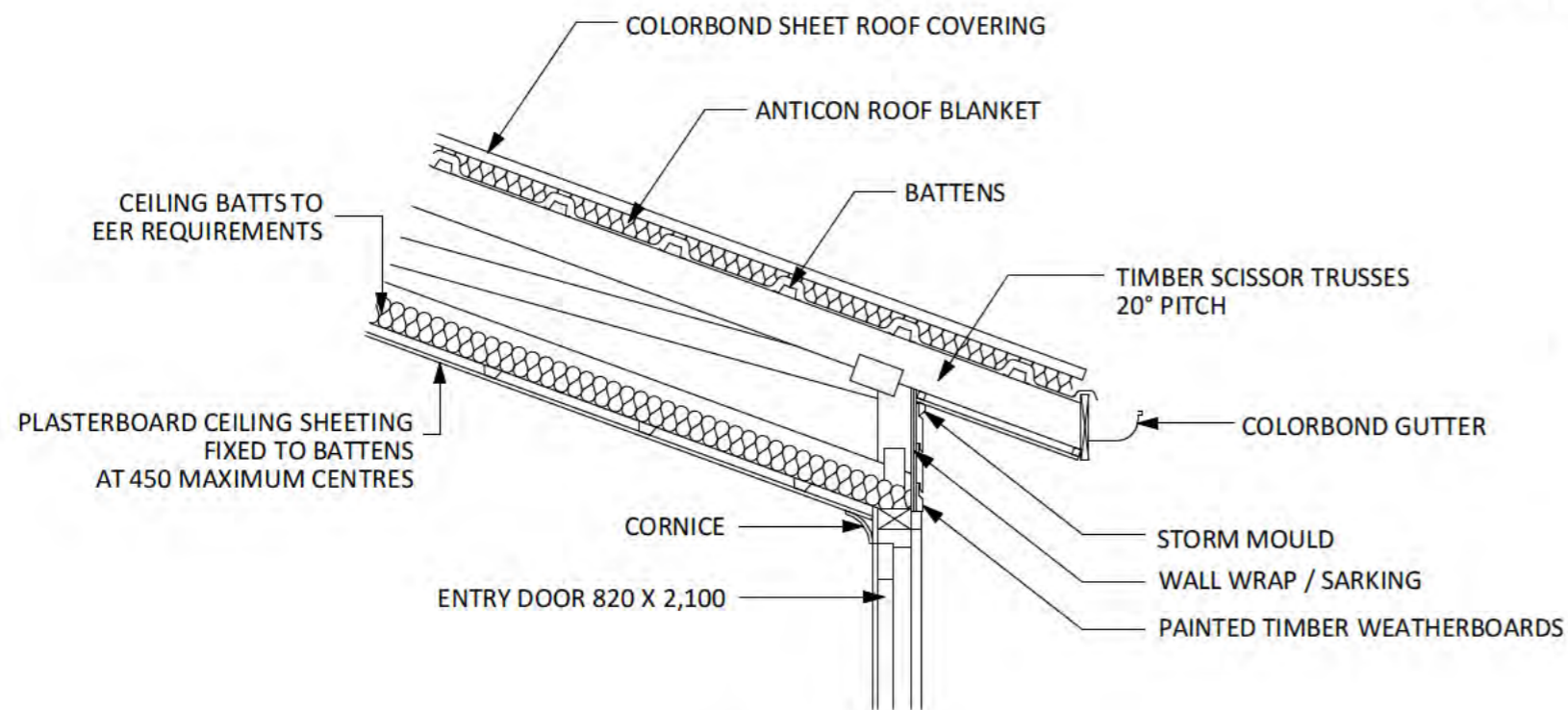
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REV	DATE	DRAWING NAME
6	30/06/2019	ELEVATIONS
CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

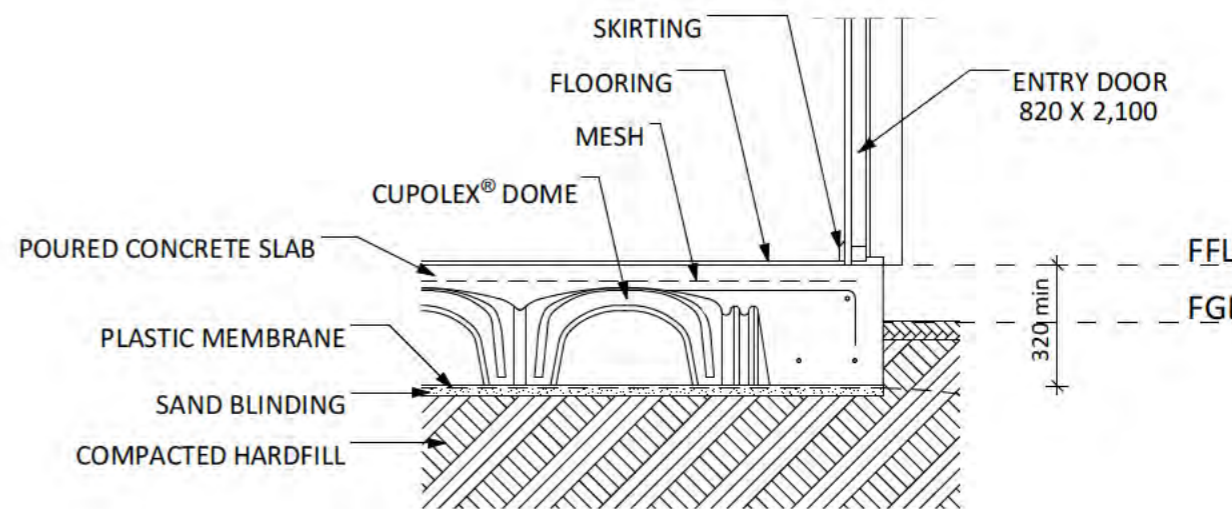
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER
1:100	A3	5



VERTICAL SECTION S1-S1  
SCALE 1:50



DETAIL 1  
SCALE 1:20



DETAIL 2  
SCALE 1:20

**Sitting**

3. A continuous accessible path of travel is to be provided from street frontage and vehicle parking to entry complying with AS1428.1

**Letterboxes**

11. Letterboxes to be on hard standing area connected to accessible pathway

**Private car accommodation**

14. Car parking space or garage min. area 6.0 m x 3.8 m

**Accessible Entry**

- 20. Accessible entry to be provided.
- 22. Accessible entry to be level (i.e. max. 1:40 slope)
- 23. Threshold to be low-level.
- 24. Landing to enable wheelchair maneuverability
- 25. Accessible entry door to have 850 mm min. clearance
- 26. Weatherproofed entry door
- 27. Door lever handles and hardware to AS 1428.1.
- 28. Provision for combined door/security door

**Interior**

- 32. Internal doors to have 820 mm min clearance
- 33. Internal corridors min. width of 1000 mm
- 34. Provision for compliance with AS 1428.1 for door approaches

**Living and Dining room**

- 36. Provision for circulacon space of min. 2250 mm diameter
- 38. Telephone adjacent to GPO
- 41. Potential illumina on level min. 300 lux

**Kitchen**

- 42. Minimum width 2.7 m (1550 mm clear between benches)
- 43. Provision for circulacon at doors to comply with AS 1428.1
- 45. Refrigerator adjacent to work surface
- 47. Kitchen sink bowl max. 150 mm deep
- 48. Tap set capstan or lever handles or lever mixer.
- 49. Tap set located within 300 mm of front of sink

- 51. Cooktops to include either front or side controls with raised crossbars.
- 52. Cooktops to include isolaong switch.
- 59. GPOs to comply with AS 1428.1. At least one double GPO within 300 mm of front of work surface.
- 60. GPO for refrigerator to be easily reachable when the refrigerator is in its operaeng posi on
- 61. Slip-resistant floor surface

**Bedroom**

62. At least one bedroom of area sufficient to accommodate queen size bed and wardrobe and circulacon space requirements of AS 1428.2

**Bathroom**

- 75. Provision for bathroom area to comply with AS 1428.1. 76 Slip-resistant floor surface.
- 77. Shower recess- no hob. Minimum size 1160 x 1100 to comply with AS 1428.1.
- 78. Shower area waterproofed to AS 3740 with floor to fall to waste.
- 79. Recessed soap holder.
- 80. Shower taps posi oned for easy reach to access side of shower sliding track.
- 81. Shower waste min. 80 mm diameter
- 82. Provision for adjustable, detachable hand held shower rose mounted on a slider grabrail or fixed hook (plumbing and wall - strengthening provision)
- 83. Provision for grabrail in shower (Refer to Figure 4.7) to comply with AS 1428.1
- 86. Tap sets to be capstan or lever handles with single outlet.
- 88. Provision for washbasin with clearances to comply with AS 1428.1.
- 90. Double GPO beside mirror

**Toilet**

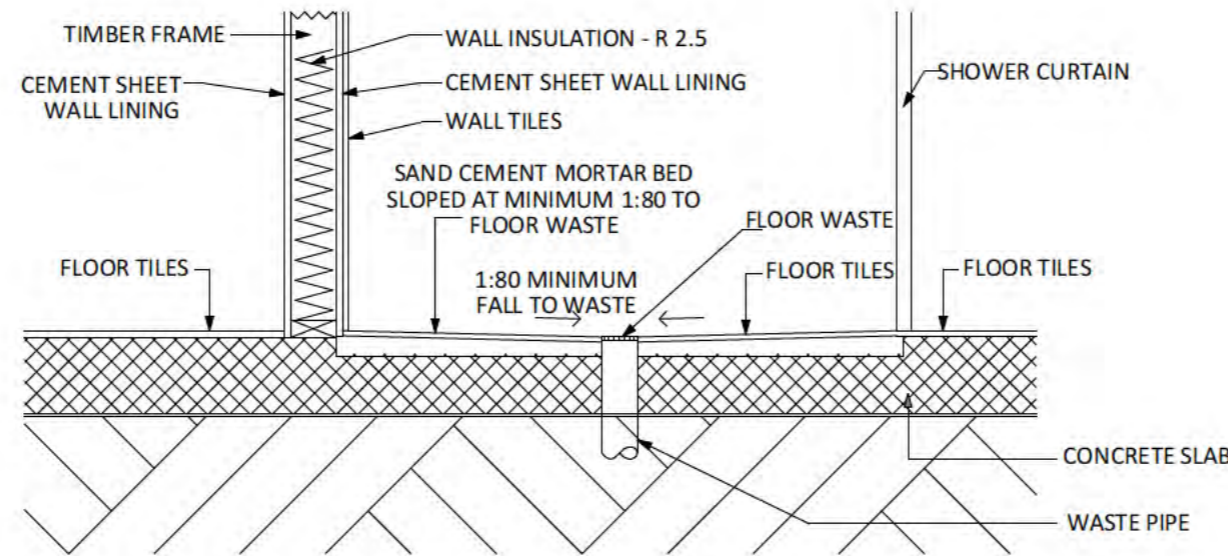
- 92. Provision of either 'visitable toilet' or accessible toilet.
- 93. Provision to comply with AS 1428.1
- 94. Loca on of WC pan at correct distance from fixed walls.
- 95. Provision for grab rail zone.
- 96. Slip resistant floor surface. (Vitrous les or similar)

**Door locks**

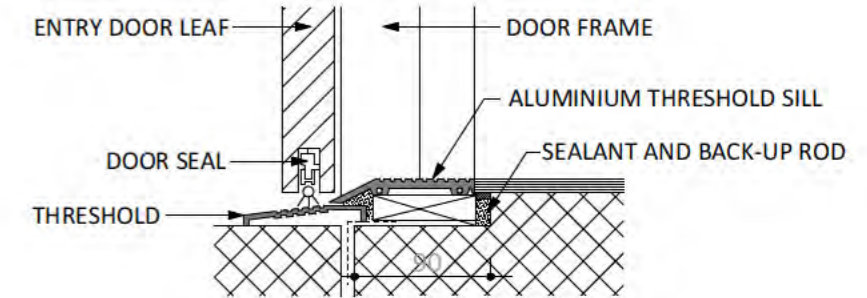
110. Door hardware operable with one hand, located 900-1100 mm above floor



ADAPTABLE PLAN  
 SCALE 1:100



ADAPTABLE SHOWER RECESS  
 SECTION  
 SCALE 1:15



ACCESSIBLE ENTRY SECTION  
 SCALE 1:5

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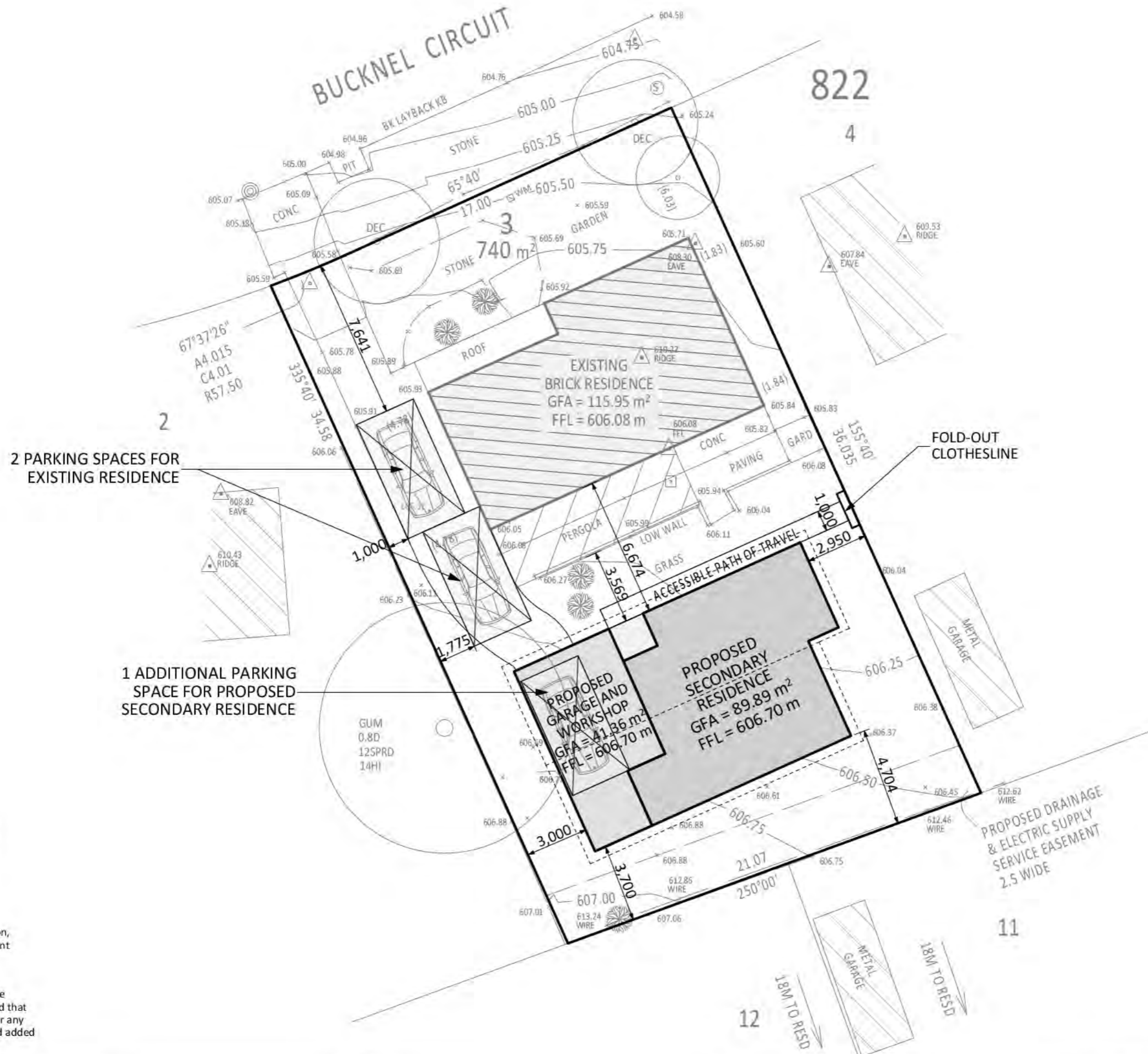
REV	DATE
6	30/06/2019

FOR APPROVAL

CUSTOMER APPROVAL

NAME	SIGNATURE	DATE

DRAWING NAME		
<b>ADAPTABLE PLAN</b>		
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER
1:100, 1:15, 1:5	A3	8



**LEGEND**

SYMBOL	DESCRIPTION
WM	WATER METER
S	SEWER MANHOLE

1 ADDITIONAL PARKING SPACE FOR PROPOSED SECONDARY RESIDENCE

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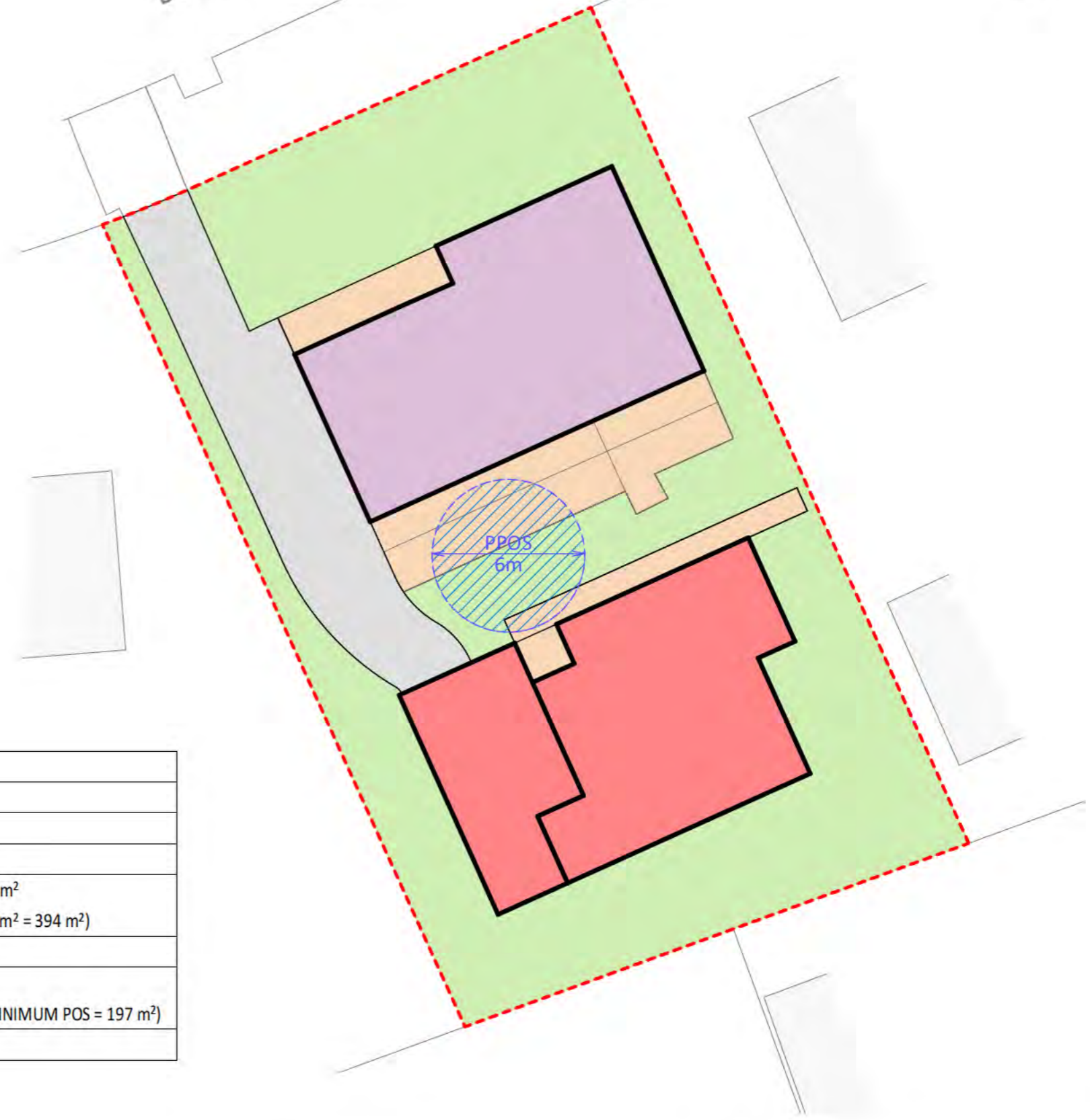
NAME	SIGNATURE	DATE

**DRAWING NAME**  
**PARKING AND ACCESS PLAN**

DRAWING SCALE	SHEET SIZE	DRAWING NUMBER
1:200	A3	9



BUCKNEL CIRCUIT



**Notes**

Actual plot ratio =  $\frac{\text{Existing building(s)/structure(s)} + \text{Proposed new building(s)/structures}}{\text{Site area}} \times 100\%$

Actual private open space = Site area - (Existing building(s)/structure(s) + Proposed new building(s)/structure(s) + Driveways and maneuvering space)

Planting area = Actual private open space - Non planting area

LEGEND	PLOT RATIO	PRIVATE OPEN SPACE
SITE AREA	740 m <sup>2</sup>	740 m <sup>2</sup>
EXISTING BUILDING(S) / STRUCTURE(S)	115.95 m <sup>2</sup>	115.95 m <sup>2</sup>
PROPOSED NEW BUILDING(S)/STRUCTURE(S)	131.25 m <sup>2</sup>	131.25 m <sup>2</sup>
DRIVEWAYS AND MANEUVERING SPACE	N/A	72.75 m <sup>2</sup>
	ACTUAL PLOT RATIO = 33.4% (MAXIMUM PLOT RATIO = 50%)	ACTUAL PRIVATE OPEN SPACE = 420.05 m <sup>2</sup> (MINIMUM POS = 60% x SITE AREA - 50m <sup>2</sup> = 394 m <sup>2</sup> )
NON PLANTING AREA	N/A	71.14 m <sup>2</sup>
PLANTING AREA	N/A	349.46 m <sup>2</sup> (MINIMUM PLANTING AREA = 50% x MINIMUM POS = 197 m <sup>2</sup> )
PPOS	N/A	28.00 m <sup>2</sup>

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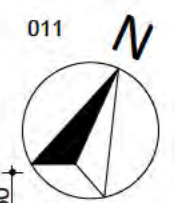
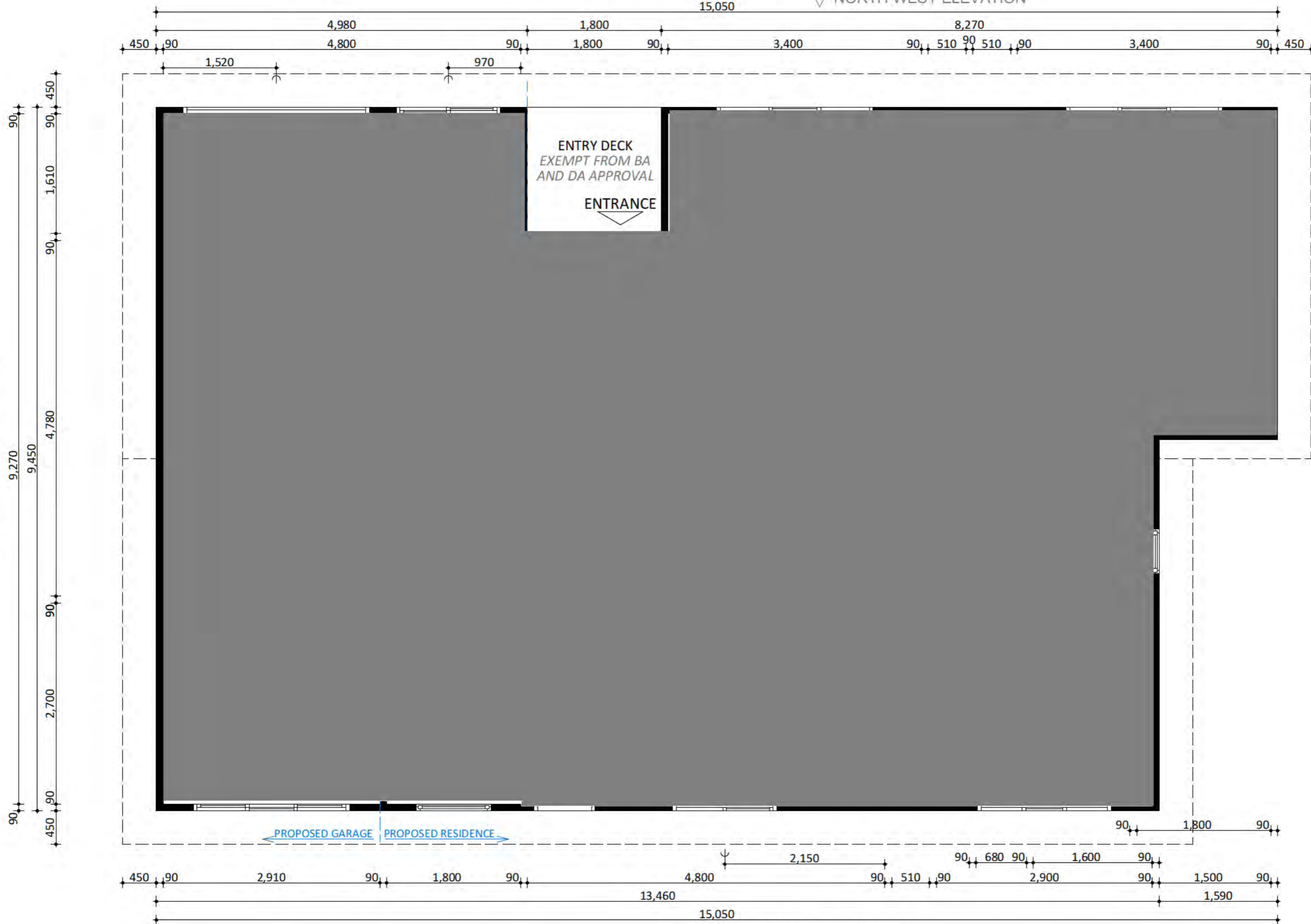
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CUSTOMER APPROVAL	
NAME	SIGNATURE
	DATE

**DRAWING NAME**  
AREA PLAN

<b>DRAWING SCALE</b> 1:200	<b>SHEET SIZE</b> A3	<b>DRAWING NUMBER</b> 10
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▽ SOUTH-WEST ELEVATION



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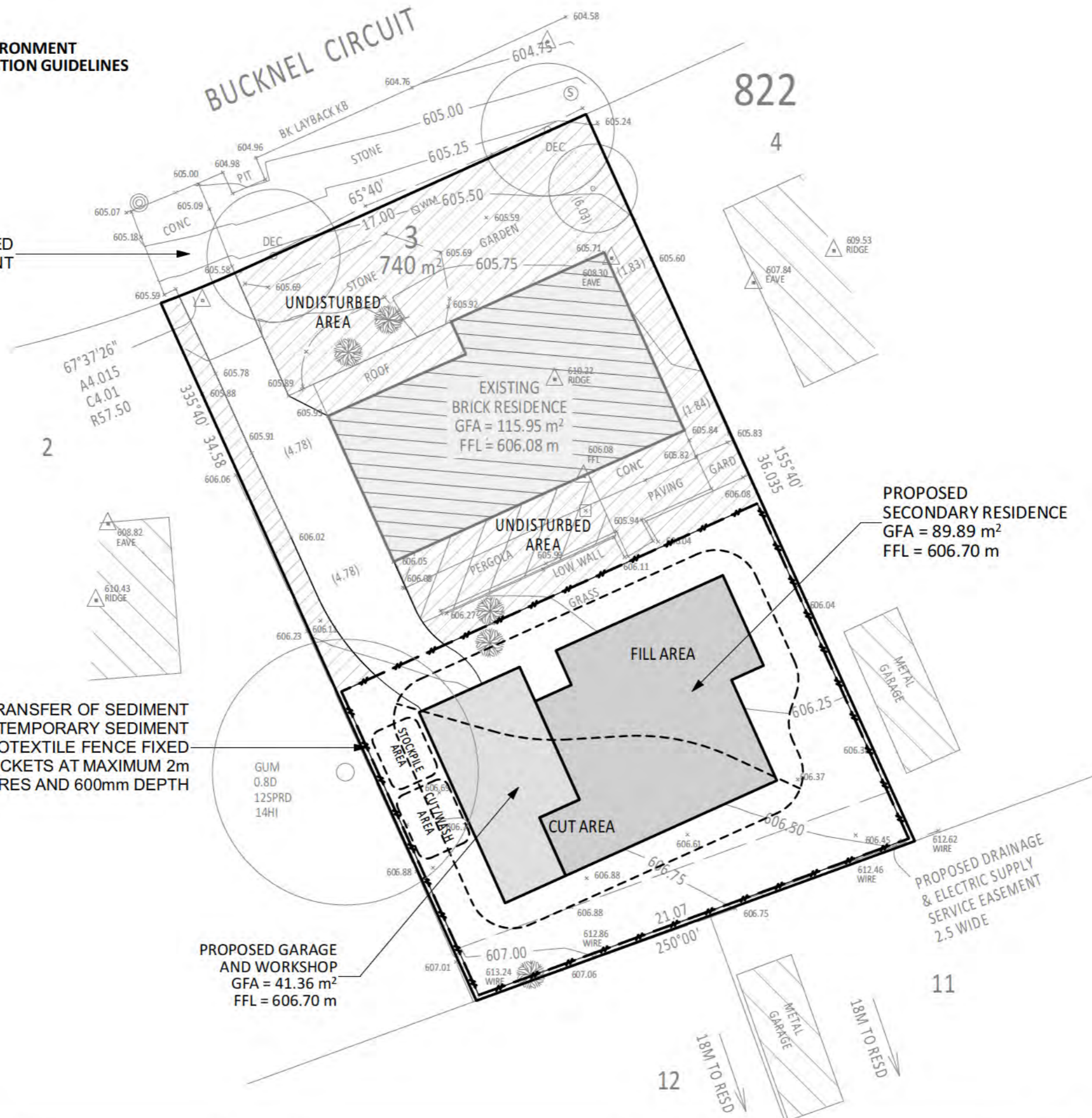
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DRAWING SCALE <b>1:50</b>	SHEET SIZE <b>A3</b>	DRAWING NUMBER <b>11</b>

**EROSION AND SEDIMENT CONTROL**

THE DEVELOPMENT IS TO COMPLY WITH THE ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, AUGUST 2007.



EXISTING DRIVEWAY TO BE USED AS A STABILISED ACCESS POINT



**LEGEND**

SYMBOL	DESCRIPTION
◻ WM	WATER METER
⊙	SEWER MANHOLE

TO PREVENT TRANSFER OF SEDIMENT PROVIDE TEMPORARY SEDIMENT CONTROL GEOTEXTILE FENCE FIXED TO STAR PICKETS AT MAXIMUM 2m CENTRES AND 600mm DEPTH

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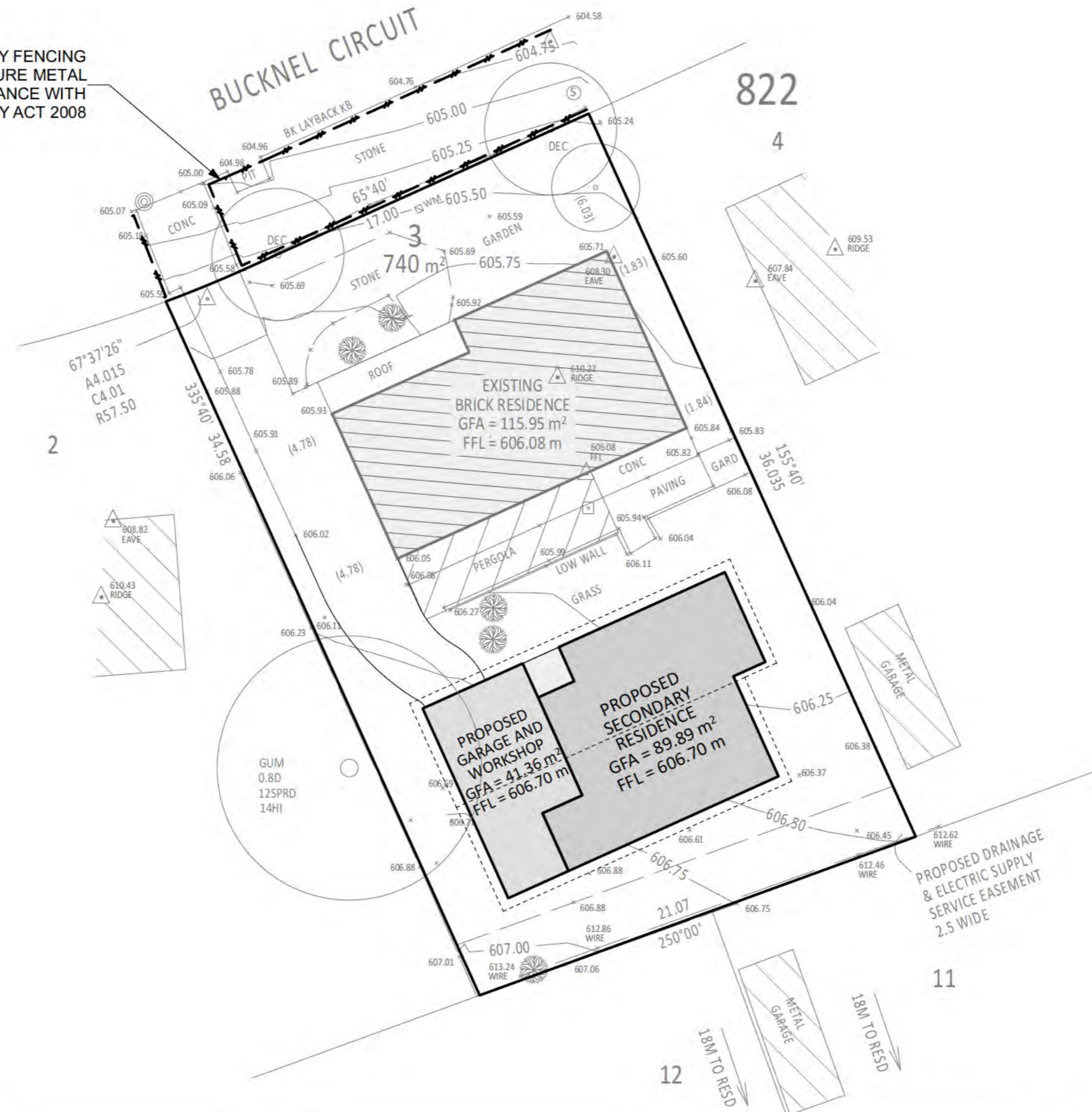
NAME	SIGNATURE	DATE

**DRAWING NAME**  
 EROSION AND SEDIMENT CONTROL PLAN

DRAWING SCALE	SHEET SIZE	DRAWING NUMBER
1:200	A3	12



PROVIDE TEMPORARY FENCING WITH 1800mm SECURE METAL FENCE IN ACCORDANCE WITH WORK SAFETY ACT 2008



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S	SEWER MANHOLE

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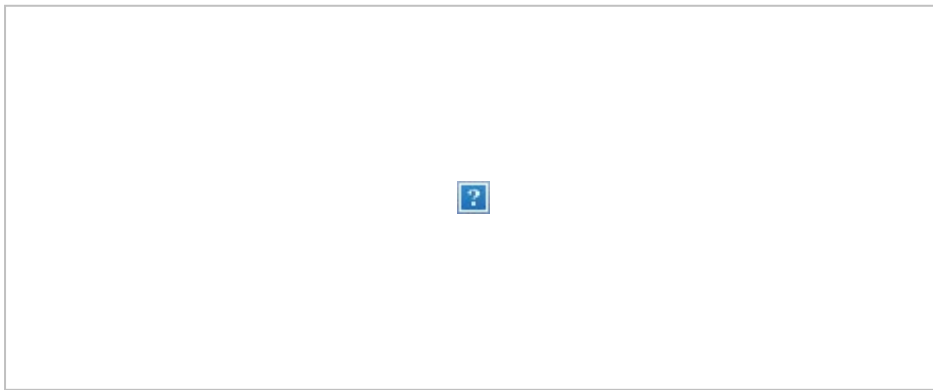
NAME	SIGNATURE	DATE

**DRAWING NAME**  
 LANDSCAPE MANAGEMENT AND PROTECTION PLAN

DRAWING SCALE	SHEET SIZE	DRAWING NUMBER
1:200	A3	13

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**From:** "Pham, Minh" <[Minh.Pham@act.gov.au](mailto:Minh.Pham@act.gov.au)>

**Date:** Friday, 28 June 2019 at 1:20 PM

**To:** Nick Constable <[Operations@cgfb.com.au](mailto:Operations@cgfb.com.au)>

**Subject:** DA-201935777 - 3/822 Isabella Plains [SEC=UNCLASSIFIED]

Good afternoon Nickolas

I am undertaking the initial check for this DA. The floor plan for public register is missing external dimensions; can you please email me a revised plan to include this? I can quickly pass the check after.

Regards

**Minh Pham** | Gateway Team

Phone: 02 6207 8684 | Email: [minh.pham@act.gov.au](mailto:minh.pham@act.gov.au)

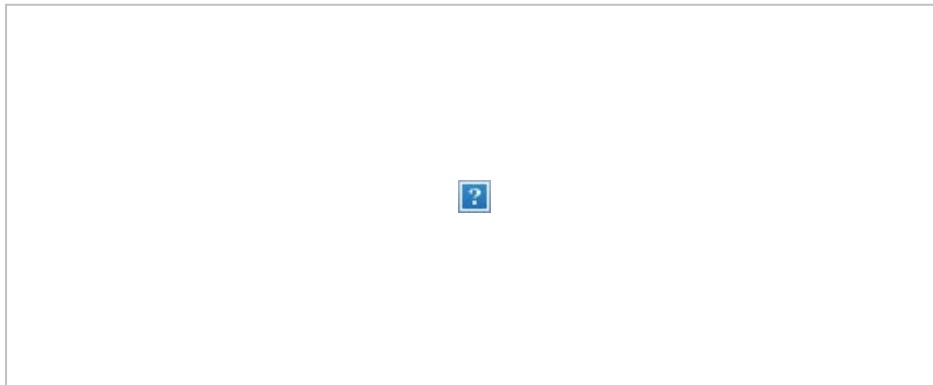
**Planning Delivery | Environment, Planning and Sustainable Development Directorate | ACT Government**

Dame Pattie Menzies House, Challis Street, Dickson | GPO Box 158 Canberra ACT 2601 | [www.planning.act.gov.au](http://www.planning.act.gov.au)

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FFÁR | ÁGEFJÁ

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**DEVELOPMENT APPLICATION NO:** 201935777

**BLOCK:** 3 **SECTION:** 822 **DIVISION:** ISABELLA PLAINS

Description - **PROPOSAL FOR A SECONDARY DWELLING – Demolition of existing structures; Construction of a new secondary residence in addition to the existing residence including garage, workshop, landscaping and associated works.**

Pursuant to Section 148(1) of the *Planning and Development Act 2007* the ACT Planning and Land Authority requests that you consider the abovementioned development application and provide any written advice no later than **15 working days** after the date of this notice **(01/08/2019)**.

In accordance with Section 150 of the *Planning and Development Act 2007* If advice is not received within the prescribed time it will be taken that you have supported the application.

Please forward any written advice via email to Customer Services [EPDcustomerservices@act.gov.au](mailto:EPDcustomerservices@act.gov.au)

Please use the following format in the subject line of the email when providing advice:

COMM-Agency Name-20140XXXX-Block XX Section XX SuburbXXXXX-01

**Example: COMM-TAMS-201401234-10/10 Dickson-01**

Kind Regards

David

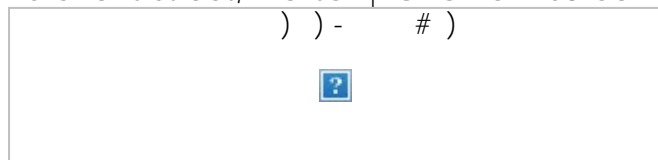
Phone 6207 1923

[EPDCustomerServices@act.gov.au](mailto:EPDCustomerServices@act.gov.au)

[www.act.gov.au/accesscbr](http://www.act.gov.au/accesscbr)

**Access Canberra | ACT Government**

16 Challis Street, Dickson | GPO Box 158 Canberra ACT 2601



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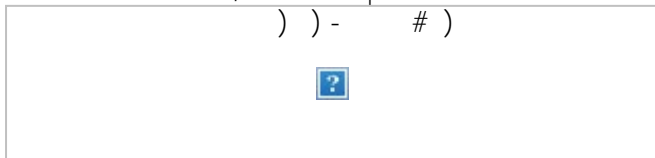
Phone 6207 1923

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**DEVELOPMENT APPLICATION NO:** 201935777

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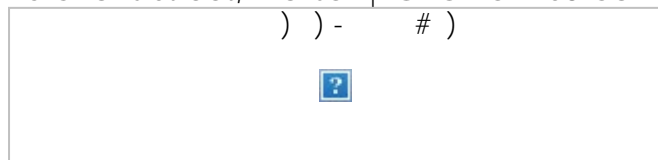
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## Adams, Courtney

**From:** ACT GOV DA SIGNAGE <dasignage@tenderedge.com.au>  
**Sent:** Monday, 15 July 2019 12:32 PM  
**To:** EPD, Customer Services  
**Subject:** Re: 1X STANDARD SIGN FOR MONDAY THE 15TH OF JULY 2019 (201935777-3/822 ISABELLA PLAINS) [SEC=UNCLASSIFIED]

15 Jul. 2019 9:58:04 am  
 Isabella Plains  
 ACT Government

# DEVELOPMENT PROPOSAL

## NOTICE OF DEVELOPMENT APPLICATION

**Development Application 201935777:**  
 PROPOSAL FOR A SECONDARY DWELLING & Demolition of existing structures;  
 Construction of a new secondary residence in addition to the existing residence  
 including garage, workshop, landscaping and associated works.

**Location:** Block: 3 Section: 822 Suburb: ISABELLA PLAINS  
 12 BUCKNELL CIRCUIT

If you feel an application may impact on you in any way you may wish to submit a written representation clearly stating the reasons for your submission.

The application is available for public inspection between 8.30am and 4.30pm weekdays at the **Customer Services Centre, Dame Pattie Menzies House, Ground Floor (right hand building), 16 Challis Street, DICKSON ACT.**

An electronic version of the application can also be viewed on the Environment, Planning and Sustainable Development website - [www.planning.act.gov.au](http://www.planning.act.gov.au) (under 'Comment on a DA')

The public notification period will commence on **16 July 2019**  
 Written representations **must** be received by the Authority by close of business **5 August 2019**.  
 Representations can be submitted in the following ways:

**Online:**  
[www.act.gov.au/DaRepresentation](http://www.act.gov.au/DaRepresentation)

**Post:**  
 Customer Services Centre  
 PO Box 365  
 Mitchell ACT 2971


**By Hand:**  
 Dame Pattie Menzies House  
 16 Challis Street,  
 DICKSON ACT

It is standard practice for the Authority to acknowledge, in writing, any representations received as a result of public notification within 3-4 business days of the submission being received. If you don't receive this acknowledgement please contact the Authority. If you make your representation within the prescribed notification period the issues raised in your submission will be taken into consideration during the assessment of the development application and you will be notified in writing once the decision has been made.

A copy of your representation will be forwarded to the development application applicant and placed on the public register unless exclusion has been granted. The Planning and Land Authority may approve or refuse to approve an exclusion application (see website for further information).

*For more information, please phone the Dickson Customer Service Centre on 6207 1923*

PLANNING AND LAND AUTHORITY





On Thu, 11 Jul 2019 at 11:12, EPD, Customer Services <[EPDCustomerServices@act.gov.au](mailto:EPDCustomerServices@act.gov.au)> wrote:

Good Morning,

Please see the attached map and sign details for your actioning.

Kind Regards,

David

Phone 6207 1923

[EPDCustomerServices@act.gov.au](mailto:EPDCustomerServices@act.gov.au)

[www.act.gov.au/accesscbr](http://www.act.gov.au/accesscbr)

**Access Canberra** | ACT Government

16 Challis Street, Dickson | GPO Box 158 Canberra ACT 2601



*Access Canberra is an ACT Government service that brings together customer and regulatory services, including the former Environment and Planning Directorates Customer Services Team. Access Canberra has been set up to make it easier for business, community organisations and individuals to work with ACT Government and deliver a more seamless experience.*

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Simple Printing Solutions



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Connected services for the people of Canberra

ACTGov\_TCCS\_inline\_black



**From:** EPD, Customer Services <EPDCustomerServices@act.gov.au>

**Sent:** Thursday, 11 July 2019 10:36 AM

**To:** TCCS\_PC DA <TCCS.DA@act.gov.au>

**Subject:** REFERRAL-TCCS-201935777-3/822 ISABELLA PLAINS-01 [SEC=UNCLASSIFIED]

**DEVELOPMENT APPLICATION NO:** 201935777

**BLOCK:** 3 **SECTION:** 822 **DIVISION:** ISABELLA PLAINS

Description - **PROPOSAL FOR A SECONDARY DWELLING – Demolition of existing structures; Construction of a new secondary residence in addition to the existing residence including garage, workshop, landscaping and associated works.**

Pursuant to Section 148(1) of the *Planning and Development Act 2007* the ACT Planning and Land Authority requests that you consider the abovementioned development application and provide any written advice no later than **15**

**working days** after the date of this notice **(01/08/2019)**.

In accordance with Section 150 of the *Planning and Development Act 2007* If advice is not received within the prescribed time it will be taken that you have supported the application.

Please forward any written advice via email to Customer Services

[EPDCustomerservices@act.gov.au](mailto:EPDCustomerservices@act.gov.au)

Please use the following format in the subject line of the email when providing advice:

COMM-Agency Name-20140XXXX-Block XX Section XX SuburbXXXXX-01

**Example: COMM-TAMS-201401234-10/10 Dickson-01**

Kind Regards

David

Phone 6207 1923

[EPDCustomerServices@act.gov.au](mailto:EPDCustomerServices@act.gov.au)

[www.act.gov.au/accesscbr](http://www.act.gov.au/accesscbr)

**Access Canberra | ACT Government**

16 Challis Street, Dickson | GPO Box 158 Canberra ACT 2601

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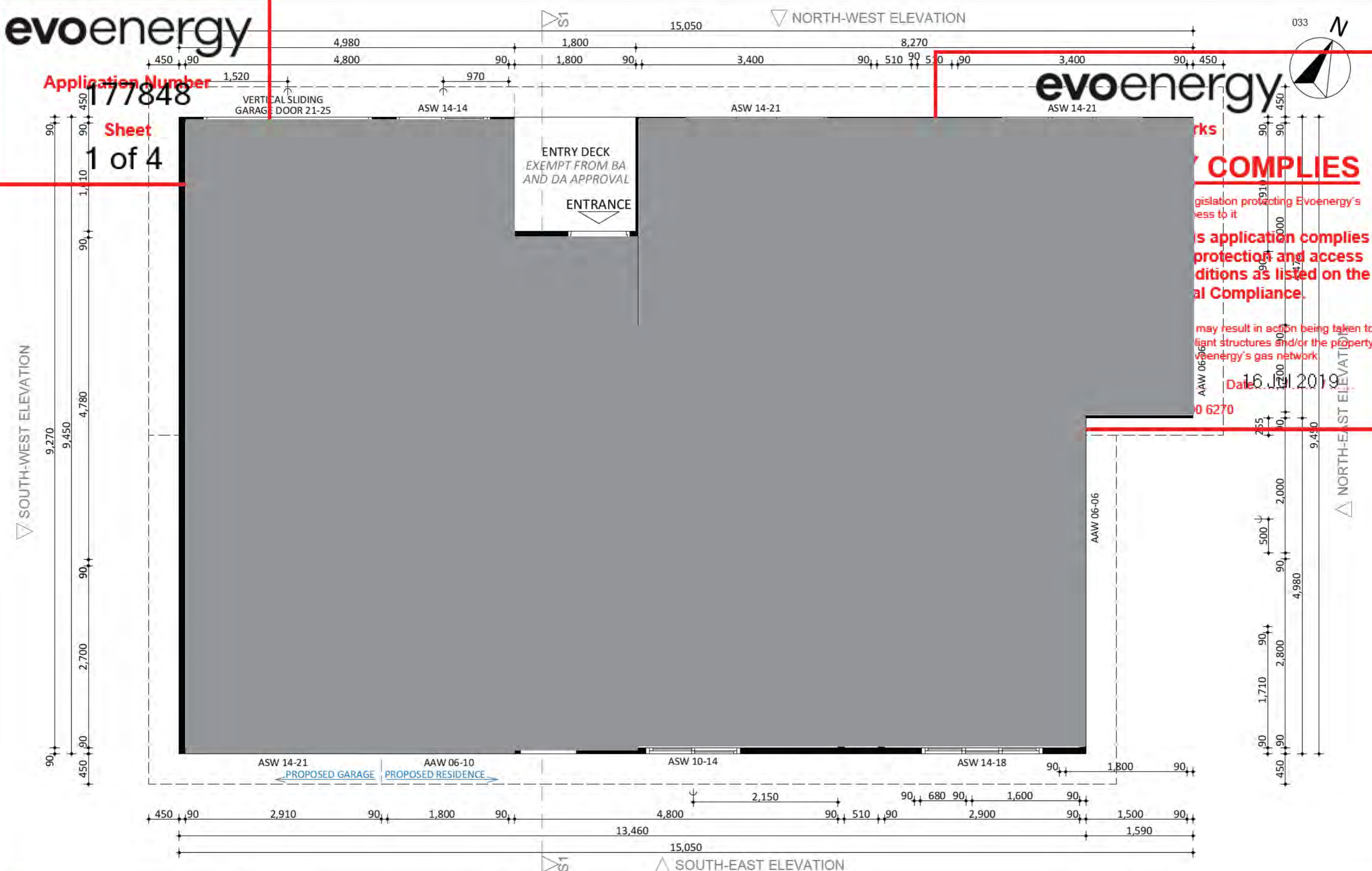
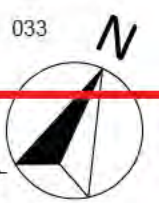
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**COMPLIES**

legislation protecting Evoenergy's  
rights to it  
This application complies  
with protection and access  
conditions as listed on the  
Environmental Compliance.

may result in action being taken to  
protect light structures and/or the property  
of Evoenergy's gas network.  
Date: 16 July 2019

**CANBERRA  
GRANNY FLAT  
BUILDERS**  
canberragrannyflatbuilders.com.au

**PROJECT DETAILS**  
Customer Name: Thomas and Yidi Magi  
Project Address: 12 Bucknel Circuit,  
Isabella Plains ACT 2905  
Block No 3  
Section No 822

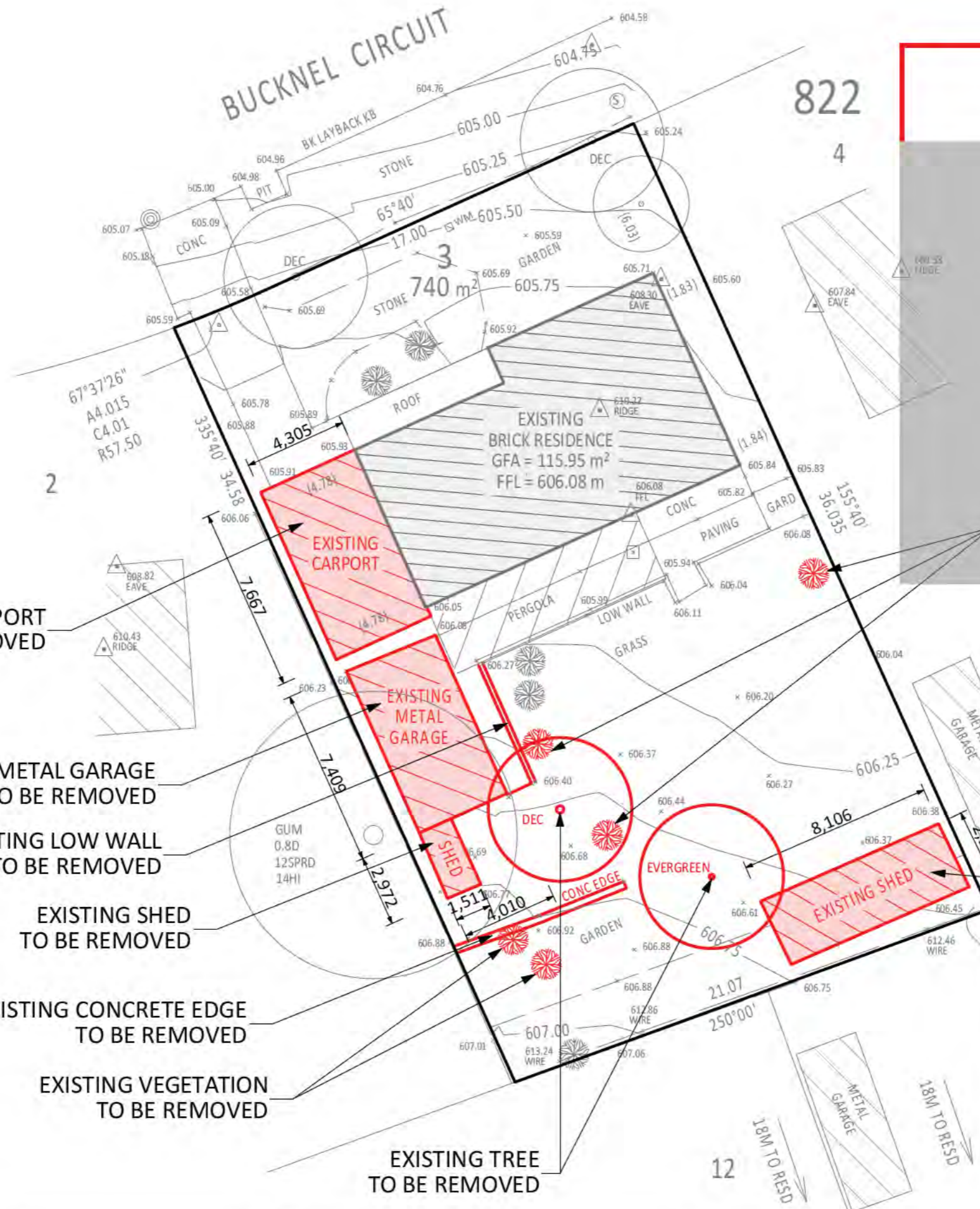
**AREAS:**  
Proposed Secondary Residence GFA 89.89 m<sup>2</sup>  
Proposed Garage and Workshop GFA 41.36 m<sup>2</sup>  
Total Roof Area 156.85 m<sup>2</sup>  
Entry Deck Area 3.06 m<sup>2</sup>

REV	DATE
5	23/06/2019

CUSTOMER APPROVAL

NAME	SIGNATURE	DATE

DRAWING NAME		
<b>FLOOR PLAN</b>		
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER
1:50	A3	4



EXISTING CARPORT TO BE REMOVED

EXISTING METAL GARAGE TO BE REMOVED

EXISTING LOW WALL TO BE REMOVED

EXISTING SHED TO BE REMOVED

EXISTING CONCRETE EDGE TO BE REMOVED

EXISTING VEGETATION TO BE REMOVED

EXISTING TREE TO BE REMOVED

EXISTING VEGETATION TO BE REMOVED

EXISTING SHED TO BE REMOVED

## LEGEND

SYMBOL	DESCRIPTION
WM	WATER METER
S	SEWER MANHOLE

**DISCLAIMERS:**  
Tree canopies are shown as a circular representation only and may not reflect irregular canopies.

The symbols used in this plan and associated digital data do not necessarily reflect the size and orientation of the object they represent.

Boundary information is for the purpose of this plan. Further survey and marking of boundaries may be required.

Services shown hereon have been determined from visual evidence only. Prior to any demolition, excavation or construction on the site the relevant authority should be contacted to establish detailed location and depth.

Easement information has been derived from the Deposited Plan and ACTMAP1. It is recommended that a title search be carried out to investigate whether any Easements have been created by instrument and added to the title.

### PROJECT DETAILS

Customer Name: Thomas and Yidi Magi  
Project Address: 12 Bucknel Circuit,  
Isabella Plains ACT 2905  
Block No 3  
Section No 822

### AREAS:

Proposed Secondary Residence GFA	89.89 m <sup>2</sup>
Proposed Garage and Workshop GFA	41.36 m <sup>2</sup>
Total Roof Area	156.85 m <sup>2</sup>
Entry Deck Area	3.06 m <sup>2</sup>

REV	DATE	DRAWING NAME
5	23/06/2019	DEMOLITION PLAN
CUSTOMER APPROVAL		DRAWING SCALE
NAME	SIGNATURE	1:200
DATE		SHEET SIZE
		A3
		DRAWING NUMBER
		2

**CANBERRA GRANNY FLAT BUILDERS**  
canberragrannyflatbuilders.com.au

**COMPLIES**

legislation protecting Evoenergy's access to it

**This application complies with protection and access conditions as listed on the Compliance.**

may result in action being taken to protect structures and/or the property of Evoenergy's gas network.

Date: 16 Jul 2019

6270

Application Number

177848

Sheet

3 of 4

VELUX SKYLIGHT  
14-08

rks

**COMPLIES**

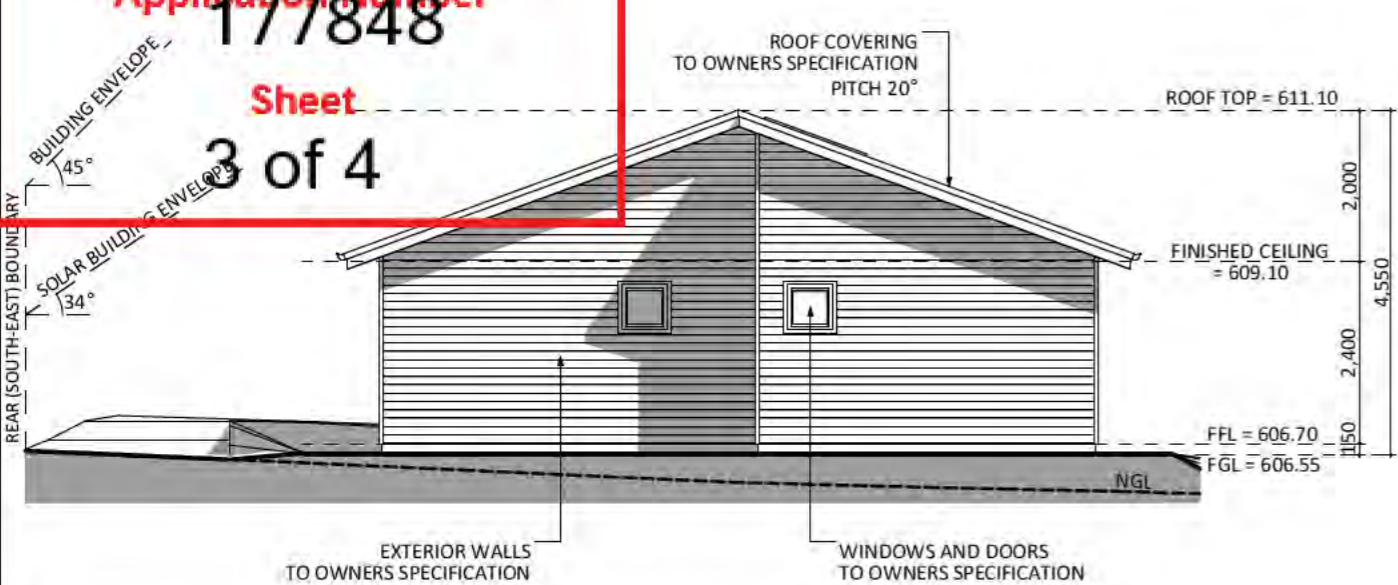
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Date: 16 Jul 2019

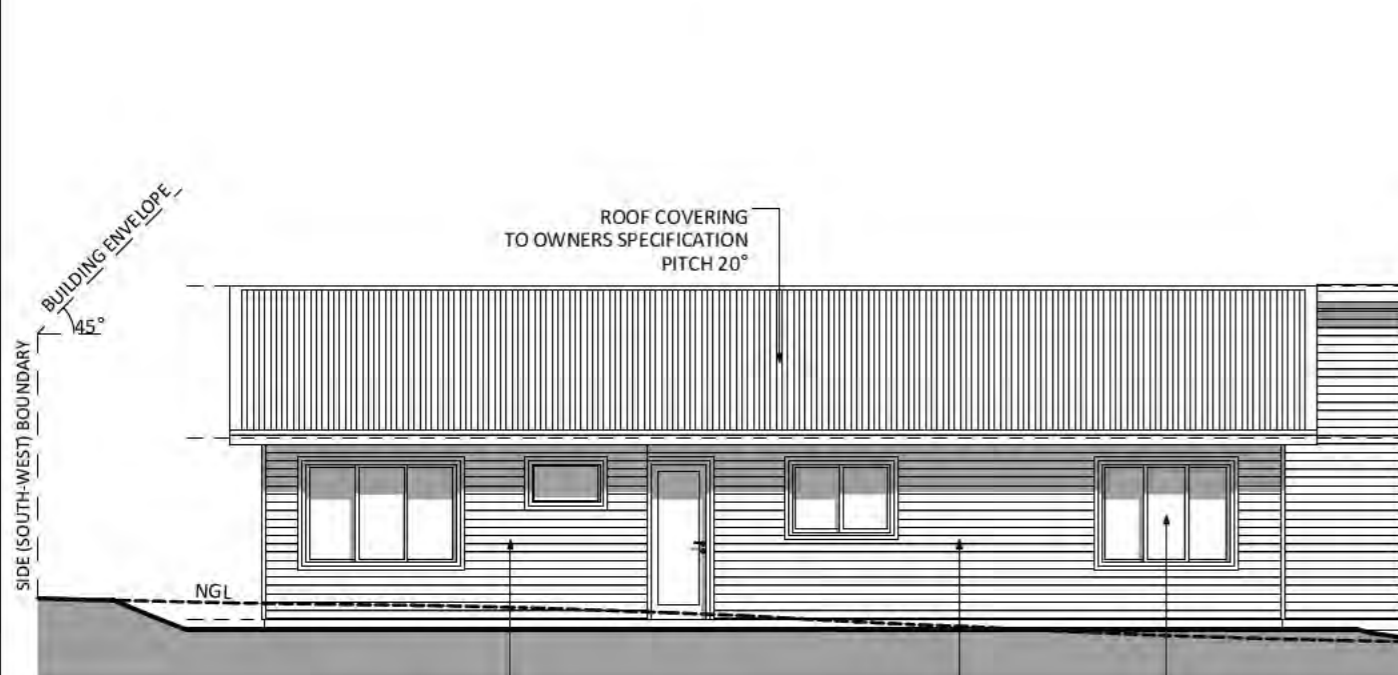
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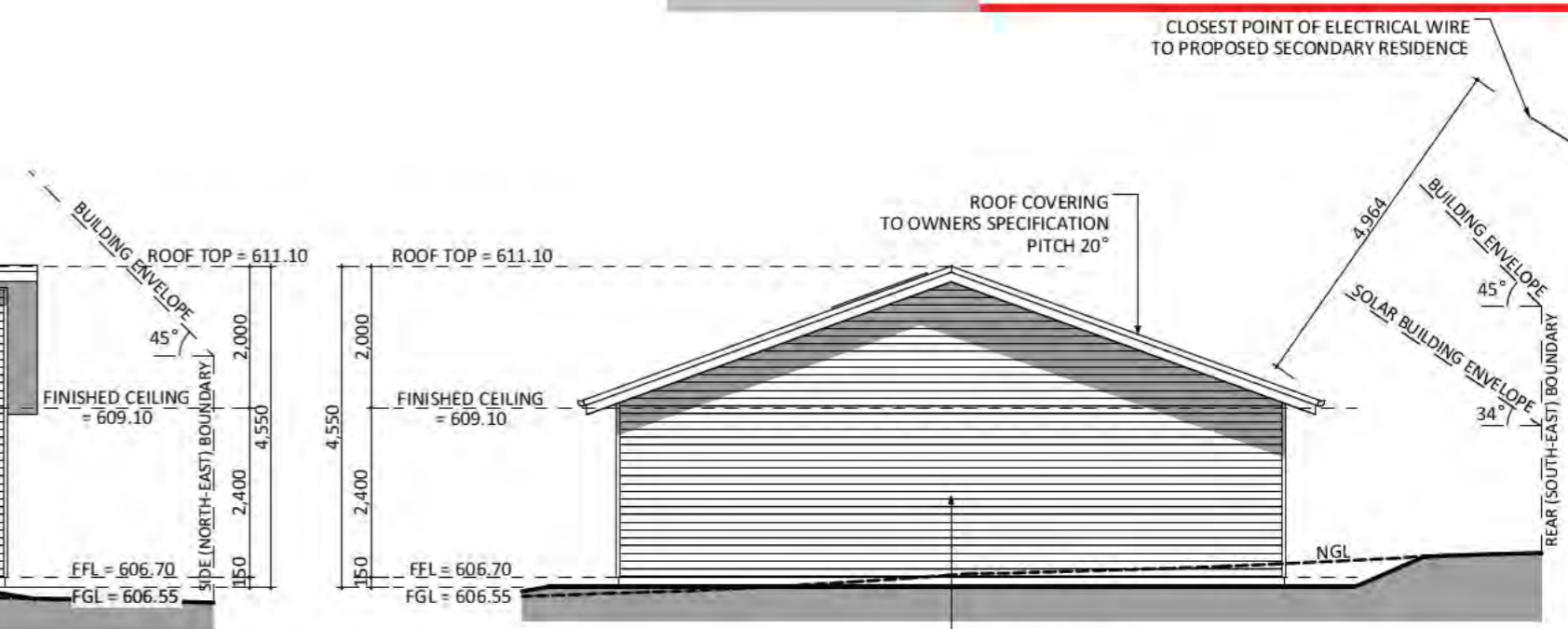
NORTH-EAST ELEVATION



NORTH-WEST ELEVATION



SOUTH-EAST ELEVATION



SOUTH-WEST ELEVATION

**CANBERRA GRANNY FLAT BUILDERS**  
canberragrannyflatbuilders.com.au

PROJECT DETAILS  
Customer Name: Thomas and Yidi Magi  
Project Address: 12 Bucknel Circuit,  
Isabella Plains ACT 2905  
Block No 3  
Section No 822

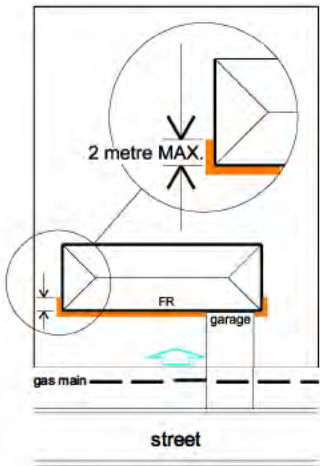
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Proposed Secondary Residence GFA	89.89 m <sup>2</sup>
Proposed Garage and Workshop GFA	41.36 m <sup>2</sup>
Total Roof Area	156.85 m <sup>2</sup>
Entry Deck Area	3.06 m <sup>2</sup>

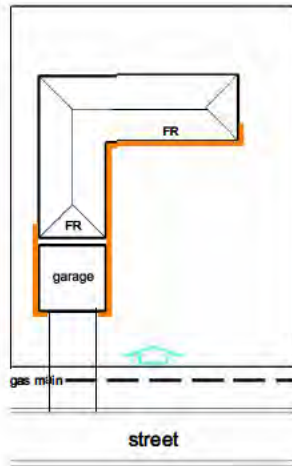
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CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

DRAWING SCALE	SHEET SIZE	DRAWING NUMBER
1:100	A3	5

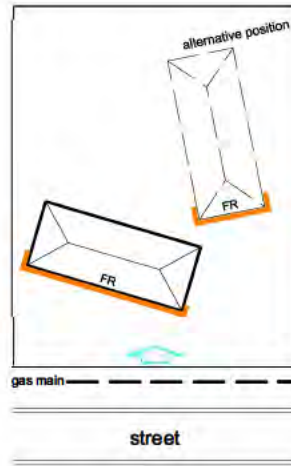
# DOMESTIC GAS METER LOCATION REFERENCE DRAWINGS



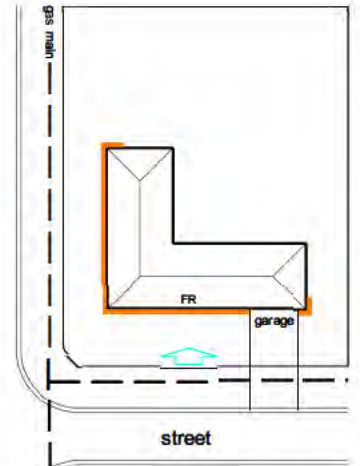
1. TYPICAL SITUATION



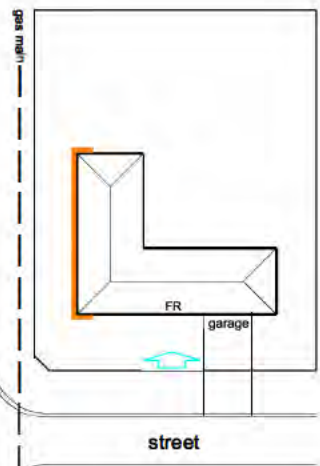
2. DETACHED GARAGE AT FRONT



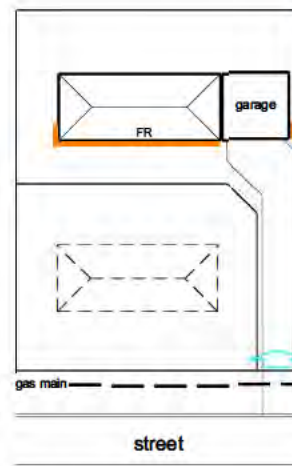
3. ANGLED HOUSE



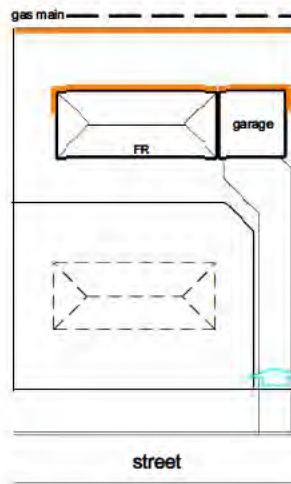
4. CORNER BLOCK  
GAS ON TWO SIDES



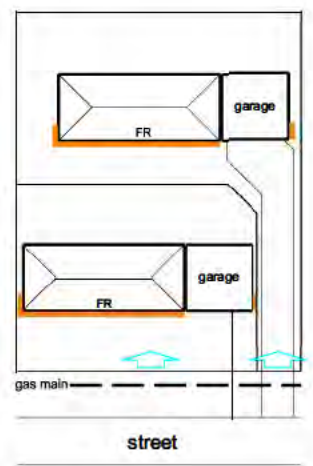
5. CORNER BLOCK  
GAS ON ONE SIDE



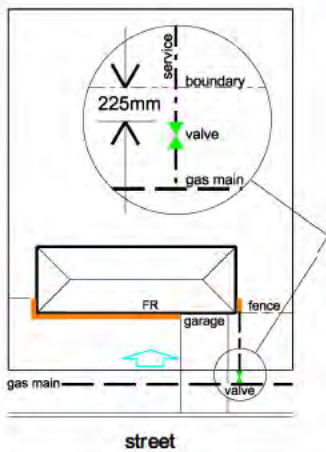
6. BATTLE-AXE BLOCK  
GAS AT FRONT



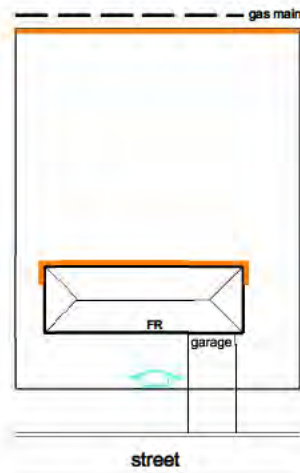
7. BATTLE-AXE BLOCK  
GAS AT REAR



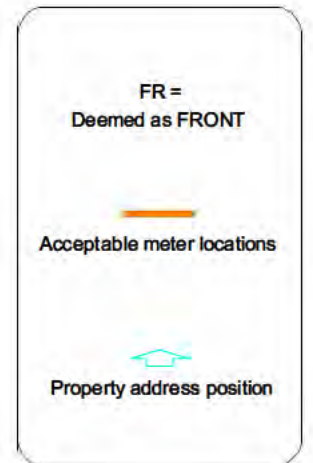
8. DUAL OCCUPANCY



9. METER BEHIND LOCKABLE  
GATE, FENCE, OR BARRIER



10. MAIN AT REAR OF BLOCK



LEGEND:



## Gas Networks

STATEMENT OF

# CONDITIONAL COMPLIANCE

For Residential except High Rise

**Application No:** 177848

**Drawings in set:** 14

**Block:** 3

**Section:** 822

**Suburb:** Isabella Plains

This application has been assessed against legislation protecting Evoenergy's gas infrastructure and access to it.

### **This application is approved subject to compliance with the following conditions:**

- The location and area allocated for gas regulating and metering equipment is to comply with Evoenergy Gas Service and Installation Rules.
- Development is to comply with minimum separation requirements to underground assets
  - 300mm minimum clearance from major plastic and steel gas mains and steel gas services
  - 150mm minimum clearance from other plastic gas mains and services
- A metering equipment upgrade may be required. A licensed gas fitter should verify loads and metering equipment capacities.
- If a meter relocation or service pipe relocation is required in order to comply with Evoenergy standards, please contact your gas retailer and book a meter relocation. Only people accredited by Evoenergy can carry out this work.

Other:

**Please note:**

- WARNING:** Evoenergy underground gas pipes may be in or adjacent to this block. Evoenergy Asset Location Advice may be required. Call 1100.
- Development and Building Applications will need to include any proposed Evoenergy works
- If Evoenergy approval conditions are not met, a breach of the law may result.
- Separate applications are required for water & sewerage, electricity and communication network services.
- Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on Evoenergy's gas network
- Any attached reticulation or servicing plan is preliminary only. Contact Evoenergy for final plans prior to the commencement of any construction activity

*For further information please phone Steve Donnelly - Jemena 6192 6270*



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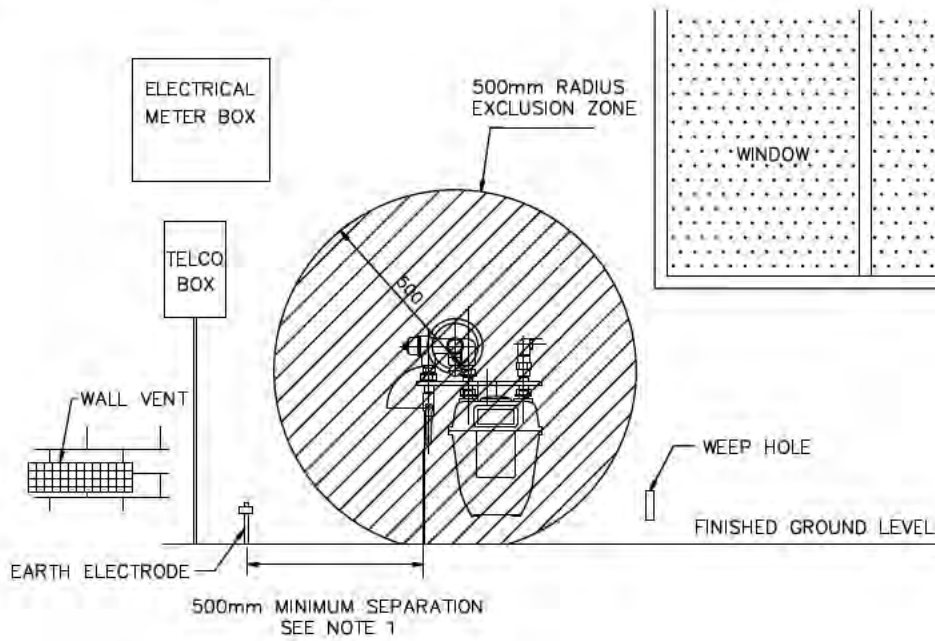
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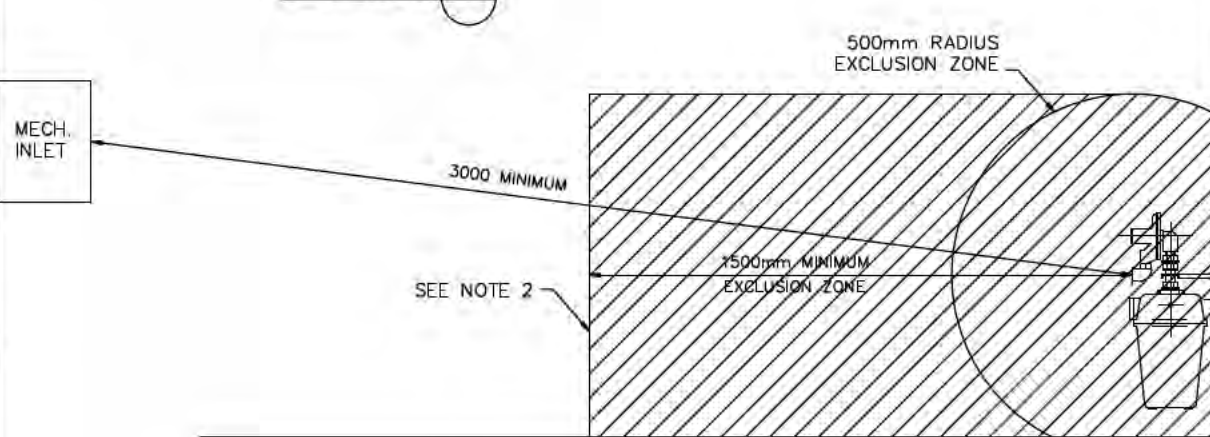


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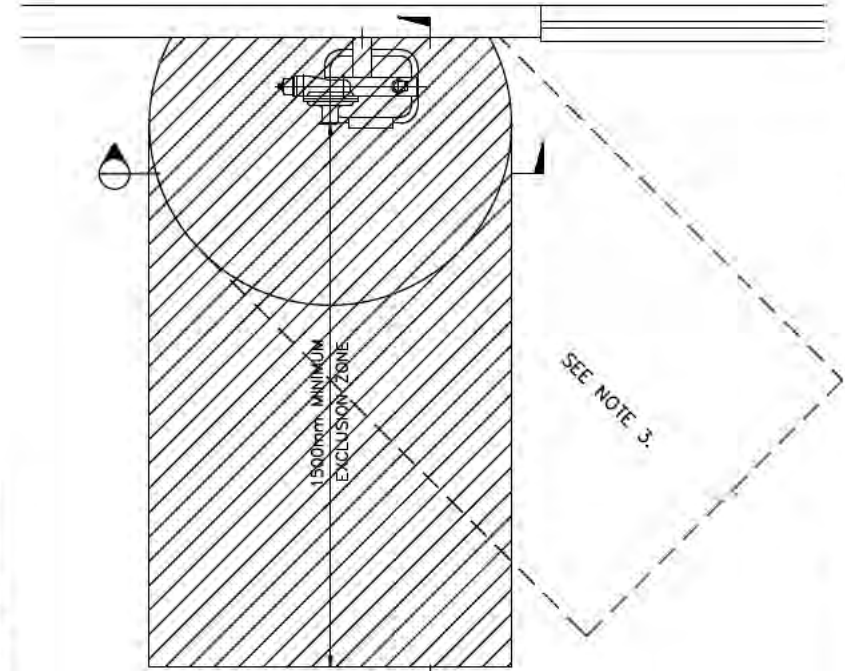
1. SEPARATION FROM EARTHING ELECTRODE TO COPPER RISER SHALL BE 500MM MINIMUM - REFER ASS601 cl 4.10.5
2. OBSTRUCTIONS WITHIN 1.5 METRES OF VENT TERMINAL IN DIRECTION OF DISCHARGE WILL RESULT IN A LARGER EXCLUSION ZONE BEING APPLIED - REFER ASS601 cl 4.7.11
3. DIRECTION OF DISCHARGE OF VENT TERMINAL DETERMINES ORIENTATION OF EXCLUSION ZONE.




ELEVATION 1



ELEVATION 2



PLAN VIEW

										CLIENT				GAS NETWORKS	
														EXCLUSION ZONE DOMESTIC METER INSTALLATION ASS601 REQUIREMENTS	
1	JEMENA LOGO		J.DAWSON	25.11.08				B.HANSEN	25.11.08						
0	ISSUED FOR REVIEW		S.SHAW	23.11.05				B.HANSEN	30.11.05						
SYM	REVISION	PROJECT ENGINEER	DATE	DRAWN	DATE	CHECKED	DATE	PROJECT MANAGER	DATE	CLIENT	DATE	SCALE	DRAWING NUMBER	REVISION	



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**Peter Clarke**

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\*PLEASE NOTE\* This email and any attachments may be confidential. If received in error, please delete all copies and advise the sender. The reproduction or dissemination of this email or its attachments is prohibited without the consent of the sender.

WARNING RE VIRUSES: Our computer systems sweep outgoing email to guard against viruses, but no warranty is given that this email or its attachments are virus free. Before opening or using attachments, please check for viruses. Our liability is limited to the re-supply of any affected attachments.

Any views expressed in this message are those of the individual sender, except where the sender expressly, and with authority, states them to be the views of the organisation.

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**Sitting**  
Application Number 177856  
Letterbox  
11. Letterboxes to be on hard standing area connected to accessible pathway

**Private Accommodation**  
14. Car parking space or garage min. area 6.0 m x 3.8 m

**Accessible Entry**  
20. Accessible entry to be provided.  
22. Accessible entry to be level (i.e. max. 1:40 slope)  
23. Threshold to be low-level.  
24. Landing to enable wheelchair maneuverability  
25. Accessible entry door to have 850 mm min. clearance  
26. Weatherproofed entry door  
27. Door lever handles and hardware to AS 1428.1.  
28. Provision for combined door/security door

**Interior**  
32. Internal doors to have 820 mm min clearance  
33. Internal corridors min. width of 1000 mm  
34. Provision for compliance with AS 1428.1 for door approaches

**Living and Dining room**  
36. Provision for circulacon space of min. 2250 mm diameter  
38. Telephone adjacent to GPO  
41. Potential illumina on level min. 300 lux

**Kitchen**  
42. Minimum width 2.7 m (1550 mm clear between benches)  
43. Provision for circulacon at doors to comply with AS 1428.1  
45. Refrigerator adjacent to work surface  
47. Kitchen sink bowl max. 150 mm deep  
48. Tap set capstan or lever handles or lever mixer.  
49. Tap set located within 300 mm of front of sink

51. Cooktops to include either front or side controls with raised crossbars.  
52. Cooktops to include isolaong switch.  
59. GPOs to comply with AS 1428.1. At least one double GPO within 300 mm of front of work surface.  
60. GPO for refrigerator to be easily reachable when the refrigerator is in its operaeng posi on  
61. Slip-resistant floor surface

**Bedroom**  
62. At least one bedroom of area sufficient to accommodate queen size bed and wardrobe and circulacon space requirements of AS 1428.2

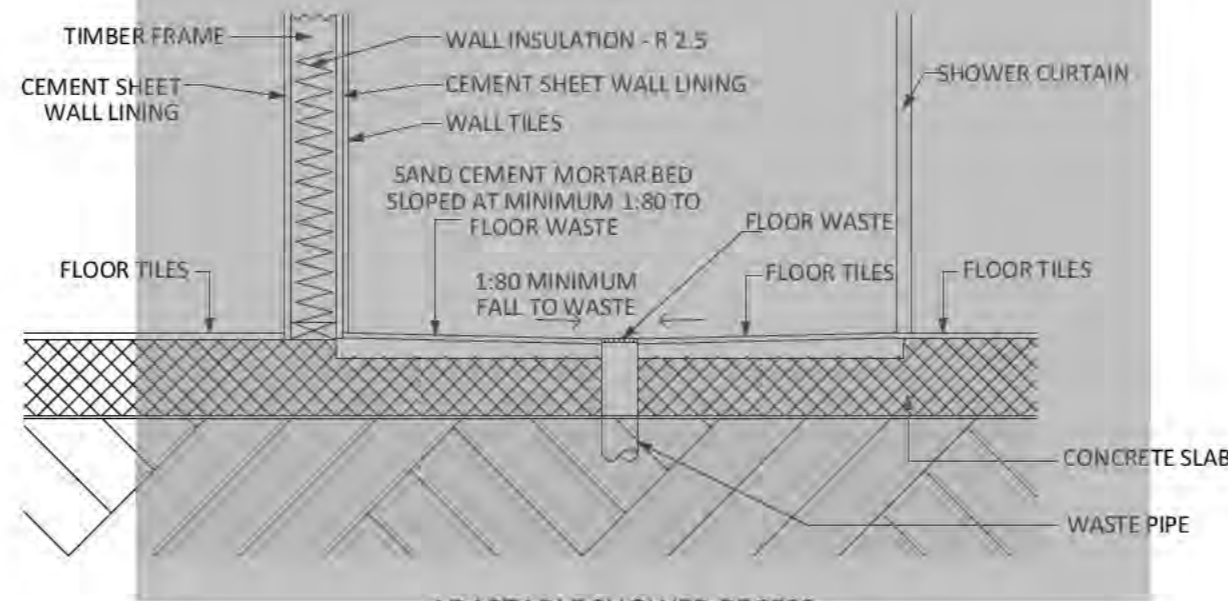
**Bathroom**  
75. Provision for bathroom area to comply with AS 1428.1. 76 Slip-resistant floor surface.  
77. Shower recess- no hob. Minimum size 1160 x 1100 to comply with AS 1428.1.  
78. Shower area waterproofed to AS 3740 with floor to fall to waste.  
79. Recessed soap holder.  
80. Shower taps posi oned for easy reach to access side of shower sliding track.  
81. Shower waste min. 80 mm diameter  
82. Provision for adjustable, detachable hand held shower rose mounted on a slider grabrail or fixed hook (plumbing and wall - strengthening provision)  
83. Provision for grabrail in shower (Refer to Figure 4.7) to comply with AS 1428.1  
86. Tap sets to be capstan or lever handles with single outlet.  
88. Provision for washbasin with clearances to comply with AS 1428.1.  
90. Double GPO beside mirror

**Toilet**  
92. Provision of either 'visitable toilet' or accessible toilet.  
93. Provision to comply with AS 1428.1  
94. Loca on of WC pan at correct distance from fixed walls.  
95. Provision for grab rail zone.  
96. Slip resistant floor surface. (Vitrous les or similar)

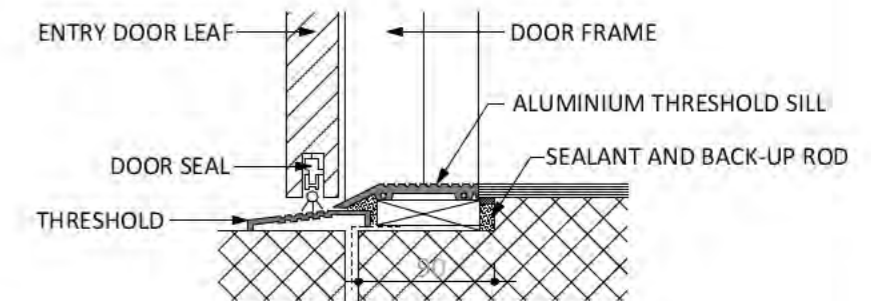
**Door locks**  
110. Door hardware operable with one hand, located 900-1100 mm above floor



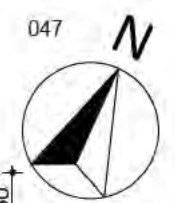
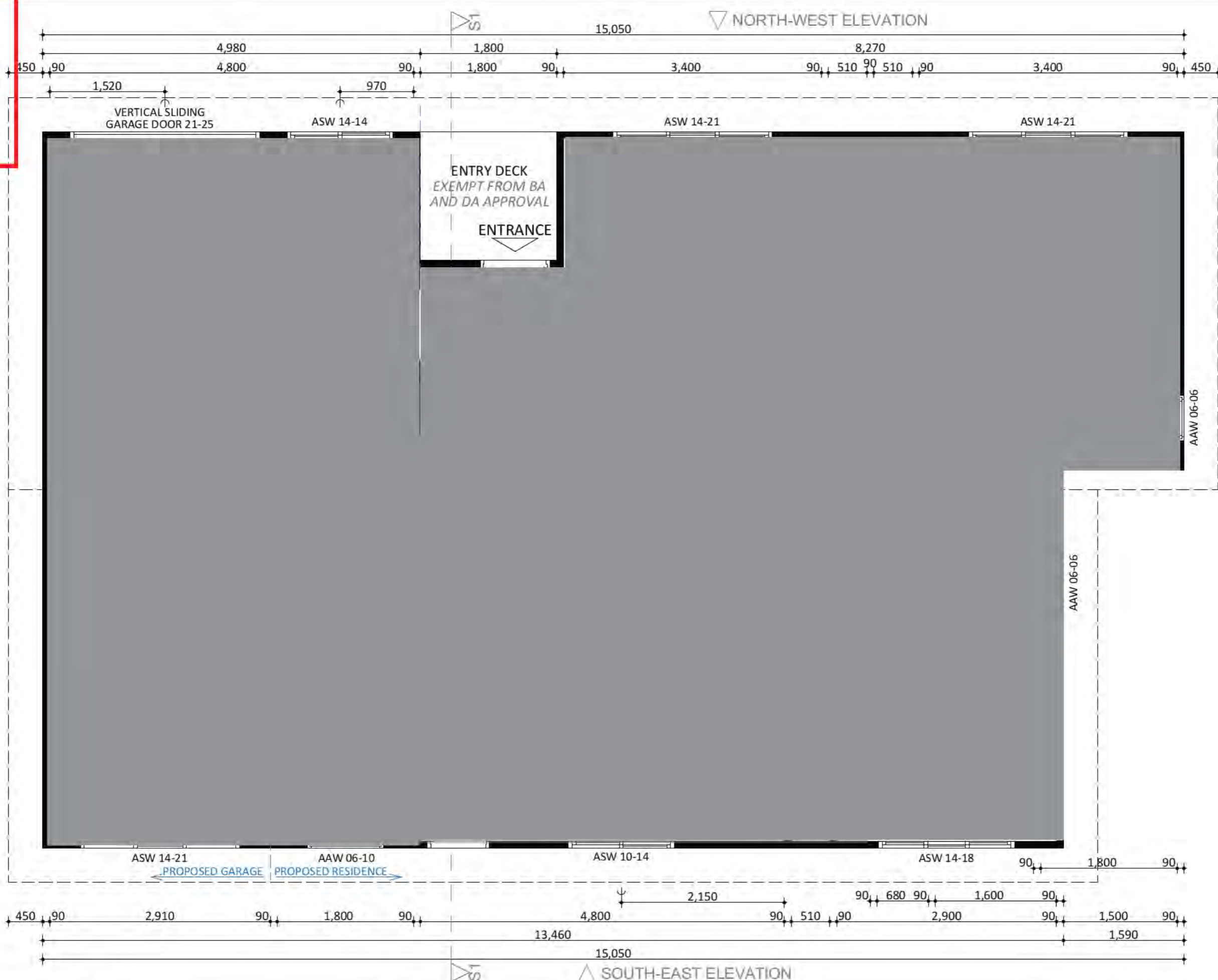
ADAPTABLE PLAN  
SCALE 1:100



ADAPTABLE SHOWER RECESS  
SECTION  
SCALE 1:15



ACCESSIBLE ENTRY SECTION  
SCALE 1:5



▽ SOUTH-WEST ELEVATION

△ NORTH-EAST ELEVATION

△ SOUTH-EAST ELEVATION

**CANBERRA GRANNY FLAT BUILDERS**  
canberragrannyflatbuilders.com.au

**PROJECT DETAILS**  
Customer Name: Thomas and Yidi Magi  
Project Address: 12 Bucknel Circuit,  
Isabella Plains ACT 2905  
Block No 3  
Section No 822

**AREAS:**

Proposed Secondary Residence GFA	89.89 m <sup>2</sup>
Proposed Garage and Workshop GFA	41.36 m <sup>2</sup>
Total Roof Area	156.85 m <sup>2</sup>
Entry Deck Area	3.06 m <sup>2</sup>

REV	DATE
5	23/06/2019

FOR APPROVAL

CUSTOMER APPROVAL

NAME	SIGNATURE	DATE

DRAWING NAME <b>FLOOR PLAN</b>		
DRAWING SCALE <b>1:50</b>	SHEET SIZE <b>A3</b>	DRAWING NUMBER <b>4</b>





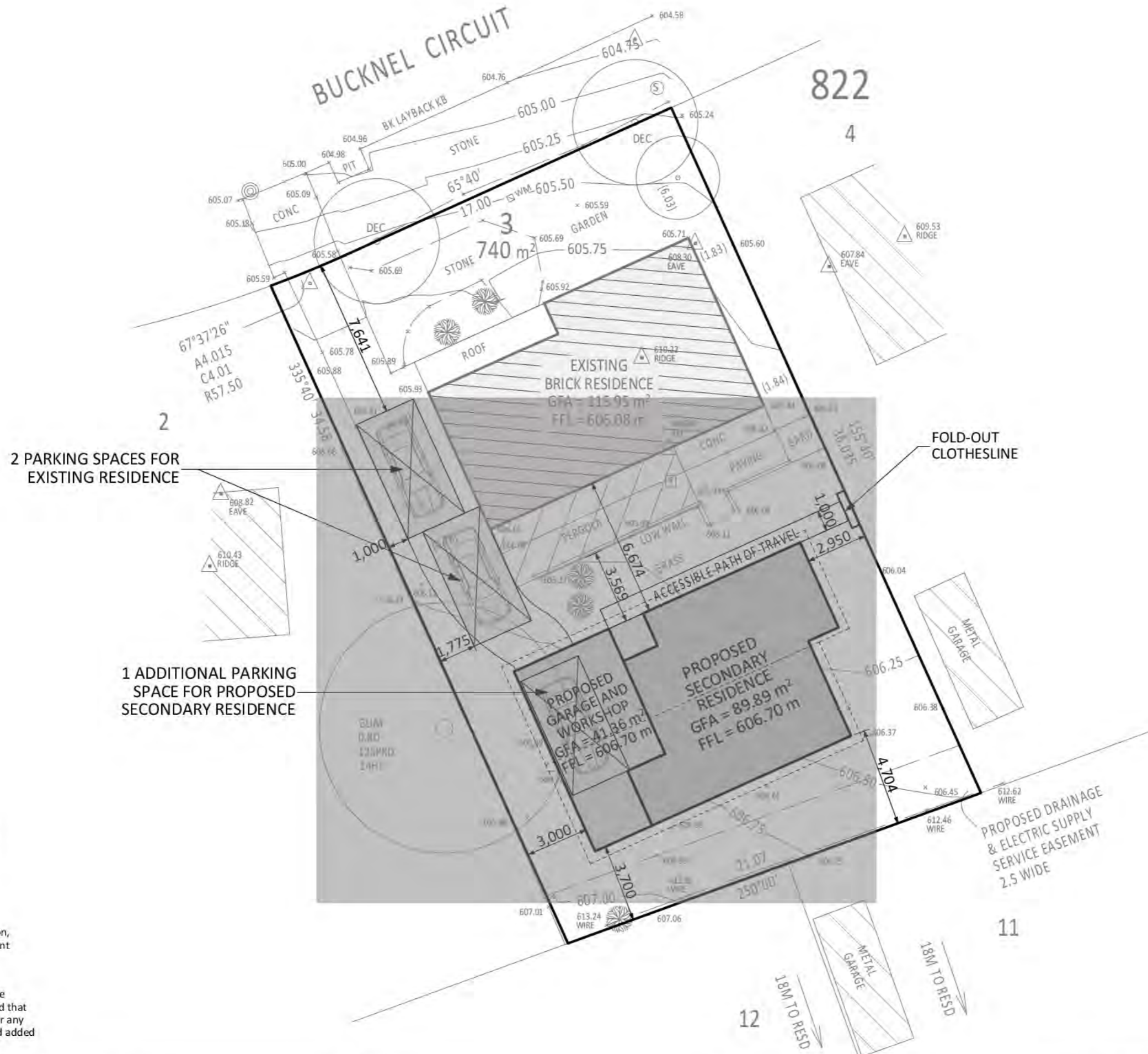












**LEGEND**

SYMBOL	DESCRIPTION
WM	WATER METER
S	SEWER MANHOLE

**DISCLAIMERS:**  
Tree canopies are shown as a circular representation only and may not reflect irregular canopies.  
The symbols used in this plan and associated digital data do not necessarily reflect the size and orientation of the object they represent.  
Boundary information is for the purpose of this plan. Further survey and marking of boundaries may be required.  
Services shown hereon have been determined from visual evidence only. Prior to any demolition, excavation or construction on the site the relevant authority should be contacted to establish detailed location and depth.  
Easement information has been derived from the Deposited Plan and ACTMAPI. It is recommended that a title search be carried out to investigate whether any Easements have been created by instrument and added to the title.

**CANBERRA GRANNY FLAT BUILDERS**  
canberragrannyflatbuilders.com.au

**PROJECT DETAILS**  
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REV	DATE
5	23/06/2019

FOR APPROVAL

CUSTOMER APPROVAL

NAME	SIGNATURE	DATE
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DRAWING NAME		
PARKING AND ACCESS PLAN		
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER
1:200	A3	9



# Development Application

Application Number: 201935777

Application Number

177856

Sheet

11 of 50

Before Starting

**PLEASE NOTE:** This wizard will time out if left inactive for a period of more than two hours, after which time you will lose your application and be required to complete a new wizard. It is recommended you **save** this session if it is to be left inactive for an extended period of time.

Please ensure that your screen is set to the highest resolution (e.g. 1280 by 1024 pixels) to ensure all content in the wizard is visible.

## Type of Application

The type of application you are applying for is a **New Application**

Are you applying for a:

Development Application

Has a pre-application meeting been held in relation to this proposal?

No

## Lease/Site Details

### Site Number

If your rural property is identified by a Block/Section/Suburb, please select the "Urban" radio button.

Urban

Suburb

ISABELLA PLAINS

Section

822

Block Number

3

Unit Number

Street Address

12 BUCKNEL CIRCUIT, ISABELLA PLAINS

## Applicant Details

What type of applicant are you:

Business



ACN or ABN

67155832732

Application Number  
128130  
Sheet

Company Name

Turnkey Creations Pty Ltd

Position held / Title

Director

Salutation

None

First Name

Nickolas

Surname

Constable

Postal Address 1

GPO BOX 2265

Postal Address 2

Postal Address 3

Suburb

Canberra City

State/Territory

ACT

Postcode

2602

Country

Australia

Phone Number

1300979658

Fax Number

Mobile Number

Email

operations@cgfb.com.au

### Lessee (Property Owners) Details

### Lessee Number \*

Is the Lessee a:

Standard lessee

Salutation

None

First Name

Yidi

Surname

Zhou

Postal Address 1

12 Bucknel Circuit

Postal Address 2

Postal Address 3

Suburb

Isabella Plains

State/Territory

ACT

Postcode

2905

Country

Australia

Phone Number

0417269783

Fax Number

Mobile Number

Email

thommagicarpentry@gmail.com

### Notice of Decision and Plans

Please specify the delivery method for the return of plans. Unless otherwise specified, your Notice of Decision and/or plans will be returned via email.

Email

Are you applying for an *Estate Development Plan* OR *Home Business*?



Application Number

177856

Zone  
Sheet

13 of 50

Please specify which zone applies to this application (please select one zone only). Please click [here](#) to access ACTMAPi and locate the zone.

RZ1 Suburban zone

If more than one zone is applicable to your application, please specify them below:

Development/Precinct Code

Please specify which development code applies to this application.

Residential Zones - Single Dwelling Housing Development Code

Please specify all relevant precinct code/s applied to your proposal

Tuggeranong District Precinct Map and Code

Isabella Plains Precinct Map

Loose-Fill Asbestos

Is this a loose-fill asbestos affected ("Mr Fluffy") block?

No

Fully Describe Your Proposal

Please provide a full description of your proposal (Note: This must accurately describe all aspects of your proposal and include any lease changes being applied for.)

Proposed secondary residence at the backward and associated works.

No lease variation changes.

Proposed Use of the Land

Describe the use of the development. **Example:** Residential purposes for a single dwelling (Note: Please refer to the Territory Plan definitions for land use definitions. Please also consider what is permitted under any Crown Lease for the site.)

Residential purposes for a single dwelling

Is the proposed use consistent with the current Crown lease?



**Application Number**

177856

**Assessment Track**

Merit

14 of 50

Please indicate which assessment track applies to this Development Application: (If you are not sure which assessment track applies, please contact Environment, Planning and Sustainable Development Directorate on (02)62071923)

Merit

For more information about which track your development application will be assessed in, please click [here](#). Please note, the Environment, Planning and Sustainable Development Directorate may refuse to accept a development application made in an incorrect assessment track. If the Environment, Planning and Sustainable Development Directorate assesses an application made in the incorrect assessment track it must refuse the application (S.114 (3)).

**Type of Development**

Please indicate which type of development applies to this development application.

Single Dwelling

**Single Dwelling**

Please select a Single Dwelling sub type:

Secondary Residence

**Gross Floor Area (GFA) and Cost of works**

Please ensure that all values contain a decimal point followed by two digits

**Gross Floor Area Calculation**

A - Gross Floor Area (existing) (m<sup>2</sup>)

206.9

B - Gross Floor Area to be demolished (m<sup>2</sup>)

90.9

C - Gross Floor Area to be added (m<sup>2</sup>)

89.89

D - Total Gross Floor Area of development (A-B+C)(m<sup>2</sup>)

205.89



E - COST OF WORKS (\$)

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Other Area Calculation (not already included in the areas provided above)

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F - Area of other BCA Class 10 structures included in this application  
(e.g. metal carport, pergola, deck, verandah) (m<sup>2</sup>)

41.3

G - Parking areas – undercover

24.9

H - COST OF WORKS (F & G) (\$)

5000.0

### Cost of Associated Works

I - Cost of all associated works such as landscaping (\$)

2000.0

J - Cost of all public works and/or off site works (\$)

2000.0

K - TOTAL COST OF WORKS (E+H+I+J)

143835

*\*Cost of works **MUST** be calculated in accordance with the current version of Building (General) (Cost of Building Work) Determination OR a summary of costs from a bill of quantities prepared by a quantity surveyor supplied with application. A summary of costs from a bill of quantities MAY be requested for proposals where cost of work is between \$0 and \$10 million. A summary of costs from a bill of quantities **MUST** be provided for proposals where cost of work is over \$10 million.*

## Demolition, Trees, Waste Management

### Demolition

Is the *Demolition* item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for *referral* to Entity?

icon



## Application Number

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"Protected tree" is defined under the [Tree Protection Act 2005](#).

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In accordance with section 148 of the [Planning and Development Act 2007](#), where the development proposal requires groundwork within the tree protection zone of a protected tree, or is likely to cause damage to or removal of, any protected trees, the application is to be accompanied by a [Tree Management Plan](#)

For more information about urban tree protection in the ACT, please click [here](#).

Is the Trees item relevant to your proposal?

 No

## Waste Management

*NOTE: Only relevant for single dwelling housing where the development will generate a total of 20 cubic metres or greater of demolition and/or excavation waste*

Is the Waste Management item relevant to your proposal?

 No

## Heritage

### Heritage

Is the [Heritage](#) item relevant to your proposal?

 No

## Erosion and Sediment Control

### Erosion and Sediment Control (for sites less than 0.3 of a hectare)

*NOTE: All new dwellings (including in established areas) require a plan that provides details of the sediment and erosion control measures including: sediment control barrier, designated cutting area and wash area, stockpiles and stabilised access point.*

Is the Erosion and Sediment Control (for sites less than 0.3 of a hectare) item relevant to your proposal?

 Yes

Have you provided Entity Endorsement?

 No

Have you provided required documentation for [referral](#) to Entity?

 Yes

icon

For works such as class 10 structures, additions and alterations, and backyard swimming pools - a note on the plan that "the development will comply with the ACT Environment Protection Authority, Environment Protection Guidelines for Construction and Land Development in the ACT" is required. In circumstances where there is a reasonable risk that soil from the required earth works in the front of the block will impact on the stormwater system because the block slopes towards the street a separate Erosion & Sediment Control Plan will be required

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### Erosion and Sediment Control (for sites greater than 0.3 of a hectare)

Is the Erosion and Sediment Control (for sites greater than 0.3 of a hectare) item relevant to your proposal?

No

## Servicing & Site Management, Utilities

### Servicing and Site Management

#### Utilities

### Subdivision (residential zones)

### Subdivision (residential zones)

Is the Subdivision (residential zones) item relevant to your proposal?

No

## Utilities Requirements - ActewAGL & Stormwater

For all developments involving construction, the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features must comply with utility standards, access provisions and asset clearance zones

Does this application comply with utility standards?

Yes

For more information on Utility Requirements and Standards, Water, Electricity, Sewerage and gas, please contact ActewAGL on Ph: 62483555 or visit their [web site](#). For more information on Stormwater Easements, please contact Asset Acceptance via Canberra Connect on Ph: 132281 or visit their [web site](#). **Please carefully read the applicant declaration before submitting this form**

## Driveways (For works on verge only)

**PLEASE NOTE:** For proposals that include construction or modification of a driveway this application **MUST** be signed by the land custodian (Government Land Custodian - Asset

icon

Acceptance) as the works will be undertaken on unleased land **EXCEPT FOR DUAL OCCUPANCY DEVELOPMENT PROPOSALS**. For more information on driveways, garages and carports, please click [here](#).

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Does your proposal include construction or modification of driveway/s?

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### Survey Requirements - S.139(2)(l) - P & D Act 2007

If this application is for approval of a development that requires construction work to be carried out on land that has previously been developed and is not leased for rural purposes, a survey certificate for the land where the development is to be carried out (prepared and signed by a registered surveyor) must accompany this application unless exempt by Regulation 25 of the [Planning and Development Regulations 2008](#)

Do you have a [survey certificate](#) with this application?

Yes

### Development Undertaken Without Approval - S 205 - P & D Act 2007

Is this application for development undertaken without approval?

No

*If YES - Under Section 139(2)(m) of the Planning and Development Act 2007, plans of the development signed by a registered surveyor confirming the location and dimensions of the development **must** be submitted with this application. The plans need to confirm the height, width and length dimensions of the development and the setback dimensions of the development from the block boundaries. The information may be provided on one plan or on a series of plans provided each plan is signed by a registered surveyor. Note: For all unapproved development involving construction the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features must comply with utility standards, access provisions and asset clearance zones. For more information on development exempt from approval, please click [here](#). For more information on development applications for developments undertaken without approval, please refer to S205 under the Planning and Development Act 2007*

### Proposal previously determined exempt from development approval

Is this application for development being submitted to address a situation where an exemption from development approval was granted, but the development does not accord with the exemption provisions?

No

### Exclusion from Public Inspection



In accordance with the requirements of Sections 28 and 30 of the *Planning and Development Act 2007*, the Environment, Planning and Sustainable Development Directorate must make the details and associated documents relevant to a development application available for public inspection.

If you wish to apply to have all or part of this development application excluded from public inspection, you must meet the requirements of Section 411(5) or 412(1) of the *Planning and Development Act 2007*.

Are you requesting an exclusion from *Public Inspection*?

No

### Conflict of Interest Declaration

Does the applicant or the lessee have any association with the Environment, Planning and Sustainable Development Directorate staff?

No

*NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation*

### Applicant/Lessee Declaration

I/we hereby apply for approval to carry out the development described on the land specified in this application;

I/we declare that this application is accompanied by all of the required information or documents that address the relevant rules and/or relevant criteria for it to be considered for approval;

I/we understand that the information submitted with this application form will undergo a documentation check prior to the payment of fees and formal lodgement of the application. Further information may be required prior to the acceptance of the development application by the Directorate;

I/we understand that this application will be considered lodged once the relevant application fees have been paid;

I/we understand that if during the assessment of this application it is found to have been submitted in the incorrect assessment track the application will be refused and I/we will not be entitled to a refund or transfer of fees;

I/we understand that the documentation provided on CD/DVD or via the electronic lodgement process will be considered to be the relevant documentation associated with this application. All development application documentation will be made available for *public inspection* including via the Internet unless exclusion has been approved;



If the time for deciding the application (prescribed period) has ended and a decision has not been reached I/we understand that the application will be deemed refused and the Environment, Planning and Sustainable Development Directorate will not provide written advice of this decision.

I/we also understand that the Environment, Planning and Sustainable Development Directorate is able to still consider the application and make a decision after the expiration of the prescribed period;

I/we hereby authorise the Environment, Planning and Sustainable Development Directorate its servants and agents to erect sign/s on the subject property(s) as required and authorise ACT Government officers to access the subject property(s) for the purpose of evaluating the proposal(including the inspection of driveways and trees);

I/we(lessee) appoint the applicant whose signature appears in the attached [letter of appointment](#) to act on my/our behalf in relation to this Development Application. This authorises the applicant to pay all application fees, bonds and securities, liaise with the Environment, Planning and Sustainable Development Directorate when required, alter, amend or provide further information as necessary and receive any communications relating to this Development Application;

I/we declare that information relating to utility standards, access provisions and asset clearance zones has been sought from the relevant utility providers and this development application has been prepared in accordance with their requirements;

I understand that costs associated with the relocation of any engineering services (light poles, storm water, sumps etc) will be at my expense and that I will indemnify the ACT Government, its servants and agents against any claims arising during the relocation of these services;

I understand that construction of any driveway associated with this application may not commence until the contractor has received endorsement by the relevant government entity;

I understand that a Certificate of Design Acceptance and a Road Opening Permit and Temporary Management Plan must be obtained from the relevant government agencies prior to the start of construction works;

I/we declare that all the information given on this form and its attachments is true and complete;

**If lodging on behalf of a company, organisation or Government agency: -**

I/we declare I/we have the appropriate delegation or authority to sign on behalf of the company, organisation or Government agency;

I declare that I am the person shown in this eDA form as the Applicant, and by clicking the ACCEPT button below I understand that this replaces my requirement to sign a hard copy of this application.

I accept the above declarations

Accept

icon

Acceptance date

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177856

Sheet

21 of 50 Before Submitting

You have almost completed the first stage of your Development Application/Pre-Application request. **PLEASE ENSURE YOUR WIZARD SESSION IS SAVED BEFORE PROCEEDING.** This will enable you to resume your session in the event of a system outage or other interruption.

When you click on Finish below, you will be navigated to a new page which will enable you to upload any associated plans/documents prior to submitting to EPSDD for review.

Development applications (DAs) can be delayed unnecessarily because EPSDD does not have all the information it needs to undertake an assessment and make a decision.

To avoid delays ensure all required sections of the wizard are answered correctly and all required documentation is uploaded. In particular:

1. A signed appointment letter from all lessee's must be provided if works are to performed on the verge, a signed endorsement letter must be provided by the relevant Government Custodian;
2. Public register plans for residential applications are included;
3. You MUST include a statement against the criteria for development applications that will be assessed in the Merit track;
4. If the application is for a single unit on a unit titled block body corporate authorisation is required if there is works on a common property

If you are still not sure how to proceed or want to ensure you have everything you need for your application, you can visit the EPSDD Customer Service Centre, 16 Challis Street, Dickson, or call us on 6207 1923 and ask to speak with a technical officer.

### Privacy Notice

The personal information on this form is provided to the Environment, Planning and Sustainable Development Directorate (EPSDD) to enable the processing of your application. The collection of personal information is authorised by the Planning and Development Act 2007. If all or some of the personal information is not collected EPSDD cannot process your application. The Planning and Development Act 2007 requires the details of applications, decisions and orders to be kept on a register and made available for public inspection. Information and documentation relevant to a development application may be made available via the Internet. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office, the Registrar General's Office, ACTEW Corporation, ActewAGL, Territory and Municipal Services Directorate and other Government agencies with a direct interest in the development assessment process. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. EPSDD's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by EPSDD, and how you may complain about an alleged breach of the Territory Privacy Principles. The EPSDD Information Privacy Policy can be found at [www.environment.act.gov.au](http://www.environment.act.gov.au)

The logo for 'icon' features the word 'icon' in a bold, lowercase sans-serif font. Below the text is a stylized blue wave graphic.

**Does the Commonwealth Environment Protection and Biodiversity Conservation Act 1999 (EPBC) affect your proposal?**

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The EPBC came into operation on 16 July 2000. It establishes an environmental assessment and approval system that is separate and distinct from the ACT system. It does not affect the validity of ACT development assessment and approval processes, but may affect the assessment track. The ACT cannot provide preliminary advice on whether a proposal falls within the definition of a controlled action, or requires referral to the Commonwealth. You should consult with the Commonwealth to determine if your proposal is a controlled action before seeking any approvals under the Planning and Development Act 2007. For information about the EPBC, including the referral process and when a referral should be made, contact: the Department of Sustainability, Environment, Water, Population and Communities, GPO Box 787, CANBERRA ACT 2601 Telephone: 62741111

**Contact Details:** Environment, Planning and Sustainable Development Directorate Customer Service Centre GPO Box 158, Canberra City 2601 16 Challis Street, Dickson ACT 2602 Business Hours: 8.30am to 4.30pm weekdays (excluding Public Holidays) Phone: (02) 6207 1923 Email: [epdcustomerservices@act.gov.au](mailto:epdcustomerservices@act.gov.au) Website: [www.environment.act.gov.au](http://www.environment.act.gov.au)



BUCKNEL CIRCUIT

**Notes**

$$\text{Actual plot ratio} = \frac{\text{Existing building(s)/structure(s)} + \text{Proposed new building(s)/structures}}{\text{Site area}} \times 100\%$$

$$\text{Actual private open space} = \text{Site area} - (\text{Existing building(s)/structure(s)} + \text{Proposed new building(s)/structure(s)} + \text{Driveways and maneuvering space})$$

$$\text{Planting area} = \text{Actual private open space} - \text{Non planting area}$$

LEGEND	PLOT RATIO	PRIVATE OPEN SPACE
SITE AREA	740 m <sup>2</sup>	740 m <sup>2</sup>
EXISTING BUILDING(S) / STRUCTURE(S)	115.95 m <sup>2</sup>	115.95 m <sup>2</sup>
PROPOSED NEW BUILDING(S)/STRUCTURE(S)	131.25 m <sup>2</sup>	131.25 m <sup>2</sup>
DRIVEWAYS AND MANEUVERING SPACE	N/A	72.75 m <sup>2</sup>
	ACTUAL PLOT RATIO = 33.4% (MAXIMUM PLOT RATIO = 50%)	ACTUAL PRIVATE OPEN SPACE = 420.05 m <sup>2</sup> (MINIMUM POS = 60% x SITE AREA - 50m <sup>2</sup> = 394 m <sup>2</sup> )
NON PLANTING AREA	N/A	71.14 m <sup>2</sup>
PLANTING AREA	N/A	349.46 m <sup>2</sup> (MINIMUM PLANTING AREA = 50% x MINIMUM POS = 197 m <sup>2</sup> )
PPOS	N/A	28.00 m <sup>2</sup>



**PROJECT DETAILS**

Customer Name: Thomas and Yidi Magi  
Project Address: 12 Bucknel Circuit,  
Isabella Plains ACT 2905  
Block No 3  
Section No 822

**AREAS:**

Proposed Secondary Residence GFA  
Proposed Garage and Workshop GFA  
Total Roof Area  
Entry Deck Area

89.89 m<sup>2</sup>  
41.36 m<sup>2</sup>  
156.85 m<sup>2</sup>  
3.06 m<sup>2</sup>

REV	DATE	DRAWING NAME	
5	23/06/2019	AREA PLAN	
CUSTOMER APPROVAL		DRAWING SCALE	SHEET SIZE
NAME	SIGNATURE	1:200	A3
DATE		DRAWING NUMBER	
		10	

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**ACT**  
GovernmentEnvironment, Planning and  
Sustainable Development

Planning and Development Act 2007, s425

**Form 4 - LETTER OF AUTHORISATION**PRE APPLICATION MEETINGS      DEVELOPMENT APPLICATION  
APPLICATION FOR RECONSIDERATION**LEASE/SITE DETAILS (Please Print)**

If more than two leases/sites please attach the following details for each additional lease/site on a separate sheet

Block  Section  Suburb Unit No.  Street Address Block  Section  Suburb Unit No.  Street Address 

Describe location where no block and section details are available (e.g. for outdoor dining area location)

**LESSEE(S) DETAILS - If more than two lessees please provide details of each additional lessee. (Please Print)**1st Lessee Name  2<sup>nd</sup> Lessee Name **LESSEE AUTHORISATION**This appointment is made under the *Planning and Development Act 2007* and relates to: (please tick)

- Pre - application meeting       Development Application       Application for Reconsideration

I/we the lessee(s) authorise the person/company (to be known as *the Applicant*) detailed below:

- to obtain information in relation to this site through the pre-application process  
 to act on my/our behalf in relation to a development application for the abovementioned site/s  
 to act on my/our behalf in relation to an application for a reconsideration of a development application for the abovementioned site/s  
 to pay all application fees, bonds and securities, liaise with the Planning and Land Authority when required, alter, amend or provide further information as necessary and receive any communications relating to the DA or Application for Reconsideration.

**APPLICANT DETAILS (Please Print)**Applicant Name  Email address 

OR

Company Name  Email address 

Company Nominees – a Company can list up to three nominees. The first nominee must be authorised to sign on behalf of the Company

Nominee 1  Nominee 2  Nominee 3

**Application Number**  
177856

**Street(s) DECLARATION** if more than two lessees please provide details of each additional lessee on a separate sheet

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- I/we declare that I am/we are the lessee(s) of the land described above;
- I/we have been made aware of the declaration clauses in the DA or Application for Reconsideration form; and
- I/we declare that all the information given on this form is true and complete.

X 1 <sup>st</sup> Lessee's Signature		Date	X 18/06/2019
2 <sup>nd</sup> Lessee's Signature		Date	

**APPLICANT DECLARATION**

- I declare that I am the person authorised to sign/sign on behalf of the company described in this form
- I declare that all the information given on this form and its attachments are true and complete;

Applicant Name		Company Name	Turnkey Creations Pty Ltd
Signature		Date	12/06/19

**LAND CUSTODIAN AUTHORISATION**

- I/we declare that I am/we are the land custodian(s) of the public land or unleased land as described above;
- I/we authorise the applicant to obtain information in relation to this site through the pre-application process and make an application for development approval;

Delegate Name		Agency Name	
Signature		Date	
Delegate Name		Agency Name	
Signature		Date	

**THIS AUTHORISATION DOES NOT CONSTITUTE AN APPROVAL IN PRINCIPLE OR OTHERWISE BY THE LAND CUSTODIAN IN RELATION TO THE PROPOSED DEVELOPMENT.**

**Privacy Notice**  
The personal information on this form is provided to the Environment, Planning and Sustainable Development Directorate (EPD) to enable the processing of your application. The collection of personal information is authorised by the *Planning and Development Act 2007*. If all or some of the personal information is not collected, EPSDD cannot process your application. The *Planning and Development Act 2007* requires the details of applications, decisions and orders to be kept on a register and made available for public inspection. Information and documentation relevant to a development application may be made available via the Internet. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office, the Registrar General's Office, ACTEW Corporation, ActewAGL, Territory and Municipal Services Directorate and other Government agencies with a direct interest in the development assessment process. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. EPSDD's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by EPSDD, and how you may complain about an alleged breach of the Territory Privacy Principles. The EPSDD Information Privacy Policy can be found at [www.environment.act.gov.au](http://www.environment.act.gov.au)

<b>Contact Details:</b> Environment, Planning and Sustainable Development Directorate Customer Service Centres GPO Box 158, Canberra City 2601 16 Challis Street Dickson ACT 2602	Business Hours: 8.30am to 4.30pm weekdays (excluding Public Holidays) Phone: (02) 6207 1923 Email: <a href="mailto:epdcustomerservices@act.gov.au">epdcustomerservices@act.gov.au</a> Website: <a href="http://www.planning.act.gov.au">www.planning.act.gov.au</a>
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## STATEMENT OF CONDITIONAL ACCEPTANCE

**Application No:** 177856    **Suburb:** Isabella Plains    **Block/Section** 3 / 822

**Applcn Type:** Secondary residence/New construction Inclusions : Shed/workshop,  
Water Tank

### Attached Plans

%ACCESSPLAN-201935777-01.pdf  
 %FLOORASSESS-201935777-FLOOR PLAN-01.pdf  
 %LEASE-201935777-01.pdf  
 %TITLE-201935777-01.pdf  
 ACCESSPLAN-201935777-02.pdf  
 APP-201935777-01.pdf  
 AREA-201935777-01.pdf  
 AUTHORISATION-201935777-01.pdf  
 CROSSECT-201935777-01.pdf  
 DEMO-201935777-01.pdf  
 ELEV-201935777-01.pdf  
 FLOORREG-201935777-01.pdf  
 FLOORREG-201935777-02.pdf  
 SCRITERIA-201935777-01.pdf  
 SEDIMENT-201935777-01.pdf  
 SITE-201935777-01.pdf  
 SURVEYCERT-201935777-01.pdf  
 WATERURBANDESIGN-201935777-01.pdf

### Conditions of Acceptance

Icon Water assets shall be protected for the duration of the construction works from short term load shedding from construction machinery or vibration and groundwater ingress or infiltration. Any damage to Icon assets resulting from the construction works shall be repaired by Icon Water at the contractors expense. Access to Icon's assets including sewer structures, manholes, hydrants and valves is to be maintained for the duration of the construction works.

Secondary Residence under the Single Dwelling Housing Development Code. This submission complies for a single block only. If multiple blocks are created, separate ties to sewer and water are required for each block. This may require changes to the network, Separate access to Icon's networks will be required through each block containing an Icon asset



❖ Please Note:

Separate applications are required for ActewAGL electricity and gas networks.

- ❖ Any failure to accurately show existing or proposed structures may result in damage and costs for which the property owner will be liable. Damage to network assets must be reported to Icon Water.

Utility conditions may also apply to minor structures and landscaping works that may not have been depicted in this document. Consultation with Icon Water is advised if such structures and landscaping are planned.

Icon Water recommends setbacks provided for equipment access to water or sewerage network assets are kept free of obstruction by the property owner.

Construction of works without the approval of Icon Water may result in connection to Icon Water's water and sewerage networks being denied and /or action being taken to require the property owner to remove non-compliant services (e.g. sanitary drains) or structures.

**WARNING**

**Failure to comply with these conditions is likely to result in interference with an Icon Water sewer or water asset. Part 5 of the Utilities (Technical Regulation) Act 2014 applies, which indicates a person who interferes with a utility asset may be subject to prosecution. The current maximum penalty is 200 penalty units, imprisonment for two years, or both. In addition the land-holder can be ordered at their expense to stop the interference, which may involve removal of the building work or that part of the building work that is causing, or is likely to cause interference.**

**Comments:**

**Signed**

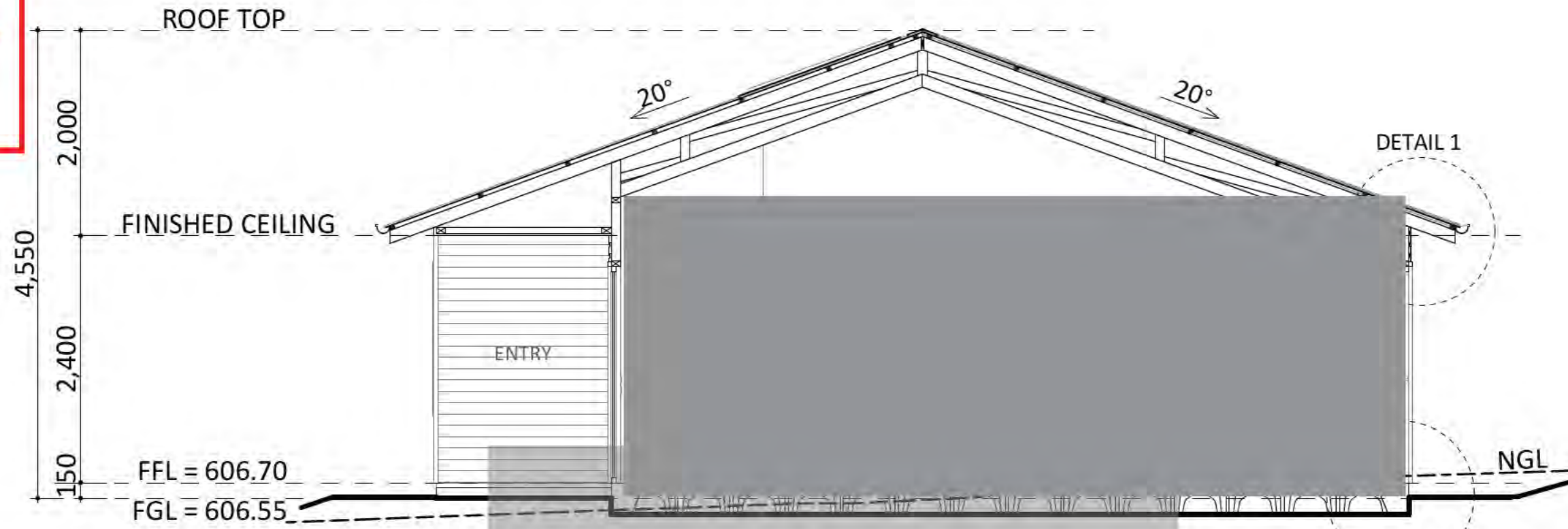
Peter Clarke

**Date**

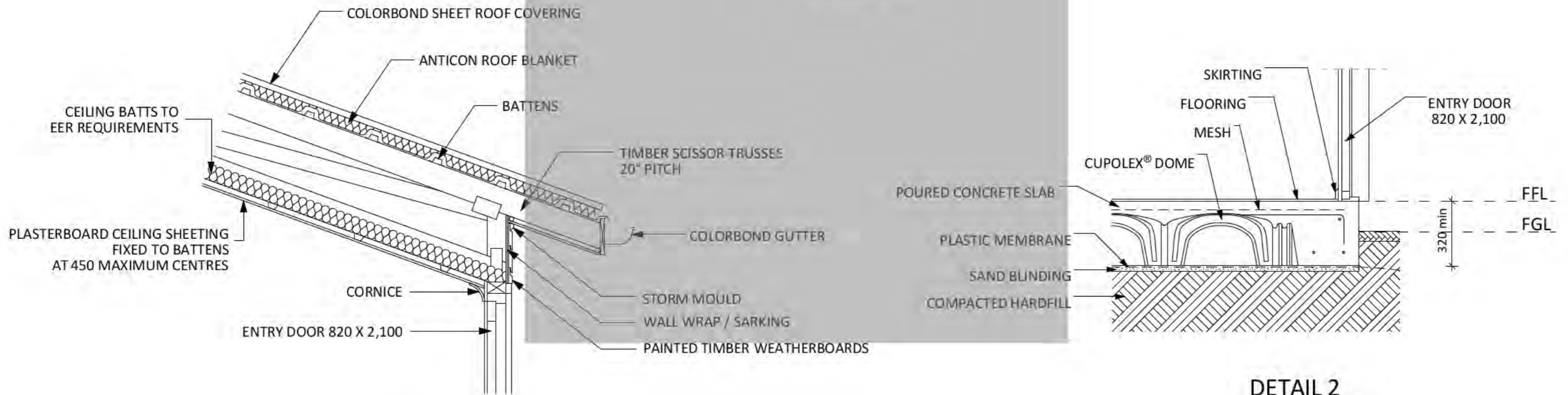
16 Jul 2019

*For further information please phone Icon Water 6248 3111.*

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**Sheet**  
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**VERTICAL SECTION S1-S1**  
SCALE 1:50



**DETAIL 1**  
SCALE 1:20

**DETAIL 2**  
SCALE 1:20

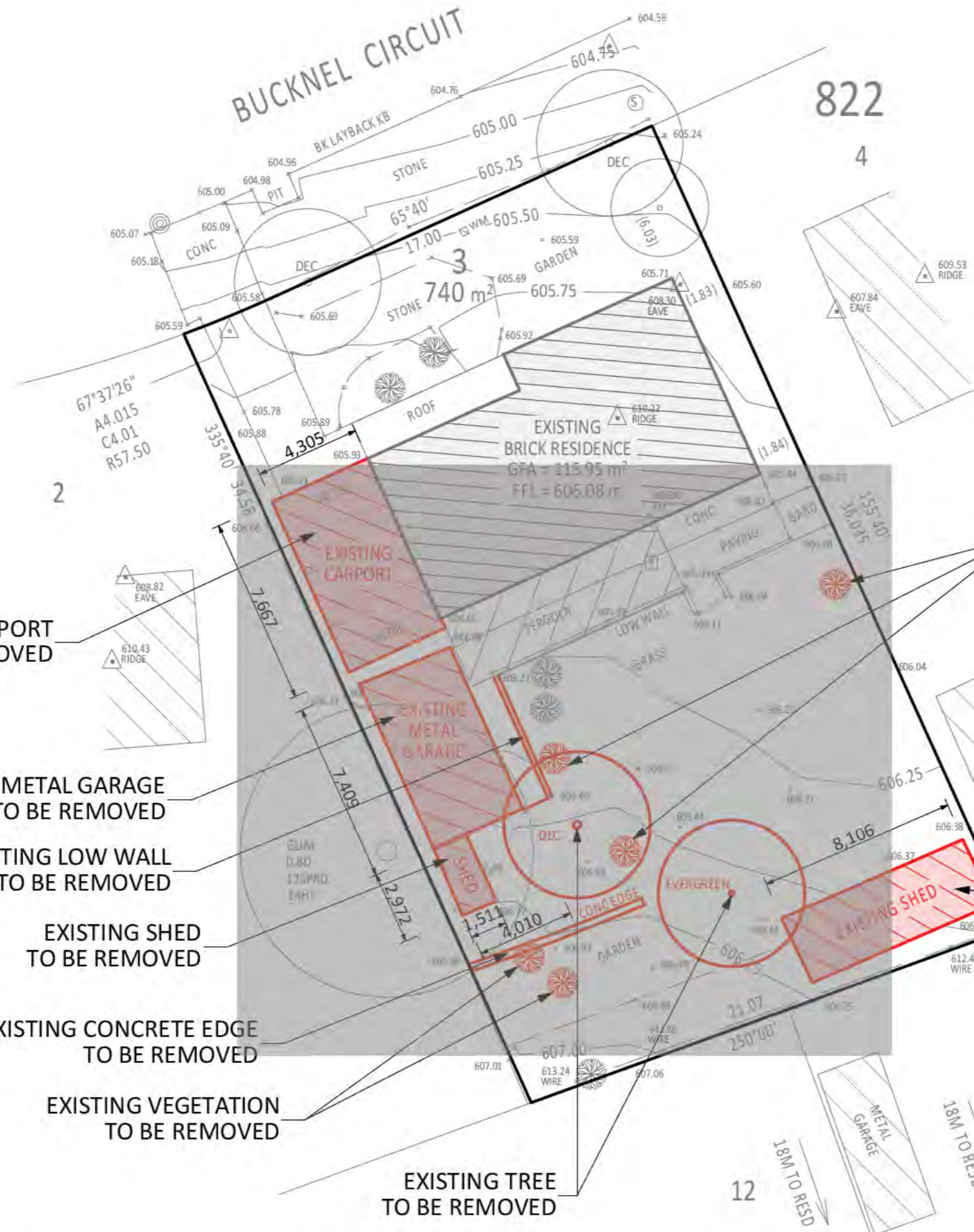
**CANBERRA GRANNY FLAT BUILDERS**  
canberragrannyflatbuilders.com.au

**PROJECT DETAILS**  
Customer Name: Thomas and Yidi Magi  
Project Address: 12 Bucknel Circuit,  
Isabella Plains ACT 2905  
Block No 3  
Section No 822

**AREAS:**  
Proposed Secondary Residence GFA 89.89 m<sup>2</sup>  
Proposed Garage and Workshop GFA 41.36 m<sup>2</sup>  
Total Roof Area 156.85 m<sup>2</sup>  
Entry Deck Area 3.06 m<sup>2</sup>

REV	DATE	DRAWING NAME
5	23/06/2019	VERTICAL SECTION S1-S1
CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

DRAWING SCALE	SHEET SIZE	DRAWING NUMBER
1:50, 1:20	A3	6



**LEGEND**

SYMBOL	DESCRIPTION
WM	WATER METER
S	SEWER MANHOLE

**DISCLAIMERS:**  
Tree canopies are shown as a circular representation only and may not reflect irregular canopies.

The symbols used in this plan and associated digital data do not necessarily reflect the size and orientation of the object they represent.

Boundary information is for the purpose of this plan. Further survey and marking of boundaries may be required.

Services shown hereon have been determined from visual evidence only. Prior to any demolition, excavation or construction on the site the relevant authority should be contacted to establish detailed location and depth.

Easement information has been derived from the Deposited Plan and ACTMAP1. It is recommended that a title search be carried out to investigate whether any Easements have been created by instrument and added to the title.

**PROJECT DETAILS**

Customer Name: Thomas and Yidi Magi  
Project Address: 12 Bucknel Circuit,  
Isabella Plains ACT 2905  
Block No 3  
Section No 822

**AREAS:**

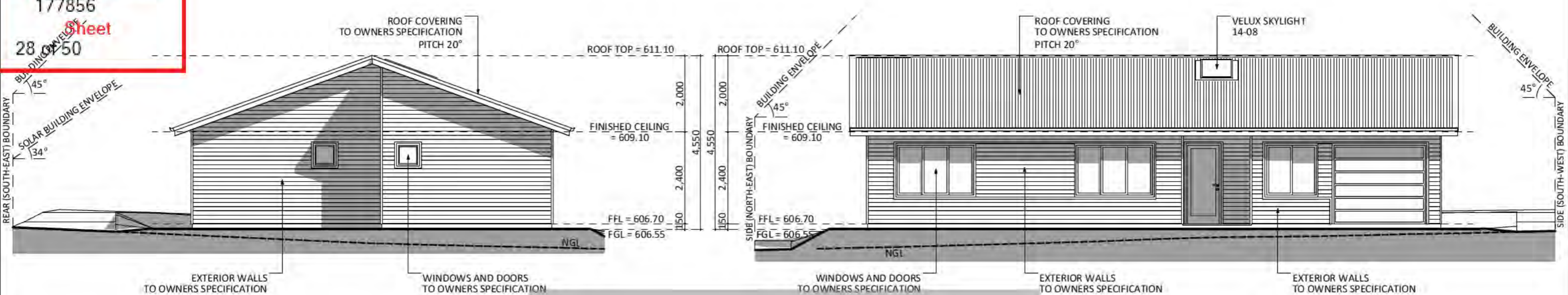
Proposed Secondary Residence GFA	89.89 m <sup>2</sup>
Proposed Garage and Workshop GFA	41.36 m <sup>2</sup>
Total Roof Area	156.85 m <sup>2</sup>
Entry Deck Area	3.06 m <sup>2</sup>

REV	DATE	DRAWING NAME
5	23/06/2019	DEMOLITION PLAN
CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

DRAWING SCALE	SHEET SIZE	DRAWING NUMBER
1:200	A3	2

**CANBERRA GRANNY FLAT BUILDERS**  
canberragrannyflatbuilders.com.au

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177856  
Sheet  
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NORTH-EAST ELEVATION

NORTH-WEST ELEVATION



SOUTH-EAST ELEVATION

SOUTH-WEST ELEVATION

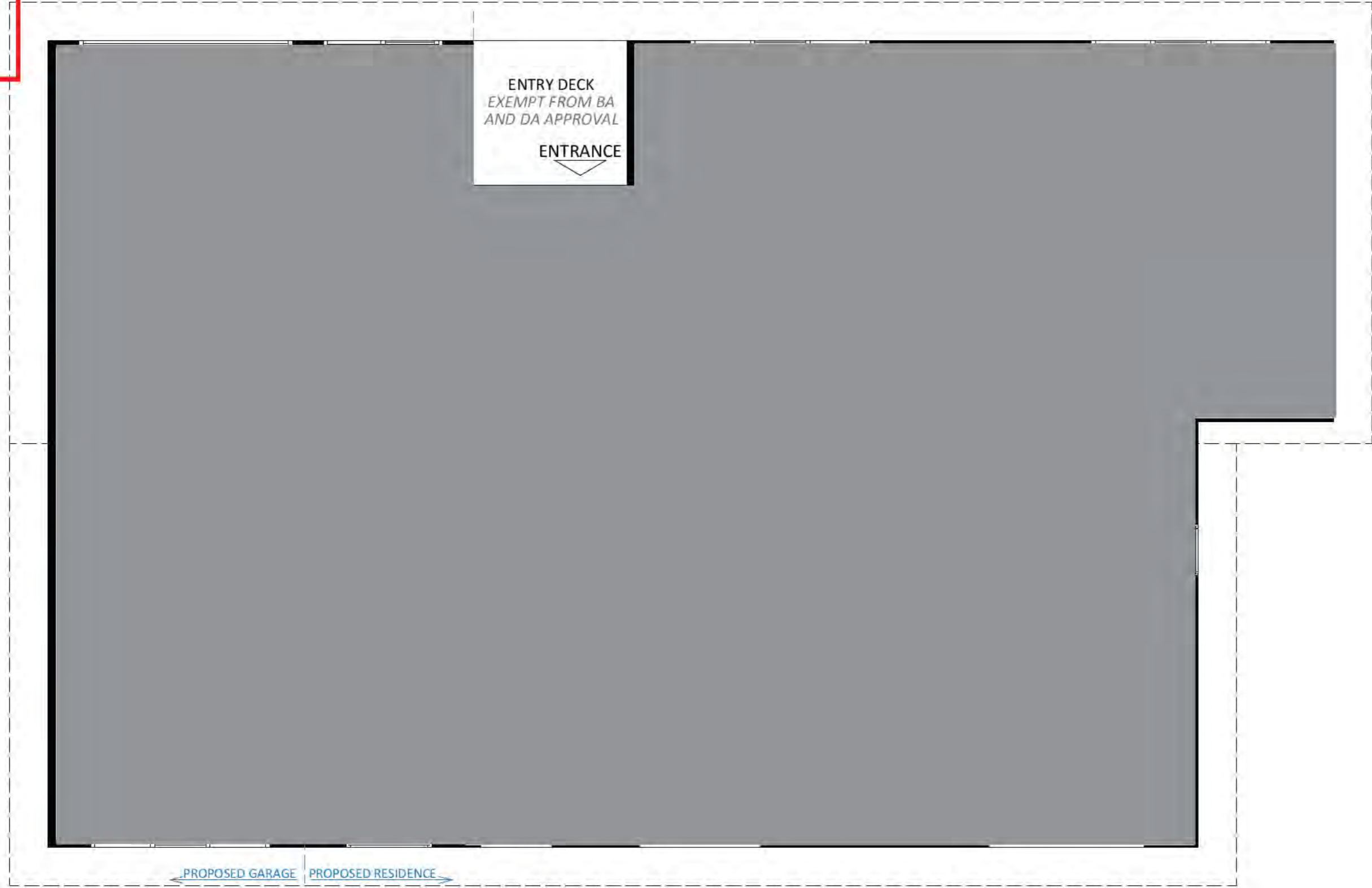
**CANBERRA GRANNY FLAT BUILDERS**  
canberragrannyflatbuilders.com.au

PROJECT DETAILS  
Customer Name: Thomas and Yidi Magi  
Project Address: 12 Bucknel Circuit,  
Isabella Plains ACT 2905  
Block No 3  
Section No 822

AREAS:  
Proposed Secondary Residence GFA 89.89 m<sup>2</sup>  
Proposed Garage and Workshop GFA 41.36 m<sup>2</sup>  
Total Roof Area 156.85 m<sup>2</sup>  
Entry Deck Area 3.06 m<sup>2</sup>

REV	DATE	DRAWING NAME
5	23/06/2019	ELEVATIONS
CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

DRAWING SCALE	SHEET SIZE	DRAWING NUMBER
1:100	A3	5



▽ SOUTH-WEST ELEVATION

△ SOUTH-EAST ELEVATION

**CANBERRA GRANNY FLAT BUILDERS**  
canberragrannyflatbuilders.com.au

**PROJECT DETAILS**  
Customer Name: Thomas and Yidi Magi  
Project Address: 12 Bucknel Circuit,  
Isabella Plains ACT 2905  
Block No 3  
Section No 822

**AREAS:**

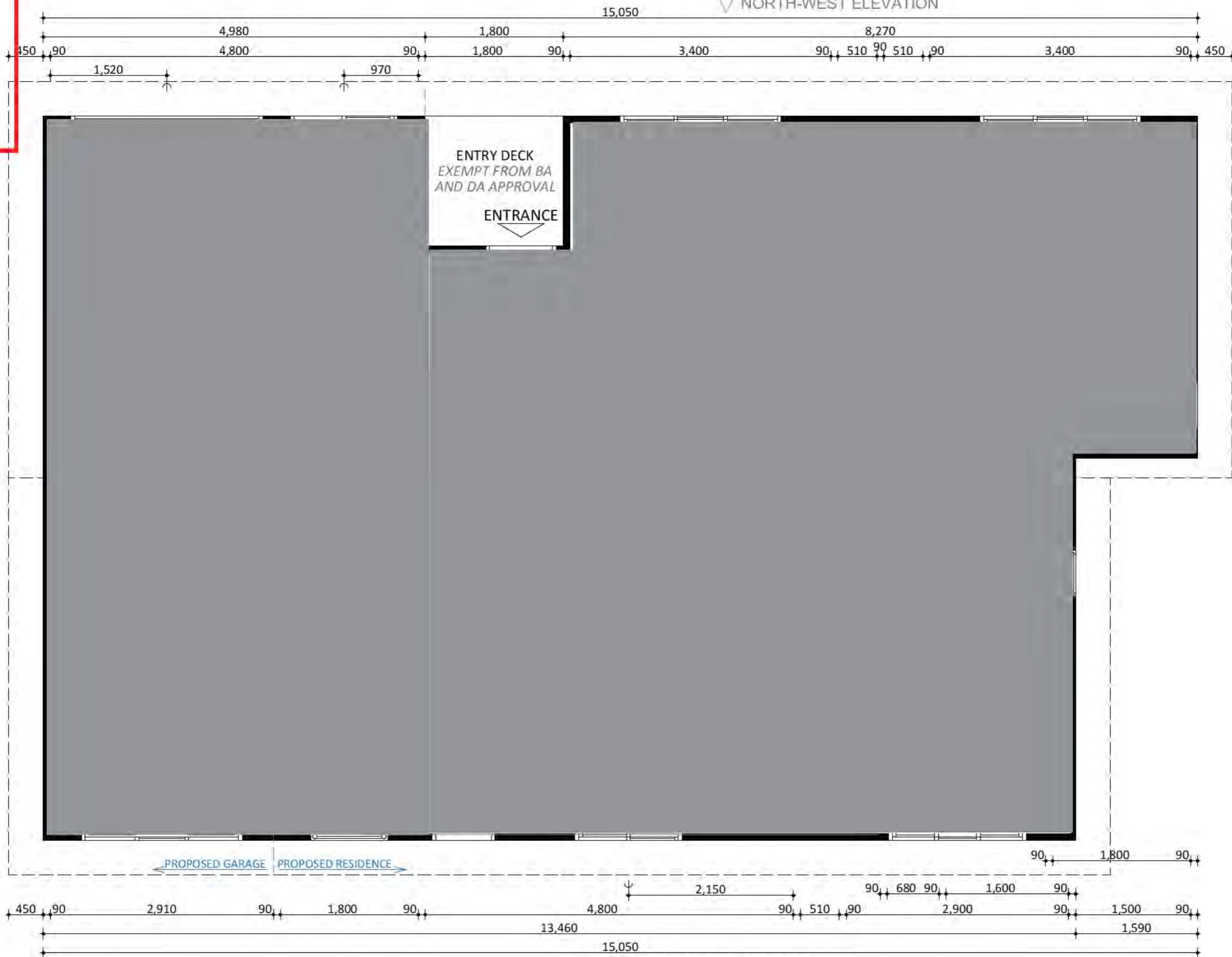
Proposed Secondary Residence GFA	89.89 m <sup>2</sup>
Proposed Garage and Workshop GFA	41.36 m <sup>2</sup>
Total Roof Area	156.85 m <sup>2</sup>
Entry Deck Area	3.06 m <sup>2</sup>

REV	DATE
5	23/06/2019

CUSTOMER APPROVAL

NAME	SIGNATURE	DATE

DRAWING NAME		
<b>PUBLIC REGISTER</b>		
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER
<b>1:50</b>	<b>A3</b>	<b>11</b>



SOUTH-WEST ELEVATION

SOUTH-EAST ELEVATION

**CANBERRA GRANNY FLAT BUILDERS**  
canberragrannyflatbuilders.com.au

**PROJECT DETAILS**  
Customer Name: Thomas and Yidi Magi  
Project Address: 12 Bucknel Circuit,  
Isabella Plains ACT 2905  
Block No 3  
Section No 822

**AREAS:**

Proposed Secondary Residence GFA	89.89 m <sup>2</sup>
Proposed Garage and Workshop GFA	41.36 m <sup>2</sup>
Total Roof Area	156.85 m <sup>2</sup>
Entry Deck Area	3.06 m <sup>2</sup>

REV	DATE
6	30/06/2019

CUSTOMER APPROVAL

NAME	SIGNATURE	DATE

DRAWING NAME <b>PUBLIC REGISTER</b>		
DRAWING SCALE <b>1:50</b>	SHEET SIZE <b>A3</b>	DRAWING NUMBER <b>11</b>

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# CANBERRA GRANNY FLAT BUILDERS

## *Statement against the Rules and Criteria*

Block	3
Section	822
Suburb	Isabella Plains
Address	12 Bucknel Circuit
Zone	RZ1: Suburban
Block size	740m <sup>2</sup>
Assessment track	Merit
Lease Variation	No

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SARC | Residential Zones Development Code

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R= Meet Rules

C=Comply with Criteria

N/A=Not Applicable

Element 1: Single dwelling housing development

Rules	Criteria	Comments
1.1 Single dwelling housing development code		
R1 <i>Single dwelling housing complies with the Single Dwelling Housing Development Code.</i>	This is a mandatory requirement. There is no applicable criterion.	R

Element 4: Secondary residences

Rules	Criteria	Comments
4.1 Design and siting		
R6 <i>A secondary residence is developed only in association with single dwelling housing.</i>	This is a mandatory requirement, there is no applicable criterion.	R
R7 The maximum <i>dwelling size*</i> of a secondary residence is 90m <sup>2</sup> .  <i>*For the purpose of this rule, dwelling size is the floor area measured to the outside face of external walls (including internal walls between the living areas and garage) but excludes the garage.</i>	This is a mandatory requirement, there is no applicable criterion.	R The dwelling size of a secondary residence is 89.89m <sup>2</sup> .
R8 The minimum <i>gross floor area</i> of a secondary residence is 40m <sup>2</sup> .	C8 <i>A secondary residence is of a size sufficient to meet the needs of a typical resident. Residents of the secondary residence sharing facilities such as storage or a laundry with the residents of the primary residence may be considered when determining compliance with this criterion.</i>	R The dwelling size of a secondary residence is 89.89m <sup>2</sup> .
R9 The minimum block size for <i>secondary residence</i> is 500m <sup>2</sup> .	This is a mandatory requirement, there is no applicable criterion.	R The block size is 740m <sup>2</sup> , which is more than 500m <sup>2</sup> .
R10 The <i>plot ratio</i> for all buildings on a block with a <i>secondary residence</i> does not exceed the maximum <i>plot ratio</i> for <i>single dwelling housing</i> on the <i>block</i> , as prescribed in Element 1 of the Single Dwelling Housing Development Code.	This is a mandatory requirement, there is no applicable criterion.	R The plot ratio is 33.4 %. See Area Plan

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<p>Blocks containing a secondary residence:</p> <p>a) Secondary residences comply with Element 1 and Element 6 of the Single Dwelling Housing Development Code</p> <p>b) The main residence continues to comply with the provisions of the Single Dwelling Housing Development Code.</p>	<p>This is a mandatory requirement, there is no applicable criterion.</p>	<p>R</p>
<p>R11A</p> <p>The total <i>private open space</i> on the <i>block</i> complies with the <i>private open space</i> for <i>single dwelling housing</i> as prescribed in Element 5 of the Single Dwelling Housing Development Code.</p>	<p>This is a mandatory requirement, there is no applicable criterion.</p>	<p>R</p> <p>See Area Plan.</p>
<p>R12</p> <p>No <i>block</i> contains more than one <i>secondary residence</i>.</p>	<p>This is a mandatory requirement, there is no applicable criterion.</p>	<p>R</p> <p>Only one secondary residence on the block.</p>
<p>R13</p> <p>A <i>secondary residence</i> complies with <i>Australian Standard AS 4299 Adaptable housing (Class C)</i>.</p>	<p>C13</p> <p>Secondary residence is easily adaptable to suit the needs of people with disabilities.</p>	<p>R</p> <p>See Adaptable Floor Plan.</p>
<p>There is no applicable rule.</p>	<p>C14</p> <p>The development is consistent with the <i>desired character</i>.</p>	<p>C</p>
<p>R15</p> <p>The minimum separation between an <i>unscreened element</i> and an <i>external wall</i> on the same <i>block</i> is 3m.</p>	<p>C15</p> <p>The outlook from an <i>unscreened element</i> is not unreasonably impeded by <i>external walls</i>.</p>	<p>R</p> <p>See Site Plan</p>
<p>R16</p> <p>The separation between <i>external walls</i> at the <i>lower floor level</i> on the same <i>block</i> is not less than 1m.</p>	<p>C16</p> <p>The separation between blank walls on the same or adjoining blocks at ground level achieves reasonable access for maintenance.</p>	<p>R</p> <p>See Site Plan</p>
<p><b>4.2 Subdivision</b></p>		
<p>R17</p> <p><i>Subdivision</i> to provide separate title to a <i>secondary residence</i>, including <i>subdivision</i> under the <i>Unit Titles Act 2001</i>, is not permitted.</p>	<p>This is a mandatory requirement, there is no applicable criterion.</p>	<p>R</p>
<p><b>4.3 Parking</b></p>		
<p>R18</p> <p>At least one parking space is provided in addition to that required for the primary residence.</p>	<p>C18</p> <p>Car parking on the block is adequate for current and future residents and visitors.</p>	<p>R</p>

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<p>The parking space associated with the secondary residence is not located in the front zone.</p>	<p>C19 Car parking and related access on the block achieve all of the following:</p> <ul style="list-style-type: none"> <li>a) Reasonable amenity of neighbouring residential blocks</li> <li>b) Consistency with the value of the streetscape</li> <li>c) Public safety especially in relation to pedestrians and cyclists</li> <li>d) Reasonable surveillance of parking spaces</li> </ul>	<p>R See Parking and Access Plan</p>
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**Element 14: Environment**

Rules	Criteria	Comments
14.1 Water sensitive urban design		
14.2 Heritage		
14.3 Tree protection		
14.4 Bushfire		
14.5 Erosion and sediment control		
<p>R64 For sites less than 3,000m<sup>2</sup>, the development complies with the Environment Protection Authority, <i>Environment Protection Guidelines for Construction and Land Development in the ACT</i>.</p> <p><b>Notes:</b></p> <ol style="list-style-type: none"> <li>If no evidence of compliance with the above guideline is provided, the application may be referred to the relevant agency in accordance with the requirements of the <i>Planning and Development Act 2007</i>.</li> <li>see part D for sites over 3000m<sup>2</sup>.</li> </ol>	<p>This is a mandatory requirement. There is no applicable criterion.</p>	<p>R See Erosion and Sediment Control Plan</p>
14.6 Contamination		

SARCI Single Dwelling Housing Development Code

Meet Rules C=Comply with Criteria N/A=Not Applicable

Element 1: Building and site controls

Rules	Criteria	Comments
<b>1.1 Plot ratio – single dwelling blocks</b>		
<p>R1</p> <p>This rule applies to <i>single dwelling blocks</i>.</p> <p><i>Plot ratio</i> is:</p> <p>a) for <i>large blocks</i>, other than those referred to in item b) – not more than 50%</p> <p>b) for <i>blocks</i> created by subdivision of <i>dual occupancy housing</i>, the greater of –</p> <p>i) the <i>plot ratio</i> of the approved development at the time of creation of the new block, or</p> <p>ii) the maximum <i>plot ratio</i> calculated for the original block (ie. before subdivision) under:</p> <p>A) for RZ1- R6 of the Multi Unit Housing Development Code</p> <p>B) for RZ2- R7 of the Multi Unit Housing Development Code</p> <p>c) in all other cases – not applicable.</p> <p>For the purpose of calculating <i>plot ratio</i> for this rule, the <i>gross floor area</i> includes 18m<sup>2</sup> for each roofed car space provided to meet Territory requirements for resident car parking, but does not include <i>basement</i> car parking.</p>	<p>This is a mandatory requirement.</p> <p>There is no applicable criterion.</p>	<p>R</p> <p>The plot ratio is 33.4%.</p> <p>Please see Area Plan.</p>
<b>1.2 Number of storeys</b>		
<p>R2</p> <p>The number of <i>storeys</i> does not exceed:</p> <p>a) in RZ1, RZ2 and RZ3 – 2</p> <p>b) in RZ4 – 3.</p> <p>Rooftop plant that is set back and screened from the street is not included in the maximum number of storeys.</p>	<p>This is a mandatory requirement.</p> <p>There is no applicable criterion.</p>	<p>R</p> <p>The number of storeys is one.</p>
<b>1.3 Attics and basement car parking – single dwelling blocks - RZ1</b>		
<p>R3</p> <p>In RZ1, on <i>single dwelling blocks</i>, <i>attics</i> are not permitted where they are located directly above any 2 storey element of a <i>single dwelling house</i>.</p>	<p>This is a mandatory requirement.</p> <p>There is no applicable criterion.</p>	<p>R</p> <p>No attics</p>

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<p>R4 In RZ1, on single dwelling blocks, basement car parking is not permitted where located directly below any 2 storey element of a single dwelling house.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>	<p>R No basement car parking.</p>
<p><b>1.4 Height of buildings</b></p>		
<p>R5 Maximum height of building is: a) in RZ1, RZ2 and RZ3 – 8.5m b) in RZ4 – 12m. <b>Note:</b> For the purposes of this rule all height measurements are taken from datum ground level.</p>	<p>C5 Buildings are consistent with the <i>desired character</i>.</p>	<p>R The height of building doesn't exceed 8.5m. See Elevations.</p>
<p><b>1.5 Building envelope - all large blocks; mid sized blocks approved on or after 5 July 2013</b></p>		
<p>R6 This rule applies to: a) large blocks b) mid sized blocks approved under an estate development plan on or after 5 July 2013 but does not apply to that part of a building that is required to be built to a boundary of the block by a precinct code. Buildings are sited wholly within the building envelope formed by planes projected over the subject block at 45° to the horizontal from a height of 3.5m above each side and rear boundary, except as required by the next rule. An example of a typical building envelope is shown at Figure 1. <b>Note:</b> For the purposes of this rule all height measurements are taken from datum ground level.</p>	<p>C6 Buildings achieve all of the following: a) consistency with the <i>desired character</i> b) reasonable levels of privacy for dwellings on adjoining residential blocks and their associated private open space.</p>	<p>R The building is sited wholly within the building envelope. See Elevations.</p>
<p><b>1.6 Solar building envelope - all large blocks approved before 5 July 2013</b></p>		

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<p>R7 This rule applies to <i>large blocks</i> approved before 5 July 2013 but does not apply to that part of a building that is required to be built to a boundary of the block by a precinct code.</p> <p><i>Buildings</i> are sited wholly within the solar building envelope formed by planes projected over the subject <i>block</i> at X° to the horizontal from the height of the 'solar fence' on any <i>northern boundary</i> of an adjoining <i>residential block</i>.</p> <p>X° is the apparent sun angle at noon on the winter solstice.</p> <p>Values for X are given in Table 1. The height of the 'solar fence' is:</p> <ul style="list-style-type: none"> <li>e) in the <i>primary building zone</i> – 2.4m</li> <li>f) all other parts of the boundary – 1.8m</li> </ul> <p>This rule does not apply to those parts of a boundary where the adjacent part of the adjoining <i>residential block</i> comprises only an access driveway (i.e. a "battleaxe handle").</p> <p>The previous rule applies to this part of the boundary.</p> <p>An example of a typical building envelope is shown at Figure 1.</p> <p><b>Note:</b> For the purposes of this rule all height measurements are taken from datum ground level.</p>	<p>C7 <i>Buildings</i> achieve all of the following:</p> <ul style="list-style-type: none"> <li>c) consistency with the <i>desired character</i></li> <li>d) reasonable solar access to <i>dwelling</i>s on adjoining <i>residential blocks</i> and their associated <i>private open space</i></li> <li>e) do not shadow the windows of <i>habitable rooms</i> (other than bedrooms) of any approved and constructed <i>dwelling</i> on an adjoining <i>residential block</i> at noon on the winter solstice</li> <li>f) do not overshadow the <i>principal private open space</i> of any approved and constructed <i>dwelling</i> on an adjoining <i>residential block</i> to a greater extent than a 2.4m fence on the boundary at noon on the winter solstice.</li> </ul>	<p>R</p> <p>The building is sited wholly within the solar building envelope.</p> <p>See Elevations</p>
<p>1.6A Solar building envelope - all blocks approved on or after 5 July 2013</p>		
<p>1.7 Building envelope – mid sized blocks approved before 5 July 2013</p>		
<p>1.8 Bushfire</p>		
<p>N/A The block is not identified in a precinct code or current and approved <i>lease and development conditions</i> as being within a bushfire prone area.</p>		
<p>1.9 Front boundary setbacks – all blocks</p>		
<p>R11 Front boundary setbacks comply with the following:</p> <ul style="list-style-type: none"> <li>a) <i>large blocks</i> - tables 2A, 2B or 2C, as applicable</li> <li>a) <i>mid-sized blocks</i> - tables 3A, 3B or 3C, as applicable</li> <li>b) <i>compact blocks</i> - tables 3A, 3B or 4, as applicable.</li> </ul> <p>The minimum boundary setbacks for corner <i>blocks</i> apply only to one street frontage nominated by the applicant or nominated in a</p>	<p>C11 Front boundary setbacks achieve all of the following:</p> <ul style="list-style-type: none"> <li>a) consistency with the <i>desired character</i></li> <li>b) the efficient use of the site</li> <li>a) reasonable amenity for residents</li> <li>b) pedestrian scale at street level</li> <li>c) space for street trees to grow to maturity.</li> </ul>	<p>R</p> <p>See site plan</p>

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precinct code as a *secondary street frontage*.  
Nomination by a precinct code takes precedence.  
Chamfers may be included in the *secondary street frontage*, but only if the length of the chamfer is less than the length of the front boundary.

**Note:** Chamfers are ordinarily found at the corner of a *block* at the junction of streets.

**1.10 Side and rear setbacks – all blocks**

R12

This rule applies to one of the following:

- a) *single dwelling blocks* that are not part of an *integrated housing development parcel*
- b) *single dwelling blocks* in an *integrated housing development parcel* that adjoin *residential blocks* that are not part of that parcel.

Side and rear setbacks for:

- a) *large blocks* - comply with table 5
- b) *mid-sized blocks* - comply with tables 6A or 6B, as applicable
- c) *mid-sized blocks* nominated for alternative side boundary setbacks in a precinct code - comply with table 6C
- d) *compact blocks* - comply with table 7.

In relation to the tables referred to in this rule, side boundary 1 and side boundary 2 are nominated by the applicant unless otherwise specified in this code or in a precinct code

C12

Buildings and other structures are sited to achieve all of the following:

- a) consistency with the *desired character*
- b) reasonable separation between adjoining developments
- c) reasonable privacy for *dwellings* on adjoining *residential blocks*
- d) reasonable privacy for *principal private open space* on adjoining *residential blocks*
- e) reasonable solar access to *dwellings* on adjoining *residential blocks* and their associated *principal private open space*.

R

See Site Plan

**1.11 Setbacks less than 900mm**

**1.12 Garages and carports on or near side and rear boundaries – large blocks**

R14

This rule applies to *large blocks*.

*Garages* and *carports* within 900mm of a side or rear boundary comply with the following:

The maximum length of all walls facing the boundary is 8m.

C14

*Garages* and *carports* are sited to achieve all of the following:

- a) consistency with the *desired character*
- b) reasonable privacy for *dwellings* on adjoining *residential blocks*
- c) reasonable privacy for *principal private open space* on adjoining *residential blocks*.

R

**1.13 Walls on or near side and rear boundaries – mid sized blocks**

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1.14 Allowable encroachments – setbacks		
R16 Encroachments into the minimum side and/or rear boundary setback are permitted for any of the following building elements:	C16 Buildings and other structures achieve all of the following:  a) consistency with the <i>desired character</i>  b) reasonable levels of privacy on adjoining <i>residential blocks</i> for <i>dwellings</i> and their associated <i>private open space</i>  c) reasonable solar access to <i>dwellings</i> on adjoining <i>residential blocks</i> and their associated <i>private open space</i> .	R
a) an eave or roof overhang with a horizontal width of not more than 600mm		
b) fascias, gutters, downpipes, rainwater tanks, chimneys, flues, domestic fuel tanks, cooling or heating appliances, light fittings, electricity and gas meters, aerials, antennae, unroofed pergolas, sun blinds		
c) unroofed terraces, landings, steps or ramps, none of which are more than 1m above finished ground level.		
1.15 Allowable encroachments – building envelopes		
1.16 Surveillance blocks		
1.17 Cut and fill		
R20 The maximum cut or fill within 1.5m of side and rear boundaries is 1.5m	C20 Cut and fill is limited so that all of the following are achieved:  a) stability of the block and adjoining blocks  b) reasonable access to sunlight on the block  c) compatibility with the <i>streetscape</i> .	R  See Erosion and Sediment Control Plan
1.18 Blocks between 500m <sup>2</sup> and 550m <sup>2</sup>		

Element 2: Lease and development conditions

Rules	Criteria	Comments
2.1 Approved lease and development conditions		
N/A There is no approved lease and development conditions affect the block.		

Element 3: Building design

Rules	Criteria	Comments
3.1 Materials and finishes		

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<p>R23 Structures, plant and equipment situated on the roof are not visible from the street frontage or other unleased territory land unless exempt under <i>Planning and Development Act 2007</i>.</p>	<p>C23 Structures and plant and equipment situated on the roof that are not exempt under <i>Planning and Development Act 2007</i> achieve all of the following:   <b>a)</b> do not diminish the value of the <i>streetscape</i>   <b>b)</b> do not diminish residential amenity of neighbouring <i>blocks</i>.</p>	<p>R</p>
<p>3.2 Fencing – large blocks and mid sized blocks</p>		
<p>3.3 Courtyard walls – large blocks</p>		
<p>3.4 Courtyard walls – mid sized blocks</p>		
<p>3.5 Front fences and courtyard walls – compact blocks</p>		

Element 4: Parking and site access

Rules	Criteria	Comments
<p>4.1 Pedestrian access</p>		
<p>4.2 Vehicle access</p>		
<p>R30 Driveway verge crossings comply with all of the following:   <b>a)</b> 1.2m horizontally clear of stormwater sumps and other services   <b>b)</b> 1.5m horizontally clear of transformers, bus stops, public light poles   <b>c)</b> 6m horizontally clear of the tangent point of the radius of the curve on a corner <i>block</i> (excluding locations with roundabouts and signalised intersections, which require separate formal approval and support from Asset Acceptance)   <b>d)</b> uphill grade of less than 17% as measured from the kerb; downhill grade of less than 12% as measured from the kerb   <b>e)</b> at a right angle to the kerb line with a maximum 10% deviation   <b>f)</b> for <i>large blocks and mid sized blocks</i>, a maximum of 5.5 m wide, and a minimum of 5m wide at the kerb, a minimum 3m wide at the front boundary, and a maximum width no greater than the width at the kerb   <b>g)</b> for <i>compact blocks</i>, 3m wide at the front</p>	<p>C30 Driveway verge crossings are endorsed by Department of Territory and Municipal Services.</p>	<p>R</p>

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<p>street boundary</p> <p>h) outside of the drip line of mature trees</p> <p>i) minimum of 3m clear of small and new street trees</p> <p>j) compliant with Australian Standard AS2890.1- <i>Parking facilities</i> as amended from time to time, having particular regard for sightlines and cross fall of the site</p> <p>k) where there is a public footpath across the driveway verge crossing, the footpath is continuous (i.e. the footpath is to have precedence).</p> <p>l) If the existing footpath is replaced, it is constructed at the same level in the same material and colour as the original.</p>		
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**4.3 Parking**

<p>R31</p> <p>The minimum number of car parking spaces provided on the <i>block</i> complies with the following:</p> <p>a) for a <i>single dwelling house on compact blocks</i> containing not more than 1 bedroom – 1</p> <p>b) in all other cases - 2.</p>	<p>C31</p> <p>Car parking provided on the <i>block</i> is adequate for residents and visitors.</p>	<p>R</p>
<p>R32</p> <p>Dimensions of car parking spaces are not less than the following:</p> <p>i) single roofed space - 6m x 3m</p> <p>ii) double roofed space - 6m x 5.5m</p> <p>iii) single unroofed space - 5.5m x 3m</p> <p>iv) multiple unroofed spaces side by side - 5.5m x 2.6m</p> <p>v) parallel parking spaces - 6.7m x 2.3m</p> <p>vi) 2.1m minimum clearance to any overhead structure.</p> <p>For this rule dimensions for roofed spaces are internal dimensions.</p>	<p>C32</p> <p>Car parking spaces are sized to allow for all of the following:</p> <p>a) convenient access to the vehicle by the driver and passengers</p> <p>b) reasonable side and overhead clearance to vehicles</p> <p>c) reasonable access by vehicles (ie minimal turning movements).</p>	<p>R</p>
<p>R33</p> <p>Car parking spaces on the <i>block</i> comply with all of the following:</p> <p>a) are not located in the <i>front zone</i>, exception:</p> <p>i) <i>compact blocks</i></p> <p>ii) any part of a driveway in tandem with another car parking space that is located behind the <i>front building line</i>.</p>	<p>C33</p> <p>Car parking and related access on <i>block</i> achieve all of the following:</p> <p>a) reasonable amenity of neighbouring <i>residential blocks</i></p> <p>b) consistency with the value of the <i>streetscape</i></p> <p>c) public safety especially</p>	<p>R</p>

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<p>b) do not encroach any property boundaries c) at least one car parking space is roofed and is behind the <i>front zone</i> d) comply with sightlines for off-street car-parking facilities and other relevant requirements in Australian Standard AS2890.1- <i>Parking facilities</i>.</p>	<p>in relation to pedestrians and cyclists d) reasonable surveillance of parking spaces.</p>	
<p>R34 In RZ1 and RZ2, on <i>single dwelling blocks</i> ramps accessing <i>basement</i> car parking are behind the building line, where the <i>block</i> is less than 30 m wide as measured at the street frontage. Ramps comply with the relevant requirements in Australian Standard AS2890.1- <i>Parking facilities</i>.</p>	<p>C34 Ramps to <i>basement</i> car parking maintain the value of the <i>streetscape</i> and allow safe and efficient vehicle and pedestrian movement.</p>	<p>N/A</p>
<p>R35 Car parking is not permitted on verges.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>	<p>R</p>
<p>R36 This rule applies to street frontages except frontages to laneways (rear loading blocks). The maximum total width of garage doors and external width of carports is the lesser of the following: a) 6m b) 50% of the <i>façade</i> of the <i>dwelling</i>.</p>	<p>C36 Garages or carports achieve all of the following: a) consistency with the <i>streetscape</i> b) consistency with the <i>desired character</i> c) compatibility with the <i>façade</i> of the associated <i>dwelling</i>.</p>	<p>R</p>

Element 5: Amenity

Rules	Criteria	Comments
5.1 Solar access – blocks which were approved or had a lease granted before 5 July 2013		
<p>R37 This rule applies to <i>blocks</i> approved under an <i>estate development plan</i> before 5 July 2013 or for which a <i>lease</i> was granted before 5 July 2013. The floor or internal wall of a daytime living area of a <i>dwelling</i> is exposed to not less than 3 hours of direct sunlight between the hours of 9am and 3pm on the winter solstice (21 June). <u>For this rule:</u> Daytime living area means a <i>habitable room</i> other than a bedroom</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>	<p>R</p>
5.1A Solar access – blocks which were approved on or after 5 July 2013		
5.2 Private open space		

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<p>R38 For large blocks, private open space complies with all of the following:</p> <p>a) has a minimum area equal to 60% of the block area, less 50m<sup>2</sup></p> <p>b) has a minimum dimension of 6m for an area not less than 10% of the block</p> <p>c) at least 50% of the minimum area in a) is planting area.</p> <p><b>Note:</b> Private open space includes principal private open space, as required elsewhere in this element.</p>	<p>C38</p> <p>Private open space provides residential amenity on the subject site and protects the residential amenity of adjoining sites by achieving all of the following:</p> <p>a) limits site coverage of buildings and vehicle parking and manoeuvring areas</p> <p>b) provides space for planting</p> <p>c) facilitates on-site infiltration of stormwater run-off</p> <p>d) provides outdoor areas that are readily accessible by residents for a range of uses and activities</p> <p>e) provides space for service functions such as clothes drying and domestic storage.</p>	<p>R</p> <p>See Area Plan</p>
--	--	-------------------------------

**5.3 Principal private open space**

<p>R41</p> <p>At least one area of principal private open space on the block complies with all of the following:</p> <p>a) minimum area and dimensions specified in table 8.</p> <p>b) at ground level</p> <p>c) directly accessible from, and adjacent to, a habitable room other than a bedroom</p> <p>d) screened from adjoining public streets and public open space</p> <p>e) located behind the building line, except where enclosed by a courtyard wall</p> <p>f) is not located to the south, south-east or south-west of the dwelling, unless it achieves not less than 3 hours of direct sunlight onto 50% of the minimum principal private open space area between the hours of 9am and 3pm on the winter solstice (21 June).</p>	<p>C41</p> <p>Principal private open space achieves all of the following:</p> <p>a) is proportionate to the size of the dwelling</p> <p>b) capable of enabling an extension of the function of the dwelling for relaxation, dining, entertainment, recreation, and it is directly accessible from the dwelling</p> <p>c) accommodates service functions such as clothes drying and domestic storage</p> <p>d) is screened from public streets and public open space with pedestrian or cycle paths</p> <p>e) reasonable access to sunlight to enable year round use</p>	<p>R</p> <p>See Area Plan.</p>
--	---	--------------------------------

**5.4 Noise attenuation – external sources**

**Element 6: Environment**

Rules	Criteria	Comments
6.1 Water sensitive urban design		

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R43

This rule applies to

- a) all new single dwellings,
- b) secondary residences, and
- c) extensions and alterations but does not apply to:
  - i) extensions of a size 50% or less of existing floor area
  - ii) development where no new plumbing is proposed

The development complies with one of the following:

- i) Option A
- ii) Option B

For This rule Option

A is:

- a) on compact blocks -
  - i) no minimum water storage requirement
  - ii) minimum WELS rated plumbing fixtures
- b) on mid-sized blocks -
  - i) minimum on site water storage of water from roof harvesting is 2,000 litres
  - ii) 50% or 75m<sup>2</sup> of roof plan area, whichever is the lesser, is connected to the tank
  - iii) the tank is connected to at least a toilet, laundry cold water and all external taps. The connection will require a pump where it cannot be elevated sufficiently to give adequate pressure.
- c) on large blocks up to 800m<sup>2</sup>-
  - i) minimum on site water storage of water from roof harvesting is 4,000 litres
  - ii) 50% or 100m<sup>2</sup> of roof plan area, whichever is the lesser, is connected to the tank
  - iii) the tank is connected to at least a toilet, laundry cold water and all external taps. The connection will require a pump where it cannot be elevated sufficiently to give adequate pressure.
- d) on large blocks 800m<sup>2</sup> or greater -
  - i) minimum on site water storage of water from roof harvesting is 5,000 litres

C43

Evidence is provided that the development achieves a minimum 40% reduction in mains water consumption compared to an equivalent development constructed in 2003, using the ACTPLA on-line assessment tool or another tool. The 40% target is met without any reliance on landscaping measures to reduce consumption.

C

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- ii) 50% or 125m<sup>2</sup> of roof plan area, whichever is the lesser, is connected to the tank
- iii) the tank is connected to at least a toilet, laundry cold water and all external taps. The connection will require a pump where it cannot be elevated sufficiently to give adequate pressure.

Option B is:

A greywater system captures all bathroom and laundry greywater and treats it to Class A standard. The treated greywater is connected to all laundry cold water, toilet flushing and all external taps.

**6.2 Heritage**

N/A The block does not contain places or objects registered or provisionally registered under section 41 of the *Heritage Act 2004*.

**6.3 Tree protection**

N/A There is no protective tree on the block.

**6.4 Erosion and sediment control**

R46

For sites less than 3,000m<sup>2</sup>, development complies with the Environment Protection Authority, *Environment Protection Guidelines for Construction and Land Development in the ACT, August 2007*.

This is a mandatory requirement. There is no applicable criterion.

R

See Erosion and Sediment Control Plan

R47

For sites 3,000m<sup>2</sup> or larger, the application is accompanied by an erosion and sediment control plan endorsed by the ACT Environment Protection Authority.

This is a mandatory requirement. There is no applicable criterion.

N/A

**Note:** If an erosion and sediment control plan is required but not provided, the application will be referred to the ACT Environment Protection Authority before the determination of the application.

**Element 7: Services**

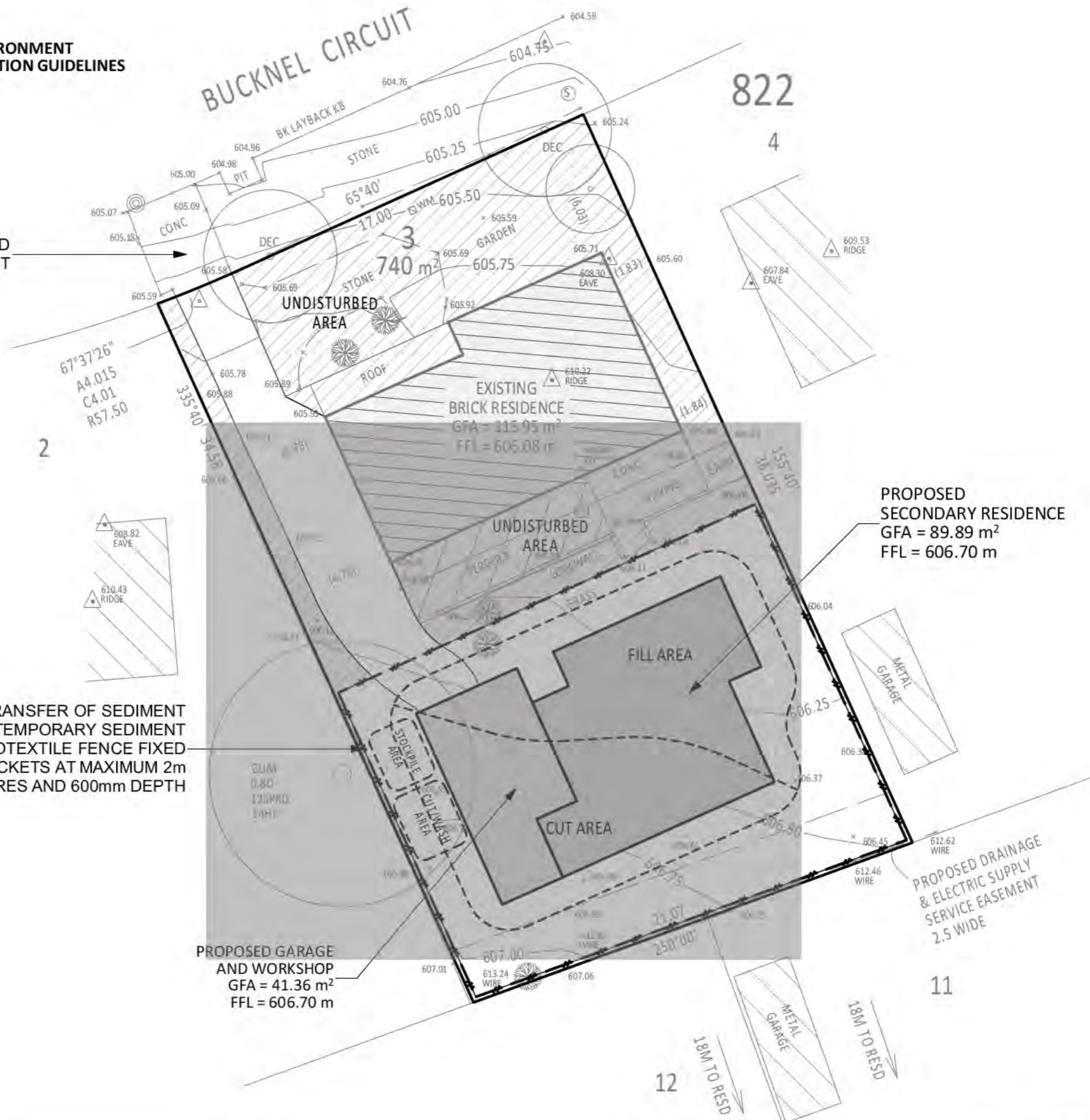
Rules	Criteria	Comments
7.1 Construction waste management – all zones		
7.2 Utilities – all zones		

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THE DEVELOPMENT IS TO COMPLY WITH THE ENVIRONMENT  
PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES  
FOR CONSTRUCTION AND LAND DEVELOPMENT  
IN THE ACT, AUGUST 2007.



EXISTING DRIVEWAY TO BE USED  
AS A STABILISED ACCESS POINT



**LEGEND**

SYMBOL	DESCRIPTION
◻ WM	WATER METER
⊙	SEWER MANHOLE

TO PREVENT TRANSFER OF SEDIMENT  
PROVIDE TEMPORARY SEDIMENT  
CONTROL GEOTEXTILE FENCE FIXED  
TO STAR PICKETS AT MAXIMUM 2m  
CENTRES AND 600mm DEPTH

**DISCLAIMERS:**  
Tree canopies are shown as a circular representation only and may not reflect irregular canopies.  
The symbols used in this plan and associated digital data do not necessarily reflect the size and orientation of the object they represent.  
Boundary information is for the purpose of this plan. Further survey and marking of boundaries may be required.  
Services shown hereon have been determined from visual evidence only. Prior to any demolition, excavation or construction on the site the relevant authority should be contacted to establish detailed location and depth.  
Easement information has been derived from the Deposited Plan and ACTMAPI. It is recommended that a title search be carried out to investigate whether any Easements have been created by instrument and added to the title.

**CANBERRA GRANNY FLAT BUILDERS**  
canberragrannyflatbuilders.com.au

**PROJECT DETAILS**  
Customer Name: Thomas and Yidi Magi  
Project Address: 12 Bucknel Circuit,  
Isabella Plains ACT 2905  
Block No 3  
Section No 822

**AREAS:**  
Proposed Secondary Residence GFA 89.89 m<sup>2</sup>  
Proposed Garage and Workshop GFA 41.36 m<sup>2</sup>  
Total Roof Area 156.85 m<sup>2</sup>  
Entry Deck Area 3.06 m<sup>2</sup>

REV	DATE
5	23/06/2019

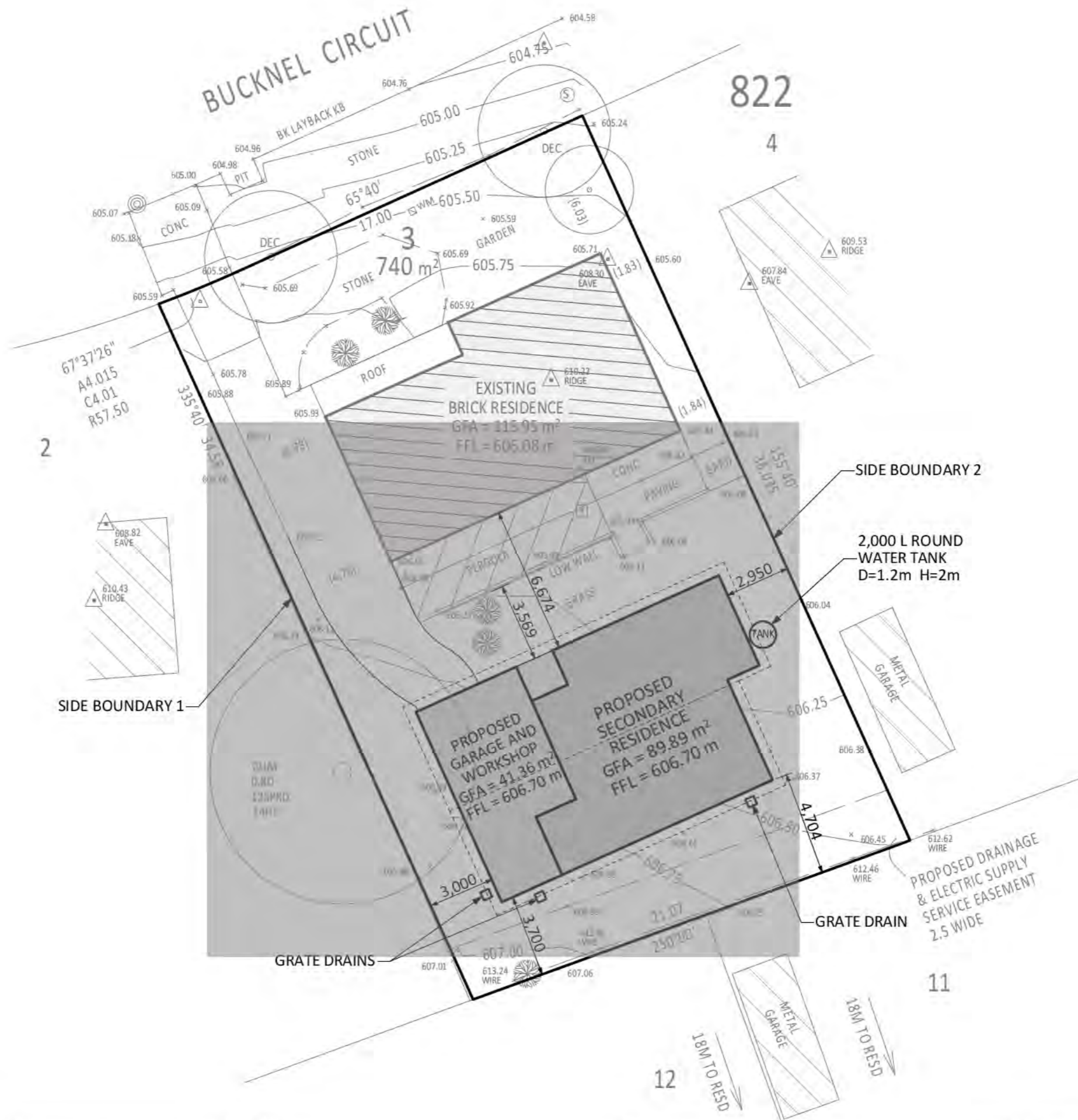
FOR APPROVAL

CUSTOMER APPROVAL

NAME	SIGNATURE	DATE

**DRAWING NAME**  
EROSION AND SEDIMENT CONTROL PLAN

DRAWING SCALE	SHEET SIZE	DRAWING NUMBER
1:200	A3	12



**LEGEND**

SYMBOL	DESCRIPTION
WM	WATER METER
S	SEWER MANHOLE

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REV	DATE	DRAWING NAME
5	23/06/2019	SITE PLAN
CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

DRAWING SCALE	SHEET SIZE	DRAWING NUMBER
1:200	A3	3

**BRIAN MILBURN  
& ASSOCIATES**



CONSULTANT SURVEYING.  
55 BIMBERI CRES PALMERSTON ACT 2913  
PHONE FAX 0262412543  
MOBILE 0407432593  
EMAIL b.milb@bigpond.net.au

REVISION	DATE

BLOCK 3 SECTION 822  
DIVISION ISABELLA PLAINS  
DATUM A.H.D. CI 0.25  
ORIGIN KBM4209 RL605.65 DP6468



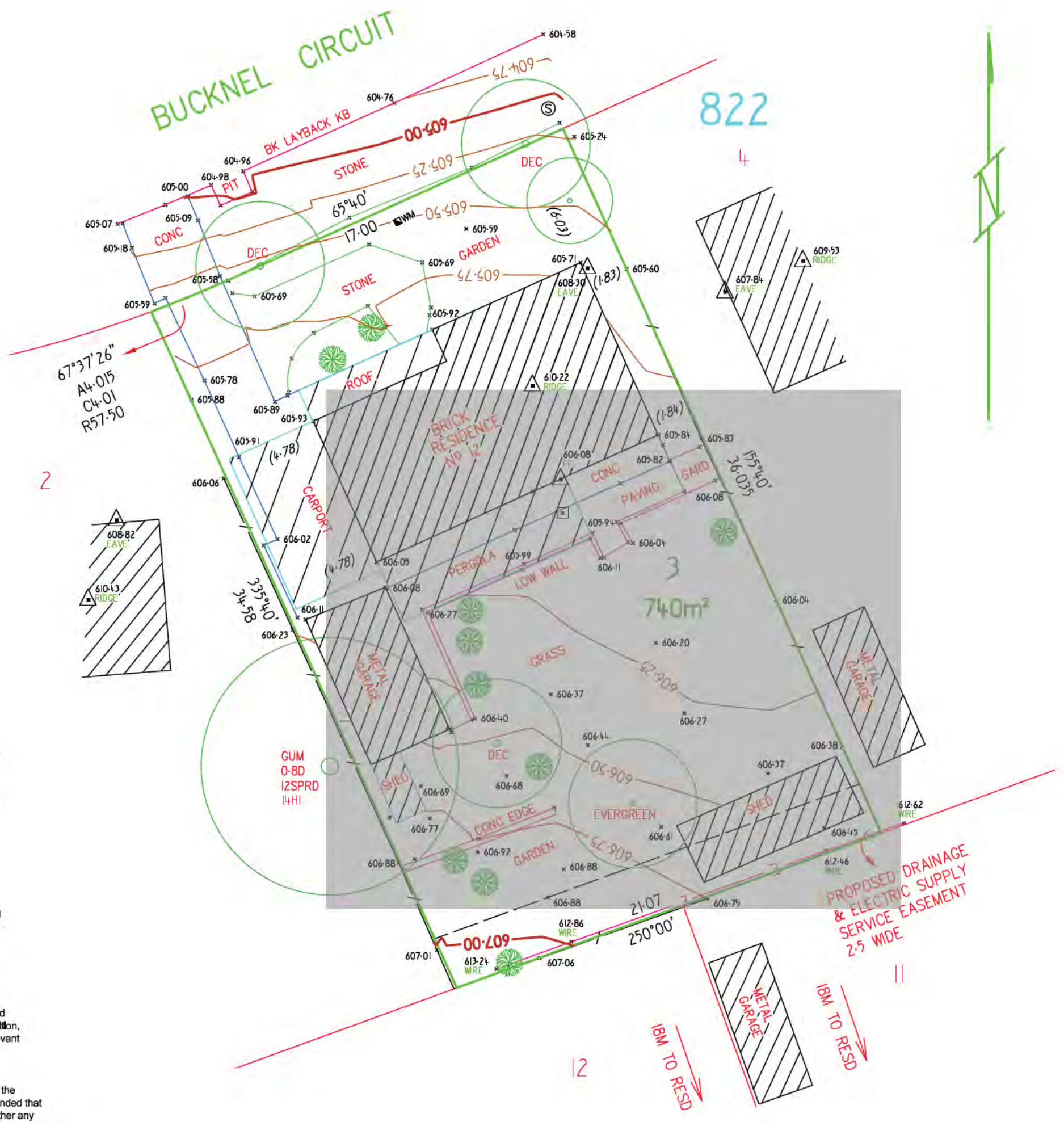
**PROJECT**  
CONTOUR & DETAIL SURVEY PLAN.  
**CLIENT**  
CGFB

DETAIL SURVEY FOR DESIGN PURPOSES.  
NO UNDERGROUND SERVICES HAVE BEEN LOCATED.

ACTIVITY	NAME	DATE
SURVEYED	B Milburn	7/05/19
DRAWN	B Milburn	8/05/19
CHECKED	B Milburn	8/05/19

APPROVED *Brian Milburn*  
Brian Milburn  
Surveyor, Registered under the Surveyors Act 2007.

SHEET NO	JOB NO	DRAWING REFERENCE	REV	SIZE
1	2447	2447ZA	-	A3



**LEGEND**

SYMBOL	DESCRIPTION
WM	WATER METER
S	SEWER MANHOLE

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This spreadsheet is an online tool for individuals, designers and developers to gauge possible methods of reducing mains water consumption on detached dwellings. Please enter ALL the relevant information for your dwelling before using the reduction percentage.

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**Percentage Reduction =**

**49%**

### Indoor information

Number of bedrooms in the house	<b>8</b>
What is the water rating of the shower head?	4 Star ▼
What is the water rating of the clothes washing machine?	4 Star ▼
What is the water rating of the dishwasher?	4 Star ▼
What is the water rating of the toilet?	4 Star ▼

### Site information

Site area (m <sup>2</sup> )?	<b>740</b>
Roof area (including house and garage or carport) (m <sup>2</sup> )?	<b>356.85</b>

### Rain water tank information

Is there going to be a water tank installed?	Yes ▼
What is the size of the tank (L)?	<b>2000</b>
What is the approx. roof area flowing into the tank (m <sup>2</sup> )?	<b>156.85</b>
What will be the use for the water in the tank?	Toilet Only ▼

### Grey Water information

What type of grey water system is installed?	None ▼
What is the size of the grey water storage tank (L)?	<b>0</b>
Where will the grey water be collected from?	▼
What will be the use for the grey water?	▼

### Pool, Spa or Pond information

Is there going to be a pool, spa, or pond?	No ▼
Is there going to be a cover on the pool or spa?	No ▼
Average depth of the pool, spa or pond (m)?	<b>0</b>
Average length of the pool, spa or pond (m)?	<b>0</b>

Average width of the pool, spa or pond (m)?	0
Total volume of the pool, spa or pond is (L)	0

Application Number

177856

Sheet

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**From:** [basubmission\\_electricity@Evoenergy.com.au](mailto:basubmission_electricity@Evoenergy.com.au)  
**To:** [EPD\\_Customer\\_Services](#)  
**Subject:** Evoenergy Application Decision. Application - 177848. Isabella Plains - 3/822  
**Date:** Tuesday, 16 July 2019 9:17:51 AM  
**Attachments:** [Conditional Approval Electricity177848.pdf](#)  
[%FLOORASSESS-201935777-FLOOR PLAN-01.pdf](#)  
[DEMO-201935777-01.pdf](#)  
[ELEV-201935777-01.pdf](#)  
[SITE-201935777-01.pdf](#)  
[3832\\_018 Separation requirements.pdf](#)

---

## Evoenergy

### Approval ID : 177848, Isabella Plains 3 /822

Please note that your application has been assessed for compliance with Evoenergy's Electricity Network and conditionally complies with our Electricity Networks requirements.

Please find attached, your stamped plans together with a conditional statement of compliance.

Separate compliance statements may be required from other entities.

Regards

**James Cappello**

[Evoenergy](#)

**Telephone** 02 6293 5770

**Facsimile** 02 6293 5762

**Email** [devapp@evoenergy.com.au](mailto:devapp@evoenergy.com.au)

GPO Box 366 Canberra ACT 2601

[www.evoenergy.com.au](http://www.evoenergy.com.au)

Please consider our environment before printing this email.

\*\*\*\*\*

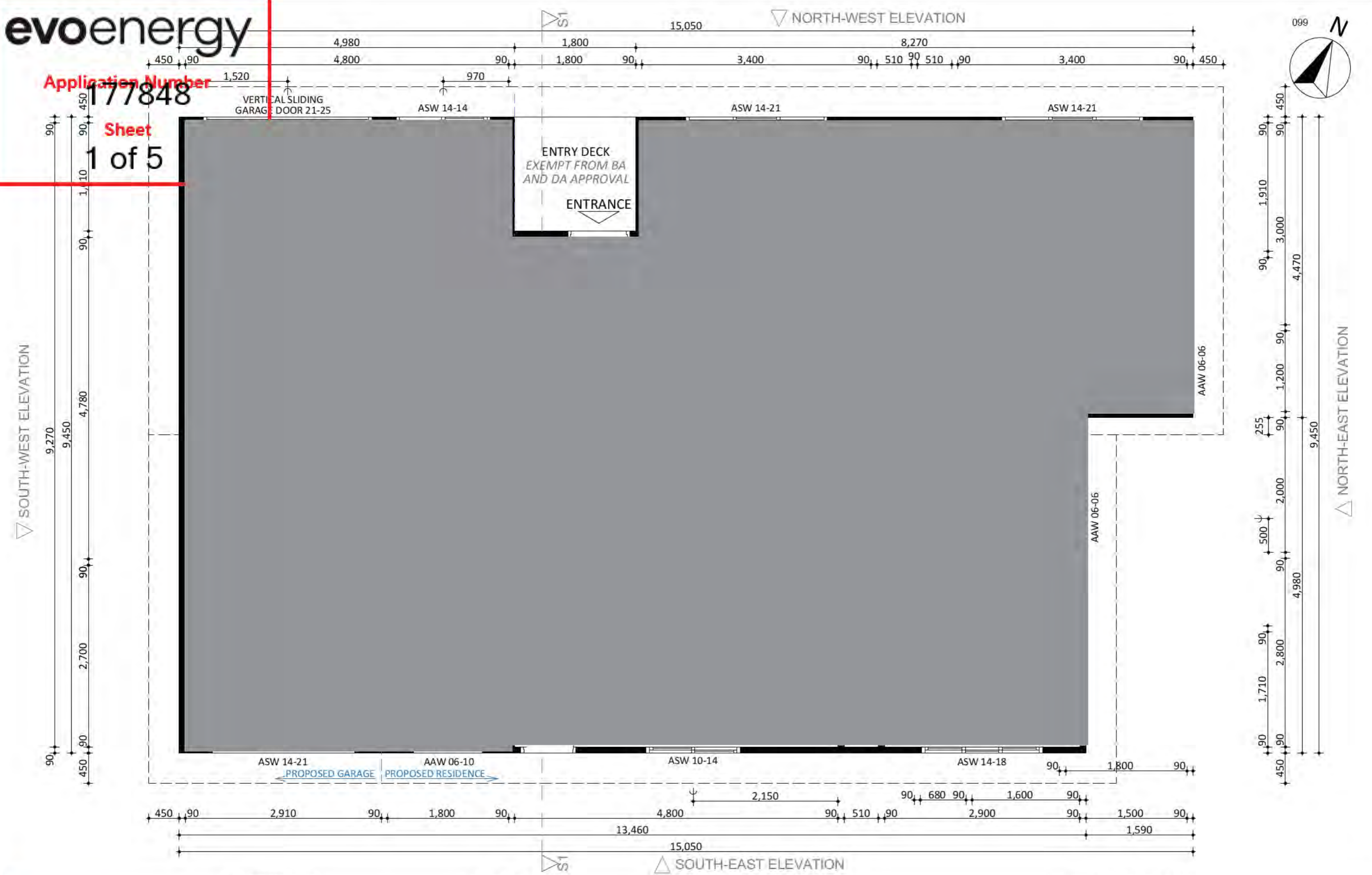
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\*\*\*\*\*

Application Number  
**177848**  
Sheet  
**1 of 5**



**CANBERRA GRANNY FLAT BUILDERS**  
canberragrannyflatbuilders.com.au

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REV	DATE
5	23/06/2019

FOR APPROVAL

CUSTOMER APPROVAL

NAME	SIGNATURE	DATE

DRAWING NAME <b>FLOOR PLAN</b>		
DRAWING SCALE <b>1:50</b>	SHEET SIZE <b>A3</b>	DRAWING NUMBER <b>4</b>

## MINIMUM SEPARATION REQUIREMENTS

## RECOMMENDED BURIAL DEPTHS FOR UNDERGROUND LINES (FROM SURFACE TO THE TOP OF THE CABLE)

**Application Number**  
FROM ANY PART OF: **177848** TO NEAREST PART OF:

**Sheet**

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SEPARATION (m)  
SEPARATE EARTHING

SEPARATION (m)  
CMEN & COMBINED  
EARTHING  
SITUATIONS

PADMOUNT SUBSTATION	-BUILDING	1.5 (NOTE 3)	1.5 (NOTE 3)			
	-PROPERTY BOUNDARY	1.5	1.5			
MINI PILLAR	-ABOVE GROUND OBJECTS	1.5	1.5			
	-DRIVEWAYS & ROADS	1.5	1.5			
	-COMMS CABLES, GAS & WATER PIPES, SEWER LINES	1.5 (NOTE 12)	1.5 (NOTE 12)			
	-DESIGNATED HAZARDOUS	NOTE 5	NOTE 5			
HV CABLES (1kV <U<= 22kV)	-NON FIRE RATED PARTS OF BUILDINGS	3 (NOTE 3)	3 (NOTE 3)			
	-BUILDINGS & STRUCTURES	1.2 (NOTE 8)	1.2 (NOTE 8)			
	-PROPERTY BOUNDARY	1.2 (NOTE 8)	1.2 (NOTE 8)			
	-ROADS	1.2	1.2			
	-DRIVEWAYS	1.5	1.5			
	-SHRUBS AND SMALL TREES	1.2 (NOTES 8 & 10)	1.2 (NOTES 8 & 10)			
	-WATER PIPES	0.5 (H) (NOTE 12)	0.5 (H) (NOTE 12)			
	-SEWER PIPE LINES & STORMWATER PIPE LINES	0.6 (H), (NOTES 1 & 12)	0.6 (H), (NOTES 1 & 12)			
	-COMMUNICATIONS CABLES	0.3	0.3			
	-GAS PIPES	0.3	0.3			
LV CABLES (<=1kV) SERVICE MAINS CABLE PITS	-HV CABLES (22kV <U<= 132kV)	0.75 (NOTE 11)	0.75 (NOTE 11)			
	-EDGE OF INGROUND SWIMMING POOLS OR SPAS	3.5 (NOTE 9)	3.5 (NOTE 9)			
	-HV CABLES (1kV <U<= 22kV)	0.2 (MIN)	0.2 (MIN)			
	-WATER PIPES	0.5 (H)	0.5 (H)			
	-SEWER PIPE LINES & STORMWATER PIPE LINES	0.6 (H), (NOTES 1 & 12)	0.6 (H), (NOTES 1 & 12)			
HV EARTHING ELECTRODE(S) HV EARTH CONDUCTORS (NOTE 6)	-COMMUNICATIONS CABLES	0.15	0.15			
	-GAS PIPES	0.15	0.15			
	-EDGE OF INGROUND SWIMMING POOLS OR SPAS	3.5 (NOTE 9)	3.5 (NOTE 9)			
	-HV CABLES (1kV <U<= 22kV)	0.09	0.09			
	HV EARTH RESISTANCE (NOTE 14)		NOTE 14			
		30Ω	10Ω	5Ω	3Ω	
	- IN GROUND SWIMMING POOLS, SPAS & CHILDRENS METAL PLAYGROUND EQUIPMENT (NOTE 4)	30	20	15	12	4 (NOTE 4)
	- TELECOMMUNICATIONS PITS, PILLARS, JOINTS, EXCHANGES & PABX EQUIPMENT	15	10	8	6	4
	-UG UNINSULATED METALWORK AND METAL PIPES	4	3	2	2	2
	-METAL FENCING OR METAL CLAD BUILDINGS	4	3	2	2	2
BARE UG LV EARTH CONDUCTORS (INCL. STEEL & CONCRETE POLES) BARE UG LV EARTH CONDUCTORS (NOTE 7)	-LV EARTHING ELECTRODE(S)	4	3	2	2	0
	-BARE UG LV EARTH CONDUCTORS	4	3	2	2	0
	-UG UNINSULATED METALWORK AND METAL PIPES	2		2		2
	-CONCRETE REINFORCING BONDED TO HV EARTH	SEE HV ELECTRODE		N/A		4
	-INGROUND SWIMMING POOLS, SPAS & CHILDRENS METAL PLAYGROUND EQUIPMENT	4		4		
	-COMMUNICATIONS EARTH STAKE	0.5		4		

TYPE OF UNDERGROUND LINE	DIRECT BURIED WITH NO ADDITIONAL MECHANICAL PROTECTION (NOTE 5)	DIRECT BURIED AND COVERED WITH A MECHANICAL COVER	ENCLOSED IN A HEAVY DUTY PIPE OR CONDUIT (NOTE 4)
	NOMINAL (MINIMUM) (mm)	NOMINAL (MINIMUM) (mm)	NOMINAL (MINIMUM) (mm)
LV SERVICE LINE	750 (600)	600 (450)	550 (450)
LV MAINS	750 (600)	750 (600)	750 (600)
1kV <U<= 22kV	850 (750)	850 (600)	750 (600)
22kV <U<= 132kV	NOT PERMITTED	1000 (1000)	1000 (1000)

### BURIAL NOTES:

- FIGURES IN BRACKETS INDICATE MINIMUM REQUIREMENT
- ALL CABLES INSTALLED UNDER ROADWAYS SHALL HAVE A MINIMUM BURIAL DEPTH OF 750mm
- MAXIMUM TRENCH DEPTH FOR INSTALLATION OF CABLES IS 1.5 METRES
- HEAVY DUTY CONDUITS TO AS2053.2 AND CLASS 12 PRESSURE PIPES TO AS1477 MAY BE CONSIDERED SUITABLE FOR THE HEAVY DUTY CATEGORY. (CORFLO TYPES ARE NOT ACCEPTABLE)
- THIS CATEGORY ALSO INCLUDES CABLES INSTALLED IN CONDUITS THAT ARE NOT RATED AS HEAVY DUTY (FOR EXAMPLE CONDUITS INSTALLED BY UNDERGROUND BORING)

### SEPARATION NOTES:

- CROSSOVER CLEARANCES: SEWER & STORMWATER PIPE LINES - LV CABLES 150mm  
SEWER & STORMWATER PIPE LINES - HV CABLES 300mm
- (H) - HORIZONTAL CLEARANCE REQUIRED.
- ANY PART OF A BUILDING WITHIN 3 METRES OF THE SUBSTATION SHALL HAVE A ONE HOUR FIRE RATING.
- SUBSTATIONS WITH SEPARATE EARTHING SYSTEMS ARE NOT PERMITTED IN SPECIAL LOCATIONS UNLESS DESIGN HAS BEEN ASSESSED FOR EARTH POTENTIAL RISE (EPR). LOCATIONS WITHIN 100m OF SCHOOL GROUNDS, CHILDREN'S PLAYGROUND, SWIMMING POOL OR IN A PUBLIC THOROUGHFARE ARE GENERALLY CLASSIFIED AS SPECIAL LOCATIONS.
- SUBSTATIONS ARE NOT PERMITTED IN HAZARDOUS AREAS. REFER AS2381 OR HB13.
- INCLUDES GRADING RINGS AND EXCLUDES DEEP ELECTRODES.
- BARE UG LV EARTH CONDUCTORS ALSO INCLUDES EARTHS ASSOCIATED WITH MINIPILLARS AND ANY OTHER LV EQUIPMENT THAT IS EARTHED.
- THIS FIGURE CAN BE REDUCED ON ONE SIDE ONLY (NOT THE FRONT) TO 300mm.
- THIS FIGURE CAN BE REDUCED TO 500mm PROVIDED THE CABLE IS INSTALLED IN A HEAVY DUTY PLASTIC NON CONDUCTIVE PIPE AND ANY JOINS IN THE PIPE ARE MADE WATERPROOF WITH A NON CONDUCTIVE ADHESIVE.
- THIS FIGURE SHOULD BE INCREASED FOR TREES THAT WILL GROW TO A HEIGHT IN EXCESS OF THREE METRES AT MATURITY.
- NO STRUCTURES OR SERVICES ARE PERMITTED WITHIN 750mm OF THE VERTICAL PROJECTION OF ANY 132KV CABLES.
- REFER TO THE PROXIMITY GUIDELINES (DM#468024) AS THERE ARE ADDITIONAL REQUIREMENTS FOR WATER, SEWER AND ELECTRICITY ASSETS WITHIN LEASED LAND.
- SUBSTATION EARTHING DESIGN SHALL COMPLY WITH THE EVOENERGY EARTHING DESIGN AND CONSTRUCTION MANUAL SM113B.
- THESE SEPARATION DISTANCES ARE INDICATIVE ONLY. ACCURATE SEPARATION DISTANCES BETWEEN AN EARTH ELECTRODE AND SURROUNDING CONDUCTIVE OBJECTS SHALL BE CALCULATED BY USING THE EARTH POTENTIAL RISE (EPR) TABLE PROVIDED IN APPENDIX I OF THE EARTHING DESIGN AND CONSTRUCTION MANUAL SM113B. FOR DETAILS REFER TO THE SECTION ON "EPR AT DISTANCE FROM EARTH ELECTRODE".

Q	LOGO AND REFERENCES UPDATED TO EVOENERGY	8/01/2016	C. Desai	W. Ibrahim	Drawn: G. Adamaitys	Designed: G. Smith
H	NOTES 4 & 13 AMENDED & NOTE 14 ADDED	1/04/2015	JR	WJC	Checked:	
M	NOTE 4 AMENDED	6/02/2014	CD	BS	Approved: G. Astbury	
L	HV-HV & HV-LV SEPARATIONS ADDED, NOTES AMENDED	11/04/2013	EA	BS	Project No:	
No	Revision	Date	Checked	Approved	ACT Cadastral Information supplied by the ACT Environment & Sustainable Development Directorate. © ACT Gov. 2017.	



## SEPARATION AND COVER REQUIREMENTS FOR CABLES AND PLANT

Scale:	Date:	Sheet No:
Work Pack No:	File:	
Status:	Current	
<b>A3</b>	<b>3832-018</b>	Rev 0



## Electricity Networks

STATEMENT OF

# CONDITIONAL COMPLIANCE

**Application No:** 177848    **Suburb:** Isabella Plains    **Block/Section** 3 / 822

**Appcn Type:** Secondary residence/New construction Inclusions : Garage, Landscaping

### Attached Plans

%FLOORASSESS-201935777-FLOOR PLAN-01.pdf

DEMO-201935777-01.pdf

ELEV-201935777-01.pdf

SITE-201935777-01.pdf

**This application is approved subject to compliance with the following conditions:**

### Conditions

Development is to comply with minimum separation requirements to underground assets.  
Ref Evoenergy Drawing 3832-018

No additional electrical service will be provided to this block. Secondary residence is to be supplied via sub mains from primary residence.

Please Note

- WARNING Evoenergy underground assets may be in or adjacent to this block. It is your responsibility to ascertain the location of such assets.
- Development and Building Applications will need to include any proposed Evoenergy works.
- If Evoenergy approval conditions are not met, a breach of the law may result.
- Separate applications are required for water & sewerage and communication network services.
- Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on Evoenergy's electricity network.
- Any attached reticulation or servicing plan is preliminary only. Contact Evoenergy for final plans prior to the commencement of any construction activity.
- A failure of this application to show accurately located electricity assets may result in damage and costs for which the proponent will be liable. Damage to network assets must be reported to Evoenergy.

### Comments:

**Signed** James Cappello

**Date** 16 Jul 2019

*For further information please phone Evoenergy Electricity Networks: 6293 5770*



EXISTING CARPORT  
TO BE REMOVED

EXISTING VEGETATION  
TO BE REMOVED

EXISTING METAL GARAGE  
TO BE REMOVED

EXISTING LOW WALL  
TO BE REMOVED

EXISTING SHED  
TO BE REMOVED

EXISTING SHED  
TO BE REMOVED

EXISTING CONCRETE EDGE  
TO BE REMOVED

EXISTING VEGETATION  
TO BE REMOVED

EXISTING TREE  
TO BE REMOVED

PROPOSED DRAINAGE  
& ELECTRIC SUPPLY  
SERVICE EASEMENT  
2.5 WIDE

## LEGEND

SYMBOL	DESCRIPTION
WM	WATER METER
S	SEWER MANHOLE

**DISCLAIMERS:**  
Tree canopies are shown as a circular representation only and may not reflect irregular canopies.

The symbols used in this plan and associated digital data do not necessarily reflect the size and orientation of the object they represent.

Boundary information is for the purpose of this plan. Further survey and marking of boundaries may be required.

Services shown hereon have been determined from visual evidence only. Prior to any demolition, excavation or construction on the site the relevant authority should be contacted to establish detailed location and depth.

Easement information has been derived from the Deposited Plan and ACTMAPI. It is recommended that a title search be carried out to investigate whether any Easements have been created by instrument and added to the title.

**CANBERRA GRANNY FLAT BUILDERS**  
canberragrannyflatbuilders.com.au

**PROJECT DETAILS**  
Customer Name: Thomas and Yidi Magi  
Project Address: 12 Bucknel Circuit, Isabella Plains ACT 2905  
Block No 3  
Section No 822

**AREAS:**  
Proposed Secondary Residence GFA 89.89 m<sup>2</sup>  
Proposed Garage and Workshop GFA 41.36 m<sup>2</sup>  
Total Roof Area 156.85 m<sup>2</sup>  
Entry Deck Area 3.06 m<sup>2</sup>

REV	DATE	DRAWING NAME
5	23/06/2019	DEMOLITION PLAN
CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

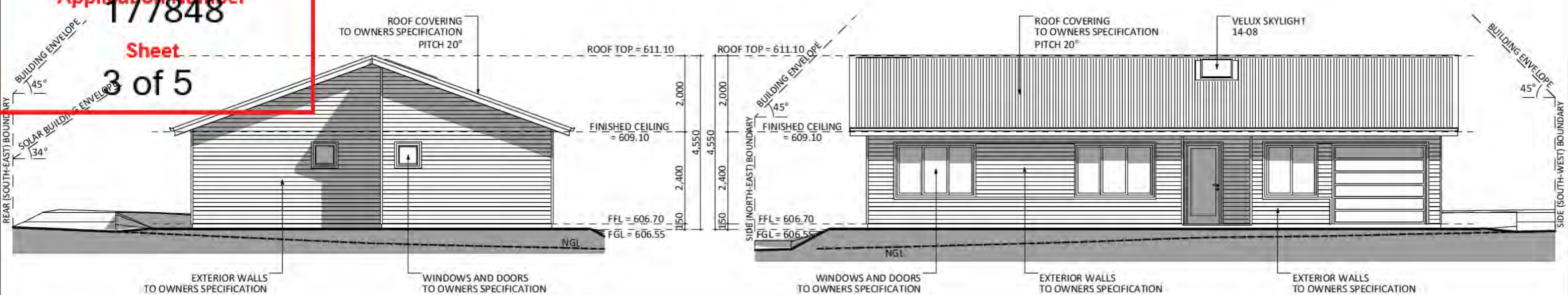
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER
1:200	A3	2

Application Number

177848

Sheet

3 of 5



NORTH-EAST ELEVATION

NORTH-WEST ELEVATION



SOUTH-EAST ELEVATION

SOUTH-WEST ELEVATION

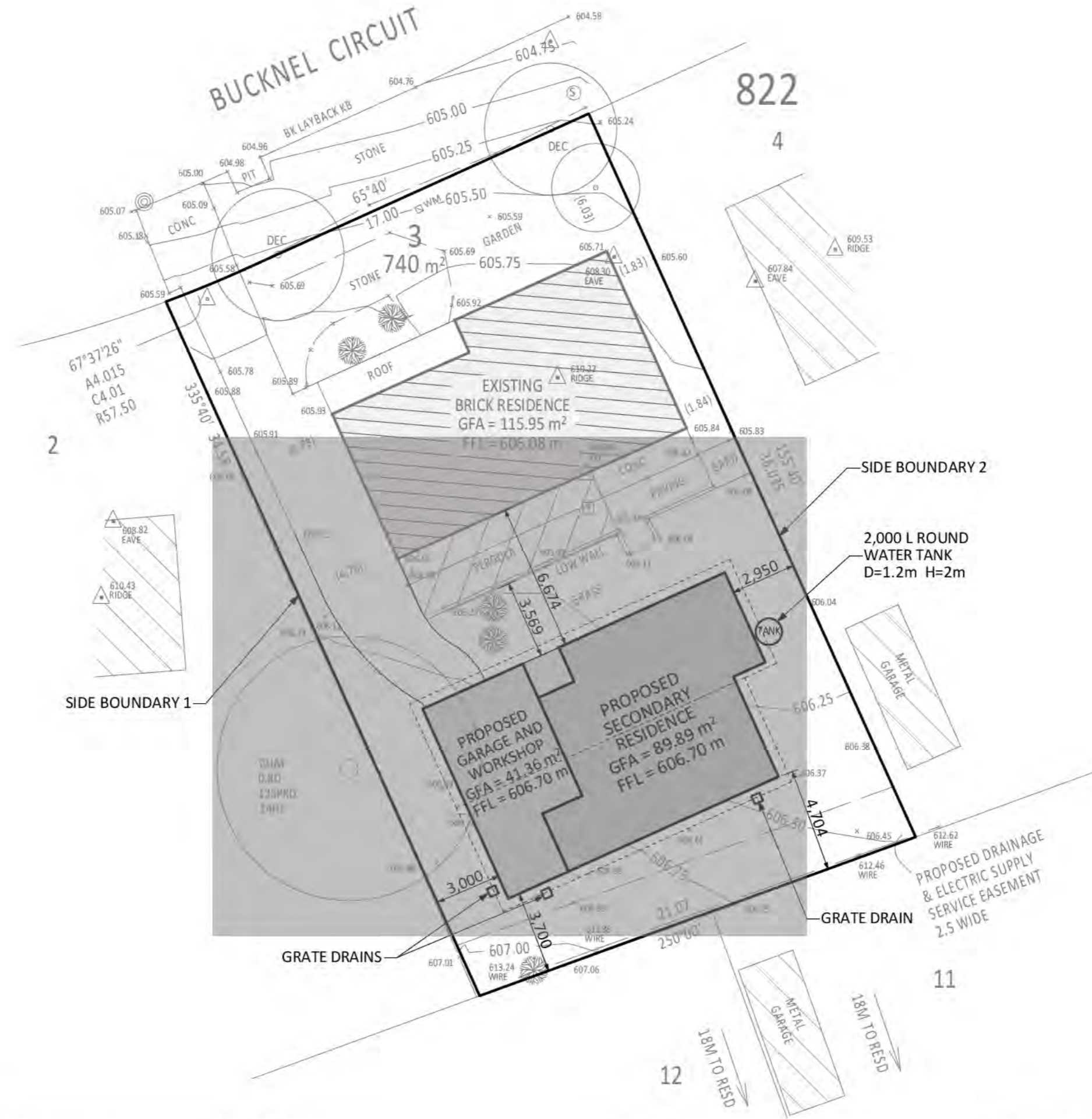
**CANBERRA GRANNY FLAT BUILDERS**  
canberragrannyflatbuilders.com.au

**PROJECT DETAILS**  
Customer Name: Thomas and Yidi Magi  
Project Address: 12 Bucknel Circuit,  
Isabella Plains ACT 2905  
Block No 3  
Section No 822

**AREAS:**  
Proposed Secondary Residence GFA 89.89 m<sup>2</sup>  
Proposed Garage and Workshop GFA 41.36 m<sup>2</sup>  
Total Roof Area 156.85 m<sup>2</sup>  
Entry Deck Area 3.06 m<sup>2</sup>

REV	DATE	DRAWING NAME
5	23/06/2019	FOR APPROVAL
CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

DRAWING SCALE	SHEET SIZE	DRAWING NUMBER
1:100	A3	5



### LEGEND

SYMBOL	DESCRIPTION
WM	WATER METER
S	SEWER MANHOLE

**DISCLAIMERS:**  
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 Boundary information is for the purpose of this plan. Further survey and marking of boundaries may be required.  
 Services shown hereon have been determined from visual evidence only. Prior to any demolition, excavation or construction on the site the relevant authority should be contacted to establish detailed location and depth.  
 Easement information has been derived from the Deposited Plan and ACTMAP1. It is recommended that a title search be carried out to investigate whether any Easements have been created by instrument and added to the title.

**CANBERRA GRANNY FLAT BUILDERS**  
 canberragrannyflatbuilders.com.au

**PROJECT DETAILS**  
 Customer Name: Thomas and Yidi Magi  
 Project Address: 12 Bucknel Circuit, Isabella Plains ACT 2905  
 Block No 3  
 Section No 822

**AREAS:**

Proposed Secondary Residence GFA	89.89 m <sup>2</sup>
Proposed Garage and Workshop GFA	41.36 m <sup>2</sup>
Total Roof Area	156.85 m <sup>2</sup>
Entry Deck Area	3.06 m <sup>2</sup>

REV	DATE	DRAWING NAME
5	23/06/2019	SITE PLAN

CUSTOMER APPROVAL

NAME	SIGNATURE	DATE

DRAWING SCALE	SHEET SIZE	DRAWING NUMBER
1:200	A3	3

**From:** [EPD Customer Services](#)  
**To:** [EPD DA Leasing Referrals](#)  
**Subject:** REFERRAL-DA LEASING-201935777-3/822 ISABELLA PLAINS-01 [SEC=UNCLASSIFIED]  
**Date:** Wednesday, 17 July 2019 4:13:00 PM  
**Attachments:** [image001.png](#)  
[plans.obr](#)  
[supporting docs.obr](#)

---

**DEVELOPMENT APPLICATION NO:** 201935777

**BLOCK:** 3 **SECTION:** 822 **DIVISION:** ISABELLA PLAINS

Description - **PROPOSAL FOR A SECONDARY DWELLING – Demolition of existing structures; Construction of a new secondary residence in addition to the existing residence including garage, workshop, landscaping and associated works.**

Pursuant to Section 148(1) of the *Planning and Development Act 2007* the ACT Planning and Land Authority requests that you consider the abovementioned development application and provide any written advice no later than **15 working days** after the date of this notice (**07/08/2019**).

In accordance with Section 150 of the *Planning and Development Act 2007* If advice is not received within the prescribed time it will be taken that you have supported the application.

Please forward any written advice via email to Customer Services

[EPDcustomerservices@act.gov.au](mailto:EPDcustomerservices@act.gov.au)

Please use the following format in the subject line of the email when providing advice:

COMM-Agency Name-20140XXXX-Block XX Section XX SuburbXXXXX-01

**Example: COMM-TAMS-201401234-10/10 Dickson-01**

Kind Regards

David

Phone 6207 1923

[EPDCustomerServices@act.gov.au](mailto:EPDCustomerServices@act.gov.au)

[www.act.gov.au/accesscbr](http://www.act.gov.au/accesscbr)

**Access Canberra | ACT Government**

16 Challis Street, Dickson | GPO Box 158 Canberra ACT 2601

cid:image004.png@01D3DE12.73C7D510



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**From:** [EPSD DALeasingreferrals](#)  
**To:** [EPD\\_Customer\\_Services](#)  
**Subject:** COMM-DA LEASING-201935777-3/822 ISABELLA PLAINS-01 [SEC=UNCLASSIFIED]  
**Date:** Friday, 26 July 2019 10:17:53 AM  
**Attachments:** [image001.png](#)  
[plans.obr](#)  
[supporting docs.obr](#)

---

Hi Customer Services,

Thank you for referring this DA to DA Leasing for comment. The proposal is for the construction of a secondary residence.

The Crown lease permits the secondary residence provided it is not attached to the main residence. From the plans it appears the garage forms part of the secondary residence. If this is the case the proposal is supported from a leasing perspective. If the garage forms part of the main residence please refer back to DA leasing for further comments.

Thanks,

Karen.

Karen Walker | Leasing DA

**Phone 02 6207 7257** | Fax 02 6207 1856

Planning and Delivery Division | Environment, Planning and Sustainable Development | **ACT Government**

Dame Pattie Menzies House, Challis Street, Dickson | GPO Box 158 Canberra ACT 2602 | [www.planning.act.gov.au](http://www.planning.act.gov.au)

---

**From:** EPD, Customer Services

**Sent:** Wednesday, 17 July 2019 4:14 PM

**To:** EPSD DALeasingreferrals <DALeasingreferrals@act.gov.au>

**Subject:** REFERRAL-DA LEASING-201935777-3/822 ISABELLA PLAINS-01 [SEC=UNCLASSIFIED]

**DEVELOPMENT APPLICATION NO:** 201935777

**BLOCK:** 3 **SECTION:** 822 **DIVISION:** ISABELLA PLAINS

Description - **PROPOSAL FOR A SECONDARY DWELLING – Demolition of existing structures; Construction of a new secondary residence in addition to the existing residence including garage, workshop, landscaping and associated works.**

Pursuant to Section 148(1) of the *Planning and Development Act 2007* the ACT Planning and Land Authority requests that you consider the abovementioned development application and provide any written advice no later than **15**

**working days** after the date of this notice (**07/08/2019**).

In accordance with Section 150 of the *Planning and Development Act 2007* If advice is not received within the prescribed time it will be taken that you have supported the application.

Please forward any written advice via email to Customer Services

[EPDcustomerservices@act.gov.au](mailto:EPDcustomerservices@act.gov.au)

Please use the following format in the subject line of the email when providing advice:

COMM-Agency Name-20140XXXX-Block XX Section XX SuburbXXXXX-01

**Example: COMM-TAMS-201401234-10/10 Dickson-01**

Kind Regards

David

Phone 6207 1923

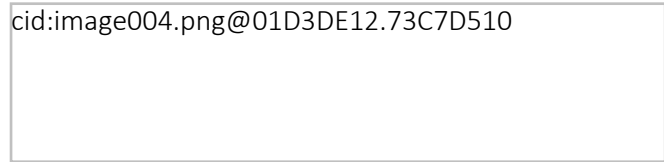
[EPDCustomerServices@act.gov.au](mailto:EPDCustomerServices@act.gov.au)

[www.act.gov.au/accesscbr](http://www.act.gov.au/accesscbr)

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cid:image004.png@01D3DE12.73C7D510



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**From:** [Watts, Michaela](#)  
**To:** [EPD, Customer Services](#)  
**Cc:** [Dojcić, Rosie](#)  
**Subject:** FW: COMM-TREE PROTECTION-201935777-3/822 ISABELLA PLAINS-01 [SEC=UNCLASSIFIED]  
**Date:** Monday, 5 August 2019 3:36:12 PM  
**Attachments:** [supporting docs.obr](#)

## Conservator's Advice

### Section 82 *Tree Protection Act 2005*

**DEVELOPMENT APPLICATION NO:** 201935777

**BLOCK:** 3 **SECTION:** 822 **DIVISION:** ISABELLA PLAINS

Description - **PROPOSAL FOR A SECONDARY DWELLING – Demolition of existing structures; Construction of a new secondary residence in addition to the existing residence including garage, workshop, landscaping and associated works.**

BLOCK:	SECTION:	DIVISION:
3	822	Isabella Plains

This DA has been assessed and the following Conservators Advice in accordance with Section 82 *Tree Protection Act 2005* is provided:

No regulated trees impacted or on site	
Supported provided there are conditions of approval	
Advice for the applicant	
Not Supported	<b>X</b>
Further Information/amendments required	X

### Advice

**We are unable to support this DA.**

No Tree Management Plan for the protection of the neighbouring regulated Eucalypt has been provided.

This is required for the Eucalyptus' health and stability to be maintained, in light of demo/works nearby and services likely to impact its root system.

André Sneyers | Urban Treescapes, TPU

Phone 02 6207 6127 | Email: [andre.sneyers@act.gov.au](mailto:andre.sneyers@act.gov.au)

City Services | City Presentation | Transport Canberra and City Services (TCCS) | ACT Government

Level 2, 490 Northbourne Avenue, Dickson 2602 | GPO Box 158 Canberra ACT 2601 | [www.act.gov.au](http://www.act.gov.au)

**From:** [EPD, Customer Services](#)  
**To:** [operations@cgfb.com.au](mailto:operations@cgfb.com.au)  
**Cc:** [thommagicarpentry@gmail.com](mailto:thommagicarpentry@gmail.com)  
**Subject:** CLOSE OF PUBLIC NOTIFICATION-201935777-3/822 ISABELLA PLAINS-(No Representations Received)  
[SEC=UNCLASSIFIED]  
**Date:** Friday, 9 August 2019 10:22:00 AM  
**Attachments:** [image001.png](#)

---

**CLOSE OF PUBLIC CONSULTATION PERIOD**  
**BLOCK 3 SECTION 822 SUBURB ISABELLA PLAINS**

The public consultation period for DA **201935777** has now closed.  
No representations were received by the Environment and Planning Directorate during the public consultation period.

You will be advised in writing of the decision as soon as the DA has been determined.

If you require any further information please contact (02) 6207 1923.

Kind Regards,

Emil George | Customer service officer

Phone 6207 1923

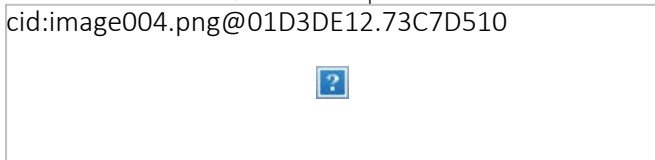
[EPDCustomerServices@act.gov.au](mailto:EPDCustomerServices@act.gov.au)

[www.act.gov.au/accesscbr](http://www.act.gov.au/accesscbr)

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cid:image004.png@01D3DE12.73C7D510



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**From:** [Rubaiyet, Soniya](mailto:Rubaiyet.Soniya)  
**To:** [operations@cgfb.com.au](mailto:operations@cgfb.com.au)  
**Subject:** DA 201935777 - Block 03 Section 822 Isabella plains - Request for Further Information [SEC=UNCLASSIFIED]  
**Date:** Tuesday, 13 August 2019 1:12:00 PM

Hi Nickolas,

I have been tasked to review the Entity referral advice for this DA and can now provide the following summary:

Entity	Did the entity support the application?	Assessment comments / Conditions required
The Conservator of Flora & Fauna	No	05/08/2019 further information required (No Tree Management Plan for the protection of the neighbouring regulated Eucalypt has been provided. This is required for the Eucalyptus' health and stability to be maintained, in light of demo/works nearby and services likely to impact its root system.)
Evo Energy - Electricity	Yes - with conditions	
Evo Energy - Gas	Yes - with conditions	
ICON Water	Yes - with conditions	
TCCS	Yes - with conditions	
EPSDD DA Leasing	Yes	

**The Tree Protection Unit (TPU) advice as below,**

Please liaise with TPU to advance the DA and either submit an agreed outcome (endorsed by TPU) to the ACT Planning and Land Authority OR submit a response to the Authority to refer onto TPU.

As always, please submit the information addressing the above in e-development. If this is only additional information with the current proposal (no amendments), please submit this under a section 141 application. If **ANY** design changes are proposed, please ensure this is submitted as a section 144 application. Submitting information under the wrong section will delay your application.

You would have received copies of the representations from our customer services area. You are invited (although not required) to address items raised in the representations and ideally this should be submitted along with the above information.

Note too that our Territory Plan assessment team are yet to assess this application therefore you may receive further feedback/ a further information request in the future (if applicable).

An e-development message referencing this email will be sent to you shortly. I hope this helps progress your application.

Regards,

Soniya Rubaiyet  
 Assessment Officer

**From:** [EPSD\\_DACoordinator](#)  
**To:** [EPD\\_Customer\\_Services](#)  
**Subject:** FW: DA 201935777 in ISABELLA PLAINS. [SEC=UNCLASSIFIED]  
**Date:** Friday, 6 September 2019 9:41:00 AM  
**Attachments:** [image001.png](#)

---

Hi CS,

Wondering if you might be able to please assist Maggie with uploading additional information onto e-dev?

Thank you,

Lydia

---

**From:** Canberra Granny Flat Builders - Planning [mailto:Planning@cgfb.com.au]

**Sent:** Thursday, 5 September 2019 3:41 PM

**To:** EPSD DACoordinator <DAcoordinator@act.gov.au>

**Cc:** thommagicarpentry@gmail.com

**Subject:** DA 201935777 in ISABELLA PLAINS.

Dear DA team,

We are writing to you hoping you allow us to submit further information for DA 201935777 in ISABELLA PLAINS.

We received a Further Information Request asking for a tree management plan to protect a regulated tree next door, and we submitted a tree management plan on 3 September. However we were told by our client that the neighbour is managing to take down the tree, and advised by the Tree Protection Unit that we can show on the plans that "the tree will be removed" to fast track the DA.

So, it would be great that you allow us to submit further information at e-development.

Thanks and kind regards,

[Maggie Li](#) | Planning Approvals Technical Officer

Mobie: [REDACTED] | Phone: 1300 979 658 | Fax: 1300 979 657

Postal: GPO Box 2265 Canberra City 2602

ACT Building Lic: 2012767 | NSW Building Lic: 259006C



**From:** [Billing, Dale](#)  
**To:** [EPD, Customer Services](#)  
**Cc:** [EPSD DАCoordinator; Elhassan, Walid](#)  
**Subject:** RE: customer services checks completed - 201935777- S141A [SEC=UNCLASSIFIED]  
**Date:** Thursday, 12 September 2019 3:53:29 PM  
**Attachments:** [image001.jpg](#)  
[plans - S141A\\_OBR](#)

---

Dear Customer Services,

The above application is sufficient and has been accepted in eDevelopment.

Could the S141 application please be referred to the Tree Protection Unit for Comment?

Thanks

---

Dale Billing

Senior Officer | Development Assessment

**Planning Delivery** | Environment Planning and Sustainable Development | **ACT Government**

Dame Pattie Menzies House, Challis Street, Dickson | GPO Box 158 Canberra ACT 2601

p (02) 6205 3980 | e [dale.billing@act.gov.au](mailto:dale.billing@act.gov.au) | web [www.actpla.act.gov.au](http://www.actpla.act.gov.au)

**From:** EPD, Customer Services

**Sent:** Monday, 9 September 2019 1:57 PM

**To:** Billing, Dale <Dale.Billing@act.gov.au>; Elhassan, Walid <Walid.Elhassan@act.gov.au>

**Cc:** EPSD DАCoordinator <DАcoordinator@act.gov.au>

**Subject:** customer services checks completed - 201935777- S141A [SEC=UNCLASSIFIED]

**Kind Regards**

Karen | Customer Services Officer

Phone 02 6207 1923

**Access Canberra** | **ACT Government**

GPO Box 158, Canberra City ACT 2601 | [www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)

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**From:** [EPD Customer Services](#)  
**To:** ["treeprotection-ac@act.gov.au"](mailto:treeprotection-ac@act.gov.au)  
**Subject:** REFERRAL-TREE PROTECTION-201935777-S141A-3/822 ISABELLA PLAINS-01 [SEC=UNCLASSIFIED]  
**Date:** Friday, 13 September 2019 2:40:00 PM  
**Attachments:** [image001.png](#)  
[plans - S141A.OBR](#)  
[supporting docs - S141A.OBR](#)

---

**DEVELOPMENT APPLICATION NO:** 201935777-S141A

**BLOCK:** 3 **SECTION:** 822 **DIVISION:** ISABELLA PLAINS

**S141 Further Information prior to decision – provided 1. Tree Management Plan 2. New Erosion and Sediment Control Plan**

Pursuant to Section 148(1) of the Planning and Development Act 2007 the ACT Planning and Land Authority requests that you consider the above mentioned development application and provide any written advice no later than 15 working days after the date of this notice (**04/10/2019**).

In accordance with Section 150 of the Planning and Development Act 2007 If advice is not received within the prescribed time it will be taken that you have supported the application.

Please forward any written advice via email to Customer Services

[EPDcustomerservices@act.gov.au](mailto:EPDcustomerservices@act.gov.au)

Please use the following format in the subject line of the email when providing advice:

**COMM-Agency Name-20080XXXX-Block XX Section XX SuburbXXXXX-01**

**Example: COMM-Heritage-200801234-Block 10 Section 10 Dickson-01**

Kind Regards

Emil George

Phone 6207 1923

[EPDCustomerServices@act.gov.au](mailto:EPDCustomerServices@act.gov.au)

[www.act.gov.au/accesscbr](http://www.act.gov.au/accesscbr)

**Access Canberra | ACT Government**

16 Challis Street, Dickson | GPO Box 158 Canberra ACT 2601

cid:image004.png@01D3DE12.73C7D510



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**From:** [Watts, Michaela](#)  
**To:** [EPD, Customer Services](#)  
**Cc:** [Dojcić, Rosie](#)  
**Subject:** FW: COMM-TREE PROTECTION-201935777-S141A-3/822 ISABELLA PLAINS-01 [SEC=UNCLASSIFIED]  
**Date:** Thursday, 26 September 2019 12:52:08 PM  
**Attachments:** [plans - S141A.OBR](#)  
[supporting docs - S141A.OBR](#)

## Conservator's Advice

### Section 82 *Tree Protection Act 2005*

**DEVELOPMENT APPLICATION NO:** 201935777-S141A

**BLOCK:** 3 **SECTION:** 822 **DIVISION:** ISABELLA PLAINS

**S141 Further Information prior to decision – provided 1. Tree Management Plan 2. New Erosion and Sediment Control Plan**

BLOCK:	SECTION:	DIVISION:
3	822	Isabella Plains

This DA has been assessed and the following Conservators Advice in accordance with Section 82 *Tree Protection Act 2005* is provided:

No regulated trees impacted or on site	
Supported provided there are conditions of approval	X
Advice for the applicant	
Not Supported	
Further Information/amendments required	

### Advice

The DA and the provided TMP A3 with its 9 conditions, to protect the regulated tree, is supported.

Regards

André Sneyers | Urban Treescapes, TPU

Phone 02 6207 6127 | Email: [andre.sneyers@act.gov.au](mailto:andre.sneyers@act.gov.au)

City Services | City Presentation | Transport Canberra and City Services (TCCS) | ACT Government  
 Level 2, 490 Northbourne Avenue, Dickson 2602 | GPO Box 158 Canberra ACT 2601 | [www.act.gov.au](http://www.act.gov.au)

**From:** [Elhassan, Walid](#)  
**To:** [EPSD\\_DACoordinator](#)  
**Subject:** RE: Further Information Requested for Application ID 201935777 [SEC=UNCLASSIFIED]  
**Date:** Friday, 8 November 2019 1:11:52 PM  
**Attachments:** [image002.jpg](#)  
[image003.png](#)

UNCLASSIFIED

Hi Lydia

I have tried calling him and left message on voice mail to him to call me back.

Regards

Walid

**From:** EPSP DACoordinator <DACoordinator@act.gov.au>  
**Sent:** Friday, 8 November 2019 12:00 PM  
**To:** Elhassan, Walid <Walid.Elhassan@act.gov.au>  
**Subject:** FW: Further Information Requested for Application ID 201935777 [SEC=UNCLASSIFIED]

UNCLASSIFIED

Hi Walid,

Please see email below re DA201935777 and clarification re further info request, if you could please respond to the applicant.

Thank you,

Lydia

**From:** EPD, Customer Services <[EPDCustomerServices@act.gov.au](mailto:EPDCustomerServices@act.gov.au)>  
**Sent:** Wednesday, 6 November 2019 2:32 PM  
**To:** EPSP DACoordinator <[DACoordinator@act.gov.au](mailto:DACoordinator@act.gov.au)>  
**Subject:** FW: Further Information Requested for Application ID 201935777 [SEC=UNCLASSIFIED]

Hi Lydia,

Please see below email for actioning.

Many thanks

**Kind Regards**

Karen | Customer Services Officer

Phone 02 6207 1923

**Access Canberra | ACT Government**

GPO Box 158, Canberra City ACT 2601 | [www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)

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161024\_AccessCbr\_moving\_SigBlock



**From:** Canberra Granny Flat Builders - Planning [<mailto:Planning@cgfb.com.au>]  
**Sent:** Wednesday, 6 November 2019 12:19 PM  
**To:** EPD, Customer Services <[EPDCustomerServices@act.gov.au](mailto:EPDCustomerServices@act.gov.au)>  
**Cc:** Canberra Granny Flat Builders - Operations <[Operations@cgfb.com.au](mailto:Operations@cgfb.com.au)>  
**Subject:** RE: Further Information Requested for Application ID 201935777

To whom it may concern,

Thank you for detailing the further information that you require. We are in the process of

gathering the necessary items to provide to you, but we just wanted to seek a point of clarification first.

In regards to the first point raised, the workshop is in reality just part of the garage. We labelled it as such for the convenience of our customer, who wishes to store a motorbike and a couple of bicycles there.

In regards to the bathroom, its purpose is to provide bathroom access to a person with disabilities, especially in the case where they may require quicker access from a car or the garage, so the label workshop bathroom was more in place for the sake of the customer rather than detailing its exact purpose.

The extra space in this garage was also included to improve manoeuvrability and disabled access, as well as accommodate for possible charging stations for electric cars and other electric transportation. The customer really wants to try and transition to these types of transportation in the future and want to ensure the garage accommodates for that.

With that in mind, for the sake of clarity should we have not labelled that section separately, to highlight it was indeed just an area of the garage, or also given it a garage label?

Thank you,

[Bentan Honeywood](#) | Planning Approvals Manager

Mobile: [REDACTED] | Phone: 1300 979 658 | Fax: 1300 979 657

Postal: GPO Box 2265 Canberra City 2602

ACT Building Lic: 2012767 | NSW Building Lic: 259006C



---

**From:** "[ACTPLA.IS@act.gov.au](mailto:ACTPLA.IS@act.gov.au)" <[ACTPLA.IS@act.gov.au](mailto:ACTPLA.IS@act.gov.au)>

**Date:** Friday, 25 October 2019 at 12:57 PM

**To:** Nick Constable <[Operations@cgfb.com.au](mailto:Operations@cgfb.com.au)>

**Subject:** Further Information Requested for Application ID 201935777

Dear Mr/s Constable

In accordance with section S141 of the *Planning and Development Act 2007*, before this application can be determined, the Directorate requires the information below to be lodged by the period stated:

**DA Number:** 201935777

Block: 3, Section: 822

**Site Details:** Suburb: ISABELLA PLAINS, District:  
TUGGERANONG

**Applicant Name:** Nickolas Constable

The assessment of this development application is undertaken, please consider your options allowing for compliance with the following issues; (1) Dwelling Size – The GFA calculation for the secondary residence included workshop bathroom but workshop not included in that calculation. If the garage is connected to the secondary residence and nominated for the secondary residence use then the workshop is part of the secondary residence and the GFA need to be added with the secondary residence. (2) Car Parking Space – Please show three parking spaces on the block, two for the primary dwelling with at least one covered space and one for the proposed secondary residence. (3) Principal Private Open Space (PPOS) – Please demonstrate that the PPOS area located south of the main dwelling will achieve a minimum 3 hours of direct sunlight between the hours of 9am and 3pm of 21 June, winter solstice.

**Further Information** 22/11/2019  
**due date:**

If you cannot provide your response within the required timeframe, it is recommended you write to the Directorate prior to the expiration of the period stated above and seek an extension of the prescribed period for providing the information.

Please note, Section 141 (4) of the *Planning and Development Act 2007* provides that only one such extension may be granted.

If there is any change to the proposal as a result of responding to the further information request, the amended proposal is required to be submitted pursuant to S144 of the Planning and Development Act 2007. Please note the amended proposal will need to go through assessment and the due date will be extended as a consequence of submission pursuant to S144 of the Planning and Development Act 2007.

**You are advised that if some or all of the information has not been provided in accordance with this request, Section 142 of the *Planning and Development Act 2007* provides that the Directorate may refuse the application under Section 162.**

This email was automatically generated - **please do not respond**. If you need to contact the Environment, Planning and Sustainable Development Directorate in relation to this proposal please contact Customer Services on (02) 6207 1923 or email [EPDcustomerservices@act.gov.au](mailto:EPDcustomerservices@act.gov.au)

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Environment,  
Planning and  
Sustainable  
Development  
Directorate

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**From:** [Canberra Granny Flat Builders - Operations](#)  
**To:** [Cilliers, George](#); [Ponton, Ben](#)  
**Cc:** [Canberra Granny Flat Builders - Planning](#); [CGFB Client Services](#)  
**Subject:** Planning Help  
**Date:** Monday, 18 November 2019 11:34:50 AM  
**Attachments:** [image001.png](#)

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Ben, George,

We wanted to send a quick thank you for your help at each occasion we have requested your assistance with a development that has been held up well beyond the legislated timelines.

We understand the department is working hard to improve timelines and processes. We would always do our very best to offer our time for any consultation in the future, should the opportunity arise.

Having many current customers who are planning projects for elderly or disabled dependent's, we do develop a close relationship with these people and share their frustration when it comes to timelines that become disturbingly overdue.

The items that delay projects are overwhelmingly very minor, and often no change to plans are made to those that are finally stamped, months later.

We are working hard to include a more consultative approach in our process, and will do our best to include assessing officers in this.

Again, we thank you for you speedy responses and action in these cases.

Nick Constable | Director and Operations Manager  
Phone: 1300 979 658 | Fax: 1300 979 657  
Postal: GPO Box 2265 Canberra City 2602  
ACT Building Lic: 2012767 | NSW Building Lic: 259006C



**From:** [Canberra Granny Flat Builders - Planning](#)  
**To:** [EPD, Customer Services](#); [Cilliers, George](#)  
**Cc:** [BURCH](#); [GENTLEMAN](#); [thommagicarpentry@gmail.com](mailto:thommagicarpentry@gmail.com)  
**Subject:** RE: Further Information Requested for Application ID 201935777  
**Date:** Monday, 18 November 2019 11:13:07 AM  
**Attachments:** [image001.png](#)  
[Supporting Document Concerning DA 20193777.docx](#)  
[06 Thomas and Yidi Magi - 12 Bucknel Circuit, Isabella Plains ACT 2905 Shadow Diagrams.pdf](#)  
[09 Thomas and Yidi Magi - 12 Bucknel Circuit, Isabella Plains ACT 2905 Parking and Access Plan.pdf](#)  
[10 Thomas and Yidi Magi - 12 Bucknel Circuit, Isabella Plains ACT 2905 Area Plan.pdf](#)

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To whom it may concern,

Please find attached information and plans addressing the request for further information, as seen below.

Included is an amended Parking and Access Plan, and an amended Area Plan, alongside a Shadow Diagram.

Also attached is a supporting document detailing our responses to the request for further information, as well as information regarding the project and its process so far, that various parties may be interested in viewing.

Included in this email, alongside our customers, are the ACT Government representatives for the area, Joy Burch MLA and Minister for Planning and Land Management Mick Gentleman, and George Cilliers. We thought it suitable to bring to their attention this issue occurring in their constituencies and relevant departments.

We are happy to talk in more detail with anyone who may require or wish to acquire further details. Please contact myself through [planning@cgfb.com.au](mailto:planning@cgfb.com.au) or on [REDACTED]

Kind regards,

[Bentan Honeywood](#) | Planning Approvals Manager

Mobile: [REDACTED] | Phone: 1300 979 658 | Fax: 1300 979 657

Postal: GPO Box 2265 Canberra City 2602

ACT Building Lic: 2012767 | NSW Building Lic: 259006C



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**From:** "[ACTPLA.IS@act.gov.au](mailto:ACTPLA.IS@act.gov.au)" <[ACTPLA.IS@act.gov.au](mailto:ACTPLA.IS@act.gov.au)>

**Date:** Friday, 25 October 2019 at 12:57 PM

**To:** Nick Constable <[Operations@cgfb.com.au](mailto:Operations@cgfb.com.au)>

**Subject:** Further Information Requested for Application ID 201935777

Dear Mr/s Constable

In accordance with section S141 of the *Planning and Development Act 2007*, before this application can be determined, the Directorate requires the information below to be lodged by the period stated:

**DA Number:** 201935777

Block: 3, Section: 822

**Site Details:** Suburb: ISABELLA PLAINS, District:  
TUGGERANONG

**Applicant Name:** Nickolas Constable

**Information Required:** The assessment of this development application is undertaken, please consider your options allowing for compliance with the following issues; (1) Dwelling Size – The GFA calculation for the secondary residence included workshop bathroom but workshop not included in that calculation. If the garage is connected to the secondary residence and nominated for the secondary residence use than the workshop is part of the secondary residence and the GFA need to be added with the secondary residence. (2) Car Parking Space – Please show three parking spaces on the block, two for the primary dwelling with at least one covered space and one for the proposed secondary residence. (3) Principal Private Open Space (PPOS) – Please demonstrate that the PPOS area located south of the main dwelling will achieve a minimum 3 hours of direct sunlight between the hours of 9am and 3pm of 21 June, winter solstice.

**Further Information due date:** 22/11/2019

If you cannot provide your response within the required timeframe, it is recommended you write to the Directorate prior to the expiration of the period stated above and seek an extension of the prescribed period for providing the information.

Please note, Section 141 (4) of the *Planning and Development Act 2007* provides that only one such extension may be granted.

If there is any change to the proposal as a result of responding to the further information request, the amended proposal is required to be submitted pursuant to S144 of the *Planning and Development Act 2007*. Please note the amended proposal will

need to go through assessment and the due date will be extended as a consequence of submission pursuant to S144 of the Planning and Development Act 2007.

**You are advised that if some or all of the information has not been provided in accordance with this request, Section 142 of the *Planning and Development Act 2007* provides that the Directorate may refuse the application under Section 162.**

This email was automatically generated - **please do not respond**. If you need to contact the Environment, Planning and Sustainable Development Directorate in relation to this proposal please contact Customer Services on (02) 6207 1923 or email [EPDcustomerservices@act.gov.au](mailto:EPDcustomerservices@act.gov.au)

Customer  
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**Supporting Document Concerning DA 20193777**

To whom it may concern,

Please find below a document detailing the further information that has been requested for DA application 201935777, in accordance with S141 of the *Planning and Development Act 2007*.

Before addressing the issues raised directly, I do wish to detail the exact situation of the customers we are applying on behalf of.

This proposed residence is being constructed in order to house two elderly individuals, [REDACTED]

[REDACTED] s of such, it is crucial that this residence was designed in a way that would easily accommodate an elderly couple, and be fully adaptable and manoeuvrable in regards to disabled access or for those with a lack of mobility.

With that in mind, the residence was designed to incorporate plenty of space in order to allow for ease of manoeuvrability, in particular for wheelchairs and walkers. This is particularly the case for areas of the design such as the garage and bathrooms.

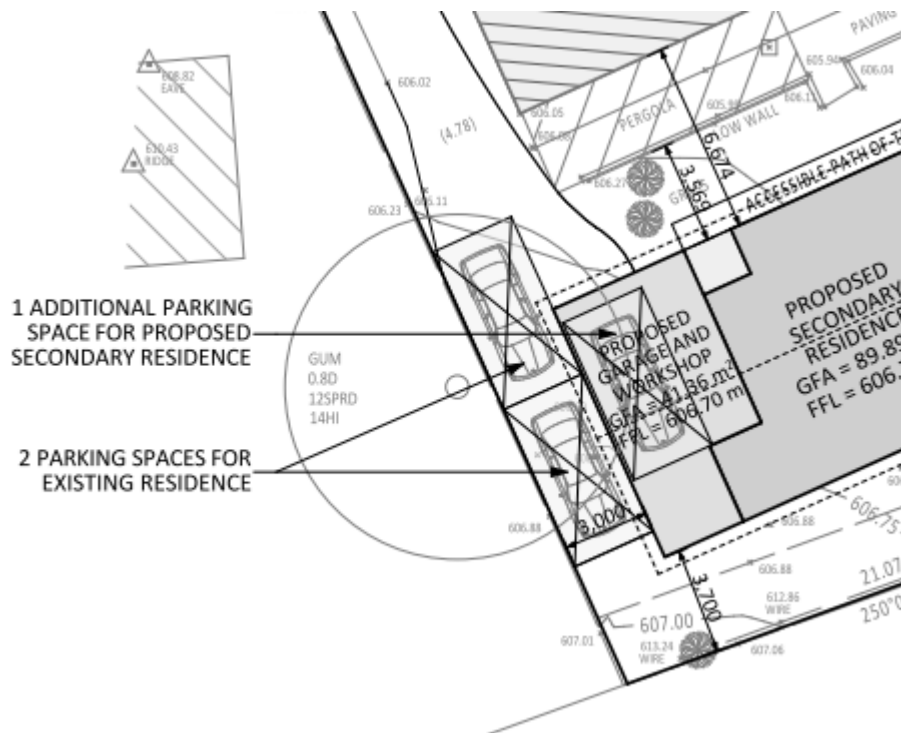
Please find below our responses to the information that has been requested of us in regards to this design.

## Car Parking Space

In regards to this issue raised:

*Car Parking Space – Please show three parking spaces on the block, two for the primary dwelling with at least one covered space and one for the proposed secondary residence.*

Attached in this email is the necessary documents that highlight the parking spaces on the block (the Parking and Access Plan). For convience, please also view the snapshot below.



As can be seen, marked are the two required spaces for the existing residence, as well as an additional space for the secondary residence. This additional space is covered, as it is placed within a proposed garage.

Below can be viewed a screenshot of the relevant section of the *Single Housing Development Code*

<b>4.3 Parking</b>	
<p><b>R31</b></p> <p>The minimum number of car parking spaces provided on the <i>block</i> complies with the following:</p> <p>a) for a <i>single dwelling house on compact blocks</i> containing not more than 1 bedroom – 1</p> <p>b) in all other cases - 2.</p>	<p><b>C31</b></p> <p>Car parking provided on the <i>block</i> is adequate for residents and visitors.</p>
<p><b>R33</b></p> <p>Car parking spaces on the <i>block</i> comply with all of the following:</p> <p>a) are not located in the <i>front zone</i>, except on:</p> <p style="margin-left: 20px;">i) <i>compact blocks</i></p> <p style="margin-left: 20px;">ii) any part of a driveway in tandem with another car parking space that is located behind the <i>front building line</i>.</p> <p>b) do not encroach any property boundaries</p> <p>c) at least one car parking space is roofed and is behind the <i>front zone</i></p> <p>d) comply with sightlines for off-street car-parking facilities and other relevant requirements in Australian Standard AS2890.1- <i>Parking facilities</i>.</p>	<p><b>C33</b></p> <p>Car parking and related access on <i>block</i> achieve all of the following:</p> <p>a) reasonable amenity of neighbouring <i>residential blocks</i></p> <p>b) consistency with the value of the <i>streetscape</i></p> <p>c) public safety especially in relation to pedestrians and cyclists</p> <p>d) reasonable surveillance of parking spaces.</p>

Furthermore, below is provided the rules with particular reference to Secondary Residences as stipulated in the *Residential Zones Development Code*.

4.3 Parking	
R18 At least one parking space is provided in addition to that required for the primary residence.	C18 Car parking on the block is adequate for current and future residents and visitors.
R19 The parking space associated with the <i>secondary residence</i> is not located in the <i>front zone</i> .	C19 Car parking and related access on the block achieve all of the following: <ul style="list-style-type: none"> <li>a) Reasonable amenity of neighbouring <i>residential blocks</i></li> <li>b) Consistency with the value of the <i>streetscape</i></li> <li>c) Public safety especially in relation to pedestrians and cyclists</li> <li>d) Reasonable surveillance of parking spaces</li> </ul>

As you can see and have identified, three parking spaces are required for this block, with one of them needing to be covered. The wording of the request would seem to suggest you wish for one of the covered spaces to be allocated to the existing residence, but as can be viewed in the relevant codes and rules, this is not a legal requirement.

Furthermore, it is crucial that this covered space is allocated to the proposed secondary residence, as this enables the project to be fully accessible to those who are disabled and/or make use of a wheelchair.

Overall, this request for further information is met.

### Principal Private Open Space (PPOS)

In regards to this issue raised:

*Principal Private Open Space (PPOS) – Please demonstrate that the PPOS area located south of the main dwelling will achieve a minimum 3 hours of direct sunlight between the hours of 9am and 3pm of 21 June, winter solstice.*

Please find below a screenshot containing the relevant rules as stipulated in the *Single Dwelling Housing Development Code*, including the referenced table.

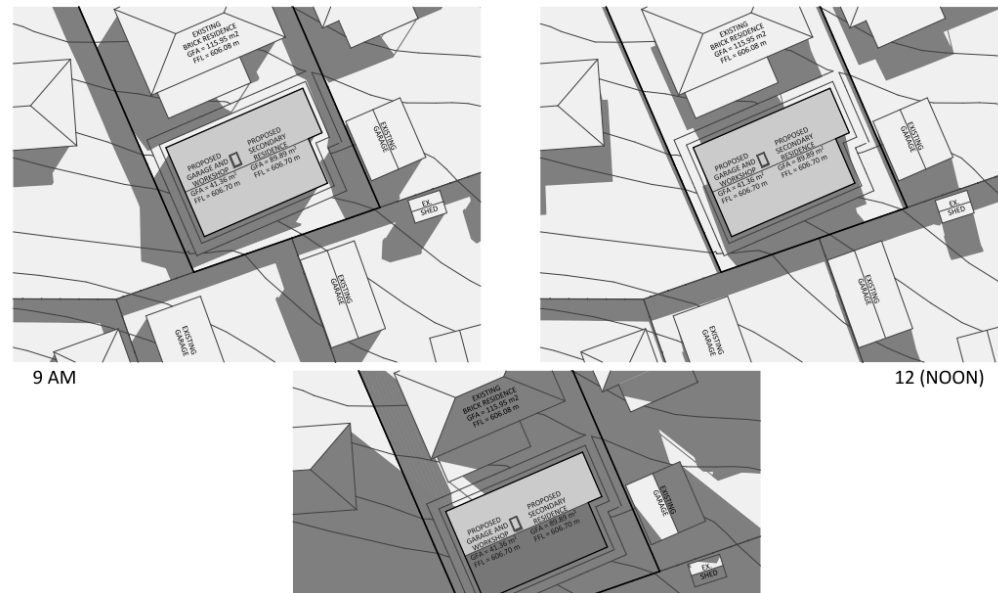
5.3 Principal private open space	
<p><b>R41</b></p> <p>At least one area of <i>principal private open space</i> on the block complies with all of the following:</p> <ul style="list-style-type: none"> <li>a) minimum area and dimensions specified in table 8.</li> <li>b) at ground level</li> <li>c) directly accessible from, and adjacent to, a <i>habitable room</i> other than a bedroom</li> <li>d) screened from adjoining public streets and public open space</li> <li>e) located behind the building line, except</li> </ul> <p>where enclosed by a courtyard wall</p> <ul style="list-style-type: none"> <li>f) is not located to the south, south-east or south-west of the dwelling, unless it achieves not less than 3 hours of direct sunlight onto 50% of the minimum principal private open space area between the hours of 9am and 3pm on the winter solstice (21 June).</li> </ul>	<p><b>C41</b></p> <p><i>Principal private open space</i> achieves all of the following:</p> <ul style="list-style-type: none"> <li>a) is proportionate to the size of the dwelling</li> <li>b) capable of enabling an extension of the function of the dwelling for relaxation, dining, entertainment, recreation, and it is directly accessible from the dwelling</li> <li>c) accommodates service functions such as clothes drying and domestic storage</li> <li>d) is screened from public streets and public open space with pedestrian or cycle paths</li> <li>e) reasonable access to sunlight to enable year round use</li> </ul>

Zone	Block type	Dwelling Size*	Minimum Area	Minimum Dimension
all	Compact	all	16m <sup>2</sup>	4m
RZ1	Mid sized	up to 105m <sup>2</sup>	28m <sup>2</sup>	4m
RZ2	Large			
	Mid sized	105m <sup>2</sup> or greater	36m <sup>2</sup>	6m
	Large			
RZ3	Mid sized			
RZ4	Large	all	24m <sup>2</sup>	4m

As can be seen, it is a requirement for this block that the PPOS is 28sqm, and due to its positioning is required to achieve 3 hours of direct sunlight onto a minimum of 50% of the designated area.

See below screenshots from the Area Plan and prepared Shadow Diagram, respectively, which have also been provided in full to the Department.





As can be seen, in the design a number of PPOS areas have been designated, accessible from both the existing residence as well as the proposed secondary residence, all meeting the required size requirements.

In regards to shadowing, we do believe the design satisfies the required rule. The top right PPOS designated (the circular one closest to the eastern boundary) should achieve the required 50% direct sunlight for three hours. This is also the case for the rectangular area dictated on the southern end of the block.

Regardless, these areas meet the required criteria as stipulated in the relevant code.

All PPOS's designated are proportionate to the size of the residences, and regardless fulfil the size requirements stipulated in the rule itself. They are easily accessible from both the existing and proposed residence and are very clearly screened from the public.

The main issue to address is that of shadowing. The positioning of these PPOS's allow for appropriate functionality in regard to entertaining, storage, drying and recreation. These areas allow room for furniture, activities and clotheslines, and do so comfortably, and do so with reasonable access to sunlight. From an examination of the provided Shadow Diagram, it is clear that the areas achieve a reasonable level of direct sunlight during the Winter Solstice. Whilst not every area satisfies this (with particular note to the left hand, circular area), it is only required that one of these areas does. In the case of this proposed residence, there are two designated areas that meet these criteria, between the hours of 9am and 12 noon (the right hand, circular area and the rectangular area).

To summarise, the attached Shadow Diagram highlights that the further information requested (which was to highlight that PPOS achieved a minimum of 3 hours sunlight over 50% of its area), has been satisfied. Furthermore, the areas satisfy the relevant rules criteria. As of such, this element of the design satisfies the relevant rules and regulations.

## Dwelling Size

In regards to this raised issue:

*Dwelling Size – The GFA calculation for the secondary residence included workshop bathroom but workshop not included in that calculation. If the garage is connected to the secondary residence and nominated for the secondary residence use than the workshop is part of the secondary residence and the GFA need to be added with the secondary residence.*

Please find below the definitions, as defined in the most recent Definitions document provide by the ACT Planning and Land Authority. Included are the applicable definitions for an ‘outbuilding’ and ‘garage’.

### Part A – Definitions of Developments

	<p><b>Ancillary use</b> means the use of land for a purpose that is ancillary to the primary use of the land.</p>	<p><b>Outbuilding</b> means a shed, <b>garage</b> or similar structure that is <i>ancillary</i> to the permitted use of the land.</p>	
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### Part B – Definitions of Terms

**Garage** means a car shelter wholly or partly enclosed on more than two sides and includes an outbuilding as defined in the Building Code of Australia.

Also, here is the definition of an outbuilding from the *Building Code of Australia*, as referred to in the above definition of ‘garage’ in the ACT.

Typical outbuilding classifications include the following:

- A sleepout on the same allotment as a Class 1 building is part of the Class 1 building.
- A detached entertainment room on the same allotment as a Class 1 building, perhaps associated with a *swimming pool*, is part of the Class 1 building.
- A small toolshed, used for trade-related hobbies for non-commercial purposes or home repairs, on the same allotment as a Class 1 building, would be classified as a Class 10 building.

Furthermore, find definitions of a Private Garage as drawn from the *Building Code of Australia*.

**Private garage**, for the purposes of Volume One, means—

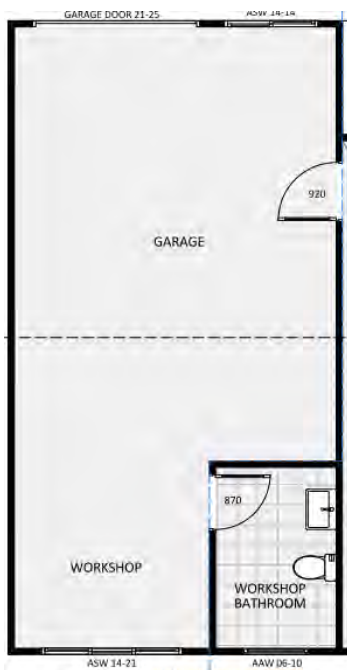
- (a) any garage associated with a Class 1 building; or
- (b) any single *storey* of a building of another Class containing not more than 3 vehicle spaces, if there is only one such *storey* in the building; or
- (c) any separate single *storey* garage associated with another building where such garage contains not more than 3 vehicle spaces.

**Private garage.** for the purposes of Volume Two, means—

- (a) any garage associated with a Class 1 building; or
- (b) any separate single **storey** garage associated with another building where such garage contains not more than 3 vehicle spaces.

To summarise, a garage is an enclosed space associated with a Class 1 Building that functions to store a small number of vehicles, such as cars and motorbikes, as well as place that items such as bicycles, and tools for small, non-commercial purposes.

If you view the snapshot below, this is what is detailed in the plans that we have provided.



There is a place to store a single car and provide ease of access to people, even if disabled and/or requiring the use of a wheelchair, as well as space to store an additional motorbike or bicycles, as well as tools. These areas satisfy the conditions of a garage and outbuilding.

If you view the screenshot below, you'll see that the maximum dwelling size for a secondary residence is 90sqm, excluding garage space.

Rules	Criteria
<p>R7</p> <p>The maximum <i>dwelling size</i>* of a secondary residence is 90m<sup>2</sup>.</p> <p>*For the purpose of this rule, <i>dwelling size</i> is the floor area measured to the outside face of external walls (including internal walls between the living areas and garage) but excludes the <i>garage</i>.</p>	<p>This is a mandatory requirement, there is no applicable criterion.</p>

In regards to the proposed project, when the relevant sections of the dwelling are incorporated, the total floor area falls under this 90sqm maximum.

Overall, the garage area falls inside the specified laws and regulations surrounding garage space and outbuildings, and as of such should legally be excluded from the calculations concerning dwelling size. This encompasses the rules as described in the *Building Code of Australia*, the *Residential Zones Development Code*, and definitions provided by ACTPLA. As of such, the concern regarding the dwelling size of this proposed residence is appropriately addressed.

In discussions with the department in attempting to resolve the issues that were raised, it was also stated that our statements regarding the area that is labelled 'Workshop Bathroom' (in regards to it being an accessible bathroom) were inaccurate. We also wished to address these claims now.

If you look at the screenshots below, which are taken from AS 4299, they describe what is required in terms of access. In particular it notes that there must be visitability and a clear path linking important areas, such as living areas, bedrooms and bathrooms, in particular with entry ways and vehicle parking.

The placement of vehicle parking for this secondary residence and accessible bathroom was designed with these rules in mind, as can be seen through an examination of the floor plan. There is space provided to ensure there is clear access to these areas, with particular ease of access provided from vehicle parking.

As of such, the 'Workshop Bathroom' functions in a way that is compliant with the relevant codes. Previous suggestions that would stipulate it does not are seemingly unfounded, or at least not drawn from the relevant legislation and codes.

**2.2 PERFORMANCE REQUIREMENTS** Adaptable housing units shall be designed and constructed to meet the following requirements:

- (a) **Visitability** To be visitable by people who use wheelchairs, in that there must be at least one wheelchair accessible entry and path of travel to the living area and to a toilet that is either accessible or visitable.
- (b) **Avoidance of level changes** To have no steps and to avoid level changes where possible.
- (c) **Manoeuvrability** This shall include the following:
  - (i) To provide space sufficient to manoeuvre a wheelchair within a living area, the kitchen and an accessible path of travel linking these areas.  
NOTE: Although not required for visitability, the kitchen is included as an initial spatial requirement for manoeuvrability, as there is significant expense involved in changing the kitchen layout at a later date.
  - (ii) To provide space sufficient to manoeuvre a wheelchair within a bedroom, a bathroom and a toilet *or* to provide a design and details whereby *after* adaptation there will be sufficient space to manoeuvre a wheelchair within these facilities and an accessible path of travel linking these facilities to the entry, living and kitchen areas.
- (d) **Ease of adaptation** If the design for adaptation requires further demolition of walls then these walls shall be non load-bearing and free of electrical and plumbing services.
- (e) **Ease of reach** To provide electrical controls, taps, and some shelves and cupboards at levels to suit people who use wheelchairs.
- (f) **Future laundry facilities** To provide laundry facilities that after adaptation will be accessible to people who use wheelchairs. Those laundry facilities may be external to the adaptable housing unit, providing a wheelchair accessible path of travel is available from the adaptable housing unit to the laundry facilities.

NOTES:

- 1 There are no set design solutions, but a huge variety of ways of adapting a design to meet these criteria is possible. Designers are encouraged to use imaginative design within these broad parameters. An example of an adaptable house design is shown in Appendix B.

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- 2 The most demanding scenario for the design for circulation within housing units is for an occupant in a wheelchair. The manoeuvring of wheelchairs imposes the greatest circulation space requirements within housing units. For this reason circulation requirements are generally based on the requirements for people who use wheelchairs as in AS 1428.1 or AS 1428.2.
- 3 Design to accommodate wheelchair use will also assist people with prams, trolleys and other wheeled equipment.

3	A continuous accessible path of travel from street frontage and vehicle parking to entry complying with AS 1428.1	3.3.2	✓				
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Whilst legislation and codes themselves have been addressed above, we also wished to take a moment to describe how this development and specific areas of this project were designed to comply with the policy aims of the ACT Government.

The ACT Government has made it clear, in regards to construction and developments, that affordability is crucial. Secondary residences and flats are a crucial part of this strategy that can be enacted through the free market. By allowing those who already possess land to build small scale structures that can house individuals, in particular those who are [REDACTED], the housing market is allowed to further open up. This is particularly pertinent in this case, as our clients are designing and constructing this home for their [REDACTED] to move into it, so they can be [REDACTED]. The clients are prepared to even do as much carpentry and work themselves in order to keep this as affordable as possible.

Furthermore, it is another clear goal of the ACT Government to have citizens begin to shift to green modes of transport, such as bicycles and electric vehicles. With this in mind, the garage was designed with space to not only accommodate things such as bicycles and smaller electric modes of transportation, but also the future installation of recharging stations for electric vehicles such as cars. Not only has this design been created with the functionality for the existing customers, but also for the functionality of future owners, in particular with reference to the ACT Governments scope and future direction.

As of such, the response received from the Department in regards to the garage space and accessibility are particularly confusing. Not only does this area comply with relevant rules and legislation, it was designed with the aims of the ACT Government in mind, with the aim to not only comply but aid in the Governments future strategy for Canberra. Having things incorporated into the plan to enable this being turned around and used to somehow fail an application does not make sense.

The legislated time frame states this DA application was meant to be determined by 20/8/19, a date that is also listed on the e-development portal. Yet not only was this application not determined, further information was requested another 2 months after this deadline, as shown in the email below.

**From:** "ACTPLA.IS@act.gov.au" <ACTPLA.IS@act.gov.au>  
**Date:** Friday, 25 October 2019 at 12:57 PM  
**To:** Nick Constable <Operations@cgfb.com.au>  
**Subject:** Further Information Requested for Application ID 201935777

Dear Mr/s Constable

In accordance with section S141 of the *Planning and Development Act 2007*, before this application can be determined, the Directorate requires the information below to be lodged by the period stated:

In light of the Planning Department and relevant ACT Minister, Planning Minister Mick Gentleman, stating earlier this year, in publications such as the Canberra Times, that they are in the process of vastly improving their assessments and speed (<https://www.canberratimes.com.au/story/6181698/more-planners-to-oversee-canberras-growth/>), the journey the is DA application has followed is, to state politely, troubling. This is especially the case when examining it from the perspective of small businesses and their clients. Not only has that not been the case with this process, it has also drastically affected the lives of these [REDACTED] [REDACTED] who were expecting construction to be well underway if not nearing completion at this point of the year, and expected to be able to live [REDACTED] [REDACTED]. We, as well as our clients, would appreciate a reasonably paced resolution to this application.

Thank you,

Bentan Honeywood | Planning Approvals Manager

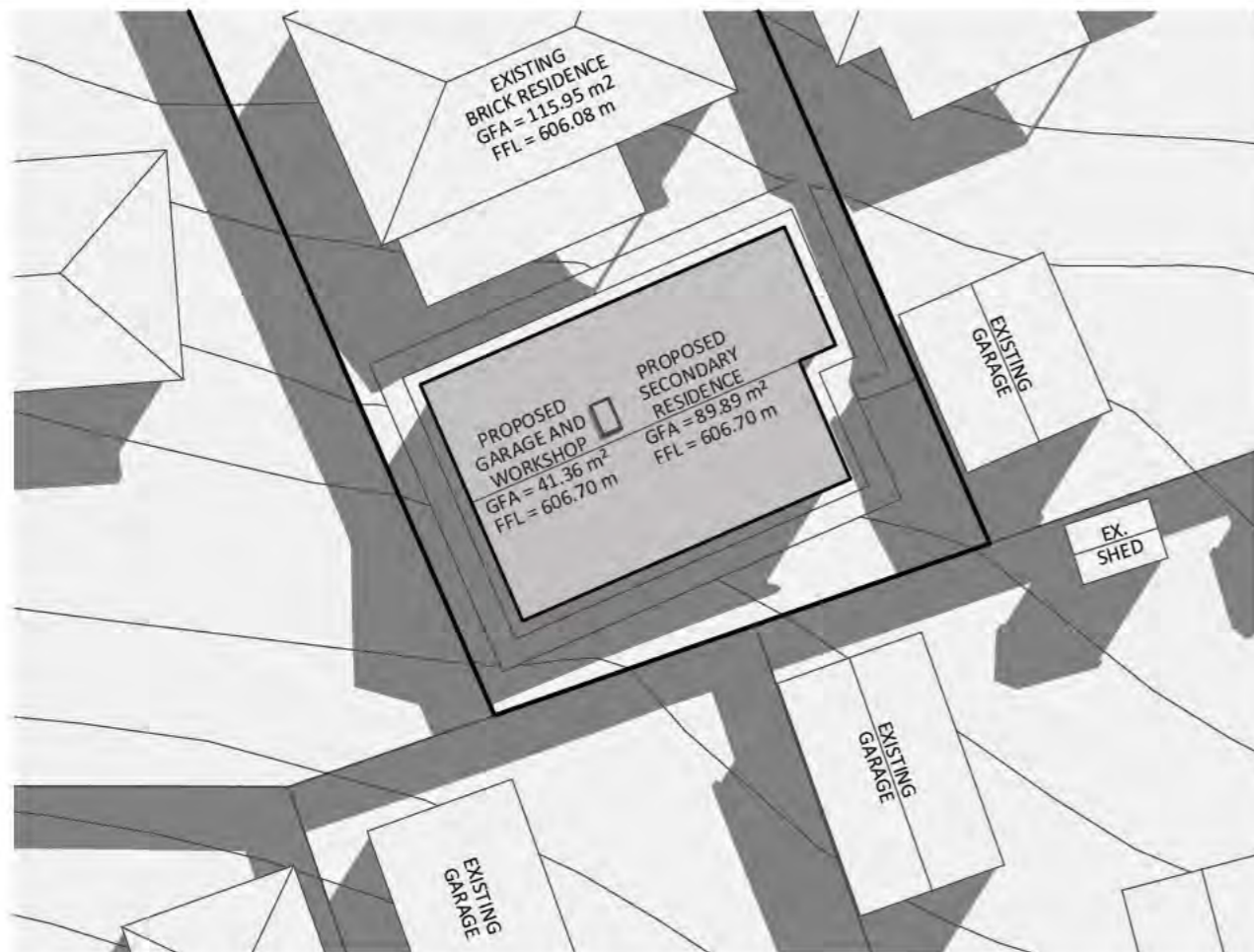
Mobile: [REDACTED] | Phone: 1300 979 658 | Fax: 1300 979 657

Postal: GPO Box 2265 Canberra City 2602

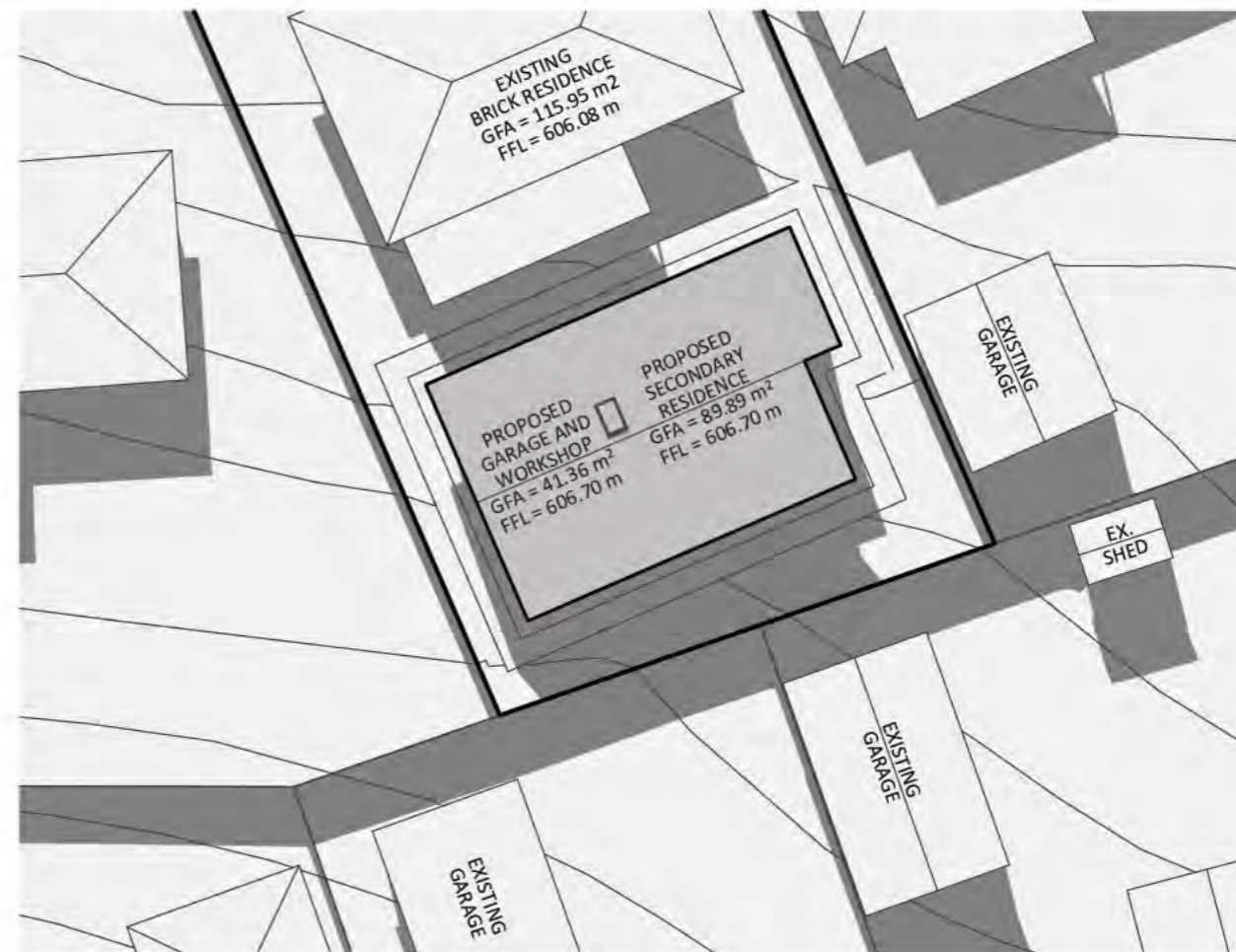
ACT Building Lic: 2012767 | NSW Building Lic: 259006C



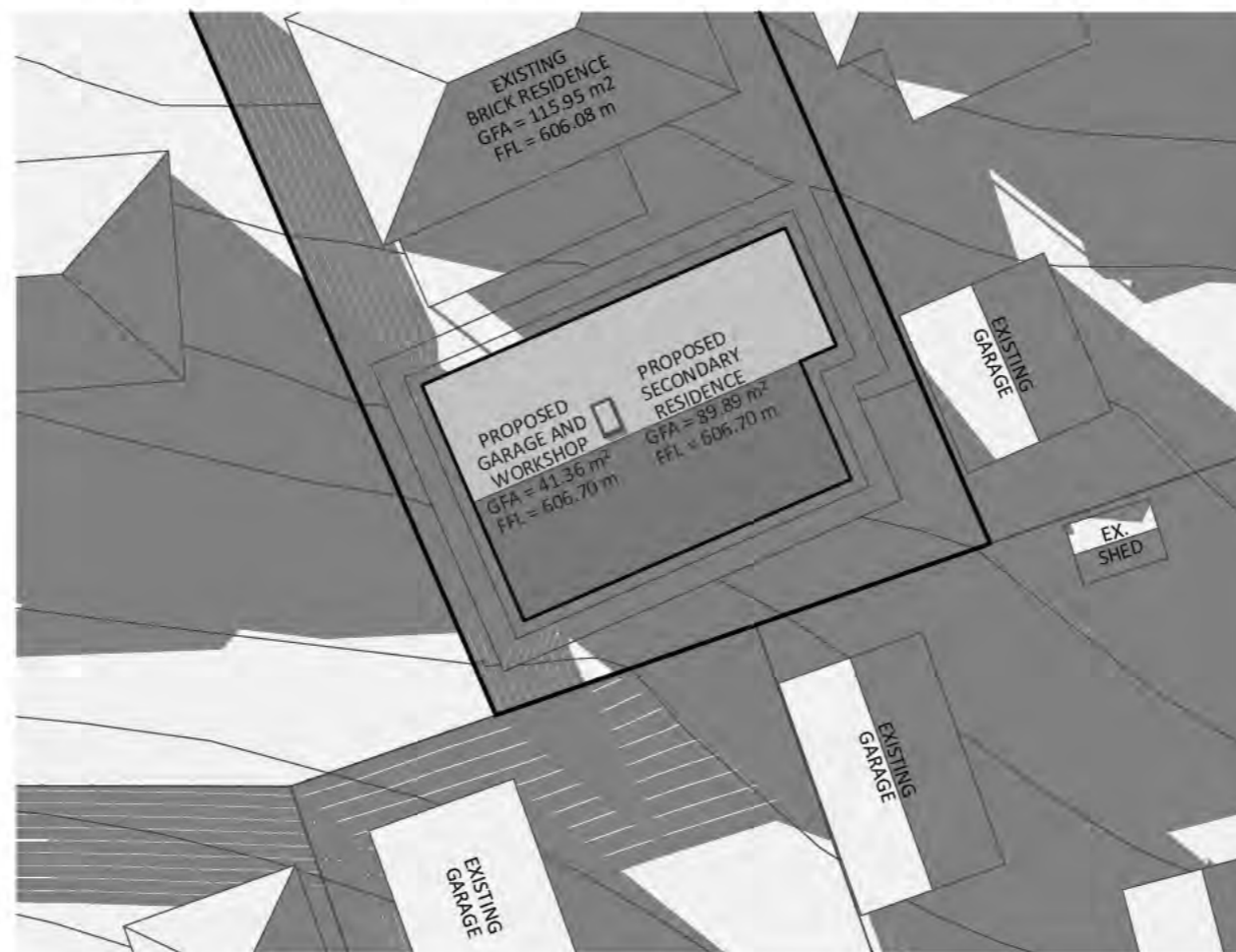
canberragrannyflatbuilders.com.au



9 AM



12 (NOON)



3 PM





BUCKNEL CIRCUIT



**Notes**

Actual plot ratio =  $\frac{\text{Existing building(s)/structure(s)} + \text{Proposed new building(s)/structures}}{\text{Site area}} \times 100\%$

Actual private open space = Site area - (Existing building(s)/structure(s) + Proposed new building(s)/structure(s) + Driveways and maneuvering space)

Planting area = Actual private open space - Non planting area

LEGEND	PLOT RATIO	PRIVATE OPEN SPACE
SITE AREA	740 m <sup>2</sup>	740 m <sup>2</sup>
EXISTING BUILDING(S) / STRUCTURE(S)	115.95 m <sup>2</sup>	115.95 m <sup>2</sup>
PROPOSED NEW BUILDING(S)/STRUCTURE(S)	131.25 m <sup>2</sup>	131.25 m <sup>2</sup>
DRIVEWAYS AND MANEUVERING SPACE	N/A	98.29 m <sup>2</sup>
	ACTUAL PLOT RATIO = 33.4% (MAXIMUM PLOT RATIO = 50%)	ACTUAL PRIVATE OPEN SPACE = 394.51 m <sup>2</sup> (MINIMUM POS = 60% x SITE AREA - 50m <sup>2</sup> = 394 m <sup>2</sup> )
NON PLANTING AREA	N/A	71.14 m <sup>2</sup>
PLANTING AREA	N/A	323.37 m <sup>2</sup> (MINIMUM PLANTING AREA = 50% x MINIMUM POS = 197 m <sup>2</sup> )
PPOS	N/A	28.26 m <sup>2</sup> , 28.26 m <sup>2</sup> , 28.00 m <sup>2</sup>

**CANBERRA GRANNY FLAT BUILDERS**  
canberragrannyflatbuilders.com.au

**PROJECT DETAILS**  
Customer Name: Thomas and Yidi Magi  
Project Address: 12 Bucknel Circuit,  
Isabella Plains ACT 2905  
Block No 3  
Section No 822

**AREAS:**  
Proposed Secondary Residence GFA 89.89 m<sup>2</sup>  
Proposed Garage and Workshop GFA 41.36 m<sup>2</sup>  
Total Roof Area 156.85 m<sup>2</sup>  
Entry Deck Area 3.06 m<sup>2</sup>

REV	DATE
10	11/11/2019
FOR APPROVAL	
CUSTOMER APPROVAL	
NAME	SIGNATURE
DATE	

**DRAWING NAME**  
AREA PLAN

<b>DRAWING SCALE</b> 1:200	<b>SHEET SIZE</b> A3	<b>DRAWING NUMBER</b> 10
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**From:** [Canberra Granny Flat Builders - Planning](#)  
**To:** [EPD, Customer Services](#); [Cilliers, George](#)  
**Cc:** [BURCH](#); [GENTLEMAN](#); [thommagicarpentry@gmail.com](mailto:thommagicarpentry@gmail.com)  
**Subject:** RE: Further Information Requested for Application ID 201935777  
**Date:** Monday, 18 November 2019 11:24:12 AM  
**Attachments:** [image001.png](#)  
[Merged File - Further Information Concerning DA 20193777.pdf](#)

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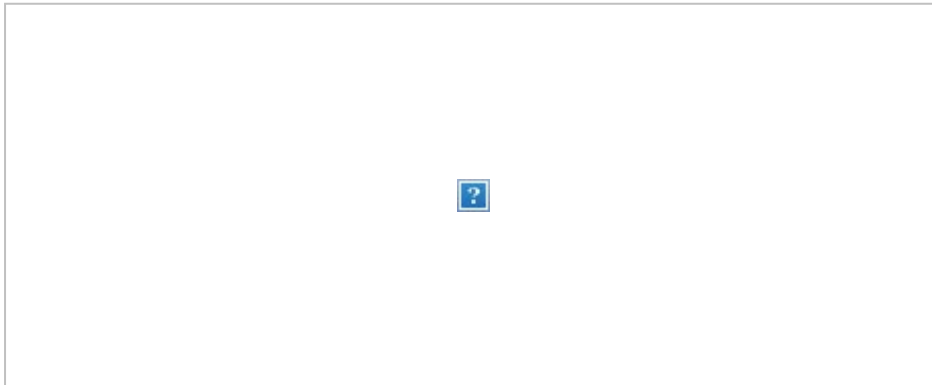
Please find attached a merged PDF Document of the previous attachments, for convenience

[Bentan Honeywood](#) | Planning Approvals Manager

Mobile: [REDACTED] | Phone: 1300 979 658 | Fax: 1300 979 657

Postal: GPO Box 2265 Canberra City 2602

ACT Building Lic: 2012767 | NSW Building Lic: 259006C



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**From:** Canberra Granny Flat Builders - Planning  
**Sent:** Monday, 18 November 2019 11:10 AM  
**To:** EPD, Customer Services <EPDCustomerServices@act.gov.au>; Cilliers, George <George.Cilliers@act.gov.au>  
**Cc:** [burch@parliament.act.gov.au](mailto:burch@parliament.act.gov.au); [gentleman@act.gov.au](mailto:gentleman@act.gov.au); [thommagicarpentry@gmail.com](mailto:thommagicarpentry@gmail.com)  
**Subject:** RE: Further Information Requested for Application ID 201935777

To whom it may concern,

Please find attached information and plans addressing the request for further information, as seen below.

Included is an amended Parking and Access Plan, and an amended Area Plan, alongside a Shadow Diagram.

Also attached is a supporting document detailing our responses to the request for further information, as well as information regarding the project and its process so far, that various parties may be interested in viewing.

Included in this email, alongside our customers, are the ACT Government representatives for the area, Joy Burch MLA and Minister for Planning and Land Management Mick Gentleman, and George Cilliers. We thought it suitable to bring to their attention this issue occurring in their constituencies and relevant departments.

We are happy to talk in more detail with anyone who may require or wish to acquire further details. Please contact myself through [planning@cgfb.com.au](mailto:planning@cgfb.com.au) or on [REDACTED].

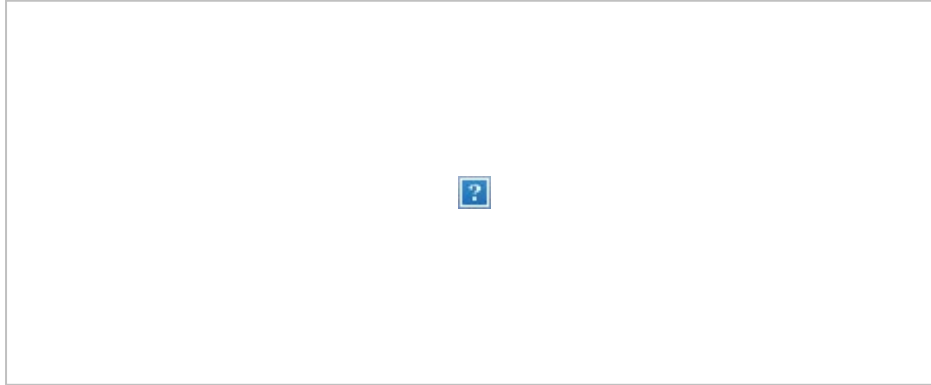
Kind regards,

**Bentan Honeywood** | Planning Approvals Manager

Mobile: [REDACTED] | Phone: 1300 979 658 | Fax: 1300 979 657

Postal: GPO Box 2265 Canberra City 2602

ACT Building Lic: 2012767 | NSW Building Lic: 259006C




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**From:** "[ACTPLA.IS@act.gov.au](mailto:ACTPLA.IS@act.gov.au)" <[ACTPLA.IS@act.gov.au](mailto:ACTPLA.IS@act.gov.au)>

**Date:** Friday, 25 October 2019 at 12:57 PM

**To:** Nick Constable <[Operations@cgfb.com.au](mailto:Operations@cgfb.com.au)>

**Subject:** Further Information Requested for Application ID 201935777

Dear Mr/s Constable

In accordance with section S141 of the *Planning and Development Act 2007*, before this application can be determined, the Directorate requires the information below to be lodged by the period stated:

**DA Number:** 201935777

Block: 3, Section: 822

**Site Details:** Suburb: ISABELLA PLAINS, District:  
TUGGERANONG

**Applicant Name:** Nickolas Constable

The assessment of this development application is undertaken, please consider your options allowing for compliance with the following issues; (1) Dwelling Size – The GFA calculation for the secondary residence included workshop bathroom but workshop not included in that calculation. If the garage is connected to the secondary residence and nominated for the secondary residence use than the workshop is part of the secondary

**Information** residence and the GFA need to be added with the

**Required:** secondary residence. (2) Car Parking Space – Please show three parking spaces on the block, two for the primary dwelling with at least one covered space and one for the proposed secondary residence. (3) Principal Private Open Space (PPOS) – Please demonstrate that the PPOS area located south of the main dwelling will achieve a minimum 3 hours of direct sunlight between the hours of 9am and 3pm of 21 June, winter solstice.

**Further Information** 22/11/2019  
**due date:**

If you cannot provide your response within the required timeframe, it is recommended you write to the Directorate prior to the expiration of the period stated above and seek an extension of the prescribed period for providing the information.

Please note, Section 141 (4) of the *Planning and Development Act 2007* provides that only one such extension may be granted.

If there is any change to the proposal as a result of responding to the further information request, the amended proposal is required to be submitted pursuant to S144 of the Planning and Development Act 2007. Please note the amended proposal will need to go through assessment and the due date will be extended as a consequence of submission pursuant to S144 of the Planning and Development Act 2007.

**You are advised that if some or all of the information has not been provided in accordance with this request, Section 142 of the *Planning and Development Act 2007* provides that the Directorate may refuse the application under Section 162.**

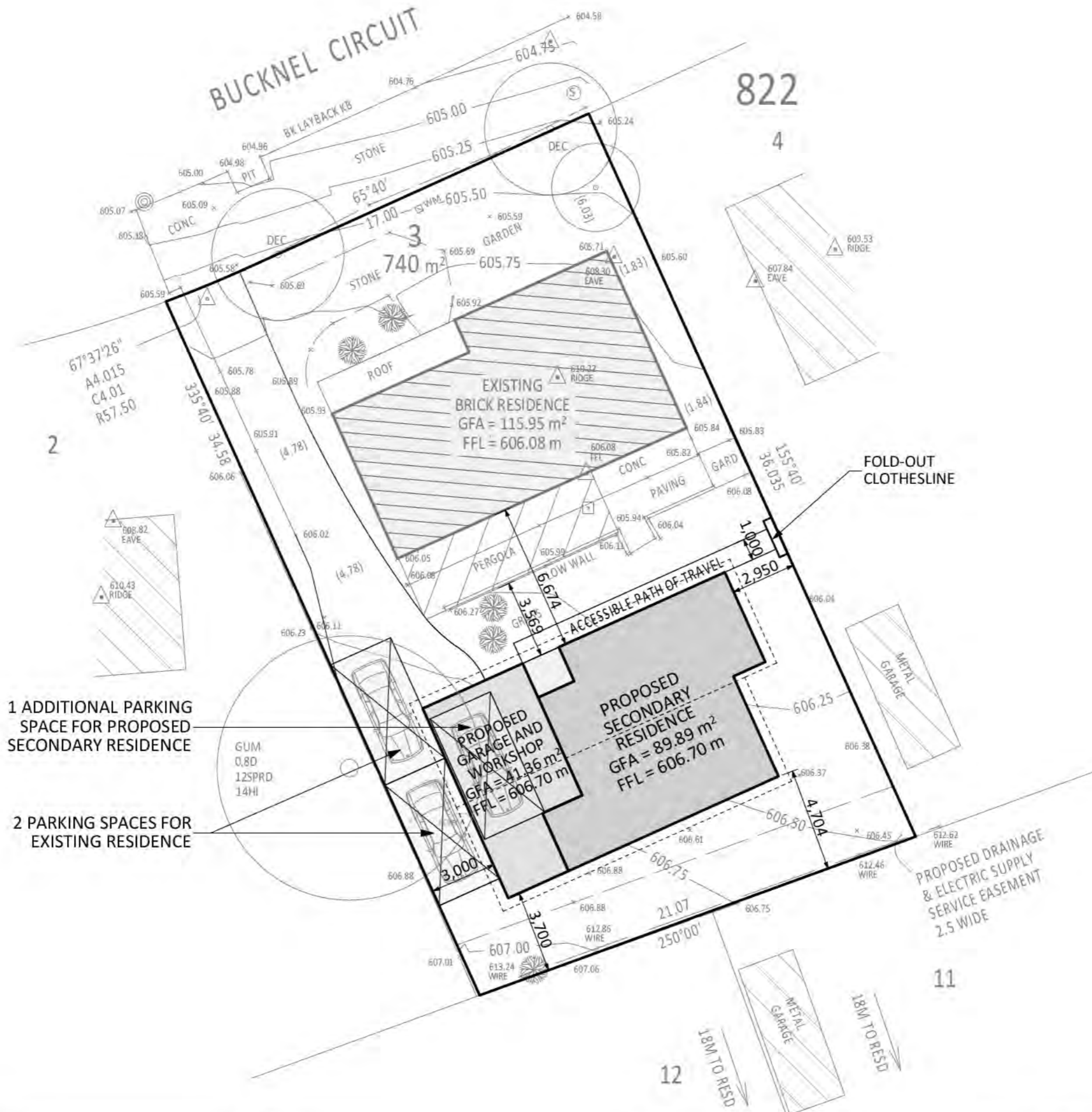
This email was automatically generated - **please do not respond**. If you need to contact the Environment, Planning and Sustainable Development Directorate in relation to this proposal please contact Customer Services on (02) 6207 1923 or email [EPDcustomerservices@act.gov.au](mailto:EPDcustomerservices@act.gov.au)

Customer  
Services  
Environment,  
Planning and  
Sustainable  
Development  
Directorate

-----  
This email, and any attachments, may be confidential and also privileged. If you are not the intended recipient, please notify the sender and delete all copies of this transmission along with any attachments immediately. You should not copy or use it for any purpose,

nor disclose its contents to any other person.

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### LEGEND

SYMBOL	DESCRIPTION
◻ WM	WATER METER
⊙	SEWER MANHOLE

1 ADDITIONAL PARKING SPACE FOR PROPOSED SECONDARY RESIDENCE

2 PARKING SPACES FOR EXISTING RESIDENCE

**DISCLAIMERS:**  
Tree canopies are shown as a circular representation only and may not reflect irregular canopies.

The symbols used in this plan and associated digital data do not necessarily reflect the size and orientation of the object they represent.

Boundary information is for the purpose of this plan. Further survey and marking of boundaries may be required.

Services shown hereon have been determined from visual evidence only. Prior to any demolition, excavation or construction on the site the relevant authority should be contacted to establish detailed location and depth.

Easement information has been derived from the Deposited Plan and ACTMAPI. It is recommended that a title search be carried out to investigate whether any Easements have been created by instrument and added to the title.

**CANBERRA GRANNY FLAT BUILDERS**  
canberragrannyflatbuilders.com.au

**PROJECT DETAILS**  
Customer Name: Thomas and Yidi Magi  
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REV	DATE	DRAWING NAME
10	11/11/2019	FOR APPROVAL
CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

DRAWING SCALE	SHEET SIZE	DRAWING NUMBER
1:200	A3	9



BUCKNEL CIRCUIT



**Notes**

Actual plot ratio =  $\frac{\text{Existing building(s)/structure(s)} + \text{Proposed new building(s)/structures}}{\text{Site area}} \times 100\%$

Actual private open space = Site area - (Existing building(s)/structure(s) + Proposed new building(s)/structure(s) + Driveways and maneuvering space)

Planting area = Actual private open space - Non planting area

LEGEND	PLOT RATIO	PRIVATE OPEN SPACE
SITE AREA	740 m <sup>2</sup>	740 m <sup>2</sup>
EXISTING BUILDING(S) / STRUCTURE(S)	115.95 m <sup>2</sup>	115.95 m <sup>2</sup>
PROPOSED NEW BUILDING(S)/STRUCTURE(S)	131.25 m <sup>2</sup>	131.25 m <sup>2</sup>
DRIVEWAYS AND MANEUVERING SPACE	N/A	98.29 m <sup>2</sup>
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NON PLANTING AREA	N/A	71.14 m <sup>2</sup>
PLANTING AREA	N/A	323.37 m <sup>2</sup> (MINIMUM PLANTING AREA = 50% x MINIMUM POS = 197 m <sup>2</sup> )
PPOS	N/A	28.26 m <sup>2</sup> , 28.26 m <sup>2</sup> , 28.00 m <sup>2</sup>

**CANBERRA GRANNY FLAT BUILDERS**  
canberragrannyflatbuilders.com.au

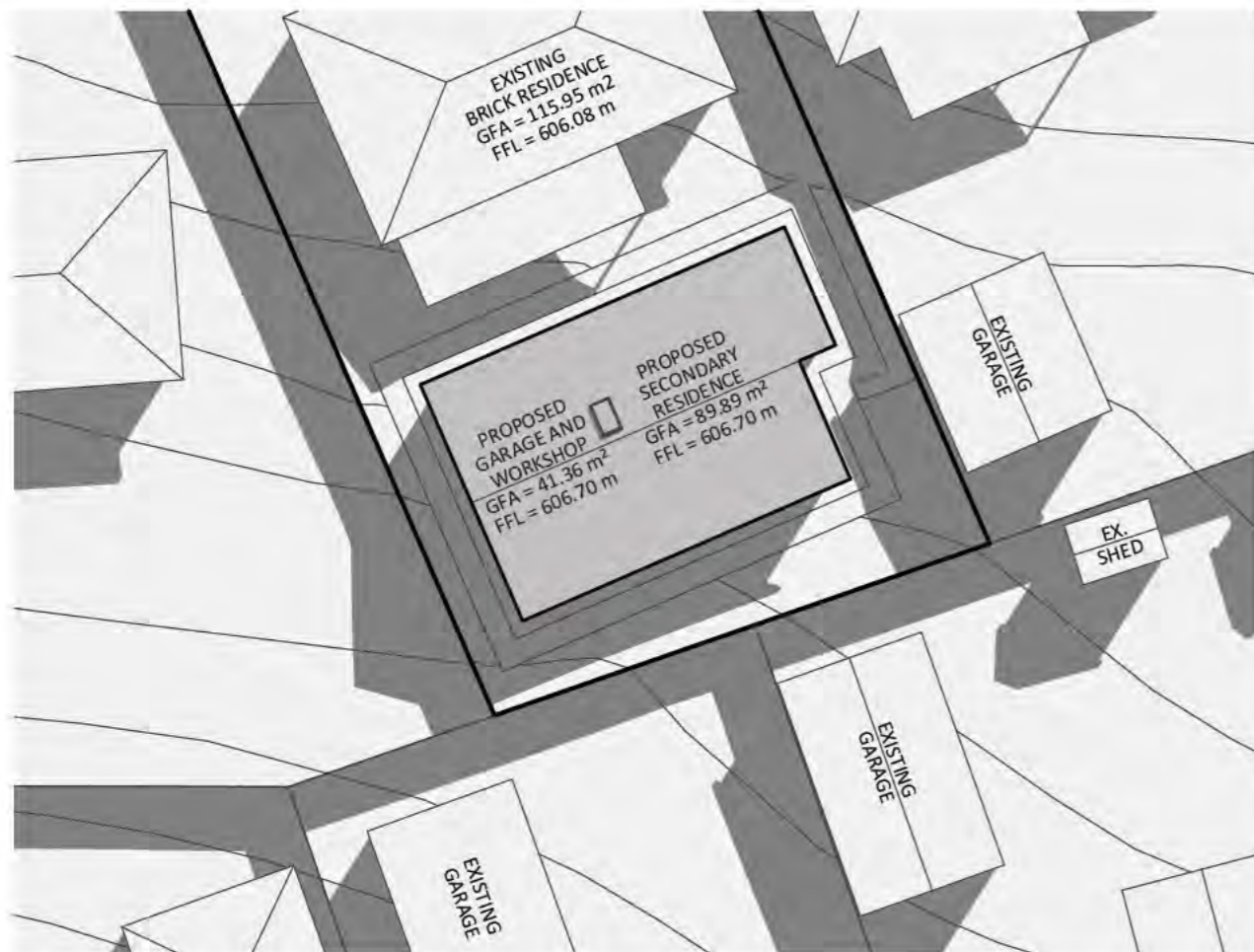
**PROJECT DETAILS**  
Customer Name: Thomas and Yidi Magi  
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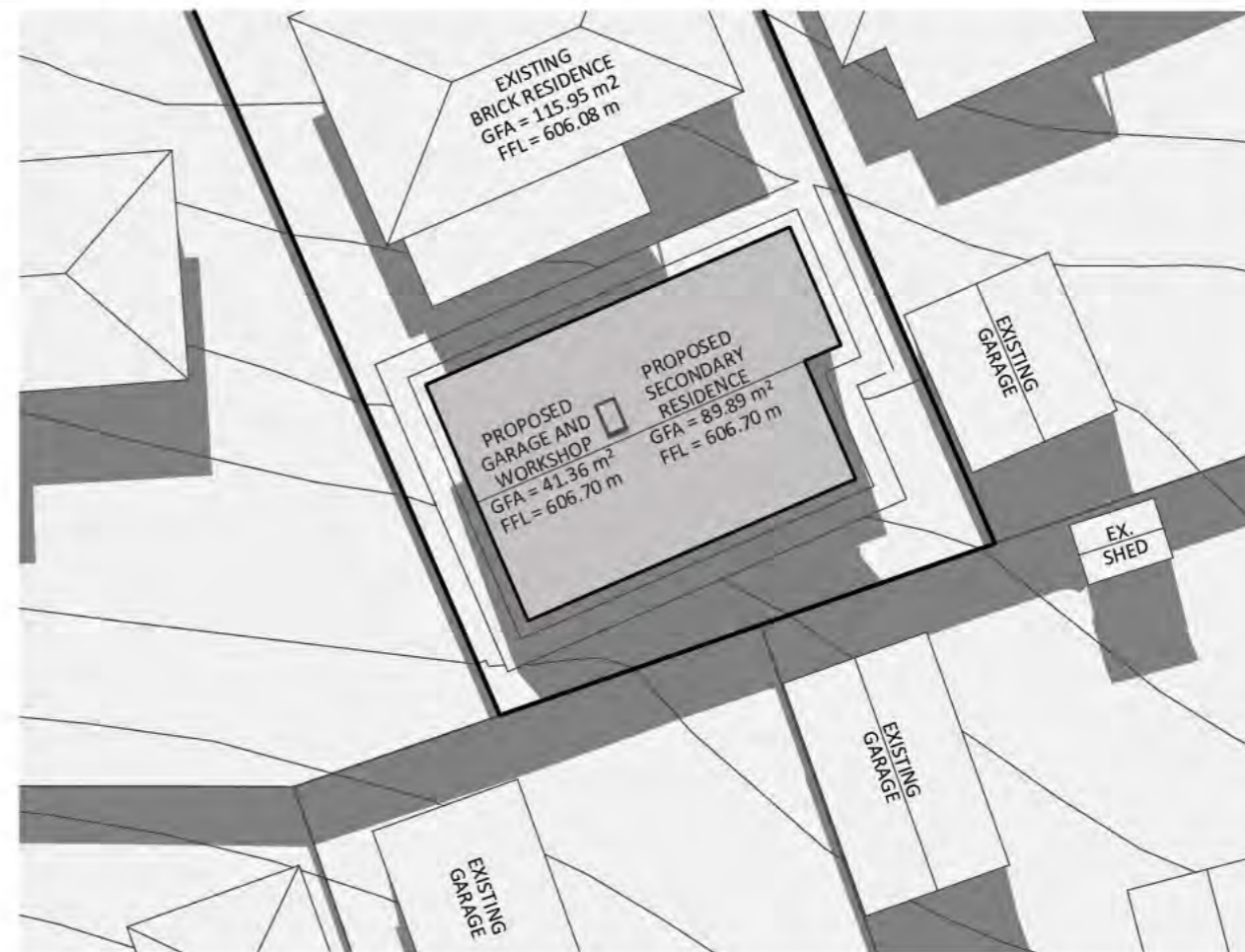
REV	DATE
10	11/11/2019
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DATE	

**DRAWING NAME**  
AREA PLAN

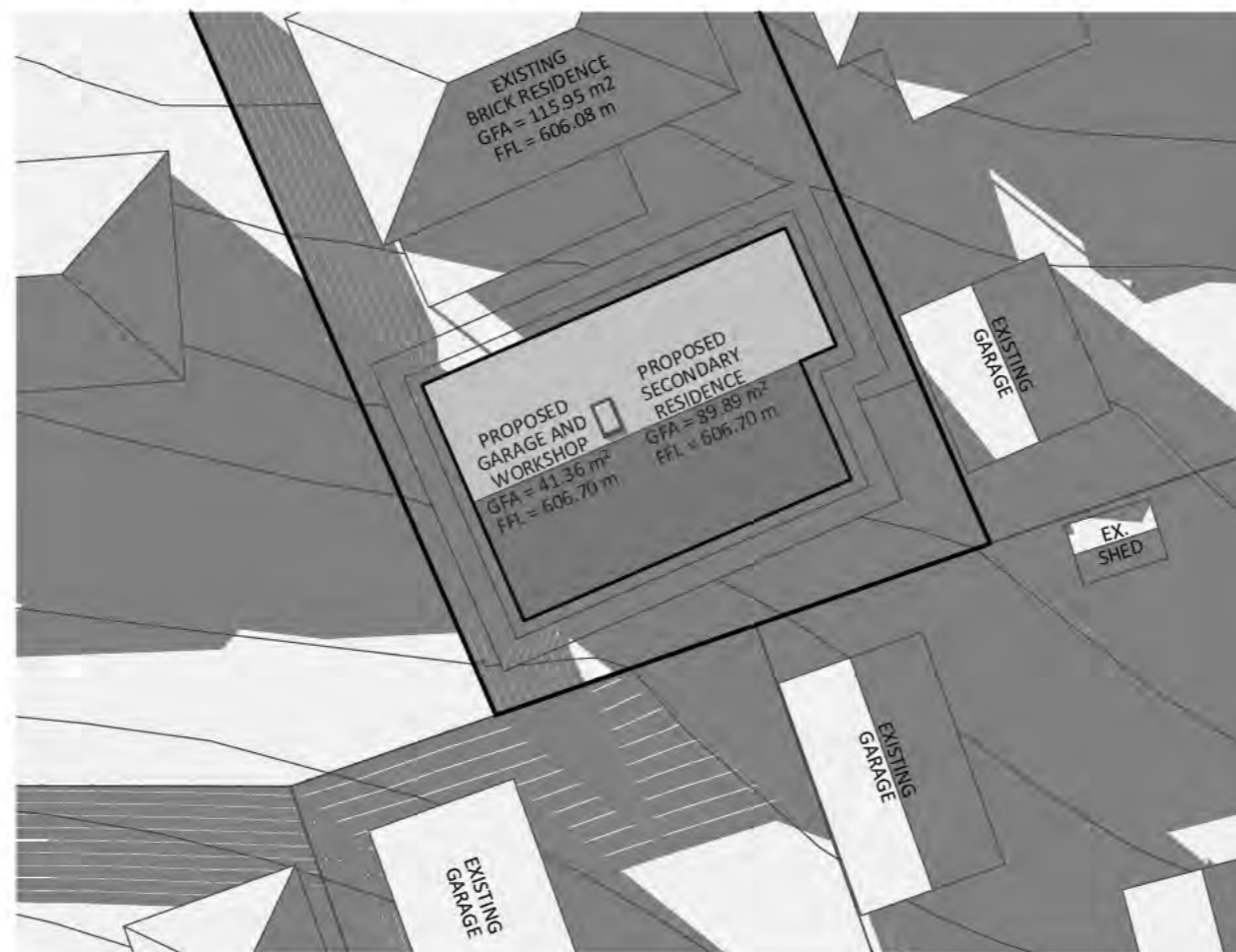
<b>DRAWING SCALE</b> 1:200	<b>SHEET SIZE</b> A3	<b>DRAWING NUMBER</b> 10
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9 AM



12 (NOON)



3 PM

**From:** [Forman, Matthew](#)  
**To:** [Abdullah, Jesmin](#)  
**Cc:** [Elhassan, Walid](#)  
**Subject:** Further information request clarification  
**Date:** Monday, 25 November 2019 1:13:00 PM  
**Attachments:** [DA-201935777.obr](#)

---

UNCLASSIFIED

Hi Jesmin,

I had a call from Benton who is looking working on an application in Isabella Plains. He received a further information request then a response saying it was not sufficient but has questions relating to why.

He has asked for a call to get some further direction on what exactly to address and how we would prefer it to be addressed.

He is not listed on the application form, the director of the company he works for is but he is handling the DA so I'm not sure how much you can tell him or whether you will have to go through his employer.

I have attached a link to the DA. Benton's best contact number is [REDACTED].

Regards,

**Matthew Forman | DA Gateway Team**

**Phone 02 6205 9079**

**Planning Delivery Division** | Environment, Planning and Sustainable Development Directorate **ACT Government**  
Dame Pattie Menzies House, Challis Street, Dickson | GPO Box 1908 Canberra ACT 2601 | [www.environment.act.gov.au](http://www.environment.act.gov.au)

**From:** [Kim, Susan](#)  
**To:** [Pradhan, Jyoti](#)  
**Subject:** NOD-201935777-01 - Merit Track DA (A20294909) - Refusal NOD  
**Date:** Monday, 6 January 2020 5:29:24 PM  
**Attachments:** [NOD-201935777-01 - Merit Track DA.obr](#)

---

UNCLASSIFIED

Hi Jyoti

For your review and checking please.  
I have left a printed copy on your desk.

Regards,  
Susan

**From:** [EPD, Customer Services](#)  
**To:** [operations@cgfb.com.au](mailto:operations@cgfb.com.au)  
**Cc:** [thommagicarpentry@gmail.com](mailto:thommagicarpentry@gmail.com)  
**Subject:** NOTICE OF DECISION AND ENTITY ADVICE-201935777-3/822 ISABELLA PLAINS [SEC=UNCLASSIFIED]  
**Date:** Monday, 13 January 2020 12:30:00 PM  
**Attachments:** [Evoenergy Application Decision, Application - 177848, Isabella Plains - 3822.msg](#)  
[Evoenergy - Notification of Building Application - Application ID 177848.msg](#)  
[Icon Water Application Decision, Application - 177856, Isabella Plains - 3822.msg](#)  
[NOTICE OF DECISION-201935777-3\\_822 ISABELLA PLAINS-SIGNED.PDF](#)  
[image001.png](#)  
[NOD - Attachment to NOD.PDF](#)

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Good Afternoon,

Please see attached Notice of Decision and Entity Advice for Block 3 Section 822 Suburb ISABELLA PLAINS

Development Application No: 201935777

For further information please contact: 6207 6383.

Online Form: [https://www.accesscanberra.act.gov.au/app/forms/epd\\_feedback](https://www.accesscanberra.act.gov.au/app/forms/epd_feedback)

Kind Regards

Ceara Farr

Phone 6207 1923

[EPDCustomerServices@act.gov.au](mailto:EPDCustomerServices@act.gov.au)

[www.act.gov.au/accesscbr](http://www.act.gov.au/accesscbr)

**Access Canberra** | **ACT Government**

16 Challis Street, Dickson | GPO Box 158 Canberra ACT 2601

cid:image004.png@01D3DE12.73C7D510



*Access Canberra is an ACT Government service that brings together customer and regulatory services, including the former Environment and Planning Directorates Customer Services Team. Access Canberra has been set up to make it easier for business, community organisations and individuals to work with ACT Government and deliver a more seamless experience.*



# NOTICE OF DECISION

Made under part 7 of the *Planning and Development Act 2007*

I, Jyoti Pradhan, delegate of the planning and land authority, pursuant to section 162 of the *Planning and Development Act 2007*, **refuse**, the proposal for a **secondary dwelling with an attached garage, workshop, workshop bathroom and associated other site works**, at Block 3 Section 822 ISABELLA PLAINS, in accordance with the plans, drawings and other documentation approved and endorsed as forming part of this approval.

DA Number: 201935777  
 Block: 3  
 Section: 822  
 Suburb: ISABELLA PLAINS  
 Application lodged: 9 July 2019  
 Assessment track: Merit

This decision contains the following information:

- PART A – reasons for the Decision
- PART B – public notification & entity advice
- PART C – administrative information

*A copy of the development application and this approval may be inspected at the planning and land authority's office from 8.30 am to 4.30 pm, Monday to Friday at 16 Challis Street, Dickson, ACT 2602*

## CONTACT / ENQUIRIES

Phone: (02) 6207 6383

Online Form:

[https://www.accesscanberra.act.gov.au/app/forms/epd\\_feedback](https://www.accesscanberra.act.gov.au/app/forms/epd_feedback)

**Jyoti Pradhan**

Delegate of the planning  
and land authority

13 January 2020

## PART A – REASONS FOR THE DECISION

In accordance with section 119 of the Act, the application was refused because it did not comply with the legislated requirements for merit track applications. The application was inconsistent with:

- the RZ1: Suburban Zone, zone objectives; and
- the relevant codes of Territory Plan, being the Residential Zones Development Code (RZDC) and Single Dwelling Housing Development Code (SDHDC).

The following key inconsistencies have been identified through the assessment process:

### **Inconsistencies with Zone Objectives for RZ1 Suburban Zone:**

Following assessment against the relevant codes, the view was formed that the proposal could not be considered consistent with the following zone objectives for the Zone:

*Objective a) - Provide for the establishment and maintenance of residential areas where the housing is low rise and predominantly single dwelling and low density in character;*

*Objective d) - Ensure development respects valued features of the neighbourhood and landscape character of the area and does not have unreasonable negative impacts on neighbouring properties; and*

*Objective g) - Promote good solar access.*

- The proposed development comprising of a secondary dwelling and an attached outbuilding, including a garage, accessible toilet and workshop, exceeds the mandatory maximum size of 90m<sup>2</sup> permissible under the RZDC. With the proposal exceeding the gross floor area limit deemed suitable for a secondary residence, the proposal is considered to detract from the zone objective of maintaining the low density and predominantly single dwelling character of the surrounding context.
- The bulk and scale of the secondary residence, exceeding the size limit set for a secondary residence, may detract from the valued features of the neighbourhood and landscape character of the area, including low density development and provision of sufficient private open space and landscaping amenity on residential blocks.
- In addition, the proposed secondary residence located south of the existing dwelling will substantially reduce the principal private open space available on the site allowing reasonable year-round access to direct sunlight. The proposed development will restrict sufficient direct sunlight during winter months to the principal private space located to the rear of the existing main residence.

### **Inconsistencies with Relevant Codes:**

The development proposal is inconsistent with the provisions of the Territory Plan, in particular the following sections of the Residential Zones Development Code (RZDC) and the Single Dwelling Housing Development Code (SDHDC):

#### **Residential Zones Development Code and (RZDC):**

##### **a) R7 (mandatory) – Maximum gross floor area of a secondary residence**

The proposal fails to comply with the mandatory rule R7 which requires the maximum dwelling size of a secondary residence is 90m<sup>2</sup>. The maximum dwelling size for a secondary residence is a mandatory requirement. There is no applicable criterion.

The proposed development comprises of a secondary dwelling with gross floor area (GFA) of 89.89m<sup>2</sup> and an attached outbuilding with a GFA of 41.36m<sup>2</sup> containing a

workshop and a garage. The Territory Plan allows floor area of the garage to be excluded from the calculation of the gross floor area for a secondary residence, but not ancillary spaces such as a workshop or storage.

Based on the minimum dimensions of car spaces prescribed in Rule 32 of the SDHDC of 6m x 3m for a single roofed space for a single car can be deducted from the attached outbuilding, i.e 18m<sup>2</sup>. However, the remaining floor area of the attached outbuilding allocated to a workshop calculated at 23.36m<sup>2</sup>, will be included in the total GFA for the secondary dwelling. The floor area of the secondary residence, not including garage, is thus calculated at 113.25 m<sup>2</sup> i.e 23.25m<sup>2</sup> over the permissible.

Even if considering the argument that the proposed garage is to be a disabled parking space, minimum dimensions required as per AS4299 of 6m x 3.8m can be considered and 22.8m<sup>2</sup> can be excluded from the attached outbuilding area. However, it still results in 18.56m<sup>2</sup> of GFA that is to be added to the total GFA of the secondary dwelling resulting in the total GFA of the proposed residence at 108.45m<sup>2</sup> i.e 18.45m<sup>2</sup> over the maximum permitted GFA of 90m<sup>2</sup> and therefore the application is not able to achieve compliance with rule R7.

There are no provisions in the code that require additional storage for a secondary dwelling.

b) R11A (mandatory) – Total Private Open Space

Rule R11A of the RZDC requires that the secondary residence complies with Element 5 of the SDHDC. As outlined below under the SDHDC assessment, the proposal does not meet R41/ C41 in Element 5 of the SDHDC. Hence the proposal does not comply with R11A of the RZDC. This is a mandatory requirement. There is no applicable criterion.

c) R13/C13 – Australian Standard AS 4299 Adaptable Housing (Class C)

The proposal does not meet rule R13, and the applicant has failed to demonstrate, by supporting plans and written documentation, that the proposed development satisfies the applicable criterion C13. In particular, the accessible toilet/bathroom is identified within the garage/workshop and can only be accessed from within the attached outbuilding. The location of the accessible toilet/bathroom is not easily accessible from the habitable parts of the secondary dwelling including from the Bedroom 1 identified to be designed to spatial dimensions of the accessible standard.

It is also noted that the Site Plan, the area plan and the floor plan provided for the public register, indicate the accessible bathroom as part of the secondary dwelling. Whereas the floor plan and the adaptable plan provided for assessment, identify the bathroom is only accessible from the workshop.

As such the proposal is not considered consistent with the intent of R13/C13 of the RZDC.

**Single Dwelling Housing Development Code (SDHDC):**

d) R41 /C41 – Principal Private Open Space

The proposal is not considered to meet R41, and the applicant has failed to demonstrate, by supporting plans and written documentation, that the proposed development satisfies the applicable criterion C41.

The site plan identifies one private outdoor area located south of the existing dwelling, and another outdoor area south of the proposed secondary residence, next to the rear boundary. The shadow diagrams provided with the application show that neither of

these outdoor areas will achieve minimum 3 hours of direct sunlight to minimum 50% of the principal private open space between 9am and 3pm on the winter solstice. There is no other outdoor area identified on the Site Plan, which is able to meet the functional requirements of a principal private open space.

The proposal is therefore not considered not to meet all aspects of R41/C41, including parts (c), (d), (e) and (f) of R41 and parts (b), (c), (d) and (e) of C41 and therefore does not satisfy the provisions of R41 and C41.

**Note:**

Above matters were raised with the applicant during the assessment process, requesting further information pursuant to S144 of the Act. However, following assessment of the information received, the view was formed that the information failed to satisfy the requirements of the relevant development codes for the proposal to be consistent with the Territory Plan.

**Compliance with the Crown Lease:**

During the assessment it was identified that the current Crown lease permits additional dwelling on the subject block, provided it is detached from the main dwelling. However, if the proposed garage, attached to the secondary dwelling is to be used for the existing single dwelling, further assessment will be required to consider its compliance with the current Crown lease.

**EVIDENCE:**

The following evidence formed part of the assessment of this application:

Development Application:	201935777
Territory Plan Zones:	RZ1 Suburban Zone
Development Codes:	Residential Zones Development Code (RZDC) Single Dwelling Housing Development Code (SDHDC)
Precinct Code:	N/A
Legislative requirements:	Sections 119 and 120 of the <i>Planning and Development Act 2007</i>
Entity advice:	addressed in Part B of this Decision
Representation:	Nil

## **PART B – PUBLIC NOTIFICATION AND ENTITY ADVICE**

### **PUBLIC NOTIFICATION**

Pursuant to Division 7.3.4 of the Act, the application was publicly notified from 16 July 2019 to 5 August 2019. No written representations were received during public notification period.

### **ENTITY ADVICE**

Pursuant to Division 7.3.3 of the *Planning and Development Act*, the application was referred to the below entities. Where an entity requested conditions to be imposed on this development, those conditions have been incorporated into Part A of this Decision.

A summary of entity comments can be found below.

#### **1. TRANSPORT CANBERRA AND CITY SERVICES (TCCS)**

TCCS supported the proposed development with the following conditions.

##### Verge

- a) A Landscape Management and Protection Plan (LMPP) including a Dilapidation Report for all Government assets adjacent to the site must be submitted to Asset Acceptance prior to the commencement of any construction and on the completion of works.

##### Stormwater

- b) Only one stormwater tie must be used for this development as it is not a Subdivision.

##### Waste

- c) The waste for the second dwelling can be collected from the kerb of Bucknel Circuit in accordance with TCCS requirements.

#### **2. EVOENERGY ELECTRICITY**

Evoenergy Electricity supported the proposed development with conditions. A copy of the Evoenergy Electricity advice is attached to this Notice of Decision.

#### **3. JEMENA GAS**

Jemena Gas supported the proposed development with conditions. A copy of the Jemena advice is attached to this Notice of Decision.

#### **4. ICON WATER**

ICON Water supported the proposed development with conditions. A copy of the ICON Water advice is attached to this Notice of Decision.

#### **5. CONSERVATOR OF FLORA AND FAUNA (Tree Protection Unit)**

- On 5 August 2019, the Tree Protection Unit (TPU) advised that the proposal was not supported as the application was lodged without a Tree Management Plan (TMP) for the regulated Eucalypt tree on the neighbouring land. A Tree Management Plan is required for the Eucalyptus' health and stability to be maintained, in light of demo/works nearby and services likely to impact its root system.

- Applicant provided a TMP as part of further information request pursuant to S141 of the Act, which was referred back to TPU for comments.
- On 26 September 2019, further advice was received from TPU supporting the proposed development subject to following conditions:
  - the DA and the TMP (drg. no 13, prepared by Canberra Granny Flat Builders, dated 29/08/2019) with its 9 conditions (noted on the TMP), to protect the regulated tree, is supported.

## **PART C – ADMINISTRATIVE INFORMATION**

### **INSPECTION OF THE APPLICATION AND DECISION**

A copy of the application and the decision can be inspected between 8:30am and 4:30pm weekdays at the Environment, Planning and sustainable Development Directorate Dickson Customer Service Centre at 16 Challis Street, Dickson, ACT.

### **RECONSIDERATION OF THE DECISION**

If the applicant is not satisfied with the decision to refuse the application, they are entitled to apply to the planning and land authority for reconsideration within 20 working days of being told of this decision or within any longer period allowed by the planning and land authority.

To submit an application for reconsideration, documents must be provided electrically by email to [epdcustomerservices@act.gov.au](mailto:epdcustomerservices@act.gov.au) or provided at the customer service centre on a CD/DVD. The delegate of the Authority reconsidering the decision must be different from, and senior to, the original decision maker. An application for reconsideration does not prevent an application for a review of the same decision being made to the ACT Civil and Administrative Tribunal. Application forms and further information about reconsideration are available from the planning and land authority's website and Customer Service Centres.

### **REVIEW BY THE ACT CIVIL AND ADMINISTRATIVE TRIBUNAL (ACAT)**

Decisions that are reviewable by the ACAT are identified in Schedule 1 of the *Planning and Development Act 2007*, except for those precluded under Schedule 3 of the *Planning and Development Regulation 2008* – Matters exempt from third-party ACAT review.

This Notice of decision has also been sent to all people who made representations in relation to the proposal.

## APPENDIX 1

### REVIEW OF THE DECISION

The following notes are provided in accordance with regulation 7 of the *ACT Civil and Administrative Tribunal Regulation 2009*. Refer to the Review by the ACT Civil and Administrative Tribunal (ACAT) section of the Notice of Decision for information about its relevance to this development application.

#### CONTACT DETAILS

The review authority is the ACT Civil and Administrative Tribunal (ACAT).

Location	Contact details
ACT Civil and Administrative Tribunal Level 4, 1 Moore Street CANBERRA CITY ACT 2601	Website: <a href="http://www.acat.act.gov.au">www.acat.act.gov.au</a> Email: <a href="mailto:tribunal@act.gov.au">tribunal@act.gov.au</a> Telephone: (02) 6207 1740 Facsimile: (02) 6205 4855 Post: GPO Box 370, CANBERRA, ACT, 2601

#### POWERS OF THE ACAT

The ACAT is an independent body. It can review on their merits a large number of decisions made by ACT Government ministers, officials and statutory authorities. The ACAT can agree with, change or reject the original decision, substitute its own decision or send the matter back to the decision maker for reconsideration in accordance with ACAT recommendations.

#### APPLICATIONS TO THE ACAT

To apply for a review, obtain an application form from the ACAT. You can also download the form from the ACT Legislation Register <http://www.legislation.act.gov.au/af/2009-278/current/pdf/2009-278.pdf>.

If you are applying on behalf of an organisation or association of persons, whether incorporated or not, the Tribunal in deciding whether to support this application will consider the effect of the decision being reviewed on the interests of the organisation or association in terms of its objects or purposes. A copy of the relevant documents will be required to be lodged with the Tribunal.

#### TIME LIMITS FOR APPLICATIONS

The time limit to make a request for a review is 28 days from the date of this Notice of decision. The time limit can be extended in some circumstances (refer to sections 10 (2), 10(3), 25(1)(e) and 25(2) of the *ACT Civil & Administrative Tribunal Act 2008*; section 7 of the *ACT Civil and Administrative Tribunal Procedure Rules 2009 (No 2)*; and section 409 of the *Planning and Development Act 2007*).

#### FEES

Applications to the ACAT, including an application to be joined as a party to a proceeding, require payment of a fee (the Tribunal Registry will advise of the current fee), unless you are receiving legal or financial assistance from the ACT Attorney-General. You can apply to have the fee waived on the grounds of hardship, subject to approval (refer to section 22T of the *ACT Civil and Administrative Tribunal Act 2008*). Decisions to grant assistance are made on the grounds of hardship and that it is reasonable, in all the circumstances, for the assistance to be granted. Write to: The Chief Executive, Justice and Community Safety Directorate, GPO Box 158, CANBERRA ACT 2601. Ask the ACAT for more details.

### TIME LIMITS FOR REVIEWS OF DECISIONS

The ACAT is required to decide appeals in land and planning and tree protection cases within 120 days after the lodging of the appeal, unless that period is extended by the ACAT upon it being satisfied that it is in the interests of justice to do so.

### FORMS OF LEGAL, FINANCIAL AND OTHER ADVICE AND ASSISTANCE

The following organisations can provide advice and assistance if you are eligible:

- ACT Attorney-General, write to The Chief Executive, of Justice and Community Safety Directorate, GPO Box 158, CANBERRA, ACT, 2601;
- the ACT Legal Aid Office, telephone 1300 654314;
- Legal Advice Bureau, telephone (02) 6247 5700;
- ACT Council of the Ageing, telephone (02) 6282 3777; and
- Welfare Rights and Legal Centre, telephone (02) 6247 2177.

### AWARDING OF COSTS

You will have to pay any costs involved in preparing or presenting your case. The ACAT also has the power to award costs against a party if the party contravenes a direction of the ACAT and the ACAT considers it in the interests of justice to make such an order. This power is in addition to the power of the ACAT to strike out a party and to dismiss an application for failure to comply with the ACAT's directions.

### ACCESS TO DOCUMENTS ABOUT THE DECISION

You may apply for access to any documents you consider relevant to this decision under the ACT Freedom of Information Act 1989. Information about Freedom of information requests is available on the planning and land authority's web site or by contacting us by phone on (02) 6207 1923.

### PROCEDURES OF THE ACAT

The procedures of the ACAT are outlined on the ACAT's website, including in the Guide to the Land and Planning Division and the Guide to the Hearing. Contact the ACAT for alternative ways to access information about the ACAT's procedures.

## TRANSLATION AND INTERPRETATION SERVICES

The ACT Government's translation and interpreter service runs 24 hours a day, every day of the week by calling 131 450.

ENGLISH	If you need interpreting help, telephone:
ARABIC	: إذا احتجت لمساعدة في الترجمة الشفوية ، إتصل برقم الهاتف :
CHINESE	如果你需要传译员的帮助，请打电话：
CROATIAN	Ako trebate pomoć tumača telefonirajte:
GREEK	Αν χρειάζεστε διερμηνέα τηλεφωνήστε στο
ITALIAN	Se avete bisogno di un interprete, telefonate al numero:
MALTESE	Jekk għandek bżonn l-għajnuna t'interpretu, ċempel:
PERSIAN	: اگر به ترجمه شفاهی احتیاج دارید به این شماره تلفن کنید:
PORTUGUESE	Se você precisar da ajuda de um intérprete, telefone:
SERBIAN	Ako vam je potrebna pomoć prevodioca telefoniрајте:
SPANISH	Si necesita la asistencia de un intérprete, llame al:
TURKISH	Tercümana ihtiyacınız varsa lütfen telefon ediniz:
VIETNAMESE	Nếu bạn cần một người thông-ngôn hãy gọi điện-thoại:

### TRANSLATING AND INTERPRETING SERVICE

# 131 450

Canberra and District - 24 hours a day, seven days a week

DA Number: 201935777 Block(s): 3 Section: 822 District/Division: TUGGERANONG

Case Officer: DA COORDINATOR Contact Number: 76383 Decision Date: 13-Jan-20

Application Type: **MERIT TRACK DA**

Dispatch Plans: **NOT APPLICABLE** Dispatch by: **NOT APPLICABLE**

Plans have been moved to the sub-folder in the approved plans folder however have not been stamped as relevant conditions are yet to be satisfied. The plans are not to be dispatched.

Dispatch Entity Referral Advice: **YES**

An Objective alias for the relevant mandatory entity referral advice received from ActewAGL, Actew Corporation, Environment Protection Agency and/or Asset Acceptance, as per S149 of the *Planning and Development Act 2007*, has been moved to the approved plans folder.

Type of Decision: **REFUSED** Decision By: **DELEGATE OF THE AUTHORITY**

Representations: **NOT APPLICABLE**

Appeal Rights

Applicant: **NOT APPLICABLE** Person who made Representation: **NOT APPLICABLE**

Encroachment

Is an application for encroachment (minor) to be dispatched to the applicant? **NOT APPLICABLE**  
(If yes, create application for encroachment (minor) document from Intelledox and attach to Notice of decision)

Draft crown leases/Instruments of Variations

Does the NOD require the draft crown leases or Instruments of Variation put with the NOD?  
**NOT APPLICABLE**

(If yes, DA officer to include any attachments with the NOD where the DA includes a Lease Variation)

## Entities to be advised

Referral Required: **Make Selection**

NB: Section 174 of the Act states that "The planning and land authority must give a copy of the decision on the development application to each entity to which the application was referred".

<input checked="" type="checkbox"/>	DA Leasing Referral Required – <a href="mailto:ACTPLADALeasing@act.gov.au">ACTPLADALeasing@act.gov.au</a>
<input type="checkbox"/>	Deed Mgt. Referral Required
<input type="checkbox"/>	Land Reg. Referral Required
<input type="checkbox"/>	Action Buses (refer to Asset Acceptance)
<input checked="" type="checkbox"/>	ICON Water (formerly ActewAGL Water)
<input checked="" type="checkbox"/>	ActewAGL (All other entities)
<input type="checkbox"/>	ACT Health
<input type="checkbox"/>	ACT Heritage Council
<input type="checkbox"/>	ACT Valuation Office
<input checked="" type="checkbox"/>	Asset Acceptance
<input type="checkbox"/>	Australian Communications and Media Authority
<input type="checkbox"/>	Australian National University
<input type="checkbox"/>	City Renewal Authority
<input checked="" type="checkbox"/>	Conservator of Flora and Fauna (Referred under S147A or S148)
<input type="checkbox"/>	Commonwealth Department of the Environment (Only Applicable to Impact Track Applications Referred Under S127A.
<input type="checkbox"/>	Custodian of the land -
<input type="checkbox"/>	Emergency Services (Fire or Ambulance)
<input type="checkbox"/>	Environment Protection Agency
<input type="checkbox"/>	Gambling and Racing Commission
<input type="checkbox"/>	Gateway Team
<input type="checkbox"/>	Heritage
<input type="checkbox"/>	Housing and Community Services
<input type="checkbox"/>	Land Development Agency
<input type="checkbox"/>	Land and Property Services
<input type="checkbox"/>	Leasing – General Leasing <a href="#">Encroachments and Licences</a>
<input type="checkbox"/>	Megan Corrigan-Access Canberra <a href="#">All Multi-Dwelling decisions and any that relate to permanent structures, on unleased Territory land, associated with permits for outdoor eating.</a>
<input type="checkbox"/>	Owners Corporation <a href="#">Lease variation for single units – please use relevant letter template</a>
<input type="checkbox"/>	National Capital Authority
<input type="checkbox"/>	Police
<input type="checkbox"/>	Queanbeyan City Council
<input type="checkbox"/>	Register General's Office
<input type="checkbox"/>	Surveying and Spatial Data
<input type="checkbox"/>	Territory Plan Variation Unit
<input type="checkbox"/>	Transport Planning
<input type="checkbox"/>	Tree Protection
<input type="checkbox"/>	WorkCover
<input type="checkbox"/>	Yass City Council
<input type="checkbox"/>	ACT Place Names - <a href="mailto:Placenames@act.gov.au">Placenames@act.gov.au</a>
<input type="checkbox"/>	Other -

Comments

## **ATTACHMENT 1 - ADMINISTRATIVE INFORMATION RELATING TO NOTICE OF DECISION.**

### Submission of revised drawings or documentation

If a condition of approval requires the applicant to lodge revised drawings and / or documentation with the planning and land authority for approval under section 165 of the *Planning and Development Act 2007*, the submission must be made by completing an application in e-development.

### DATE THAT THIS APPROVAL TAKES EFFECT

Unless a condition of approval provides for otherwise this approval takes effect 20 working days after the day this notice of decision is given to every person who made a representation on the application. The effective date for development applications approved subject conditions could also be adjusted if the approval is reconsidered by the planning and land authority or if an application is made to the ACT Civil and Administrative Tribunal.

Pursuant to section 184 of the Act, this approval will expire if:

- the development or any stage of the development is not started within two years after the day the approval takes effect;
- the development is not finished two years after the day the development begins; or
- the development approval relates to land comprised in a lease that requires the development to be completed on a stated date – the date stated in the lease for completion of the development, or the approval is revoked under section 189 of the Act.

Under section 184 of the Act, the applicant may apply to the planning and land authority to extend the prescribed period to finish the development, but such an application must be made within the original period specified for completion.

A development approval, to which section 184 of the Act applies, continues unless the approval ends under sections 184, 185, 186 or 187 of the Act.

### Reconsideration of the Decision

If the applicant is not satisfied with the decision made by the planning and land authority, they are entitled to apply to the planning and land authority for reconsideration within 20 working days of being told of this decision under section 191 of the *Planning and Development Act 2007*. A longer timeframe may apply only if granted in writing by the planning and land authority under section 184 of the *Planning and Development Act 2007*.

### Other approvals

A notice of decision grants development approval only. Other approvals may be required, including:

#### 1. Building Approval

Most building work requires building approval to ensure it complies with building laws such as the Building Code of Australia. The lessee should engage a private building certifier to determine whether building approval is required and assess and approve

the building plans before construction commences. A list of certifiers can be obtained from the [Environment, Planning and Sustainable Development Directorate](#).

2. Tree damaging activity approval

A Tree Management Plan under the *Tree Protection Act 2005* is required for approval where it is proposed to undertake groundwork within the tree protection zone of a protected tree or likely to cause damage to, or remove, any trees defined as protected trees by that Act. More information is available from the Territory and Municipal Services Directorate.

3. Use of verges or other unleased Territory Land

In accordance with the *Public Unleased Land Act of 2013*, road verges and other unleased Territory land must not be used for the carrying out of works, including the storage of materials or waste, without prior approval of the Territory. Approval can be obtained from the Territory and Municipal Services Directorate.

4. Works on unleased Territory Land

In accordance with the *Public Unleased Land Act of 2013*, no work can be undertaken on unleased Territory land without the approval of the Territory. Such approval must be obtained from the Manager Asset Acceptance, Asset Services Group, Transport Canberra and City Services Directorate by way of:

- (a) a certificate of design acceptance prior to the commencement of any work; and
- (b) a certificate of operational acceptance on completion of all works to be handed over to TCCS.

Works on unleased Territory land may include the construction or upgrading of driveway verge crossings, public footpaths, roads, street lighting, stormwater works, waste collection amenities, street signs and line marking, road furniture and landscaping.

Review by the ACT Civil and Administrative Tribunal (ACAT)

1. Decisions that are reviewable by the ACAT are identified in Schedule 1 of the *Planning and Development Act 2007*, except for matters that are exempted under Schedule 3 of the *Planning and Development Regulations 2008* (matters exempt from third party review).
2. The notice of decision and this advice has been sent to all people who made a representation in relation to the application.
3. The ACAT is an independent body. It can review a large number of decisions made by ACT Government ministers, officials and statutory authorities on their merits. The ACAT can agree with, change or reject the original decision, substitute its own decision or send the matter back to the decision maker for reconsideration in accordance with ACAT recommendations.

4. If you think you have a right of appeal, you may apply for a review. Application forms can be obtained from the ACAT. You can also download the form from the ACT Legislation Register.
5. If you are applying on behalf of an organisation or association of persons, whether incorporated or not, the Tribunal in deciding whether to support this application will consider the effect of the decision being reviewed on the interests of the organisation or association in terms of its objects or purposes. A copy of the relevant documents will be required to be lodged with the Tribunal.
6. The time limit to make a request for a review is 28 days from the date of this notice of decision. The time limit can be extended in some circumstances (refer to sections 10 (2), 10(3), 25(1)(e) and 25(2) of the *ACT Civil & Administrative Tribunal Act 2008*; section 7 of the *ACT Civil and Administrative Tribunal Procedure Rules 2009 (No 2)*; and section 409 of the *Planning and Development Act 2007*).
7. Applications to the ACAT, including an application to be joined as a party to a proceeding, require payment of a fee (the Tribunal Registry will advise of the current fee), unless you are receiving legal or financial assistance from the ACT Attorney-General. You can apply to have the fee waived on the grounds of hardship, subject to approval (refer to section 22T of the *ACT Civil and Administrative Tribunal Act 2008*). Decisions to grant assistance are made on the grounds of hardship and that it is reasonable, in all the circumstances, for the assistance to be granted. Write to: the Director General, Justice and Community Safety Directorate, GPO Box 158, CANBERRA ACT 2601. Ask the ACAT for more details.
8. The ACAT is required to decide appeals in land and planning and tree protection cases within 120 days after the lodging of the appeal, unless that period is extended by the ACAT upon it being satisfied that it is in the interests of justice to do so.
9. The following organisations may be able provide you with advice and assistance if you are eligible:
  - ACT Attorney-General, write to the Director General, Justice and Community Safety Directorate, GPO Box 158, CANBERRA, ACT, 2601
  - the ACT Legal Aid Office, telephone 1300 654 314
  - ACT Council of the Ageing, telephone 02 6154 9740
  - Welfare Rights Centre, telephone 1800 226 028
  - Environmental Defender's Office (ACT), telephone 02 6243 3460.
10. You will have to pay any costs involved in preparing or presenting your case. The ACAT also has the power to award costs against a party if the party contravenes a direction of the ACAT and the ACAT considers it in the interests of justice to make such an order. This power is in addition to the power of the ACAT to strike out a party and to dismiss an application for failure to comply with the ACAT's directions.
11. You may apply for access to any documents you consider relevant to this decision

under the ACT Freedom of Information Act 1989. Information about Freedom of information requests is available on the planning and land authority's web site or by contacting us by phone on 02 6207 1923.

12. The procedures of the ACAT are outlined on the ACAT's website, including in the Guide to the Land and Planning Division and the Guide to the Hearing. Contact the ACAT for alternative ways to access information about the ACAT's procedures.

### Contact details for relevant agencies

<b>ACT Civil and Administrative Tribunal</b> Level 4, 1 Moore Street CANBERRA CITY ACT 2601 GPO Box 370, CANBERRA, ACT, 2601	www.acat.act.gov.au tribunal@act.gov.au 02 6207 1740 02 6205 4855
<b>Health Directorate</b>	www.health.act.gov.au 02 6205 1700
<b>Environment, Planning and Sustainable Development Directorate</b> <i>Planning and land authority</i> <ul style="list-style-type: none"> <li>- list of certifiers for building approval</li> <li>- demolition information</li> <li>- asbestos information</li> </ul> <i>Environment Protection Authority</i> <ul style="list-style-type: none"> <li>- environment protection</li> <li>- water resources</li> <li>- asbestos information</li> </ul> <i>Conservation, Planning and Research</i> <ul style="list-style-type: none"> <li>- threatened species/wildlife management</li> </ul>	www.planning.act.gov.au 02 6207 1923  www.environment.act.gov.au 02 6207 6251  www.environment.act.gov.au 02 6207 1911
<b>Transport Canberra and City Services</b> <ul style="list-style-type: none"> <li>- tree damaging activity approval</li> <li>- use of verges or other unleased Territory land</li> <li>- works on unleased Territory land - design acceptance</li> <li>- damage to public assets</li> </ul>	www.tccs.gov.au  132 281 02 6207 7480 (asset acceptance)
<b>Utilities</b> <ul style="list-style-type: none"> <li>- Telstra (networks)</li> <li>- TransACT (networks)</li> <li>- Icon Water</li> <li>- Electricity reticulation</li> </ul>	02 8576 9799 02 6229 8000 02 6248 3111 02 6293 5738

### Translation and interpretation services

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CHINESE	如果你需要传译员的帮助，请打电话:
CROATIAN	Ako trebate pomoć tumača telefonirajte:
GREEK	Αν χρειάζεστε διερμηνέα τηλεφωνήσετε στο
ITALIAN	Se avete bisogno di un interprete, telefonate al numero:
MALTESE	Jekk għandek bżonn l-għajnuna t'interpretu, çempel:
PERSIAN	: اگر به ترجمه شفاهی احتیاج دارید به این شماره تلفن کنید:
PORTUGUESE	Se você precisar da ajuda de um intérprete, telefone:
SERBIAN	Ако вам је потребна помоћ преводиоца телефонирајте:
SPANISH	Si necesita la asistencia de un intérprete, llame al:
TURKISH	Tercümana ihtiyacımız varsa lütfen telefon ediniz:
VIETNAMESE	Nếu bạn cần một người thông-ngôn hãy gọi điện-thoại:
<b>TRANSLATING AND INTERPRETING SERVICE</b> <b>131 450</b> Canberra and District - 24 hours a day, seven days a week	

**Hill, Libby**

---

**From:** EPD, Customer Services  
**Sent:** Monday, 13 January 2020 12:35 PM  
**To:** ACTPLA DA Leasing; ConservatorFloraFauna;  
basubmission\_watersewer@iconwater.com.au;  
basubmission\_electricity@evoenergy.com.au;  
STEPHEN.DONNELLY@JEMENA.COM.AU; devapp@actewagl.com.au; TCCS\_PC DA  
**Subject:** NOTICE OF DECISION-201935777-3/822 ISABELLA PLAINS [SEC=UNCLASSIFIED]  
**Attachments:** DISPATCHADVICECHECKLIST-201935777-01.doc; NOTICE OF  
DECISION-201935777-3\_822 ISABELLA PLAINS-SIGNED.PDF; NOD - Attachment to  
NOD.PDF; DISPATCHADVICECHECKLIST-201935777-01.obr; NOD - Attachment to  
NOD.OBR; NOTICE OF DECISION-201935777-3\_822 ISABELLA PLAINS-SIGNED.OBR

Good Afternoon,

Please see attached Notice of Decision for Block 3 Section 822 Suburb ISABELLA PLAINS  
Development Application No: 201935777

For further information please contact: 6207 6383.

Online Form: [https://www.accesscanberra.act.gov.au/app/forms/epd\\_feedback](https://www.accesscanberra.act.gov.au/app/forms/epd_feedback)

Kind Regards

Ceara Farr

Phone 6207 1923

[EPDCustomerServices@act.gov.au](mailto:EPDCustomerServices@act.gov.au)

[www.act.gov.au/accesscbr](http://www.act.gov.au/accesscbr)

**Access Canberra | ACT Government**

16 Challis Street, Dickson | GPO Box 158 Canberra ACT 2601



*Access Canberra is an ACT Government service that brings together customer and regulatory services, including the former Environment and Planning Directorates Customer Services Team. Access Canberra has been set up to make it easier for business, community organisations and individuals to work with ACT Government and deliver a more seamless experience.*

**Hill, Libby**

---

**From:** Kim, Susan  
**Sent:** Friday, 10 January 2020 2:50 PM  
**To:** Pradhan, Jyoti  
**Subject:** RE: NOD-201935777- Refusal NOD

UNCLASSIFIED

Hi Jyoti

Oh I see. You are right then.

FYI, I calculated the secondary dwelling GFA at 113.22sqm (rather than 113.89):

$(41.36 - 18) + 89.89 \text{ sqm} = 113.22$  (just for the sake of checking the calculator)

Regards,  
Susan

-----Original Message-----

From: Pradhan, Jyoti <Jyoti.Pradhan@act.gov.au>  
Sent: Friday, 10 January 2020 2:36 PM  
To: Kim, Susan <Susan.Kim@act.gov.au>  
Subject: RE: NOD-201935777- Refusal NOD

UNCLASSIFIED

Hi,

Please refer to the parking plan provided as S144. Garage is identified for 1 car only. The width is not enough for two and length for tandem parking is not adequate.

Regards,  
Jyoti

-----Original Message-----

From: Kim, Susan <Susan.Kim@act.gov.au>  
Sent: Friday, 10 January 2020 2:28 PM  
To: Pradhan, Jyoti <Jyoti.Pradhan@act.gov.au>  
Subject: RE: NOD-201935777- Refusal NOD

UNCLASSIFIED

Hi Jyoti,

Thanks for your review and raising additional issues including regarding the lease.

Regarding the gross floor area in the garage to be allocated to the secondary dwelling, do we need to deduct 1 or 2 car spaces from the outbuilding floor area? It looks like the garage might have to accommodate 2 cars, to then provide a total of 3 car spaces on the site...

Regards,  
Susan


-----Original Message-----

From: Pradhan, Jyoti <Jyoti.Pradhan@act.gov.au>  
Sent: Friday, 10 January 2020 1:28 PM  
To: Kim, Susan <Susan.Kim@act.gov.au>  
Subject: RE: NOD-201935777- Refusal NOD

UNCLASSIFIED

Hi Susan,

Please find attached revised NoD for the above mentioned DA. Please proof read and check for any errors. Also please complete the dispatch checklist and the assessment if you can and we'll dispatch it on Monday (today's date).

I'm taking lunch break now. Will be back by 2.00 and then check  😊

Regards,  
Jyoti

-----Original Message-----

From: Kim, Susan <Susan.Kim@act.gov.au>  
Sent: Monday, 6 January 2020 5:29 PM  
To: Pradhan, Jyoti <Jyoti.Pradhan@act.gov.au>  
Subject: NOD-201935777-01 - Merit Track DA (A20294909) - Refusal NOD

UNCLASSIFIED

Hi Jyoti

For your review and checking please.  
I have left a printed copy on your desk.

Regards,  
Susan

**Hill, Libby**

---

**From:** Pradhan, Jyoti  
**Sent:** Friday, 10 January 2020 2:36 PM  
**To:** Kim, Susan  
**Subject:** RE: NOD-201935777- Refusal NOD  
**Attachments:** PARKING-201935777-S144D-01.obr

UNCLASSIFIED

Hi,

Please refer to the parking plan provided as S144. Garage is identified for 1 car only. The width is not enough for two and length for tandem parking is not adequate.

Regards,  
 Jyoti

-----Original Message-----

From: Kim, Susan <Susan.Kim@act.gov.au>  
 Sent: Friday, 10 January 2020 2:28 PM  
 To: Pradhan, Jyoti <Jyoti.Pradhan@act.gov.au>  
 Subject: RE: NOD-201935777- Refusal NOD

UNCLASSIFIED

Hi Jyoti,

Thanks for your review and raising additional issues including regarding the lease.

Regarding the gross floor area in the garage to be allocated to the secondary dwelling, do we need to deduct 1 or 2 car spaces from the outbuilding floor area? It looks like the garage might have to accommodate 2 cars, to then provide a total of 3 car spaces on the site...

Regards,  
 Susan

-----Original Message-----

From: Pradhan, Jyoti <Jyoti.Pradhan@act.gov.au>  
 Sent: Friday, 10 January 2020 1:28 PM  
 To: Kim, Susan <Susan.Kim@act.gov.au>  
 Subject: RE: NOD-201935777- Refusal NOD

UNCLASSIFIED

Hi Susan,

Please find attached revised NoD for the above mentioned DA. Please proof read and check for any errors. Also please complete the dispatch checklist and the assessment if you can and we'll dispatch it on Monday (today's date).

I'm taking lunch break now. Will be back by 2.00 and then check [REDACTED] 😊

Regards,  
 Jyoti

-----Original Message-----

From: Kim, Susan <Susan.Kim@act.gov.au>

Sent: Monday, 6 January 2020 5:29 PM

To: Pradhan, Jyoti <Jyoti.Pradhan@act.gov.au>

Subject: NOD-201935777-01 - Merit Track DA (A20294909) - Refusal NOD

UNCLASSIFIED

Hi Jyoti

For your review and checking please.

I have left a printed copy on your desk.

Regards,

Susan



Dear Mr/s Constable

You have successfully completed the first step in the electronic development application (eDA) process.

**NEXT STEP: UPLOAD DOCUMENTS**

DA Number: 201935777

Block: 3, Section: 822

Suburb: ISABELLA PLAINS, District: TUGGERANONG

Applicant Name: Nickolas Constable

Please note that EPSDD will not begin reviewing your application until all required attachments have been submitted.

This email was automatically generated please do not respond. If you need to contact the Environment, Planning and Sustainable Development Directorate in relation to this proposal please contact Customer Services on (02) 6207 1923 or click on the following link [EPDcustomerservices@act.gov.au](mailto:EPDcustomerservices@act.gov.au) to send an email.

Environment, Planning and Sustainable Development Directorate

<http://www.environment.act.gov.au>

Dear Mr/s Constable

You have successfully completed the first step in the electronic development application (eDA) process.

Please resubmit plans and supporting documents to the Directorate.

**DA Number:** 201935777 S144D

**Site Details:**

**Block:3, Section:822**

**Suburb:ISABELLA PLAINS, District:TUGGERANONG**

**Applicant Name:** Nickolas Constable

Please note that EPSDD will not begin reviewing your application until all required attachments have been submitted.

This email was automatically generated - **please do not respond**. If you need to contact the Environment, Planning and Sustainable Development Directorate in relation to this proposal please contact Customer Services on (02) 6207 1923 or email [EPDcustomerservices@act.gov.au](mailto:EPDcustomerservices@act.gov.au)

Customer Services

Environment, Planning and Sustainable Development Directorate

Dear Mr/s Constable

An initial check of your Development Application has been undertaken and it is now ready to proceed to the next stage in the process. Please note, if your application has a \$0 total fee, no action is required and you are advised to keep this notice for your records.

Please visit the payment website as detailed below to pay the total fees payable. Once payment has been received your DA will be formally lodged.

**DA Number:** 201935777

Block: 3, Section: 822

**Site Details:** Suburb: ISABELLA PLAINS, District:  
TUGGERANONG

**Applicant Name:** Nickolas Constable

Completeness Check Fee \$0 (includes GST)

Development Fee \$1095

Crown Lease Variation \$0

**Fees Payable:** Public Notification \$1236

Lease Search \$40 (includes GST)

Home Business Fee \$0

**TOTAL FEES** \$2371

**Payments Site:** <https://form.act.gov.au/smartforms/actpla/development-application-payment/>

Alternatively, fees can also be paid by credit card on **(02) 62071923** or by coming to the Environment Planning and Land Shopfront at **16 Challis Street Dickson**. The Shopfront is open from 8.30am to 4.30pm Monday to Friday (excluding public holidays).

This email was automatically generated - **please do not respond**. If you need to contact the Environment, Planning and Sustainable Development Directorate in relation to this proposal please contact Customer Services on (02) 6207 1923 or email [EPDcustomerservices@act.gov.au](mailto:EPDcustomerservices@act.gov.au)

Customer Services  
Environment, Planning and Sustainable Development Directorate

Dear Mr/s Constable

In accordance with section S141 of the *Planning and Development Act 2007*, before this application can be determined, the Directorate requires the information below to be lodged by the period stated:

**DA Number:** 201935777

Block: 3, Section: 822

**Site Details:** Suburb: ISABELLA PLAINS, District:  
TUGGERANONG

**Applicant Name:** Nickolas Constable

**Information Required:** Please provide further information as per TPU (Tree Protection Unit) request: Please address the below issue raised by TPU: We are unable to support this DA. No Tree Management Plan for the protection of the neighbouring regulated Eucalypt has been provided. This is required for the Eucalyptus' health and stability to be maintained, in light of demo/works nearby and services likely to impact its root system. Please note: If there are any changes to the original design, lodge an amendment under S144 of the Planning and Development Act,

**Further Information due date:** 10/09/2019

If you cannot provide your response within the required timeframe, it is recommended you write to the Directorate prior to the expiration of the period stated above and seek an extension of the prescribed period for providing the information.

Please note, Section 141 (4) of the *Planning and Development Act 2007* provides that only one such extension may be granted.

If there is any change to the proposal as a result of responding to the further information request, the amended proposal is required to be submitted pursuant to S144 of the Planning and Development Act 2007. Please note the amended proposal will need to go through assessment and the due date will be extended as a consequence of submission pursuant to S144 of the Planning and Development Act 2007.

**You are advised that if some or all of the information has not been provided in accordance with this request, Section 142 of the *Planning and Development Act 2007* provides that the Directorate may refuse the application under Section 162.**

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Customer  
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Sustainable  
Development  
Directorate

Dear Mr/s Constable

In accordance with section S141 of the *Planning and Development Act 2007*, before this application can be determined, the Directorate requires the information below to be lodged by the period stated:

**DA Number:** 201935777

Block: 3, Section: 822

**Site Details:** Suburb: ISABELLA PLAINS, District:  
TUGGERANONG

**Applicant Name:** Nickolas Constable

**Information Required:** The assessment of this development application is undertaken, please consider your options allowing for compliance with the following issues; (1) Dwelling Size – The GFA calculation for the secondary residence included workshop bathroom but workshop not included in that calculation. If the garage is connected to the secondary residence and nominated for the secondary residence use than the workshop is part of the secondary residence and the GFA need to be added with the secondary residence. (2) Car Parking Space – Please show three parking spaces on the block, two for the primary dwelling with at least one covered space and one for the proposed secondary residence. (3) Principal Private Open Space (PPOS) – Please demonstrate that the PPOS area located south of the main dwelling will achieve a minimum 3 hours of direct sunlight between the hours of 9am and 3pm of 21 June, winter solstice.

**Further Information due date:** 22/11/2019

If you cannot provide your response within the required timeframe, it is recommended you write to the Directorate prior to the expiration of the period stated above and seek an extension of the prescribed period for providing the information.

Please note, Section 141 (4) of the *Planning and Development Act 2007* provides that only one such extension may be granted.

If there is any change to the proposal as a result of responding to the further information request, the amended proposal is required to be submitted pursuant to S144 of the *Planning and Development Act 2007*. Please note the amended proposal will need to go through assessment and the due date will be extended

as a consequence of submission pursuant to S144 of the Planning and Development Act 2007.

**You are advised that if some or all of the information has not been provided in accordance with this request, Section 142 of the *Planning and Development Act 2007* provides that the Directorate may refuse the application under Section 162.**

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Customer  
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Development  
Directorate

Dear Mr/s Constable

An initial review of your application to amend the development application has been completed and the Directorate has decided to amend the development application under S144 of the *Planning and Development Act 2007*.

**DA Number:** 201935777 S144D

**Site Details:**

**Block:** 3, **Section:** 822

**Suburb:** ISABELLA PLAINS, **District:** TUGGERANONG

**Applicant Name:** Nickolas Constable

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Customer Services  
Environment, Planning and Sustainable Development Directorate

Dear Mr/s Constable

Having reviewed the information submitted in response to the Request Notice, the Directorate has decided that the information is insufficient to enable a full assessment of the DA. The following additional information is therefore required to be submitted:

**DA Number:** 201935777  
**Site Details:** Block: 3, Section: 822  
Suburb: ISABELLA PLAINS, District: TUGGERANONG  
**Applicant Name:** NickolasConstable  
**Information Required:** Please provide floor plans and relevant architectural drawings and lodge the revised plans under S144.  
**Further Information due date:** 20/12/2019

**You are advised that if some or all of the information has not been provided in accordance with this request, Section 142 of the *Planning and Development Act 2007* provides that the Directorate may refuse the application under Section 162.**

If you would like to discuss any aspect of this notice, please contact Customer Services on 6207 1923.

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Customer Services  
Environment, Planning and Sustainable Development Directorate

Dear Mr/s Constable

Payment for your development application has been received.  
Your application will now proceed to the assessment stage.

**DA Number:** 201935777  
**Block:**3, **Section:**822  
**Site Details:** **Suburb:**ISABELLA PLAINS,  
**District:**TUGGERANONG  
**Applicant Name:** Nickolas Constable

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Customer Services  
Environment, Planning and  
Sustainable Development  
Directorate

Notifications closed for application id 201935777