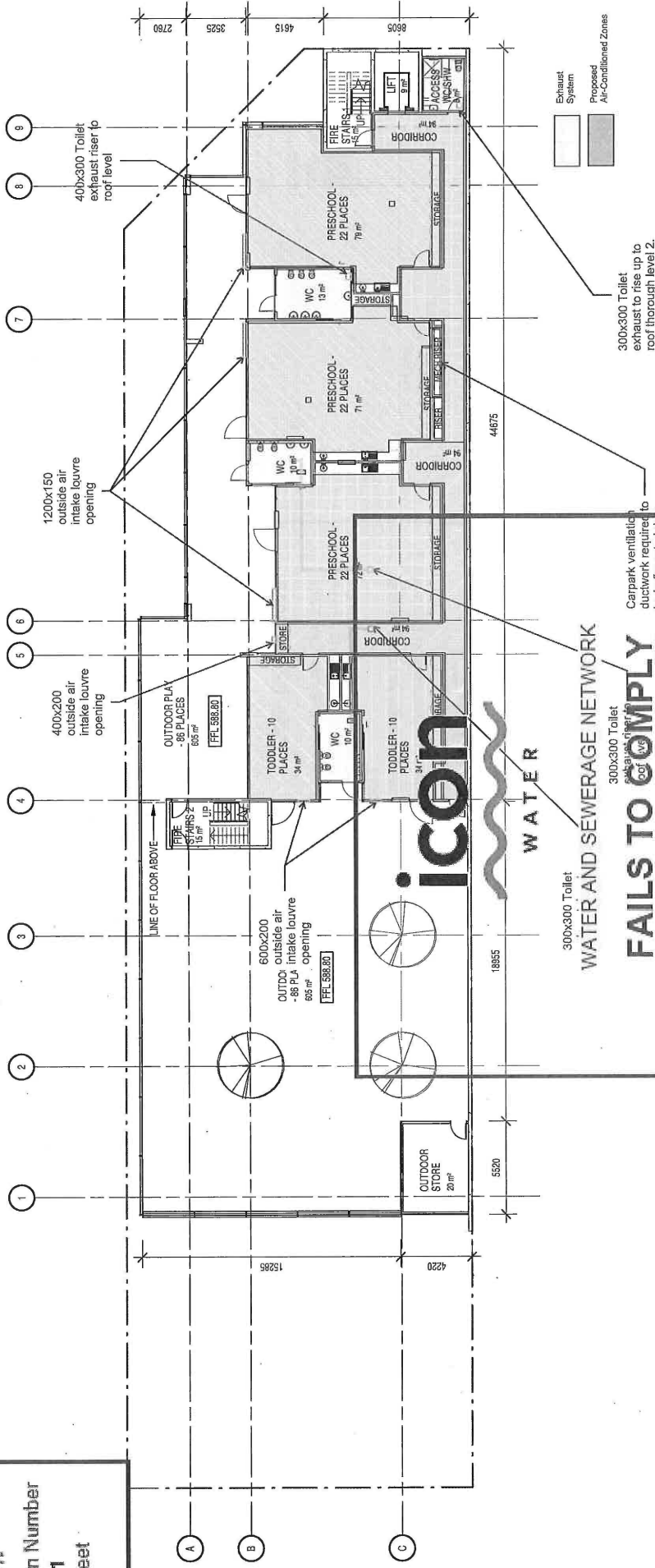




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WATER AND SEWERAGE NETWORK
300x300 Toilet
WATER AND SEWERAGE NETWORK
300x300 Toilet
FAILS TO COMPLY

The design depicted in this document is not accepted because it fails to comply with conditions listed on the accompanying statement.

Please note: Construction of unapproved works may result in connection to Icon Water's water and sewerage networks being denied and/or action being taken to require the property owner to remove non-compliant services or structures.

Signed Eddie Gonzalez Date 02 Mar 2018

Contact phone: 6248 3171

Minimum requirement by the ventilation code 1668.2-2012

Proposed filter to all outside air intakes.

| Rating performance | 10 microns | 5 microns | 1-0.3 microns | Filter type | |
|--------------------|------------|-----------|---------------|-------------|------------|
| G1 | 90% | 60% | 20% | 0% | pre-filter |
| G2 | 95% | 75% | 30% | 10% | pre-filter |
| G3 | 97% | 85% | 45% | 25% | pre-filter |
| G4 | 98% | 92% | 58% | 35% | pre-filter |
| F5 | 98% | 97% | 70% | 45% | secondary |
| F6 | 99% | 98% | 82% | 62% | secondary |
| F7 | 99.9% | 99% | 88% | 72% | secondary |
| F8 | 99.9% | 99.9% | 97% | 88% | secondary |
| F9 | 99.99% | 99.99% | 98% | 93% | secondary |
| H10-H14 | 100% | 100% | 100% | 99.99% | HEPA |
| U15-U17 | 100% | 100% | 100% | 99.9975% | ULPA |

For more information on HEPA or ULPA grades please contact your local distributor

Particle size table

| Substance | approximate range of particle diameters (microns) |
|-------------------------|---------------------------------------------------|
| Rain drops | 500 - 5000 |
| Natural mist | 60 - 500 |
| Natural fog | 2 - 60 |
| Pollens | 10 - 100 |
| Ground tail | 0.5 - 50 |
| Bacteria | 0.5 - 35 |
| Plant spores | 10 - 35 |
| Insecticide dusts | 0.5 - 10 |
| Stoker fly ash | 10 - 8000 |
| Pulverized coal fly ash | 1 - 50 |
| Foundry dusts | 1 - 1000 |
| Concrete dust | 3 - 100 |
| Metallurgical dust | 0.5 - 100 |
| Dust damaging to lungs | 0.5 - 5 |
| Oil smoke | 0.1 - 1.0 |
| Recin smoke | 0.01 - 1.0 |
| Tobacco smoke | 0.01 - 1.0 |
| Carbon black | 0.01 - 0.3 |
| Pigments (paints) | 0.1 - 5 |
| Vinases | 0.003 - 0.05 |
| Human hair | 35 - 200 |

Rudds
Consulting Engineers
5 Boddalla Place
FISHERWOOD, ACT 2608
Tel: (02) 6248 2800
Fax: (02) 6248 2801
Email: enquiries@rudds.com.au
Web: www.rudds.com.au
ABN 14 624 271 152

| Rev | Amendment | Date | By |
|-----|-----------|------|----|
| | | | |



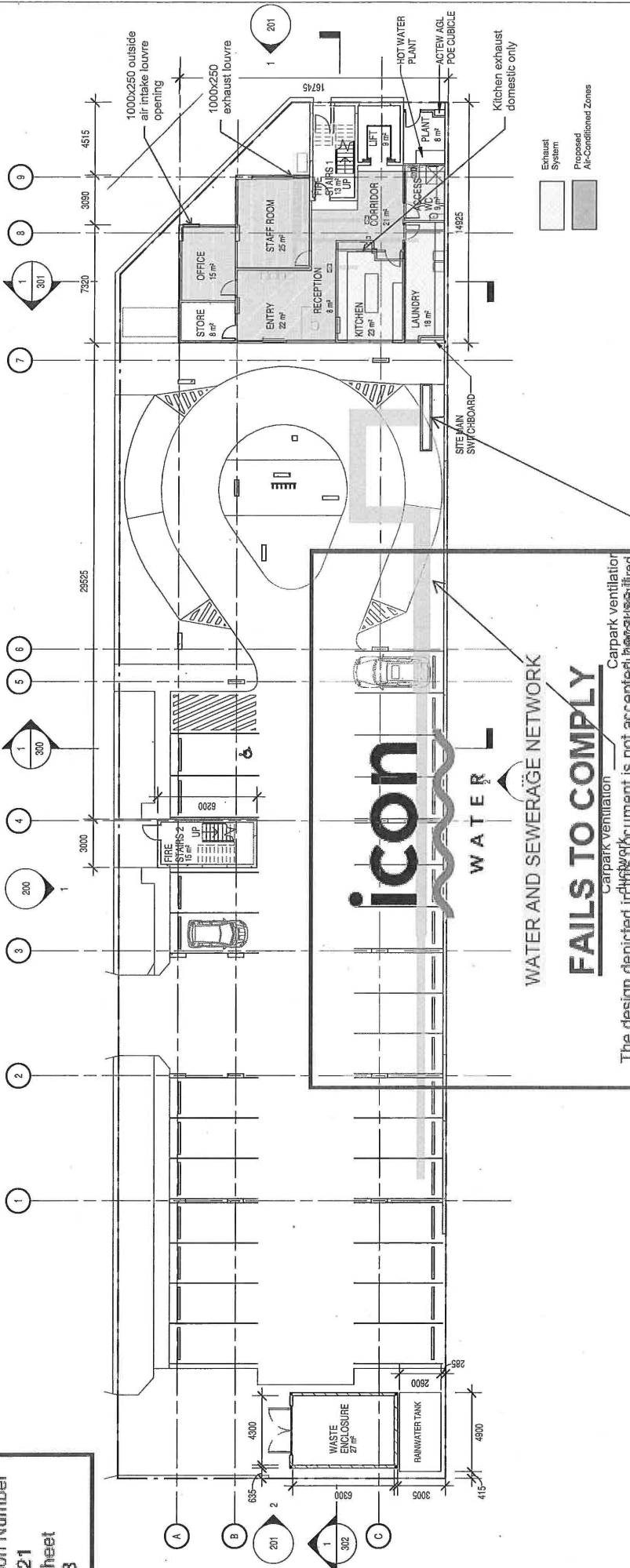
100% GREEN BUILDING CONSULTANTS
P. 02 6248 2800
100% GREEN BUILDING CONSULTANTS

MITCHELL CHILD CARE CENTRE
BLOCK 18, SECTION 11 CORNER DARLING & HEFFERNAN STREET, MITCHELL, ACT

| FIRST FLOOR PLAN | | | |
|------------------|------|--------|----------------|
| Author | Date | Check | Project Number |
| | | | |
| Checker | Date | Design | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

Rudds
Consulting Engineers
Comments 12/02/2018

Architectural Drawings
Issued 30-01-18



WATER AND SEWERAGE NETWORK

FAILS TO COMPLY

The design depicted in this document is not accepted by Icon Water as it fails to comply with conditions listed on the accompanying statement.

Please note: Construction of unapproved works may result in connection to Icon Water's water and sewerage networks being denied and/or action being taken to require the property owner to remove non-compliant services or structures.

Signed Eddie Gonzalez Date 02 Mar 2018

Contact phone: 6248 3111

Rudds Consulting Engineers
 5 Boddala Place
 PYSWICK ACT 2609
 Tel: (02) 6240 2000
 Fax: (02) 6240 9951
 Email: info@rudds.com.au
 Website: www.rudds.com.au

| Rev | Amendment | Date | INT |
|-----|-----------|------|-----|
| | | | |



Level 1, 15 Boddala Place, Pyswick, ACT 2609
 P. 02 6240 2000
 F. 02 6240 9951
 E. info@rudds.com.au
 W. www.rudds.com.au

MITCHELL CHILDCARE CENTRE
 BLOCK 1B, SECTION 11 CORNER DARLING &
 HEFFERNAN STREET, MITCHELL, ACT

| GROUND FLOOR PLAN | | | |
|-------------------|----------|-------|----------------|
| Drawn | Date | Scale | Project Number |
| Author | 1: 250 | A3 | A17041 |
| Checked | Designer | Date | Drawing Number |
| PRELIMINARY | SK 102 | | |



Rudds Consulting Engineers
 Comments 12/02/2018

Architectural Drawings
 Issued 30-01-18



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AUSTRALIAN CAPITAL TERRITORY

TITLE SEARCH

Mitchell Section 11 Block 18 on Deposited Plan 4865
Lease commenced on 20/07/2007, granted on 20/08/2007, term of 99 years
Area is 1685 square metres or thereabouts

Sole Proprietor:
Konstantinou Developments Pty Ltd
of RSM Bird Cameron Level 1 103-105 Northbourne Avenue Canberra ACT 2600

| Registered Date | Dealing Number | Description |
|-----------------|----------------|--------------------------------------------------------------------------------------------------------------------|
| | | Original title is Volume 1829 Folio 31 Purpose Clause: Refer Crown Lease S.180 Land Act 1991: Current |
| 01/11/2007 | 1550876 | [REDACTED] |
| 25/07/2017 | 2102415 | Application to vary Crown Lease - refer instrument End of interests |

ADMINISTRATIVE INTERESTS
(This information is not guaranteed)

ACT Planning and Land Authority (ACTPLA) - For further information concerning the following administrative interests, please contact ACTPLA on (02) 6207 1923. ACTPLA administrative interests information has been provided to the Registrar-General since 1 February 2010.

| Reference Number | Type | Lodgement Date | Assessment Track | Status | Status Date |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------|----------------|----------------------------------|----------------------|-------------|
| 200916451 | Development Application | 12/03/2010 | MERIT TRACK - MAJOR NOTIFICATION | APPROVAL CONDITIONAL | 20/08/2010 |
| Description NONR COMMERCIAL - NEW BUILDING - SHOWROOM & OFFICE. Proposed construction of a new two storey office & showroom building; Includes rear carpark with access from Heffernan Street. | | | | | |

icon

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IN WITNESS whereof the Authority on behalf of the Commonwealth and the Lessee have executed this Lease.

Signed by **GERARD JOHN RYAN**)
a delegate authorised to execute this lease)
on behalf of the Commonwealth in the)
presence of)

[Redacted Signature]

Delegate

Witness

SANDRA ALDRIDGE

Signed by **KONSTANTINOU**)
DEVELOPMENTS PTY LTD)
(A.C.N. 088 414 742) by:)

[Redacted Signature]

Signature

[Redacted Signature]

Signature

JOHN KONSTANTINOU

Name in full

JEFF KONSTANTINOU

Name in full

DIRECTOR

Director/Secretary

DIRECTOR

Director/Secretary



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NOTICES
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EXERCISE OF
POWERS

- (d) That any notice requirement demand consent or other communication to be given to or served upon the Lessee under this lease shall be deemed to have been duly given or served if signed by or on behalf of the Authority and delivered to or sent in a prepaid letter addressed to the Lessee at the registered office of the Lessee in the said Territory BUT if for any reason the Lessee does not have a registered office in the said Territory then at the usual or last-known address of the Lessee or affixed in a conspicuous position on the premises;
- (e) Any and every right, power and or remedy conferred on the Commonwealth or Territory hereunder or implied by law may be exercised on behalf of the Commonwealth or the Territory or as the case may be by –
- (i) the Authority;
 - (ii) an authority or person for the time being authorised by the Authority or by law to exercise those powers or functions of the Commonwealth or Territory; or
 - (iii) the authority or person to whom the Authority has delegated all its powers or functions under the Planning and Land Act 2002 or any Statute Ordinance or Regulation substituted therefore.

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167569

TERMINATION

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IT IS MUTUALLY COVENANTED AND AGREED as follows:

- (a) That if -
- (i) any rent or other moneys payable under this lease shall remain unpaid for three months next after the date appointed for payment thereof (whether such rent or other moneys shall have been formally demanded or not); or
 - (ii) an approved development in accordance with Clause 3(a) of this lease is not commenced within the period specified in the said Clause; or
 - (iii) an approved development in accordance with Clause 3(a) of this lease is not completed within the period specified in Clause 3(b); or
 - (iv) associated works in accordance with Clause 3(c) of this lease are not completed within the period specified in the said Clause; or
 - (v) after completion of an approved development as aforesaid the land is at any time not used for a period of one year for the purpose for which this lease is granted; or
 - (vi) the Lessee shall fail to observe or perform any other of the covenants herein contained on the part of the Lessee to be observed or performed and shall have failed to remedy such breach within a period of six months from the date of service on the Lessee of a notice in writing from the Authority specifying the nature of such breach

the Authority on behalf of the Commonwealth may terminate this lease but without prejudice to any claim which the Authority or the Commonwealth may have against the Lessee in respect of any breach of the covenants on the part of the Lessee to be observed or performed;

ACCEPTANCE
OF RENT

- (b) That acceptance of rent or other moneys by the Authority during or after any period referred to in Clauses 5(a) (i), (ii), (iii), (iv), (v) or (vi) of this lease shall not prevent or impede the exercise by the Authority of the powers conferred upon it by said Clauses;

FURTHER LEASE

- (c) Subject to the provisions of the Land (Planning and Environment) Act 1991 the Lessee shall be entitled to a further lease of the land for such further term and at such rent and subject to such conditions as may then be provided or permitted by Statute Ordinance or Regulation;



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BUILDING
167569
SUBJECT TO
Approval
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REPAIR

FAILURE TO
REPAIR

- (n) That the Lessee shall not without the previous approval in writing of the Authority erect any building, or make any structural alterations to any building, on the land;
- (o) That the Lessee shall at all times during the said term maintain repair and keep in repair the premises to the satisfaction of the Authority;
- (p) If and whenever the Lessee is in breach of the Lessee's obligations to maintain repair and keep in repair the premises the Authority may by notice in writing to the Lessee specifying the repairs and maintenance needed require the Lessee to effect the necessary work in accordance with the notice. If the Authority is of the opinion that a building or some other improvement on the land is beyond reasonable repair the Authority may by notice in writing to the Lessee require the Lessee to remove the building or improvement and may require the Lessee to construct a new building or improvement in place of that removed within the time specified in the notice. If the Lessee does not carry out the required work within the time specified by the Authority any person or persons duly authorised by the Authority with such equipment as is necessary may enter the premises and carry out the necessary work and all costs and expenses incurred by the Authority in carrying out the work shall be paid by the Lessee to the Authority on demand and from the date of such demand until paid shall for all purposes of this lease be a debt due and payable to the Authority by the Lessee;

RIGHT OF
INSPECTION

- (q) Subject to the provisions of the Land (Planning and Environment) Act 1991 to permit any person or persons authorised by the Authority to enter and inspect the premises at all reasonable times and in any reasonable manner;

RATES AND
CHARGES

- (r) To pay all rates charges and other statutory outgoings assessed levied or payable in respect of the premises as and when the same fall due.

4. THE COMMONWEALTH COVENANTS WITH THE LESSEE as follows:

QUIET
ENJOYMENT

That the Lessee paying the rent and observing and performing the covenants and stipulations on the part of the Lessee to be observed and performed shall quietly enjoy the premises without interruption by the Authority or any person lawfully claiming from or under or in trust for the Authority.

CAR AND TRUCK
PARKING

LANDSCAPING

LIGHTING

LOADING AND
UNLOADING OF
VEHICLES

PRESERVATION
OF TREES

FACILITIES AND
ACCESS FOR PERSONS
WITH A DISABILITY

SERVICE AREAS

- (f) That the combined gross floor area of all buildings erected on the land shall not be less than 200 square metres and shall not exceed 1,450 square metres;
- (g) That the Lessee shall provide and maintain an approved drained and sealed car and truck parking area on the land to a standard acceptable to the Authority in accordance with plans and specifications prepared by the Lessee and previously submitted to and approved in writing by the Authority;
- (h) That the Lessee shall provide and maintain landscaping on the land to a standard acceptable to the Authority in accordance with plans and specifications prepared by the Lessee and previously submitted to and approved in writing by the Authority;
- (i) That the Lessee shall illuminate and keep illuminated all public access areas, carparks and driveways on the land at the Lessee's cost during the evening hours of operation to a standard acceptable to the Authority in accordance with plans and specifications prepared by the Lessee and previously submitted to and approved in writing by the Authority;
- (j) That the Lessee shall provide and maintain an area for the loading and unloading of vehicles on the land to a standard acceptable to the Authority in accordance with plans and specifications prepared by the Lessee and previously submitted to and approved in writing by the Authority;
- (k) That the Lessee shall not, without the previous consent in writing of the Territory, remove any tree:
- (i) that has been identified in a development approval for retention during the period allowed for construction of the building; or
 - (ii) to which the Tree Protection Act 2005, or any Act in substitution therefore, applies;
- (l) That the Lessee shall provide and maintain facilities and access on the land for persons with a disability in accordance with plans and specifications prepared by the Lessee and previously submitted to and approved in writing by the Authority;
- (m) That the Lessee shall screen and keep screened all service areas to the satisfaction of the Authority and shall ensure that all plant and machinery contained within the premises is suitably screened from public view;



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- (i) the design and construction of:
 - (A) a heavy duty industrial driveway in accordance with the Department of Territory and Municipal Services (TAMS) current version of the Design Standards for Urban Infrastructure Works and constructed to TAMS current version of the Standard Specifications for Urban Infrastructure Works; and
 - (B) a stormwater tie to fully service the site;
- (ii) construction of verge works, topsoil, grassing and landscaping; and
- (iii) any other works required as a result of an audit on submitted plans for design approval

including all ancillary works and fittings in accordance with the prescribed conditions for associated works and plans and specifications prepared by the Lessee and previously submitted to and approved in writing by the Authority;

INDEMNITY

- (d) That the Lessee shall indemnify and keep indemnified the Commonwealth, the Territory, the Authority, their servants and agents from all actions, claims, suits and demands, brought, maintained or made against the Commonwealth, the Territory, the Authority, their servants or agents by any person or body of persons arising out of the provision by the Lessee of the design and construction of the associated works referred to in Clause 3(c) until such works are completed and formally handed over to the Territory;

PURPOSE

- (e) To use the premises for one or more of the following purposes:
 - (i) funeral parlour;
 - (ii) light industry;
 - (iii) non retail commercial use LIMITED to office;
 - (iv) shop; and
 - (v) vehicle sales

PROVIDED ALWAYS THAT the maximum gross floor area for any supermarket or shop selling food shall not exceed 200 square metres;



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- (p) words in the singular include the plural and vice versa;
- (q) words importing one gender include the other genders.

2. THE LESSEE COVENANTS WITH THE COMMONWEALTH as follows:

RENT

- (a) That the Lessee shall pay to the Authority rent at the rate of five cents per annum if and when demanded payable within one month of the date of any demand made by the Authority relating thereto and served on the Lessee;

MANNER OF
PAYMENT
OF RENT

- (b) That any rent or other moneys payable by the Lessee under this lease shall be paid to such person as may be authorised by the Authority for that purpose at Canberra in the said Territory without any deduction whatsoever.

3. THE LESSEE FURTHER COVENANTS WITH THE COMMONWEALTH as follows:

COMMENCEMENT
OF DEVELOPMENT

- (a) That the Lessee shall within twelve (12) months from the date of the commencement of the lease or within such further time as may be approved in writing by the Authority for that purpose commence to erect an approved development including building works, carparking, fencing and landscaping on the land at a cost not less than the sum of one hundred and fifty thousand dollars (\$150,000) in accordance with plans and specifications prepared by the Lessee and previously submitted to and approved in writing by the Authority;

COMPLETION
OF DEVELOPMENT

- (b) That the Lessee shall within twenty four (24) months from the date of the commencement of the lease or within such further time as may be approved in writing by the Authority complete the erection of the said approved development including building works, carparking, fencing and landscaping on the land in accordance with the said plans and specifications and in accordance with every Statute Ordinance or Regulation applicable thereto;

ASSOCIATED
WORKS

- (c) That the Lessee shall commence within twelve (12) months and complete within twenty four (24) months respectively from the date of the commencement of the lease or within such further time as may be approved in writing by the Authority for that purpose, and prior to the commencement of any trading or business from the premises:

- (h) **“light industry” means an industry, not being a general, offensive, hazardous or mining industry, in which the processes carried on, the transportation involved or the machinery or materials used do not interfere with the amenity of the locality by reason of noise, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit, oil or otherwise. The use includes a craft workshop;**
- (i) **“non retail commercial” means a business agency, financial establishment, office, or public agency;**
- (j) **“office” means the use of land used for the purpose of administration, clerical, technical, professional or like business activities, including a government office, which does not include dealing with members of the public on a direct and regular basis except where this is ancillary to the main purpose of the office;**
- (k) **“premises” means the land and any building or other improvements on the land;**
- (l) **“public agency” means the use of land for the purpose of providing a public service directly and regularly to the public and includes a government agency, which provides a commercial service to the public;**
- (m) **“shop” means the use of land for the purpose of selling, exposing or offering the sale by retail or hire, goods and personal services and includes bulky goods retailing, department store, personal service, retail plant nursery, supermarket and take-away food shop;**
- (n) **“Territory” means -**
- (i) **when used in a geographical sense the Australian Capital Territory; and**
- (ii) **when used in any other sense the body politic established by section 7 of the Australian Capital Territory (Self-Government) Act 1988 (C’th);**
- (o) **“vehicle sales” means the use of land for the sale, hire, display or offering for sale or hire of new or used motor vehicles, caravans, motor cycles, boats, trailers or other vehicles. The term includes the ancillary use of such premises for the sale of spare parts or accessories and the storage, cleaning and maintenance of such vehicles, but does not include a service station;**

icon

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INTERPRETATION

IN THIS LEASE unless the contrary intention appears:

- (a) "Authority" means the Planning and Land Authority established by section 7 of the Planning and Land Act 2002;
- (b) "building" means any building or structure, as those terms are defined in section 222 of the Land (Planning and Environment) Act 1991, which requires approval under Part 6 of that Act;
- (c) "business agency" means the use of land for the purpose of providing a commercial service directly and regularly to the public;
- (d) "financial establishment" means the use of land for the primary purpose of providing finance, investing money, and providing services to lenders, borrowers and investors on a direct and regular basis;
- (e) "funeral parlour" means the use of land by an undertaker in the carrying out of that profession. The term includes all ancillary uses such as a funeral chapel and office;
- (f) "gross floor area" means the sum of the area of all floors of the building measured from the external faces of the exterior walls or from the centre lines of walls separating the building from any other building excluding any area used solely for rooftop fixed mechanical plant and/or basement carparking;
- (g) "Lessee" shall -
 - (i) where the Lessee consists of one person be deemed to include the Lessee and the executors administrators and assigns of the Lessee;
 - (ii) where the Lessee consists of two or more persons be deemed to include in the case of a tenancy in common the persons and each of them and their and each of their executors administrators and assigns and in the case of a joint tenancy be deemed to include the said persons and each of them and their and each of their assigns and the executors administrators and assigns of the survivor of them; and
 - (iii) where the Lessee is a corporation be deemed to include such corporation its successors and assigns;



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ORIGINAL

Entered in Register Book Vol. 1929 Folio 31...
- 1 NOV 2007

AUSTRALIAN CAPITAL TERRITORY

LAND (PLANNING AND ENVIRONMENT) ACT 1991

Brett Phillips
Registrar-General



Australian Capital Territory (Planning and Land Management) Act 1988 (C'th) ss 29, 30 & 31

LEASE GRANTED pursuant to the Land (Planning and Environment) Act 1991 and the Regulations thereunder on the *twentieth* day of *August*

Two thousand and seven WHEREBY THE PLANNING AND LAND AUTHORITY ("the Authority") ON BEHALF OF THE COMMONWEALTH OF AUSTRALIA ("the Commonwealth") in exercising its functions grants to

LESSEE **KONSTANTINOU DEVELOPMENTS PTY LTD A.C.N. 088 414 742** a company having its registered office at RSM Bird Cameron, Level 1, 103-105 Northbourne Avenue Canberra in the Australian Capital Territory ("the Lessee")

LAND ALL THAT piece or parcel of land situate in the Australian Capital Territory containing **an area of 1,685 square metres** or thereabouts and being **Block 18 Section 11 Division of Mitchell** as delineated on **Deposited Plan Number 4865** in the Registrar-General's Office at Canberra in the said Territory ("the land")

TERM RESERVING unto the Territory all minerals TO HOLD unto the Lessee for the term of ninety nine years commencing on the **twenty thrid** day of **July Two thousand and seven** ("the date of the commencement of the lease") to be used by the Lessee for the purpose set forth in Clause 3(e) of this lease only YIELDING AND PAYING THEREFOR rent in the amount and in the manner and at the times hereinafter provided and UPON AND SUBJECT TO the covenants conditions and agreements hereinafter contained.

ACT REVENUE OFFICE
ORIGINAL DULY STAMPED
Client A/C No 108451
Assess Basis Liable
Assessment ID 161903
Assessed Value \$791,000.00
Duty Paid **Blk 18 Sec 11 Mitchell**
For **of the Lease**
Date 18/10/2007 Time 11:08:57

icon

EXECUTION BY ACT PLANNING AND LAND AUTHORITY

Application Number

Signed by the person duly authorised by the Planning and Land Authority
(Please print full name of authorised signatory)

Print full name and address of witness

Jackie Hurst

Sheet
Irma Sare

Environment, Planning and Sustainable Development
Dame Pattie Menzies House
16 Challis Street
DICKSON ACT 2602

Signature of witness

Senior Officer Grade

POSITION NO. 12617

Dated - 20.7.2017

Dated - 20.7.17

OFFICE USE ONLY

| | | | |
|-------------------|-------------|--------------------------------|---------|
| Lodged by | | Certificate of title lodged | |
| Data entered by | | Certificates attached to title | |
| Registered by | | Attachments / Annexures | |
| Registration date | 25 JUL 2017 | Production number | 2101498 |

DETAILS OF VARIATION

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167569

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**Australian Capital Territory
Planning and Development Act 2007
Variation of a Crown lease**

2016/03/11

Under the Planning and Development Act 2007 I, **Irma Sare** approved the variation of the Crown lease specified hereunder

Former Provision

3.(e) To use the premises for one or more of the following purposes:

- (i) funeral parlour
- (ii) Light Industry
- (iii) non retail commercial use Limited to office
- (iv) shop; and
- (v) vehicle sales

PROVIDED ALWAYS THAT the maximum gross floor area for any supermarket or shop selling food shall not exceed 200 square metres;

Amended Provision

3.(e) To use the premises for one or more of the following purposes:


- (i) funeral parlour;
- (ii) Light Industry;
- (iii) non retail commercial use Limited to office;
- (iv) shop;
- (v) vehicle sales; and
- (vi) community use LIMITED to child care centre

PROVIDED ALWAYS THAT the maximum gross floor area for any supermarket or shop selling food shall not exceed 200 square metres;

Inserted Provisions

Replace the full stop/period (".") at the end of clause 1(q) with a semi-colon (";") and add the following sub clauses:

- 1 (r) "child care centre" means the use of land for the purpose of educating, supervising or caring for children of any age throughout a specified period of time in any one day, which is registered under the Children and Young People Act 2008 or authorised pursuant to the Education and Care Services national Law (ACT) ACT 2011 and which does not include residential care.
- 1(s) "community use" means childcare centre, community activity centre, community theatre, cultural facility, educational establishment, health-facility, hospital, place or worship, religious associated use.



icon
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Form:044 - AVCL

Access
Canberra.



AVCL\$2102415 20/07/2017 10:21:22 MOULE

Chief Minister

2102415

ES
RA
ate

APPLICATION TO VARY A CROWN LEASE

Land Titles Act 1925

The Minister or the Delegate of the Planning and Land Authority (the Authority) has agreed to vary the lease as described below, subject to the mortgages, encumbrances and other instruments affecting the land including any created by dealings lodged for registration prior to the lodging of this document. (Note – This form cannot be used to vary a Unit within a Registered Units Plan)

LODGING PARTY DETAILS

| Name | Postal Address | Contact Telephone Number |
|---------------------------|----------------------------|--------------------------|
| Capital Crown Leasing P/L | PO Box 7336 Watson 2602 | [REDACTED] |

TITLE AND LAND DETAILS

| Volume & Folio | District/Division | Section | Block |
|----------------|-------------------|---------|-------|
| 1829:31 | Mitchell | 11 | 18 |

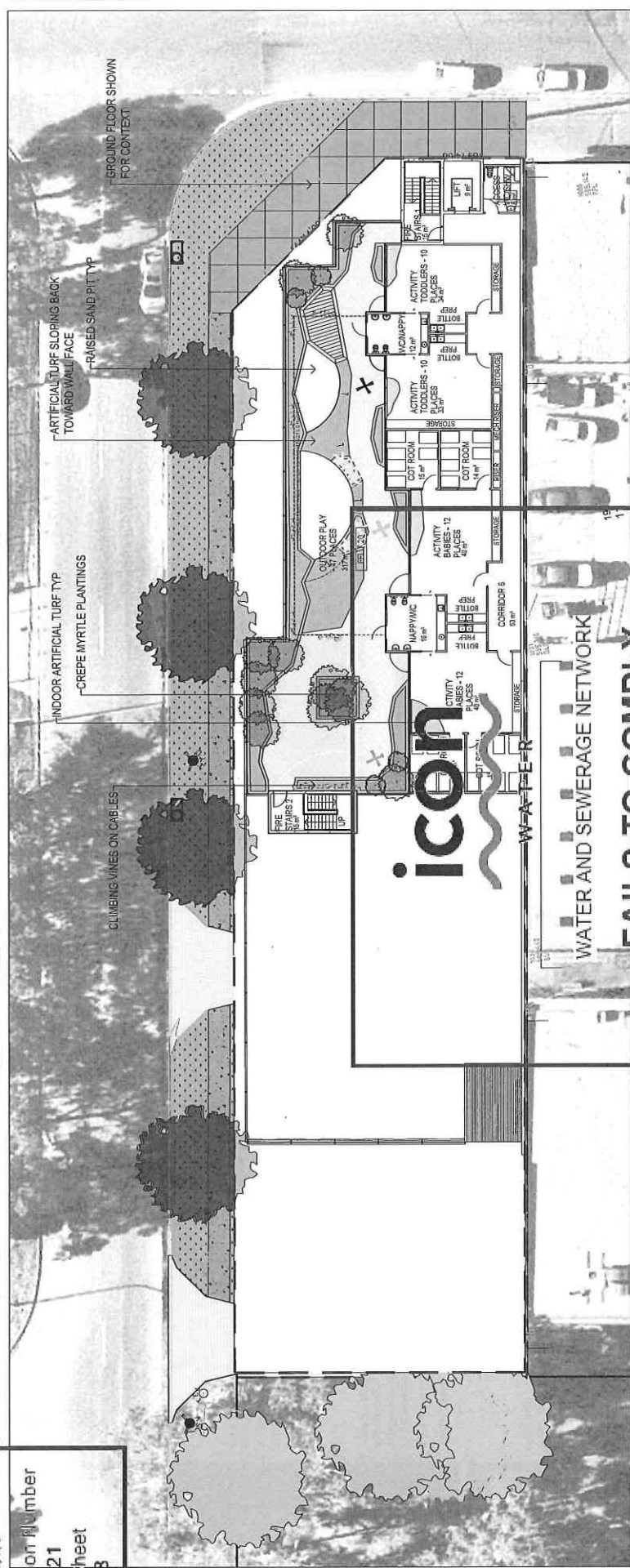
| FULL NAME OF REGISTERED PROPRIETOR/S (Surname-Last) (ACN required for all companies) | FULL POSTAL ADDRESS |
|-----------------------------------------------------------------------------------------|--------------------------------------------------------------------------|
| Konstantinou Developments Pty Ltd – ACN 088 414 742 | RSM Bird Cameron level 1 103-105 Northbourne Avenue Canberra ACT 2600 |

LEGISLATIVE PROVISION TO VARY CROWN LEASE

I, **Irma Sare**, being a delegate of the planning and land authority, APPLY to you to register the variation which has been made to the Crown lease of the land described above. An approval of the Variation of Lease is submitted herewith in accordance with Section 72A of the Land Titles Act 1925.

DETAILS OF DELETED CLAUSES (no longer applicable after registration)

N/A



LANDSCAPE LEGEND

- PROPERTY BOUNDARY
- BOUNDARY OF UPPER LEVEL
- EXISTING TREES
Circles to be protected and retained
- PROPOSED HARD LANDSCAPE
 - PAVING TYPE 1: Grey Concrete, Coveled Finish with 600x600mm sawed grid pattern
 - PAVING TYPE 2: Grey Concrete, Coveled Finish with 600x600mm sawed grid pattern
 - PAVING TYPE 3: Grey Concrete, Coveled Finish with 600x600mm sawed grid pattern
 - PAVING TYPE 4: Grey Concrete, Coveled Finish with 600x600mm sawed grid pattern
 - PAVING TYPE 5: As specified by architect
- PROPOSED TREES - REFER TO LEG 1 FOR SPECIES LOCATIONS & PLANTING BEDS - INTERACTIVE PLAY - WITH SELECTED SEASONAL VEGETABLES AND ON SENSOR GARDENS
- RAISED PLANTING CONTAINERS - CUSTOM DESIGNED AND SELECTED PROPRIETARY ITEMS EQUAL TO QUANTO GRC POLYMER
- ARTIFICIAL TURF
Exterior play space
Interior play space
- VEGETE GRASSING - Reliable to TCCS standards
- CLIMBING PLANTS ON MESH SCREEN
- PROPOSED CUSTOM BUILT ELEMENTS
 - SAND BOX
 - OBSCURE RUN
 - EMERALD
 - TRAFFIC CONTROL
 - SELECTED DECORATIVE BOLDBLERS
 - PAINTED SURFACE 'OASIS' ELEMENTS
 - Water theme
 - PAINTED SURFACE 'TREASURE MAP' ELEMENTS
 - Colours to be confirmed
- PROPOSED CUSTOM BUILT ELEMENTS
 - TIMBER TIP SHELTER (BY OTHERS)
 - SHADE SAIL STRUCTURE
 - TIMBER DECKING
 - TIMBER BOARDWALK SECTION
 - Sign up and down ramping

INDICATIVE LANDSCAPE MATERIALS: INSPIRATION IMAGES



WATER AND SEWERAGE NETWORK FAILS TO COMPLY

The design depicted in this documents is not fit for purpose and fails to comply with conditions 18 and 19 of the planning permit statement.

Please note: Construction of unapproved works, such as water and sewerage networks being denied and any condition being taken require the property owner to remove non-compliant works or structure.

Signed Eddie Gonzalez

Contact phone: 6229 5544 (mixed facility areas)

NOTE
Preliminary works by others shown on these drawings are for site context only and are indicative. Subject to change based on title assessment.

Small trees in low profile GRC containers (General form shown, not material).

Jasmine trained up cables

Low decking at sand pit

Indoor/outdoor planting

Artificial turf under cover

| DATE | REVISION | DESCRIPTION | APPROVED FOR ISSUE |
|------------|----------|-------------|--------------------|
| 01/10/2017 | A1 | AS SHOWN | |
| 01/10/2017 | A2 | AS SHOWN | |
| 01/10/2017 | A3 | AS SHOWN | |
| 01/10/2017 | A4 | AS SHOWN | |
| 01/10/2017 | A5 | AS SHOWN | |
| 01/10/2017 | A6 | AS SHOWN | |
| 01/10/2017 | A7 | AS SHOWN | |
| 01/10/2017 | A8 | AS SHOWN | |
| 01/10/2017 | A9 | AS SHOWN | |
| 01/10/2017 | A10 | AS SHOWN | |

| REVISION | DATE FOR ISSUE | DESCRIPTION | APPROVED FOR ISSUE |
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| 2 | 01/10/2017 | AS SHOWN | |
| 3 | 01/10/2017 | AS SHOWN | |
| 4 | 01/10/2017 | AS SHOWN | |
| 5 | 01/10/2017 | AS SHOWN | |

| DATE | REVISION | DESCRIPTION | APPROVED FOR ISSUE |
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| 01/10/2017 | A3 | AS SHOWN | |
| 01/10/2017 | A4 | AS SHOWN | |
| 01/10/2017 | A5 | AS SHOWN | |
| 01/10/2017 | A6 | AS SHOWN | |
| 01/10/2017 | A7 | AS SHOWN | |
| 01/10/2017 | A8 | AS SHOWN | |
| 01/10/2017 | A9 | AS SHOWN | |
| 01/10/2017 | A10 | AS SHOWN | |

| DATE | REVISION | DESCRIPTION | APPROVED FOR ISSUE |
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| 01/10/2017 | A8 | AS SHOWN | |
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| 01/10/2017 | A10 | AS SHOWN | |

| DATE | REVISION | DESCRIPTION | APPROVED FOR ISSUE |
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| 01/10/2017 | A8 | AS SHOWN | |
| 01/10/2017 | A9 | AS SHOWN | |
| 01/10/2017 | A10 | AS SHOWN | |

SPACELAB
KOSTANTINOU DEVELOPMENTS PTY LTD
arom
MITCHELL CHILDCARE CENTRE
BLOCK 18 SECTION 11
MITCHELL, ACT
DRAWING: LANDSCAPE PLAN
LEVEL 2
PROJECT NO: 171722
DRAWING NO: L201.3
SCALE: DA
REVISION: C
DATE: 11/05/2017
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]



Application MITCHELL CHILDCARE
 167821 CENTRE
 Street
 83 of 208

BLOCK 18 SECTION 11, MITCHELL

17/1272

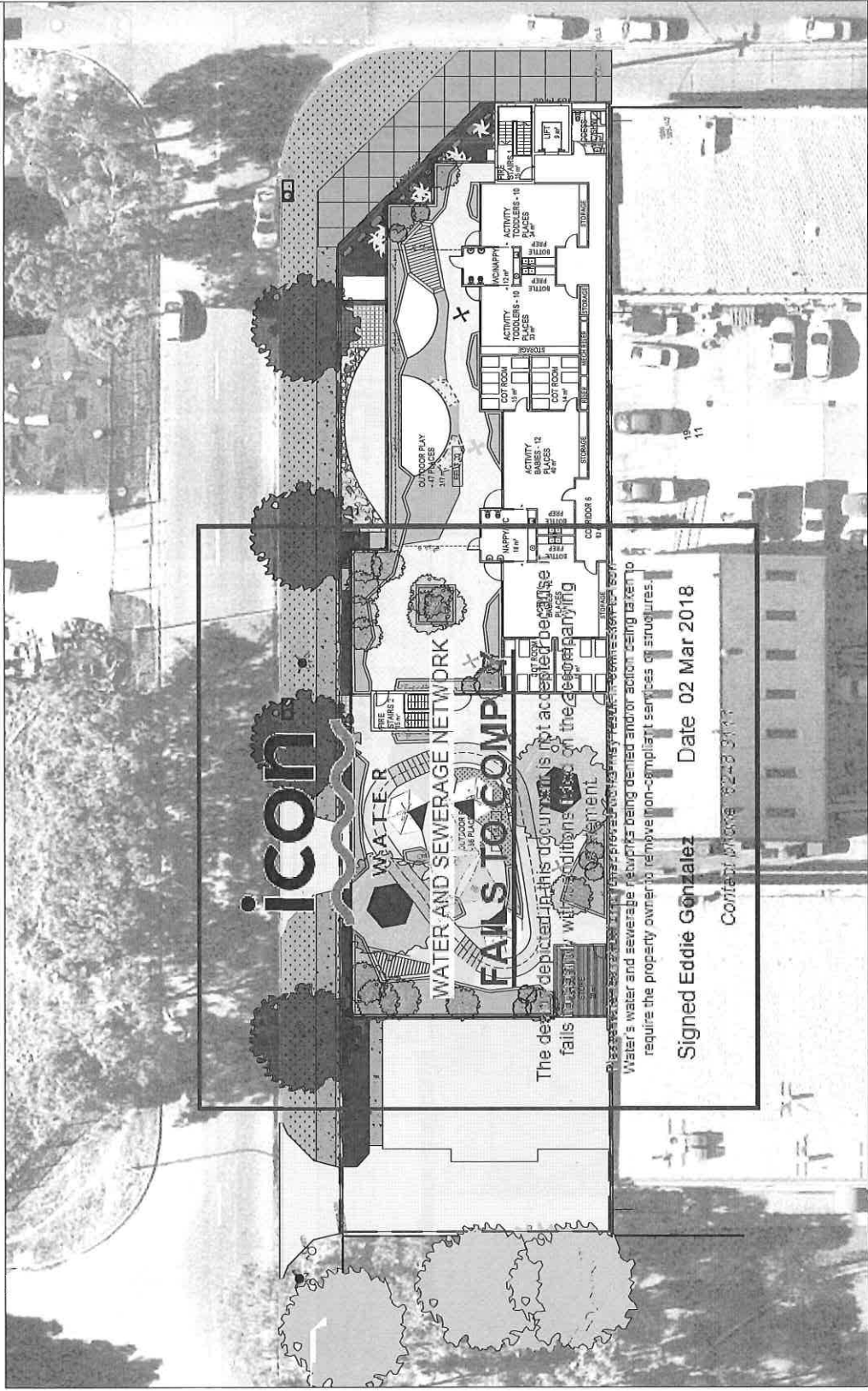


SPACELAB
 CREATING TIMELESS PLACES

ISSUE DATE: 01.12.2017
 DA ISSUE
 REVISION: C

DRAWING SCHEDULE

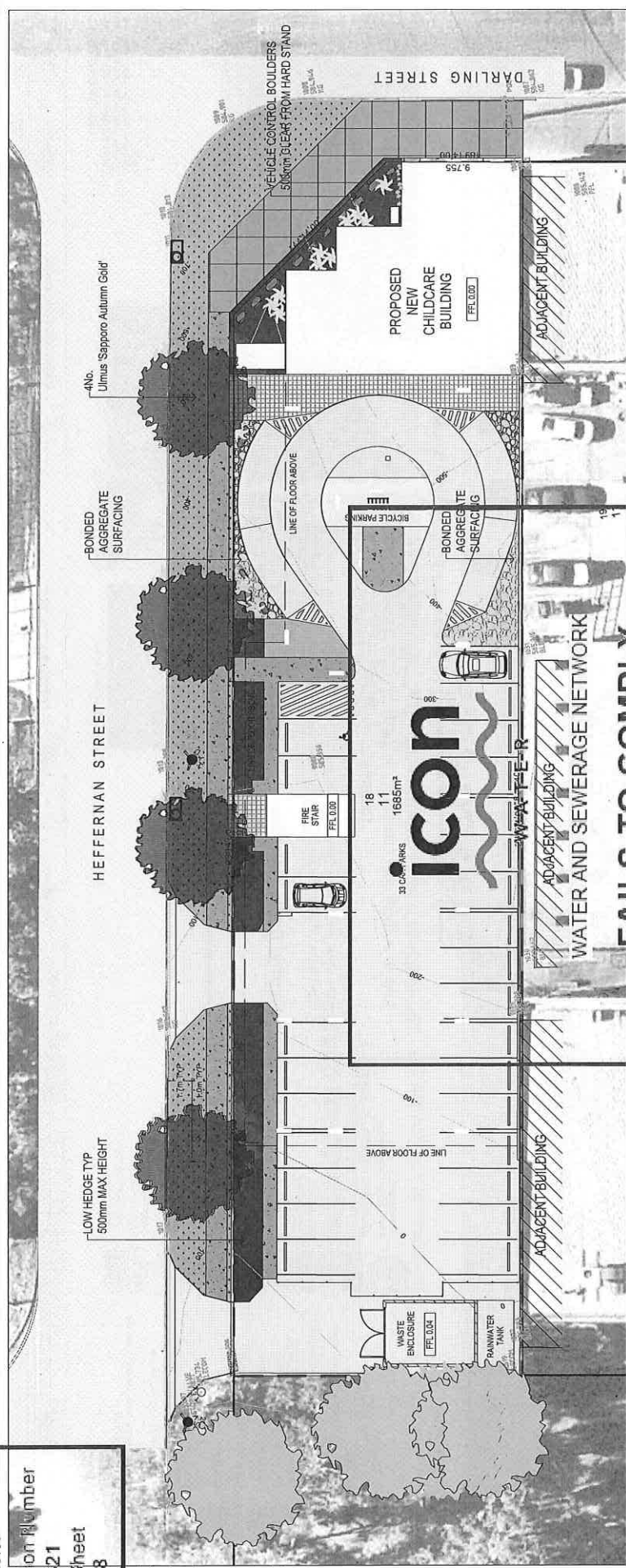
- LANDSCAPE DRAWINGS:
- DWG No. Drawing Title
 - L501.1 LANDSCAPE PLAN - GROUND FLOOR
 - L501.2 LANDSCAPE PLAN - LEVEL 1
 - L501.3 LANDSCAPE PLAN - LEVEL 2
 - L502.1 PLANTING PALETTE



BLOCK 18 SECTION 11, MITCHELL - KEY PLAN

SCALE 1:50 @ A1 1:300 @ A3

DRAWING STATUS: This drawing is the property of SPACELAB. Signature in the approved for issue column, this drawing is not approved for issue.
 COPYRIGHT: This drawing remains the property of SPACELAB. Should it may be used for the same or similar project without the written consent of SPACELAB, the copyright holder, engagement for that commission. Unauthorised use of the drawing is prohibited.

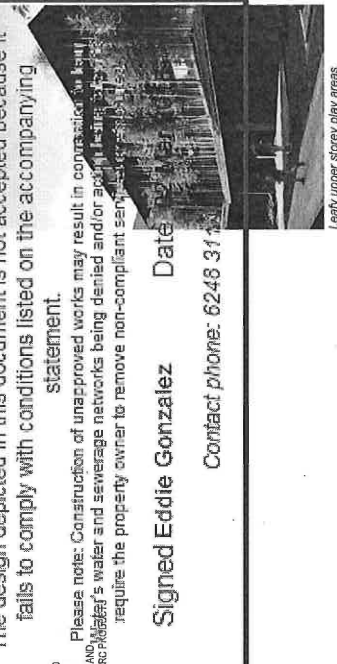


LANDSCAPE LEGEND

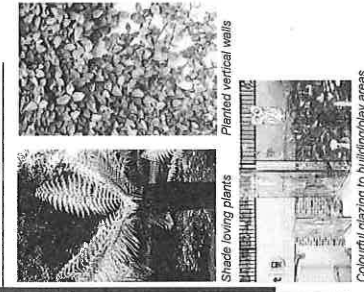
- PROPERTY BOUNDARY
- BOUNDARY OF UPPER LEVEL
- EXISTING TREES
Off-site to be protected and retained
- PROPOSED HARD LANDSCAPE
 - PAVING TYPE 1: Grey Concrete, Coved Finish with 60x60mm sawed grid pattern
 - PAVING TYPE 2: Grey Concrete, Coved Finish with 200x200mm sawed grid pattern
 - PAVING TYPE 3: Exposed Aggregate Concrete, Classical nodes, intermingled blue aggregate
 - PAVING TYPE 5: As specified by architect
- SAND BOX
- CIRCUIT RUN
- TRAP
- TRAPIC CONTROL SELECTED DECORATIVE BOLLERS
- PAINTED SURFACE "OASIS" ELEMENTS
Water theme
- PAINTED SURFACE "TREASURE MAP" ELEMENTS
Colours to be confirmed

- PROPOSED PLANTING - REFER TO L502.1 FOR SPECIES LOCATIONS
 - PROPOSED TREES
 - PLANTING BEDS - INTERACTIVE PLAY - WITH SELECTED SEASONAL VEGETABLES AND OR SENSORY GARDENS
 - RAISED PLANTING CONTAINERS - CUSTOM DESIGNED AND SELECTED PROPRIETARY ITEMS EQUAL TO QUATRO (ORG. PAPERBAY'S) require the property owner to remove non-compliant signage
 - ARTIFICIAL TURF
Exterior play space
 - ARTIFICIAL TURF
Interior play space
 - VERGE GRASSING - Reinstalls to TCOS standards
 - CLIMBING PLANTS ON MESH SCREEN
- PROPOSED CUSTOM BUILT ELEMENTS
 - TIMBER TPI SHELTER (BY OTHERS)
 - SHADE SAIL STRUCTURE
 - TIMBER DECKING
Levels to be confirmed
 - TIMBER BOARDWALK SECTION
Sight up and down ramping

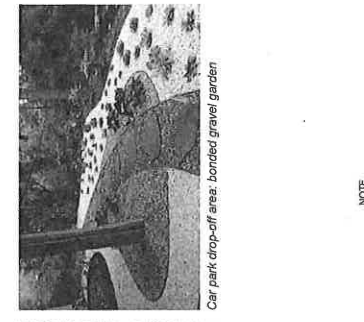
INSPIRATIVE LANDSCAPE MATERIALS



Planted vertical walls
Shade loving plants
Colourful glazing to buildings/play areas



Car park drop-off area, bordered gravel garden
Leaky upper storey play areas



Car park drop-off area, bordered gravel garden

FAILS TO COMPLY
The design depicted in this document is not accepted because it fails to comply with conditions listed on the accompanying statement.

Please note: Construction of unapproved works may result in contravention of the Planning and Environment Act 2001 and the Planning and Environment Regulations 2006. The property owner is required to remove non-compliant signage.

Signed Eddie Gonzalez Date _____
Contact phone: 6248 3171

NOTE: Preliminary works by others shown on these drawings are for site context only and are indicative. Subject to change based on this assessment.

NOT FOR CONSTRUCTION

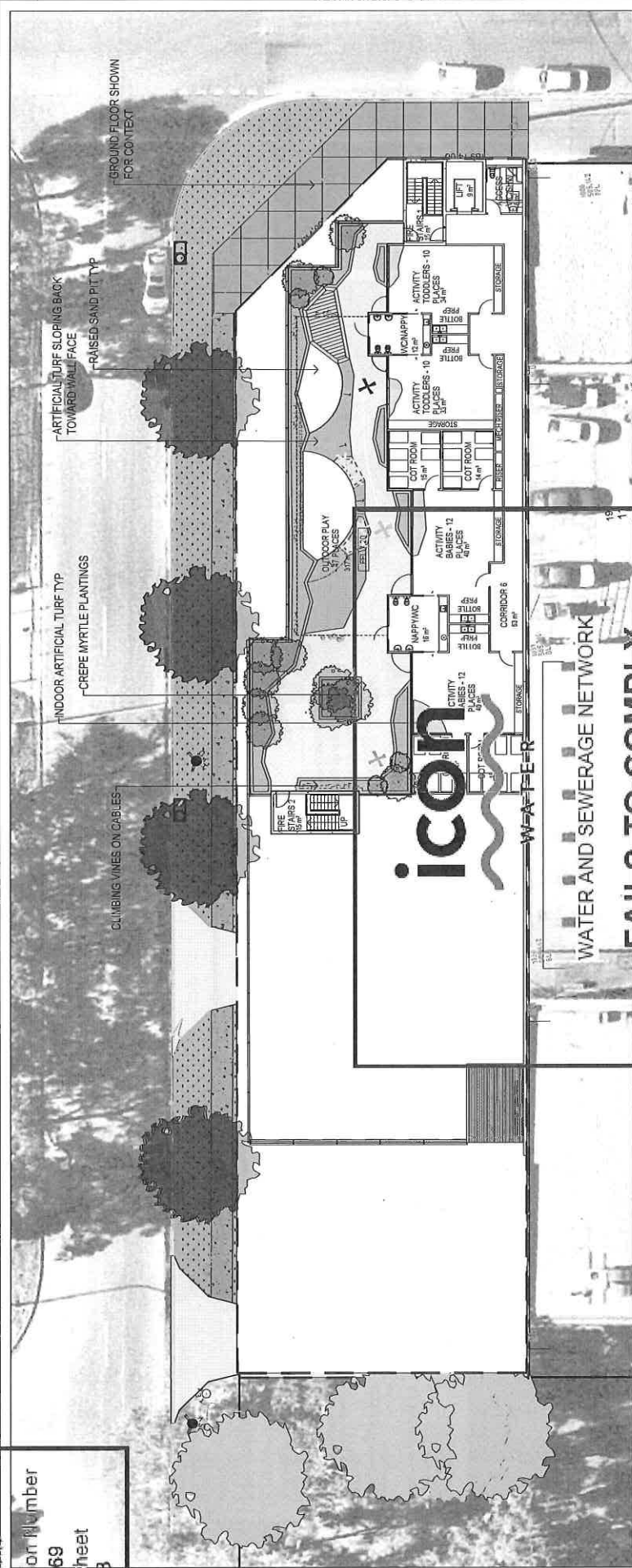
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| 5 | 16/07/21 | REVISED | DA | DA | DA |
| 6 | 16/07/21 | REVISED | DA | DA | DA |
| 7 | 16/07/21 | REVISED | DA | DA | DA |
| 8 | 16/07/21 | REVISED | DA | DA | DA |
| 9 | 16/07/21 | REVISED | DA | DA | DA |
| 10 | 16/07/21 | REVISED | DA | DA | DA |

SCALE: 1:1000
DATE: 16/07/21
DRAWN: DA
CHECKED: DA
APPROVED: DA

PROJECT: MITCHELL CHILDCARE CENTRE BLOCK 18 SECTION 11 MITCHELL, ACT
DRAWING: LANDSCAPE PLAN GROUND FLOOR
REVISION: L501.1
DATE: 17/07/21
DRAWN: DA
CHECKED: DA
APPROVED: DA

SPACELAB
KONSTRUKTIV DEVELOPMENTS PTY LTD

arom
ARCHITECTURAL
LANDSCAPE ARCHITECTURE



LANDSCAPE LEGEND

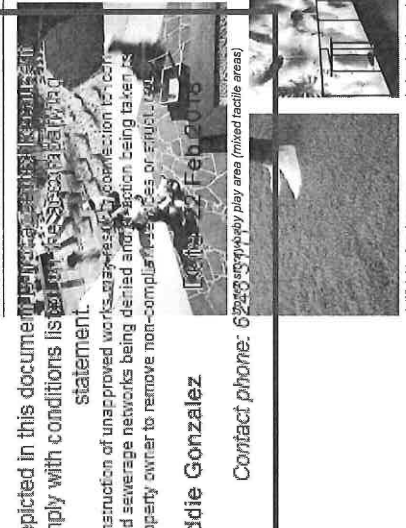
- PROPERTY BOUNDARY
- BOUNDARY OF UPPER LEVEL
- EXISTING TREES
Circles to be protected and retained
- PROPOSED HARD LANDSCAPE
 - PAVING TYPE 1: Grey Concrete, Covered Finish with 800x800mm square grid pattern
 - PAVING TYPE 2: Grey Concrete, Covered Finish with 200x200mm square grid pattern
 - PAVING TYPE 3: Grey Concrete, Covered Finish with 100x100mm square grid pattern
 - PAVING TYPE 4: 10mm @ Bonded Gravel
 - PAVING TYPE 5: As specified by architect
- SAND BOX
- CRISQUIT RUN
- EPDM (10mm) with all
- TRAFFIC CONTROL SELECTED DECORATIVE BOLLARDS
- PAINTED SURFACE 'OASIS' ELEMENTS
- Water theme
- PAINTED SURFACE 'TREASURE MAP' ELEMENTS
- Colours to be confirmed

- PROPOSED PLANTING - REFER TO LEGEND FOR SPECIES LOCATIONS
- PROPOSED TREES
Refer to LEGEND for species locations
- PLANTING BEDS - INTERACTIVE PLAY - WITH SELECTED SEASONAL VEGETABLES AND/OR SENSORY GREENS
- RAISED PLANTING CONTAINERS - CUSTOM DESIGNED AND SELECTED PROPRIETARY ITEMS EQUAL TO QUANTITY
- ARTIFICIAL TURF
Exterior play space
- ARTIFICIAL TURF
Interior play space
- VERGE GRASSING - Retainable to TCSS standards
- CLIMBING PLANTS ON MESH SCREEN
- PROPOSED CUSTOM BUILT ELEMENTS
- TIMBER INFIL SHED (BY OTHERS)
- SHADE SAIL STRUCTURE
- TIMBER DECKING
Levels to be confirmed
- TIMBER BONDWALL SECTION
Sign up and down ramping

WATER AND SEWERAGE NETWORK

FAILS TO COMPLY

INDICATIVE LANDSCAPE MATERIALS: INSPIRATION IMAGES



Small trees in low profile GRC containers (general form shown, not material).

Low decking at sand pit

Jasmine trained up cables

Indoor/outdoor planting

Artificial turf under cover

The design depicted in this document fails to comply with conditions of the planning permit. Please note: Construction of unapproved works may result in a breach of the permit. Being taken to require the property owner to remove non-compliant works or structures.

Signed Eddie Gonzalez

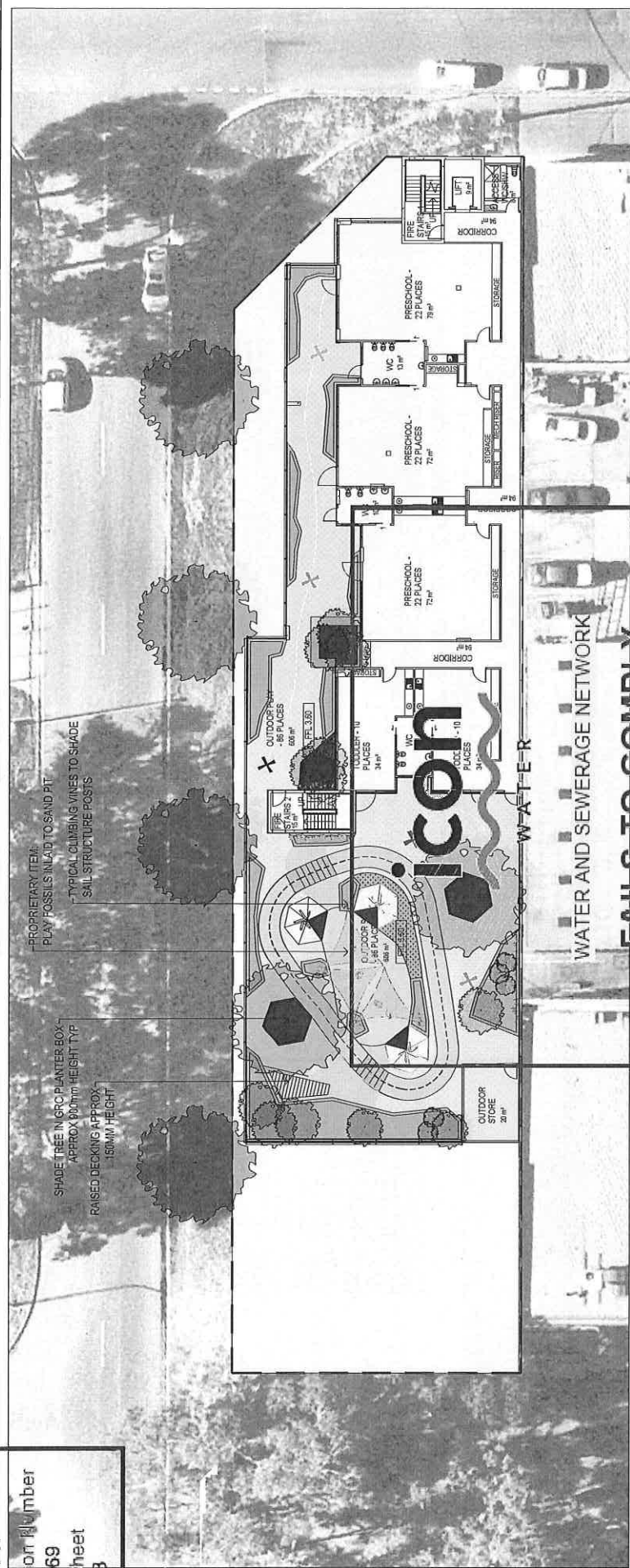
Contact phone: 6243 6243

NOTE
Preliminary works by others shown on these drawings are for site context only and are indicative. Subject to change based on this assessment.

NOT FOR CONSTRUCTION

| REVISION | REASON FOR ISSUE | DATE | DESIGNER | CHECKED | APPROVED FOR ISSUE |
|----------|--------------------|------------|----------|---------|--------------------|
| A | ISSUE FOR APPROVAL | 16/12/2017 | AJ | GB | GB |
| B | ISSUE FOR APPROVAL | 16/12/2017 | AJ | GB | GB |
| C | ISSUE FOR APPROVAL | 16/12/2017 | AJ | GB | GB |

| | |
|------------|-------------------------------------------------------------------|
| CONTRACTOR | SPACELAB |
| CLIENT | Kostantinos Developments Pty Ltd |
| CONSULTANT | arom |
| PROJECT | MITCHELL CHILDCARE CENTRE BLOCK 18 SECTION 11 MITCHELL, ACT |
| DRAWING | LANDSCAPE PLAN LEVEL 2 |
| PROJECT NO | 1718272 |
| SCALE | 1:500 |
| DATE | 16/12/2017 |
| REVISION | DA C |



LANDSCAPE LEGEND

- PROPERTY BOUNDARY
- BOUNDARY OF UPPER LEVEL
- EXISTING TREES
- PROPOSED HARD LANDSCAPE
- PAVING TYPE 1: Grey Concrete, Cove Finish with 60x60mm sawcut grid pattern
- PAVING TYPE 2: Grey Concrete, Cove Finish with 200x200mm sawcut grid pattern
- PAVING TYPE 3: Exposed Aggregate Concrete, Chiseled base, 1mm natural blue aggregate
- PAVING TYPE 4: 10mm Ø Bonded Gravel
- PAVING TYPE 5: As specified by architect
- SAND BOX
- CIRCUIT RUN
- EPDM rubber soft fall
- WOODEN CONTROL SELECTED DECORATIVE BOLLARDS
- PAINTED SURFACE "OASIS" ELEMENTS
- Water theme
- PAINTED SURFACE "TREASURE MAP" ELEMENTS
- Colors to be confirmed

PROPOSED PLANTING - REFER TO LEG. 1 FOR SPECIES LOCATIONS

- PROPOSED TREES
- PLANTING BEDS - INTERACTIVE PLAY - WITH SELECTED SEASONAL VEGETABLES AND OR SENSORY GARDENS
- RAISED PLANTING CONTAINERS - CUSTOM DESIGNED AND SELECTED PROPRIETARY ITEMS EQUAL TO QUANTUM GRC PLANTERS
- ARTIFICIAL TURF
- ARTIFICIAL TURF
- VERGE GRASSING - Reseeds to TCOS standards
- CLIMBING PLANTS ON MESH SCREEN

- PROPOSED CUSTOM BUILT ELEMENTS
- TIMBER TIP SHELTER (BY OTHERS)
- SHADE SAIL STRUCTURE
- TIMBER DECKING
- TIMBER BOARDWALK SECTION
- Sight up and down ramping

WATER AND SEWERAGE NETWORK

FAILS TO COMPLY

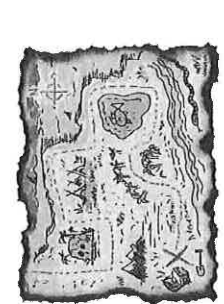
The design depicted in this document fails to comply with the following statement:

Please note: Construction of unapproved water and sewerage networks being designed and installed in connection with the project require the property owner to remove non-compliant services or structures.

Signed Eddie Gonzalez

Contact Eddie Gonzalez

INSPIRATIVE LANDSCAPE MATERIALS: INSPIRATION IMAGES



"Treasure Map" overall play area concept

NOTE: All drawings, words, by others shown on these drawings are for info correct only and are indicative. Subject to change based on this assessment.

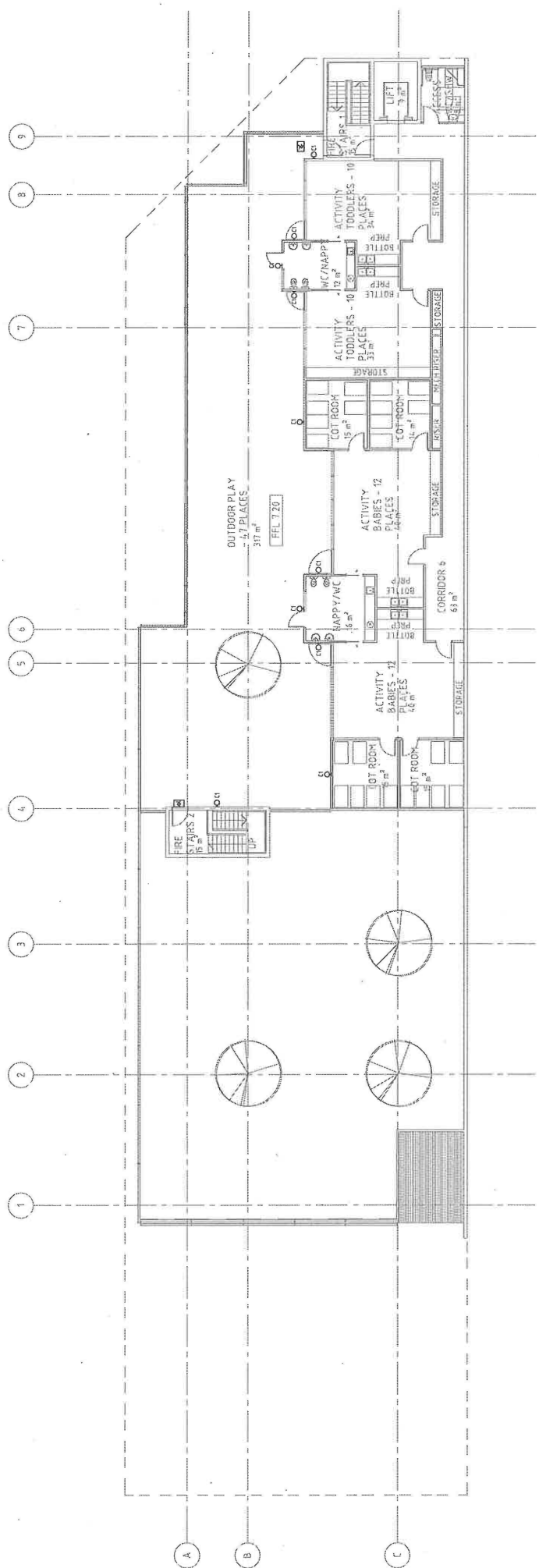
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| B | ISSUED FOR PERMIT | 20/07/2018 | DA | DA | 02 |
| C | ISSUED FOR PERMIT | 20/07/2018 | DA | DA | 03 |

| | |
|-------------|----------------------------|
| PROJECT | MITCHELL CHILD CARE CENTRE |
| CLIENT | MITCHELL ACT |
| DATE | 15/02/2018 |
| SCALE | 1:500 |
| DRAWN BY | DA |
| CHECKED BY | DA |
| PROJECT NO. | 15012 |

| | |
|------------|----------------------------------|
| CONSULTANT | SPACELAB |
| CONSULTANT | arom |
| CONSULTANT | Kostantinou Developments Pty Ltd |

NOTE:
 1. FOR LEGEND REFER DRAWING E04.



NOT FOR CONSTRUCTION
 DRAWING TITLE: ELECTRICAL SERVICES SECOND FLOOR LIGHTING LAYOUT
 JOB NUMBER: CR171360
 DRAWING NUMBER: E102
 REVISION: 3

PROJECT: MITCHELL CHILD CARE CENTRE BLOCK 18 SECTION 11 MITCHELL
 DRAWING DATE: 23/11/17



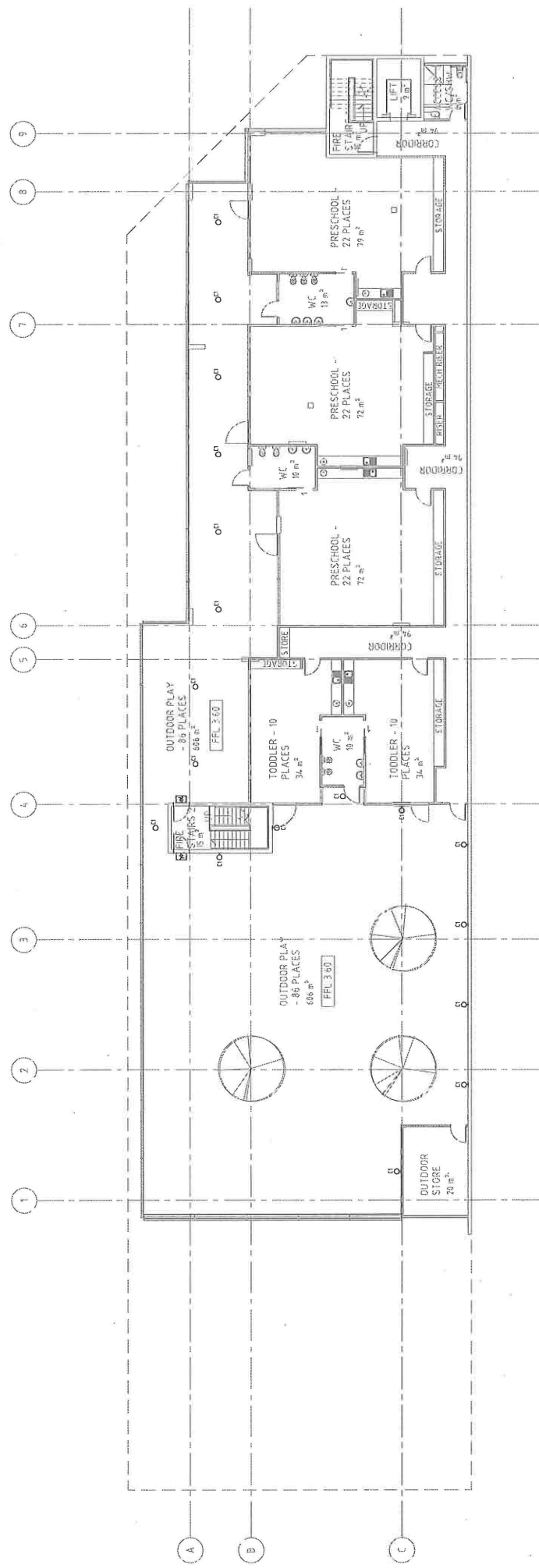
ARCHITECT: NORTHROP Architecture Project Consulting Interior Design
 CLIENT: MITCHELL CHILD CARE CENTRE
 DRAWING NOT TO BE USED FOR CONSTRUCTION WITHOUT NORTHROP ARCHITECTURE PROJECT CONSULTING INTERIOR DESIGN'S WRITTEN PERMISSION.

DATE: 23/11/17
 BY: JWB
 CHECKED BY: JWB
 VERIFIED BY: JWB

DESCRIPTION: LIGHTING LAYOUT

| NO. | DATE | BY | DESCRIPTION |
|-----|----------|-----|-------------------------|
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| 2 | 23/11/17 | JWB | ISSUED FOR CONSTRUCTION |
| 3 | 23/11/17 | JWB | ISSUED FOR CONSTRUCTION |

NOTE:
1 FOR LEGEND REFER DRAWING 800



DESIGNER: KS
JOB NUMBER: 16/821
DRAWING NUMBER: 80 of 200

NOT FOR CONSTRUCTION

PROJECT: MITCHELL CHILD CARE CENTRE
BLOCK 18 SECTION 11 MITCHELL

DRAWING TITLE: ELECTRICAL SERVICES
FIRST FLOOR
LIGHTING LAYOUT

JOB NUMBER: CR171360
DRAWING NUMBER: E101
REVISION: 3
DRAWING SHEET: 80 OF 200

NORTHROP
Architects
Unit 2, 24-26 Ross Street, Perth, WA 6000
Phone: 08 9437 4000
Email: northrop@northrop.com.au

ARCHITECT: **apm**
Architecture Project Consulting
Interior Design
THE COPYRIGHT OF THIS DRAWING REMAINS WITH NORTHROP CONSULTING ARCHITECTS PTY LTD.

CLIENT: **MITCHELL CHILD CARE CENTRE**
DRAWING NOT TO BE LOANED OR QUOTED TO ANY OTHER VENDOR WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT

| NO. | DATE | DESCRIPTION | BY | CHK | DATE |
|-----|----------|-------------|----|-----|----------|
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| 2 | 20/11/17 | REVISED | AK | AK | 20/11/17 |
| 3 | 20/11/17 | REVISED | AK | AK | 20/11/17 |

| NO. | DATE | DESCRIPTION | BY | CHK | DATE |
|-----|----------|-------------|----|-----|----------|
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| 2 | 20/11/17 | REVISED | AK | AK | 20/11/17 |
| 3 | 20/11/17 | REVISED | AK | AK | 20/11/17 |

CHILDCARE CENTRE BLOCK 18, SECTION 11, MITCHELL

CIVIL WORKS

DRAWING SCHEDULE

| No. | DRAWING TITLE |
|------|-----------------------------------------------------------------------------|
| C004 | COVER SHEET, DRAWING INDEX & LOCALITY PLAN |
| C001 | STANDARD NOTES |
| C018 | EROSION, SEDIMENT & POLLUTION CONTROL PLAN |
| C012 | CONCEPT TEMPORARY TRAFFIC MANAGEMENT PLAN - WESTERN DRIVEWAY |
| C013 | CONCEPT TEMPORARY TRAFFIC MANAGEMENT PLAN - EASTERN DRIVEWAY |
| C028 | VEHICLE TURNING TOPPLATES - MEDIUM RIGID VEHICLE - REVERSE IN / FORWARD OUT |
| C079 | EXISTING SERVICES PLAN |
| C002 | CIVIL WORKS & PAVEMENT PLAN |
| C071 | EXTERNAL CIVIL WORKS PAVEMENT PLAN |
| C060 | CONCEPT STORMWATER MANAGEMENT PLAN |



LOCALITY PLAN
NOT TO SCALE

DESIGNED BY A. HOWARD
DRAWN BY A. HOWARD
VERIFIED BY J. WILTSHIRE
JOB MANAGER, D. FIELD

| REVISION | DESCRIPTION | ISSUED (Y/M/D) | DATE | CLIENT |
|----------|-------------|----------------|----------|--------|
| 1 | DRAFT D.A. | AM | 22.11.17 | |
| 2 | D.A. | AM | 30.11.17 | |

DRAWING NOT TO BE USED OR CONSTRUCTION UNLESS CERTIFICATION SIGNATURE HAS BEEN ADDED

ARCHITECT: **ARRPM ARCHITECTURE PROJECT CONSULTING INTERIOR DESIGN**
CONSULTING INTERIOR DESIGN
THE OFFICE OF THIS COMPANY IS LOCATED AT 1/111 SOUTH BRIDGE ROAD, SINGAPORE 070001.

ALL LEGIT TO ARCHITECT'S DRAWINGS, SPECIFICATIONS AND SITE PLANS. MAKING ANY CHANGES OR CORRECTIONS WITHOUT THE ARCHITECT'S CONSENT IS UNLAWFUL. CONSULTANTS ACCEPT NO RESPONSIBILITY FOR THE ACCURACY, COMPLETENESS OR SCALE OF DRAWINGS UNLESS SPECIFICALLY STATED.

SCALE: 1:500 @ A1
PLAN

NORTHROP
Consultants
Unit 2, 2-8 Shaw Street, PHILEAS ACT 2006
Ph: (03) 9285 1822 Fax: (03) 9285 1800
Email: enquiries@northrop.com.au www.northrop.com.au

PROJECT: **CHILDCARE CENTRE
BLOCK 18 SECTION 11 MITCHELL**

DRAWING TITLE: **CIVIL WORKS
COVER SHEET, DRAWING INDEX
AND LOCALITY PLAN**

JOB NUMBER: **CR171360**

DRAWING NUMBER: **C000**

REVISION NUMBER: **2**

DRAWING SHEET SIZE: **A1**

NOT FOR CONSTRUCTION

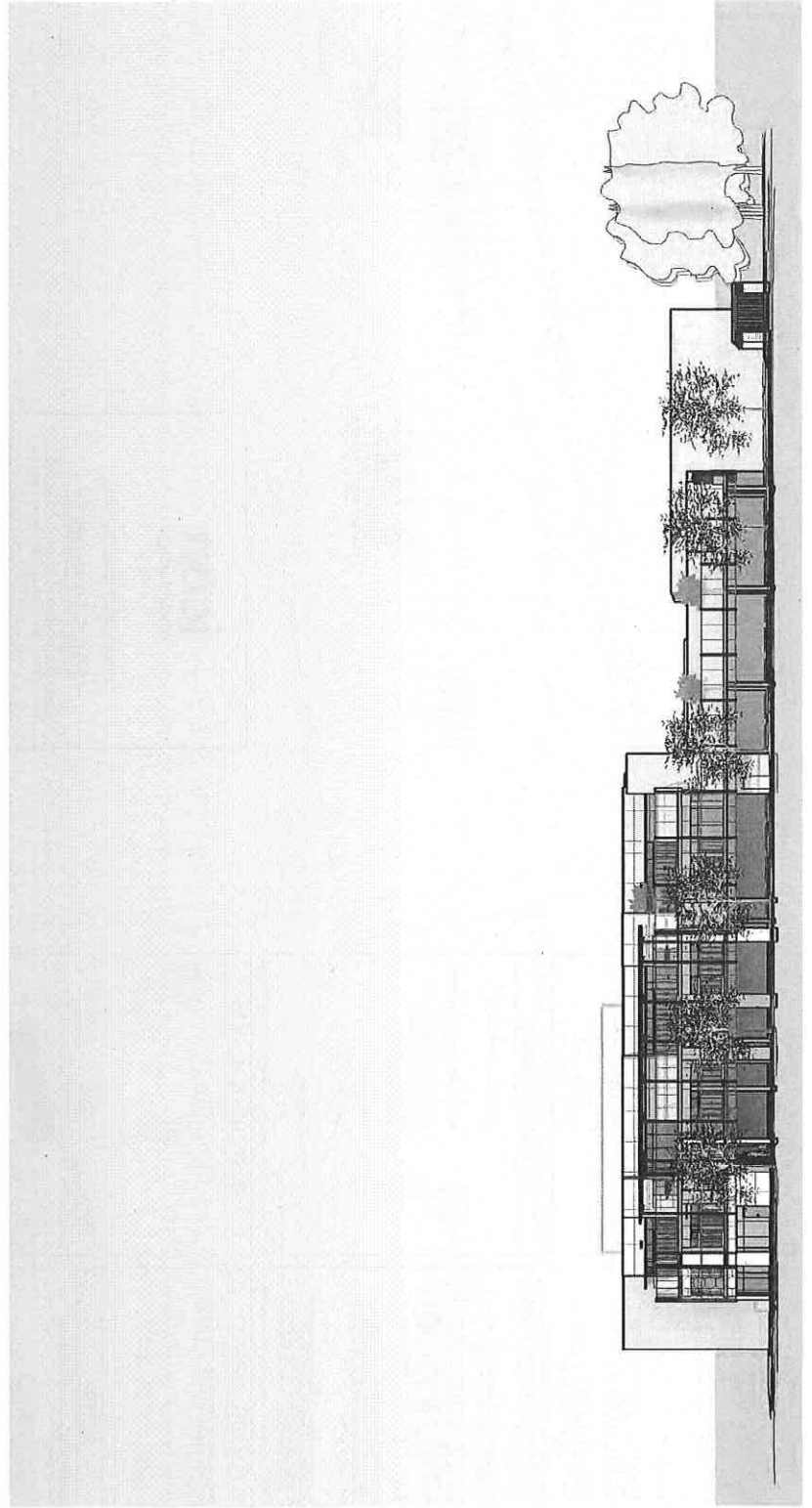
MITCHELL CHILDCARE CENTRE

Application Number: 167621
 BLOCK 18, SECTION 11 CORNER DARLING & HEFFERNAN STREET, MITCHELL, ACT

77 of 208 Sheet

DRAWING LIST

| Sheet # | TITLE |
|---------|-------------------|
| 100 | COVER PAGE |
| 101 | SITE PLAN |
| 102 | GROUND FLOOR PLAN |
| 103 | FIRST FLOOR PLAN |
| 104 | SECOND FLOOR PLAN |
| 105 | ROOF PLAN |
| 200 | ELEVATIONS |
| 201 | ELEVATIONS |
| 300 | SECTIONS |
| 301 | SECTIONS |
| 302 | SECTIONS |
| 800 | PERSPECTIVES |
| 801 | PERSPECTIVES |
| 802 | PERSPECTIVES |
| 900 | SUN STUDY |



| Rev | Amendment | Date | Inr |
|-----|-----------|------|-----|
| | | | |

arom

13/02/2018 9:29:16 AM
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MITCHELL CHILDCARE CENTRE
 BLOCK 18, SECTION 11 CORNER DARLING &
 HEFFERNAN STREET, MITCHELL, ACT

| Drawn | Date | Scale | Project Number |
|----------------|------|----------------|----------------|
| XX | XXX | A3 | A17041 |
| Reviewer | Date | Project Leader | Drawn |
| XX | XXX | XX | XXX |
| PRELIMINARY | | | |
| Drawing Number | | | Sheet |
| SK 100 | | | |

COVER PAGE

13/02/2018 9:29:16 AM

GENERAL NOTES

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH ICON WATER, SEWER AND GAS MAIN SPECIFICATION.
- WORKS UNDER THE CONTROL OF THE PLUMBING INSPECTORS TO BE CARRIED OUT IN ACCORDANCE WITH THE CAMBERRA SEWERAGE AND WATER SUPPLY REGULATIONS AND ASSISE.
- CONNECTIONS AND DISCONNECTIONS AT MAIN BY ICON WATER AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR MUST VISIT THE SITE OF WORKS BEFORE COMMENCING WORK TO VERIFY ALL TOPOGRAPHIC CONSTRAINTS AFFECTING THE EXECUTION OF THE WORKS AND THE RESTORATION OF THE SITE.
- THE CONTRACTOR MUST SECURE ALL PERMITS, ARRANGE ALL CLEARANCES AND PAY ALL FEES REQUIRED TO COMPLETE THE PROJECT PRIOR TO THE COMMENCEMENT OF WORK.
- ALTHOUGH THE POSITION OF EXISTING UNDERGROUND SERVICES HAS BEEN IDENTIFIED BY GROUND PENETRATING RADAR, THE CONTRACTOR SHALL TEST PIT BY HAND AT UTILITY CROSSINGS AND OTHER CONNECTIONS IN ADVANCE OF TRENCHING.
- EXCESS EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE AND DUMPED AT AN APPROVED SOIL AREA.
- WORK AS EXECUTED DRAWING AND THE BOOK MUST BE SUBMITTED BEFORE CONNECTION. A REGISTERED DEPOSITED PLAN MUST ALSO BE SUBMITTED TO THE CITY OF CAMBERRA. ANY CHANGES OR PROPOSED ON THE DRAWING MUST BE APPROVED BY THE CITY OF CAMBERRA. ALL CHANGES MUST BE MADE TO THE DRAWING AND TO SHOW DIMENSIONED LOCATIONS OF TAPPING ON TO MAIN, WHERE SERVICE CROSSES FRONT BOUNDARY AND DISTANCE THERE TO ROAD, THE BLOCK.
- PROVISIONAL CERTIFICATE OF OPERATION WILL BE ISSUED WHEN EXECUTED DRAWING AND THE BOOK RECORD HAS BEEN COMPLETED AND SUBMITTED TO ICON WATER.

WARNING:
EXISTING SERVICES SHOWN ARE BASED ON INFORMATION PROVIDED BY THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL SERVICES PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SERVICES SHOWN ON THIS PLAN BE REPAIRED UPON FOR ON SITE WORK. ALL INFORMATION MUST BE CORRECTED IN THE FIELD.

REINSTATEMENT GENERALLY

- UNLESS OTHERWISE DIRECTED BRISTLE TEST ALL SURFACES RESTORED BY THE WORKS WITH MINIMUM 50mm SLOPE TOP SOIL, DRY LAND GRASS, BITUMEN STRAW MULCH.
- CONSOLIDATE FOR 13 WEEKS SINCE HEALTHY SWARD ESTABLISHED.
- REMOVE ALL EXCESS SOIL INCLUDING EXCESS TOPSOIL AND UNSUITABLE SURGRADE FROM THE SITE UNLESS DIRECTED OTHERWISE.

WATER

CONTRACT CONNECTIONS: BRIDS etc. IN ACCORDANCE WITH THE FOLLOWING STANDARD DRAWINGS:

- WS-001 - DESIGN SYMBOLS AND NOTATION.
- WS-002 - FORMAL WORKS RECORDS.
- WS-003 - SINGLE SERVICE BELOW GROUND ARRANGEMENT AND CONNECTION DETAILS.
- WS-004 - COVER FOR METERS COVER FOR LARGER THAN 50mm GENERAL ARRANGEMENT AND DETAILS.
- WS-005 - VALVE AND METER PIT COVER.

SITE LOCATION PLAN - N.T.S.

HYDRAULIC LEGEND

| | |
|--|----------------------------|
| | EXISTING GAS MAIN |
| | PROPOSED GAS MAIN |
| | EXISTING SEWER MAIN |
| | PROPOSED SEWER MAIN |
| | EXISTING WATER MAIN |
| | PROPOSED WATER MAIN |
| | EXISTING STORMWATER MAIN |
| | PROPOSED STORMWATER MAIN |
| | EXISTING FIRE SERVICE MAIN |
| | PROPOSED FIRE SERVICE MAIN |
| | EXISTING TELCO ASSET |
| | EXISTING ELECTRICITY ASSET |

HYDRAULIC SYMBOLS

| | |
|--|--------------------------------------|
| | EXISTING SEWER MAINTENANCE HOLE |
| | EXISTING STORMWATER MAINTENANCE HOLE |
| | PROPOSED STREET FIRE HYDRANT |
| | PROPOSED STOP VALVE |
| | NOTE REFERENCE |
| | EXISTING STREET LIGHT |
| | EXISTING TREE |

| REVISION | DESCRIPTION | ISSUED (W/O) | APPROVED | DATE | CHECKED |
|----------|----------------------------------|--------------|----------|------------|---------|
| 1 | ISSUED FOR INFORMATION | AS | AC | 16/12/2017 | |
| 2 | ISSUED FOR APPROVED IN PRINCIPLE | AS | AC | 16/12/2017 | |

DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS VERIFICATION SIGNATURE HAS BEEN ADDED

GENERAL NOTES

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH ICON WATER, SEWER AND GAS MAIN SPECIFICATION.
- WORKS UNDER THE CONTROL OF THE PLUMBING INSPECTORS TO BE CARRIED OUT IN ACCORDANCE WITH THE CAMBERRA SEWERAGE AND WATER SUPPLY REGULATIONS AND ASSISE.
- CONNECTIONS AND DISCONNECTIONS AT MAIN BY ICON WATER AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR MUST VISIT THE SITE OF WORKS BEFORE COMMENCING WORK TO VERIFY ALL TOPOGRAPHIC CONSTRAINTS AFFECTING THE EXECUTION OF THE WORKS AND THE RESTORATION OF THE SITE.
- THE CONTRACTOR MUST SECURE ALL PERMITS, ARRANGE ALL CLEARANCES AND PAY ALL FEES REQUIRED TO COMPLETE THE PROJECT PRIOR TO THE COMMENCEMENT OF WORK.
- ALTHOUGH THE POSITION OF EXISTING UNDERGROUND SERVICES HAS BEEN IDENTIFIED BY GROUND PENETRATING RADAR, THE CONTRACTOR SHALL TEST PIT BY HAND AT UTILITY CROSSINGS AND OTHER CONNECTIONS IN ADVANCE OF TRENCHING.
- EXCESS EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE AND DUMPED AT AN APPROVED SOIL AREA.
- WORK AS EXECUTED DRAWING AND THE BOOK MUST BE SUBMITTED BEFORE CONNECTION. A REGISTERED DEPOSITED PLAN MUST ALSO BE SUBMITTED TO THE CITY OF CAMBERRA. ANY CHANGES OR PROPOSED ON THE DRAWING MUST BE APPROVED BY THE CITY OF CAMBERRA. ALL CHANGES MUST BE MADE TO THE DRAWING AND TO SHOW DIMENSIONED LOCATIONS OF TAPPING ON TO MAIN, WHERE SERVICE CROSSES FRONT BOUNDARY AND DISTANCE THERE TO ROAD, THE BLOCK.
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WARNING:
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REINSTATEMENT GENERALLY

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- CONSOLIDATE FOR 13 WEEKS SINCE HEALTHY SWARD ESTABLISHED.
- REMOVE ALL EXCESS SOIL INCLUDING EXCESS TOPSOIL AND UNSUITABLE SURGRADE FROM THE SITE UNLESS DIRECTED OTHERWISE.

WATER

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- WS-002 - FORMAL WORKS RECORDS.
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- WS-004 - COVER FOR METERS COVER FOR LARGER THAN 50mm GENERAL ARRANGEMENT AND DETAILS.
- WS-005 - VALVE AND METER PIT COVER.

SITE LOCATION PLAN - N.T.S.

HYDRAULIC LEGEND

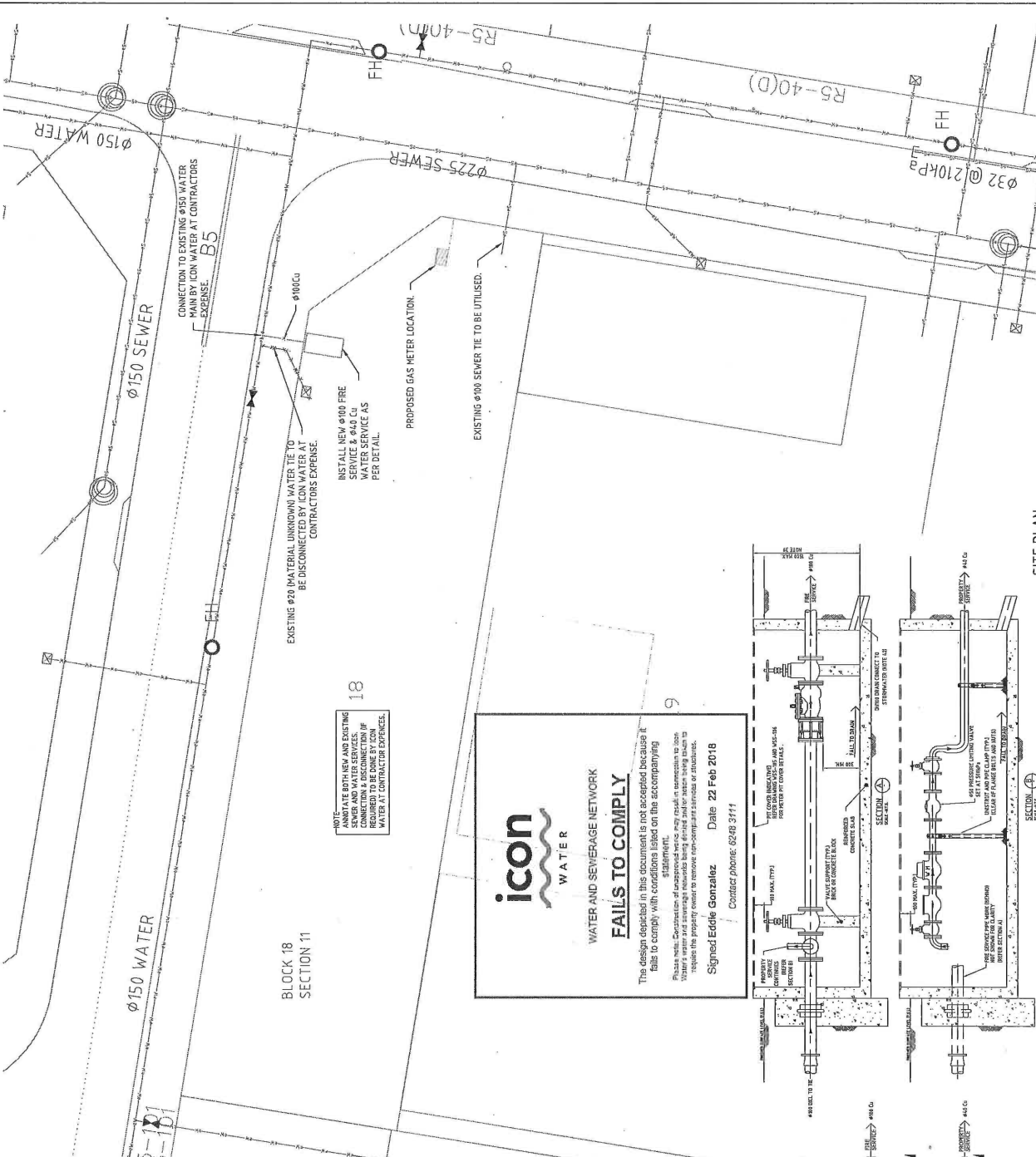
| | |
|--|----------------------------|
| | EXISTING GAS MAIN |
| | PROPOSED GAS MAIN |
| | EXISTING SEWER MAIN |
| | PROPOSED SEWER MAIN |
| | EXISTING WATER MAIN |
| | PROPOSED WATER MAIN |
| | EXISTING STORMWATER MAIN |
| | PROPOSED STORMWATER MAIN |
| | EXISTING FIRE SERVICE MAIN |
| | PROPOSED FIRE SERVICE MAIN |
| | EXISTING TELCO ASSET |
| | EXISTING ELECTRICITY ASSET |

HYDRAULIC SYMBOLS

| | |
|--|--------------------------------------|
| | EXISTING SEWER MAINTENANCE HOLE |
| | EXISTING STORMWATER MAINTENANCE HOLE |
| | PROPOSED STREET FIRE HYDRANT |
| | PROPOSED STOP VALVE |
| | NOTE REFERENCE |
| | EXISTING STREET LIGHT |
| | EXISTING TREE |

| REVISION | DESCRIPTION | ISSUED (W/O) | APPROVED | DATE | CHECKED |
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| 1 | ISSUED FOR INFORMATION | AS | AC | 16/12/2017 | |
| 2 | ISSUED FOR APPROVED IN PRINCIPLE | AS | AC | 16/12/2017 | |

DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS VERIFICATION SIGNATURE HAS BEEN ADDED

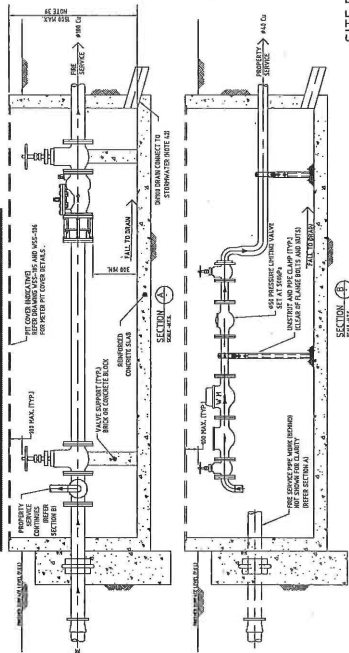


icon
W A T E R

WATER AND SEWERAGE NETWORK FAILS TO COMPLY

The design depicted in this document is not accepted because it fails to comply with conditions listed on the accompanying Plans note. Completion of unapproved work may result in connection to icon Water's sewer and stormwater networks being denied and/or action being taken to require the property owner to remove non-compliant services or structures.

Signed Eddie Gonzalez Date 22 Feb 2018
Contact phone: 0246 3711



NOT FOR CONSTRUCTION

| | |
|----------------|----------|
| JOB NUMBER | CR171380 |
| DRAWING NUMBER | ES01 |
| REVISION | 2 |

PROJECT
CHILDREAR CENTRE
BLOCK 18 SECTION 11 MITCHELL

NORTHROP
Consultants
Unit 2, 2-6 Shear Street, Fremantle ACT 2006
Ph: (02) 6285 1522 Fax: (02) 6285 1683
Email: admin@northrop.com.au

| | |
|---------|------------------------------|
| PROJECT | CHILDREAR CENTRE |
| SECTION | BLOCK 18 SECTION 11 MITCHELL |
| SCALE | SCALE 1:100 |

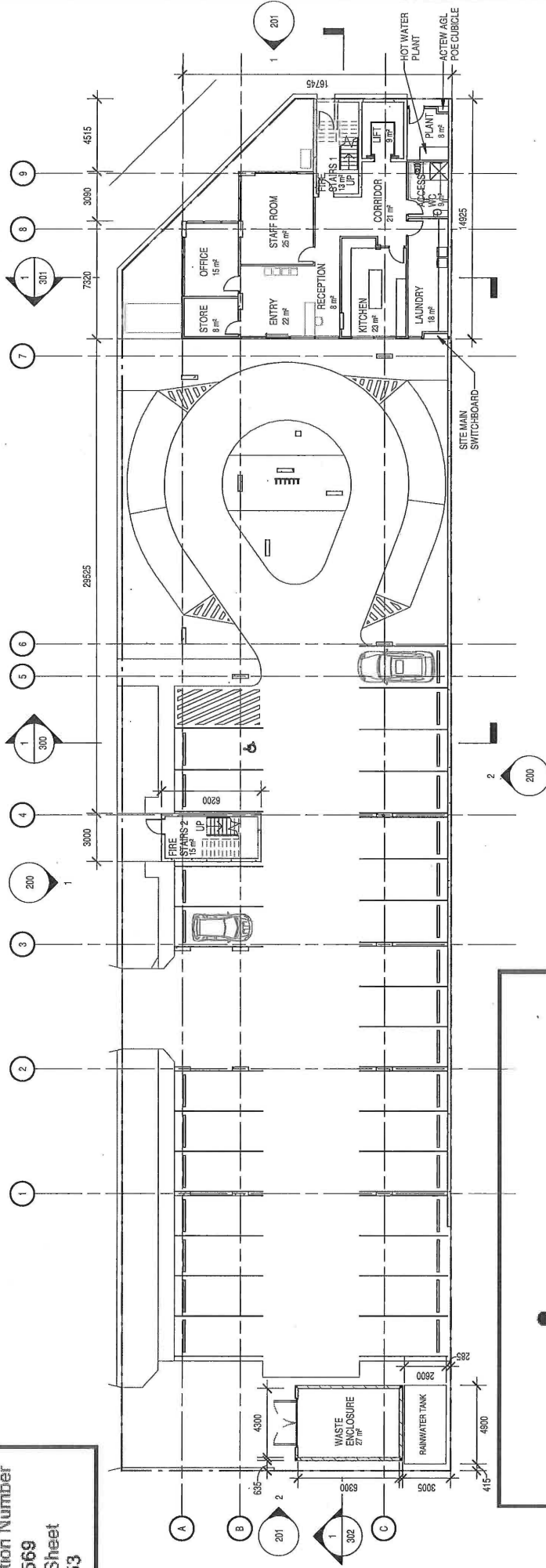
ARCHITECT
ARPM ARCHITECTURE PROJECT
CONSULTING INTERIOR DESIGN
THE COPYRIGHT OF THIS DRAWING REMAINS WITH NORTHROP CONSULTING ENGINEERS PTY LTD.

| REVISION | DESCRIPTION | ISSUED (W/O) | APPROVED | DATE | CHECKED |
|----------|----------------------------------|--------------|----------|------------|---------|
| 1 | ISSUED FOR INFORMATION | AS | AC | 16/12/2017 | |
| 2 | ISSUED FOR APPROVED IN PRINCIPLE | AS | AC | 16/12/2017 | |

DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS VERIFICATION SIGNATURE HAS BEEN ADDED



Application Number
167569
Sheet
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WATER AND SEWERAGE NETWORK

FAILS TO COMPLY

The design depicted in this document is not accepted because it fails to comply with conditions listed on the accompanying statement.

Please note: Construction of unapproved works may result in connection to Icon Water's water and sewerage networks being denied and/or action being taken to require the property owner to remove non-compliant services or structures.

Signed **Eddie Gonzalez** Date **22 Feb 2018**

Contact phone: 6248 3111



| Rev | Amendment | Date | Int |
|-----|-----------|------|-----|
| | | | |



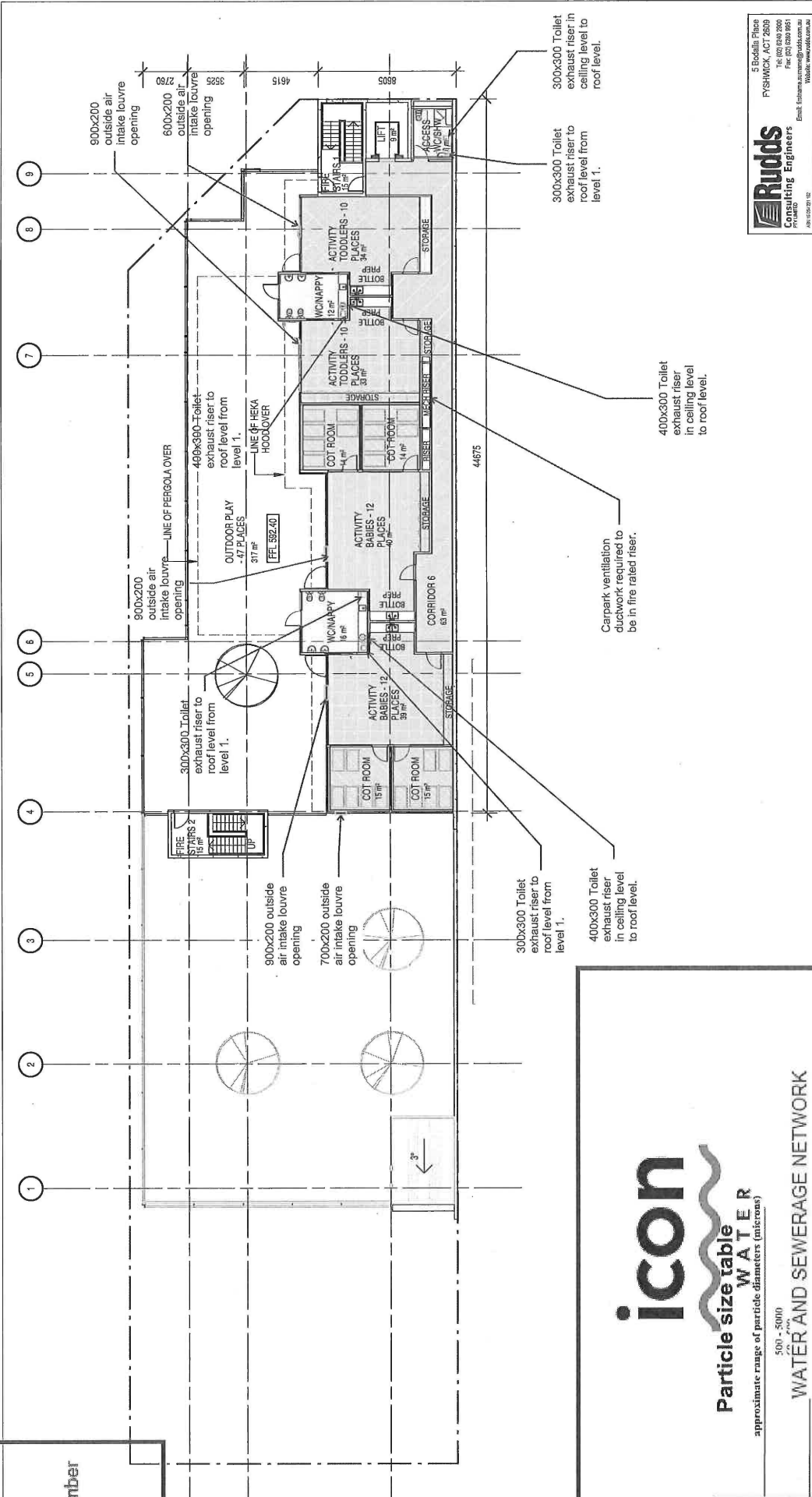
13/02/2018 9:29:18 AM
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| | |
|--------------------------------------------------------------------------------------------------|--------|
| Mitchell Childcare Centre Block 16 Section 1 Corner Darling & Pefferlaw Street, Mitchell, ACT | |
| Author | 11-250 |
| Designer | 11-250 |
| Checker | 11-250 |
| Project Number | A17041 |
| Drawing Number | SK 102 |
| Sheet | |
| PRELIMINARY | |
| GROUND FLOOR PLAN | |

Consult: 13 Mitchell Street Canberra ACT 2601
P: 02 6134 4471 E: info@arom.com.au



Application Number
167569
Sheet
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Rudds Consulting Engineers
5 Bodalla Place
PYRMONT, ACT 2009
Tel: (02) 924 2000
Fax: (02) 924 9901
Email: enquiries@ruddsa.com.au
Website: www.ruddsa.com.au
AHL 12/02/12

arom

Rev | Amendment | Date | Init

Rudds Consulting Engineers
Comments 12/02/2018

MITCHELL CHILDCARE CENTRE
BLOCK 1B, SECTION 11 CORNER DARLING & HEFFERNAN STREET, MITCHELL, ACT

SECOND FLOOR PLAN

| | | |
|----------------|--------------|----------------|
| Drawn | As Indicated | Project Number |
| Author | A3 | A17041 |
| Checked | SK | SK 104 |
| Designer | SK | SK |
| Checker | SK | SK |
| Project Number | SK | SK |
| Design Number | SK | SK |
| Drawn | SK | SK |
| Author | SK | SK |
| Checked | SK | SK |
| Designer | SK | SK |
| Project Number | SK | SK |
| Design Number | SK | SK |
| Drawn | SK | SK |
| Author | SK | SK |
| Checked | SK | SK |
| Designer | SK | SK |
| Project Number | SK | SK |
| Design Number | SK | SK |

Consultant shall check and verify all levels and dimensions on site and record any discrepancies in the Supplemental Notes accompanying any work or shop drawings.

Minimum requirement by the ventilation code 1668.2-2012

Proposed filter to all outside air intakes.

Carpark ventilation ductwork required to be in fire rated riser.

300x300 Toilet exhaust riser to roof level from level 1.

400x300 Toilet exhaust riser in ceiling level to roof level.

300x300 Toilet exhaust riser to ceiling level from roof level.

900x200 outside air intake louvre opening

600x200 outside air intake louvre opening

400x300 Toilet exhaust riser to roof level from level 1.

300x300 Toilet exhaust riser to roof level from level 1.

900x200 outside air intake louvre opening

700x200 outside air intake louvre opening

300x300 Toilet exhaust riser to roof level from level 1.

400x300 Toilet exhaust riser in ceiling level to roof level.

icon
Particle size table
WATER

approximate range of particle diameters (microns)

500 - 5000
WATER AND SEWERAGE NETWORK
10 - 100

FAILS TO COMPLY

The design specified in this document is not compliant with the AS/NZS 4350:2001 statement.

Please note: Construction of unapproved works may result in connection to, or on, existing sewer or stormwater systems. This may require the property owner to remove non-compliant structures or works.

Signed **Eddie Gonzalez** Date: **22 Feb 2018**

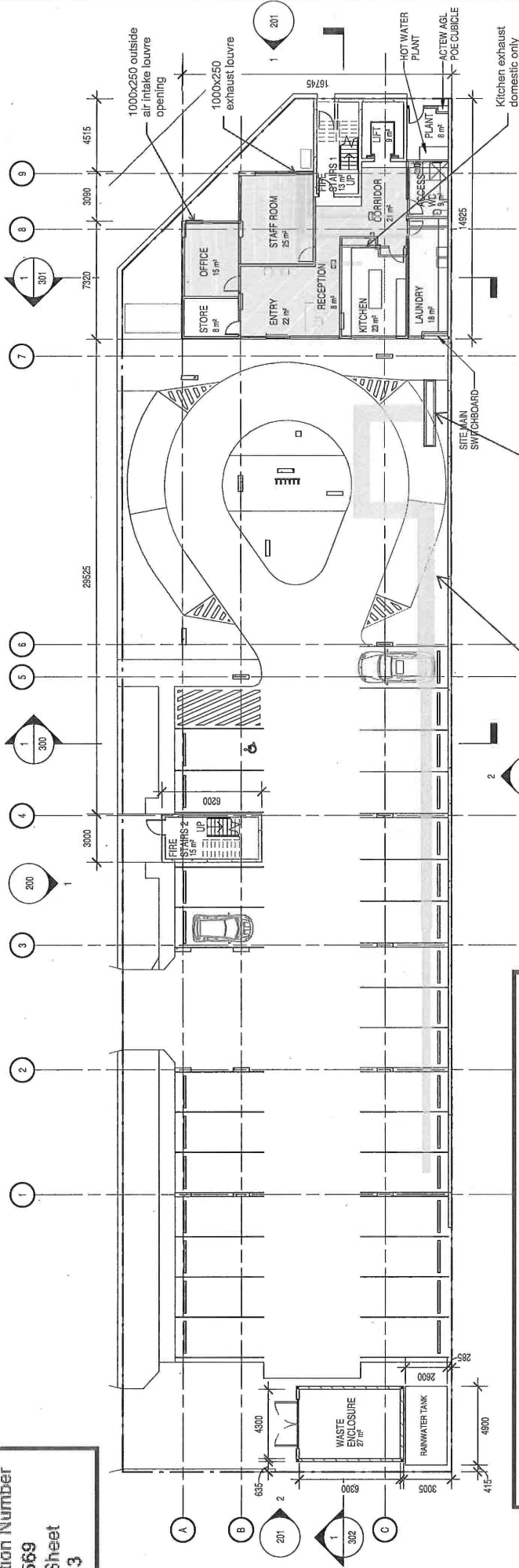
Contact phone: **6248 3444**

| Substance | Rating | 0.1 - 0.3 micron | 0.5 micron | 1 micron | 5 micron | 10 micron | 100 micron | 1000 micron |
|---------------------|--------|------------------|------------|----------|----------|-----------|------------|-------------|
| Rain drops | | 0% | 0% | 0% | 0% | 0% | 0% | 0% |
| Natural mist | | 0% | 0% | 0% | 0% | 0% | 0% | 0% |
| Natural fog | | 0% | 0% | 0% | 0% | 0% | 0% | 0% |
| Pollens | | 0% | 0% | 0% | 0% | 0% | 0% | 0% |
| Ground dust | | 0% | 0% | 0% | 0% | 0% | 0% | 0% |
| Bacteria | | 0% | 0% | 0% | 0% | 0% | 0% | 0% |
| Plant spores | | 0% | 0% | 0% | 0% | 0% | 0% | 0% |
| Insecticide | | 0% | 0% | 0% | 0% | 0% | 0% | 0% |
| Stoker fly ash | | 0% | 0% | 0% | 0% | 0% | 0% | 0% |
| Pulverised fuel ash | | 0% | 0% | 0% | 0% | 0% | 0% | 0% |
| Foundry dusts | | 0% | 0% | 0% | 0% | 0% | 0% | 0% |
| Concrete dust | | 0% | 0% | 0% | 0% | 0% | 0% | 0% |
| Neutralised dust | | 0% | 0% | 0% | 0% | 0% | 0% | 0% |
| Dust cleaning | | 0% | 0% | 0% | 0% | 0% | 0% | 0% |
| Oil emulsion | | 0% | 0% | 0% | 0% | 0% | 0% | 0% |
| Resin | | 0% | 0% | 0% | 0% | 0% | 0% | 0% |
| Tobacco smoke | | 0% | 0% | 0% | 0% | 0% | 0% | 0% |
| Carbon black | | 0% | 0% | 0% | 0% | 0% | 0% | 0% |
| Pigments (paints) | | 0% | 0% | 0% | 0% | 0% | 0% | 0% |
| Viruses | | 0% | 0% | 0% | 0% | 0% | 0% | 0% |
| Human hair | | 0% | 0% | 0% | 0% | 0% | 0% | 0% |

For more information on HEPA or ULPA grades please contact your local distributor



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Sheet
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WATER AND SEWERAGE NETWORK

FAILS TO COMPLY

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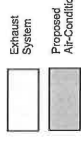
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Signed **Eddie Gonzalez** Date **22 Feb 2018**

Contact phone: 6248 3111

Carpark ventilation ductwork required to be in fire rated riser.

Carpark ventilation ductwork.



Rudds
Consulting Engineers
5 Boddala Place
Fyshwick, ACT 2609
Tel: (02) 6248 2900
Fax: (02) 6248 9951
Email: frank@ruddsend.com.au
www.ruddsend.com.au
ABN 54 624 29 842

| Rev | Amendment | Date | Int |
|-----|-----------|------|-----|
| | | | |



Level 6, 151-153 - 155 - 157 - 159 - 161 - 163 - 165 - 167 - 169 - 171 - 173 - 175 - 177 - 179 - 181 - 183 - 185 - 187 - 189 - 191 - 193 - 195 - 197 - 199 - 201 - 203 - 205 - 207 - 209 - 211 - 213 - 215 - 217 - 219 - 221 - 223 - 225 - 227 - 229 - 231 - 233 - 235 - 237 - 239 - 241 - 243 - 245 - 247 - 249 - 251 - 253 - 255 - 257 - 259 - 261 - 263 - 265 - 267 - 269 - 271 - 273 - 275 - 277 - 279 - 281 - 283 - 285 - 287 - 289 - 291 - 293 - 295 - 297 - 299 - 301 - 303 - 305 - 307 - 309 - 311 - 313 - 315 - 317 - 319 - 321 - 323 - 325 - 327 - 329 - 331 - 333 - 335 - 337 - 339 - 341 - 343 - 345 - 347 - 349 - 351 - 353 - 355 - 357 - 359 - 361 - 363 - 365 - 367 - 369 - 371 - 373 - 375 - 377 - 379 - 381 - 383 - 385 - 387 - 389 - 391 - 393 - 395 - 397 - 399 - 401 - 403 - 405 - 407 - 409 - 411 - 413 - 415 - 417 - 419 - 421 - 423 - 425 - 427 - 429 - 431 - 433 - 435 - 437 - 439 - 441 - 443 - 445 - 447 - 449 - 451 - 453 - 455 - 457 - 459 - 461 - 463 - 465 - 467 - 469 - 471 - 473 - 475 - 477 - 479 - 481 - 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icon

ESTD 1998

Deb Barnes

Application Number

From: 201621

Sent: Sheet

To: 74 of 208

Cc:

Pitt, Leesha <Leesha.Pitt@act.gov.au>

Monday, May 30, 2016 4:39 PM

O'Leary, Ryan

Finch, Stuart; Heckenberg, Mark

BRU Approval No 201621 - Block 18 Section 11 Mitchell [SEC=UNCLASSIFIED]

Dear Mr O'Leary,

The Environment Protection Authority (EPA) has reviewed the report titled "Block 18 Section 11 Mitchell ACT Material Classification Report" dated 24 May 2016 by SMEC Australia Pty Ltd and supports the beneficial reuse of up to 30m³ of stockpiled material, as identified in the above report, from Block 18 Section 11 Mitchell within the West Belconnen Resource Management Centre (Block 1586 Belconnen) subject to the following conditions:

1. This approval only applies to the stockpiled material identified in the above report. No other material from the site is to be removed under this approval (**BRU Approval No 201621**);
2. Separate approval must be sought if the material is to be reused or disposed to any other site;
3. The placement of material within the West Belconnen Resource Management Centre at Block 1586 Belconnen must be in accordance with the requirements of the conditions of the Environmental Authorisation (No. 0374) issued to **ACT NOWaste** for the site;

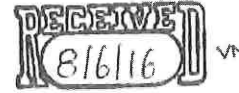
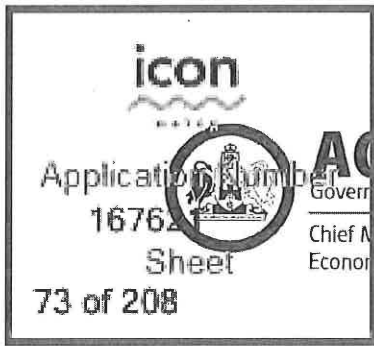
Regards

Leesha Pitt

Delegate, Environment Protection Authority

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File Ref: 2015/27987

Mr Ryan O'Leary
SMEC Australia Pty Ltd
Suite 2, Level 1 243 Northbourne Ave
Lyneham ACT 2602

Dear Mr O'Leary

**ENDORSEMENT OF CONTAMINATION ASSESSMENT REPORT -
BLOCK 18 SECTION 11 MITCHELL GUNGAHLIN**

The Environment Protection Authority (EPA) has reviewed the report titled "Block 18 Section 11 Mitchell, ACT Lead Paint Assessment" dated 30 May 2016 by SMEC Australia Pty Ltd.

The EPA has assessed the report and supports the consultant's findings that the soils assessed "do not pose a risk to human receptors" from a contamination perspective and the results of analysis indicate that the paint on the shipping container is considered 'lead free'. The EPA would therefore support the use of the site as a childcare facility.

The works have been generally undertaken to the satisfaction of the EPA in accordance with the Contaminated Sites Environment Protection Policy November 2009 and associated guidelines.

This letter of endorsement must be read in conjunction with the above report.

This should not be taken as a warranty by the Environment Protection Authority or the Territory that the land is fit for any particular purpose.

Yours sincerely



Leesna PITT
Delegate, Environment Protection Authority

2 June 2016



Application Number
167621
Sheet
72 of 208



ACT
Government
Education

Re: Mitchell Childcare Centre
Block 18, Section 11
Corner Darling & Heffernan Street, MITCHELL, ACT

To whom it may concern

This letter is to advise that Children's Education and Care Assurance (CECA) has made an assessment of the design proposal for the development of an education and care centre at Block 18 Section 11, MITCHELL, ACT.

An officer from CECA has also visited the site at Mitchell for the purpose of assessing the suitability of the location for an education and care centre.


The planning arrangements proposed in the drawings are considered to have met the current regulatory requirements and the proposed arrangement is endorsed in principle.

CECA considers the site to be suitable for the development of an education and care service.

This endorsement is provided for the design as documented on the plans provided, and for the suitability of the location, but does not remove the requirement for the facility to undergo a formal review of completed works prior to approval and operation.

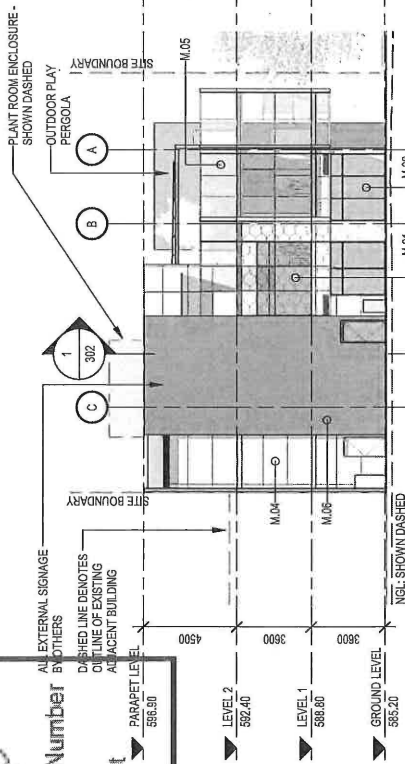
If you require any additional information please contact me on 6207 1093.

Yours sincerely

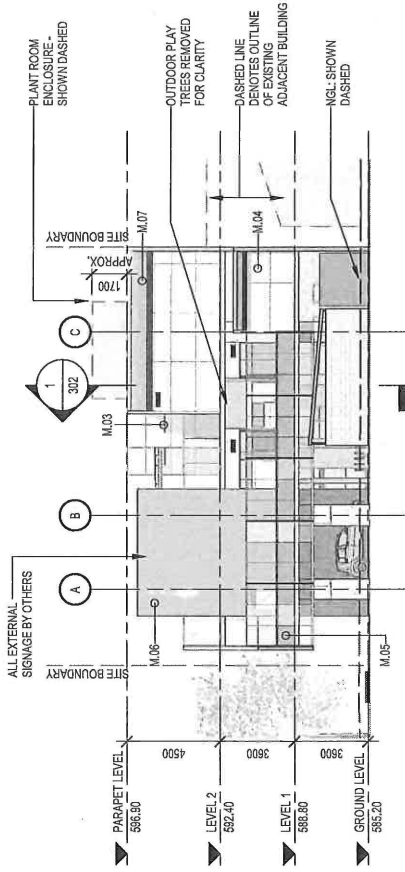


Susan Sullivan
Manager
Children's Education and Care Assurance
ACT Education Directorate

3 November 2017



1 EAST ELEVATION
102 1:250



2 WEST ELEVATION
102 1:250



WATER AND SEWERAGE NETWORK

FAILS TO COMPLY

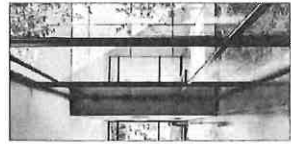
The design depicted in this document is not accepted because it fails to comply with conditions listed on the accompanying statement.

Please note: Construction of unapproved works may result in connection to Icon Water's water and sewerage networks being denied and/or action being taken to require the property owner to remove non-compliant services or structures.

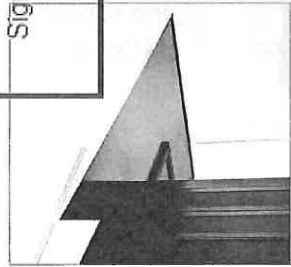
MATERIALS PALETTE



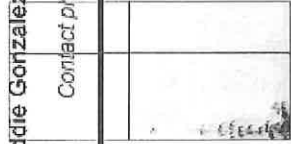
M.01 PERFORATED STEEL SCREEN. COLOUR - TO MATCH TRANSPARENT CLADDING (M05)



M.02 CLEAR GLAZING IN POWDERCOATED ALUMINIUM FRAMES - COLORBOND MONUMENT



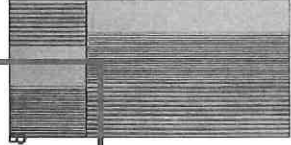
M.03 HEKA HOOD 8800 MM WIDE COLOUR - COLORBOND MONUMENT



M.04 CEMENTAL BARESTONE EXTERNAL CLADDING COLOUR - CARESTONE



M.05 TRANSPARENT COLOURED EXTERNAL CLADDING COLOUR - AS SHOWN INDICATIVELY ON ELEVATIONS

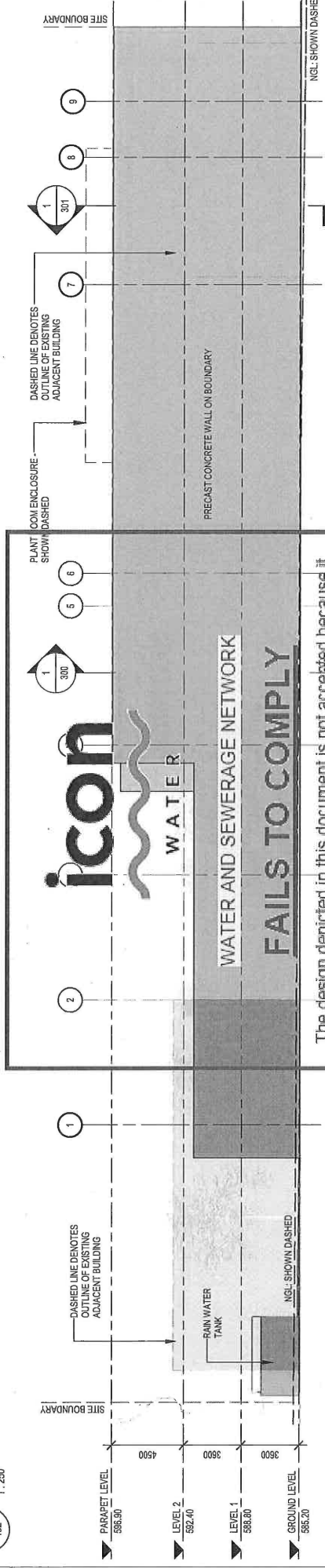
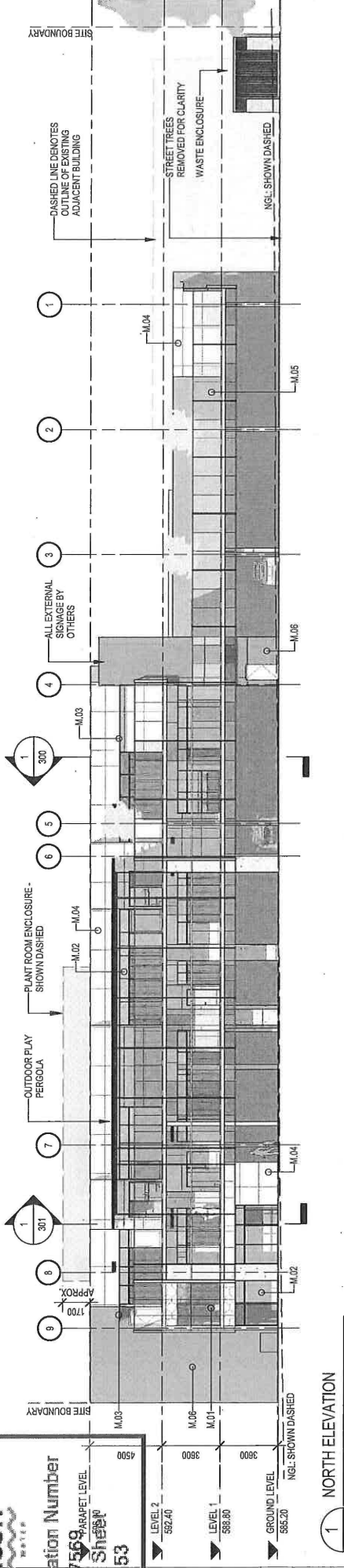


M.06 TEXTURED PRECAST CONCRETE PANELS



M.07 KLIP LOK STEEL ROOFING COLOUR - SHALE GREY

| Rev | Amendment | Date | INT |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------|----------------|--------|
| | | | |
| Mitchell Childcare Centre Block 18, Section 11, Corner Darling & Heffernan Street, Mitchell, ACT | | | |
| Drawn | Scale | Project Number | |
| Author | As Indicated | A17041 | |
| Checked | By | Disc No | |
| Checked | By | Disc No | |
| PRELIMINARY | | Disc No | SK 201 |
| Contractor shall check and verify all levels and dimensions on site and report any discrepancies to the Superintendent before commencing any work or program. | | | |



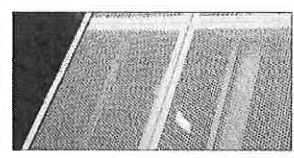
WATER AND SEWERAGE NETWORK FAILS TO COMPLY

The design depicted in this document is not accepted because it fails to comply with conditions listed on the accompanying statement.

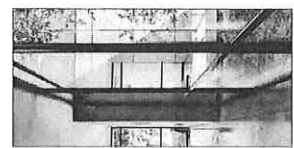
Please note: Construction of unapproved works may result in connection to Icon Water's water and sewerage networks being denied and/or action being taken to require the property owner to remove non-compliant services or structures.

Signed Eddie Gonzalez
 Date: 22 Feb 2018
 Contact phone: 6243 3141

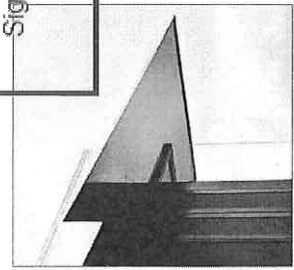
MATERIALS PALETTE



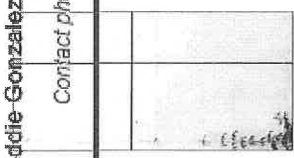
M.01 PERFORATED STEEL SCREEN, COLOUR - TO MATCH TRANSPARENT CLADDING (M05)



M.02 BRICK CLAZING IN POWDERCOATED ALUMINIUM FRAMES, COLOUR - COLORBOND



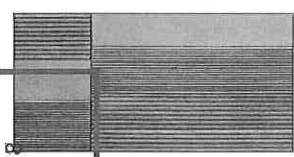
M.03 HICK HOOD (H800) IN WHITE COLOUR - COLORBOND MONUMENT



M.04 CEMENTAL BASESTONE COLOUR - CARESTONE



M.05 TRANSPARENT COLOURED EXTRUDED PANELS AS SHOWN INDICATIVELY ON ELEVATIONS



M.06 TEXTURED PRECAST CONCRETE PANELS



M.07 KIP-LOC STEEL ROOFING COLOUR - SHALE GREY

| Rev. | Amendment | Date | Int. |
|------|-----------|------|------|
| | | | |



13/02/2018 9:29:39 AM
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| Drawn | Check | Author | Project Number |
|-------|-------|--------|----------------|
| | | | A17041 |

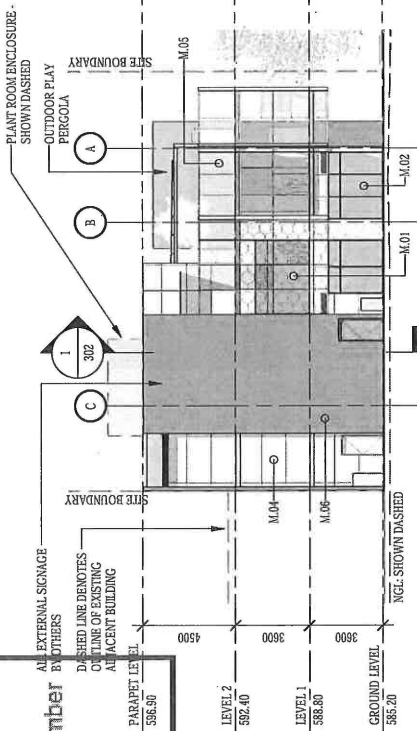
| Project Name | Project Location | Project Number |
|---------------------------|-----------------------------------------------------------------------|----------------|
| MITCHELL CHILDCARE CENTRE | BLOCK 18, SECTION 11 CORNER DARLING & HEFFERNAN STREET, MITCHELL, ACT | SK 200 |

| Drawn | Check | Author | Project Number |
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| | | | A17041 |

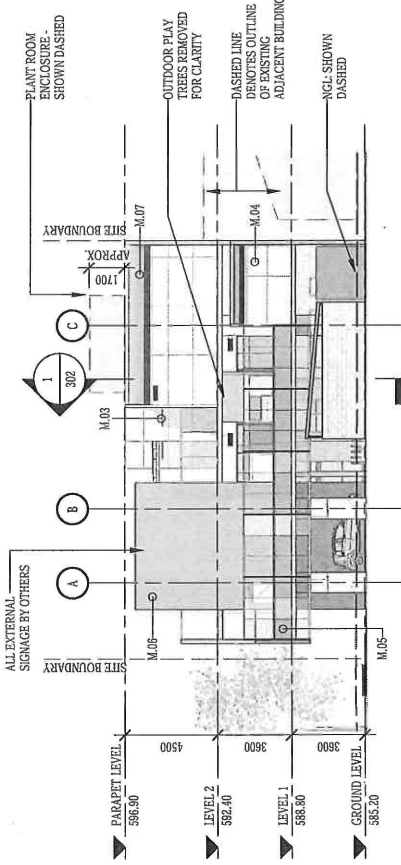
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|---------------------------|-----------------------------------------------------------------------|----------------|
| MITCHELL CHILDCARE CENTRE | BLOCK 18, SECTION 11 CORNER DARLING & HEFFERNAN STREET, MITCHELL, ACT | SK 200 |

ELEVATIONS

Drawings and specifications are to be read in conjunction with the contract documents and the Supplemental Conditions to the contract documents.



1 EAST ELEVATION
102 1:250



2 WEST ELEVATION
102 1:250



WATER AND SEWERAGE NETWORK

FAILS TO COMPLY

The design depicted in this document is not accepted because it fails to comply with conditions listed on the accompanying statement.

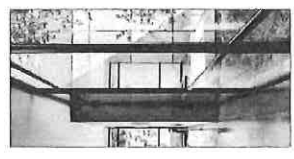
Please note: Construction of unapproved works may result in connection to Icon Water's water and sewerage networks being denied and/or action being taken to require the property owner to remove non-compliant services or structures.

Signed Eddie Gonzalez
Date: 02 Mar 2018
Contact phone: 62483111

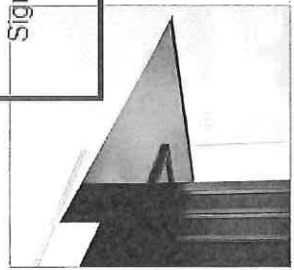
MATERIALS PALETTE



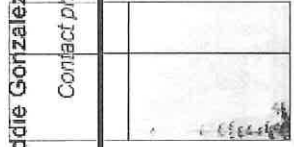
M.01 PERFORATED STEEL SCREEN. COLOUR - TO MATCH TRANSPARENT CLADDING (M.05)



M.02 CLEAR GLAZING IN POWDERCOATED ALUMINUM FRAMES. COLOUR - COLORBOND MONUMENT



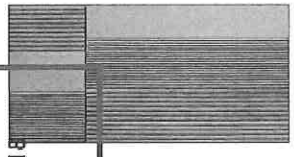
M.03 HEKA HOOD. HB900 MM WIDE. COLOUR - COLORBOND MONUMENT



M.04 CEMENTEL BARESTONE EXTERNAL CLADDING. COLOUR - GARESTONE



M.05 TRANSPARENT COLOURED EXTERNAL CLADDING. COLOUR - AS SHOWN INDICATIVELY ON ELEVATIONS



M.06 TEXTURED PRECAST CONCRETE PANELS



M.07 KLIP LOK STEEL ROOFING. COLOUR - SHALE GREY

| Rev | Amendment | Date | Init |
|-----|-----------|------|------|
| | | | |

arom

Level 6, 122 Bourke Street, Melbourne VIC 3000 | P: 03 9581 0071 | E: info@arom.com.au

MITCHELL CHILD CARE CENTRE
BLOCK 18, SECTION 11 CORNER DARLING & HEPPERMAN STREET, MITCHELL, ACT

| Drawn | Check | Scale | Project Number |
|---------|--------------|-------|----------------|
| Author | As Indicated | A3 | A17041 |
| Checker | Designer | | |
| | | | |

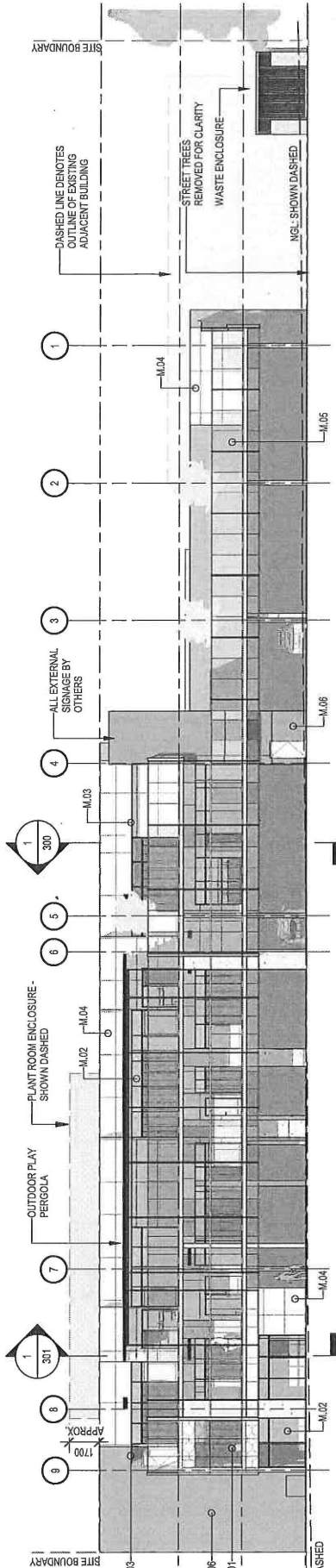
PRELIMINARY SK 201

Project Number: A17041
Drawing Number: SK 201

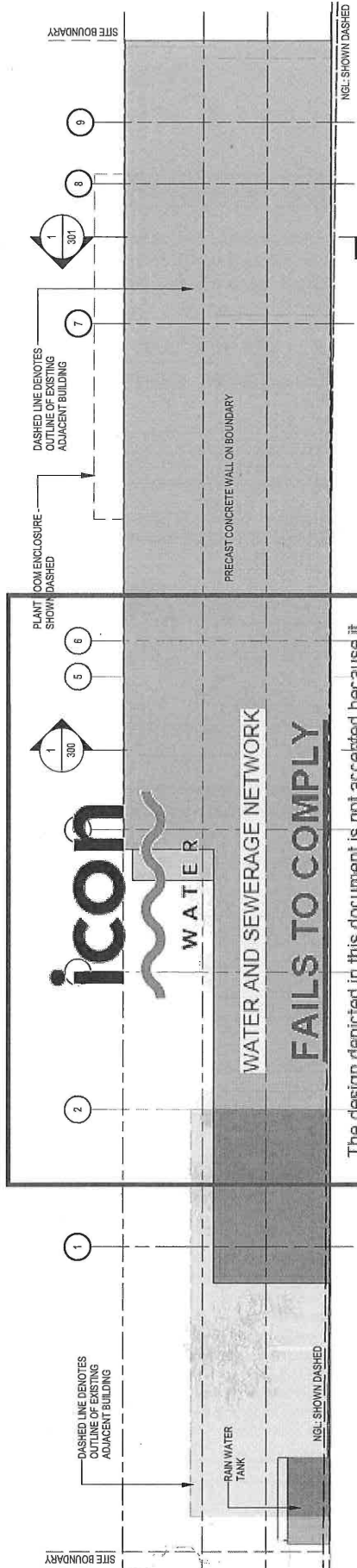
ELEVATIONS

Consultant: Arom
Contractor: Arom
Client: Mitchell Child Care Centre
Project: Mitchell Child Care Centre
Block 18, Section 11, Corner Darling & Hepperman Street, Mitchell, ACT

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1 NORTH ELEVATION
 1:250



2 SOUTH ELEVATION
 1:250

icon
 WATER
 WATER AND SEWERAGE NETWORK
FAILS TO COMPLY

The design depicted in this document is not accepted because it fails to comply with conditions listed on the accompanying statement.
 Please note: Construction of unapproved works may result in connection to Icon Water's water and sewerage networks being denied and/or action being taken to require the property owner to remove non-compliant services or structures.

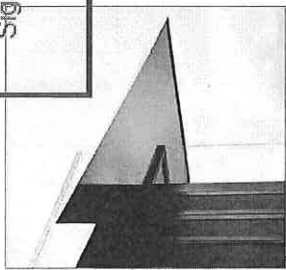
MATERIALS PALETTE



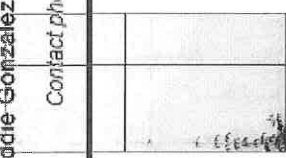
M.01 FROSTED STEEL SCREEN, COLOUR: 'WATER', TRANSPARENT CLADDING (M05)



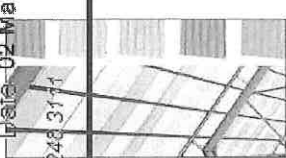
M.02 CLEAR GLAZING IN CLEAR COATED ALUMINIUM FRAMES, COLOUR: 'COLORBOND MONUMENT'



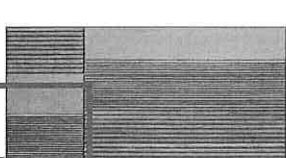
M.03 HECA HOOD H980MM WIDE, COLOUR: 'COLORBOND MONUMENT'



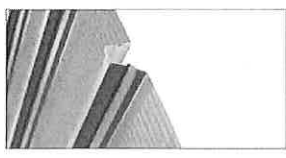
M.04 CEMENTAL BARESTONE, EXTERIOR, COLOUR: 'CARESTONE'



M.05 TRANSPARENT COLOURED EXTERIOR CLADDING, COLOUR: 'S100', AS SHOWN, INDICATIVELY ON ELEVATIONS



M.06 TEXTURED PRECAST CONCRETE PANELS



M.07 KLP LOCK STEEL FLOORING, COLOUR: 'SHALE GREY'

Signed **Eddie Gonzalez** Date: 02 Mar 2018
 Contact phone: 6248 3171

| Rev | Amendment | Date | Int |
|-----|-----------|------|-----|
| | | | |



| Drawn | Date | Scale | As Indicated | Project Number |
|-------------|------|----------------|--------------|----------------|
| Author | | | A3 | A17041 |
| Checked | Date | Project Leader | Designer | Drawn Number |
| | | | | |
| PRELIMINARY | | | | SK 200 |
| | | | | |
| | | | | |

MITCHELL CHILDCARE CENTRE
 BLOCK 16, SECTION 11 CORNER DARLING & HEFFERNAN STREET, MITCHELL, ACT

ELEVATIONS

13/02/2018 9:29:39 AM
 M:\home\Desktop\Frevent Local Files\A17041 Mitchell C Central_R17_Jarred.rvt



Application Number
167569

Sheet
16 of 53

LESSEE(S) DECLARATION if more than two lessees please provide details of each additional lessee on a separate sheet.

- I/we declare that I am/we are the lessee(s) of the land described above;
- I/we have been made aware of the declaration clauses in the DA or Application for Reconsideration form; and
- I/we declare that all the information given on this form is true and complete.

1st Lessee
Signature

DIRECTOR

Date

8/9/2017

2nd Lessee
Signature

JOHN KONSTANTINOU

Date

APPLICANT DECLARATION

- I declare that I am the person authorised to sign/sign on behalf of the company described in this form
- I declare that all the information given on this form and its attachments are true and complete;

Applicant
Name

ANNETTE POGAS

Company
Name

APM

Signature

Date

08.09.2017

LAND CUSTODIAN AUTHORISATION

- I/we declare that I am/we are the land custodian(s) of the public land or unleased land as described above;
- I/we authorise the applicant to obtain information in relation to this site through the pre-application process and make an application for development approval.

Delegate
Name

Robyn Hawkins

Agency Name

TCCS - Roads ACT

Signature

Date

17 January 2018

Delegate
Name

Agency Name

Signature

Date

THIS AUTHORISATION DOES NOT CONSTITUTE AN APPROVAL IN PRINCIPLE OR OTHERWISE BY THE LAND CUSTODIAN IN RELATION TO THE PROPOSED DEVELOPMENT.

Privacy Notice

The personal information on this form is provided to the Environment, Planning and Sustainable Development Directorate (EPD) to enable the processing of your application. The collection of personal information is authorised by the *Planning and Development Act 2007*. If all or some of the personal information is not collected EPD cannot process your application. The *Planning and Development Act 2007* requires the details of applications, decisions and orders to be kept on a register and made available for public inspection. Information and documentation relevant to a development application may be made available via the Internet. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office, the Registrar General's Office, ACTEW Corporation, ActewAGL, Territory and Municipal Services Directorate and other Government agencies with a direct interest in the development assessment process. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. EPD's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by EPD, and how you may complain about an alleged breach of the Territory Privacy Principles. The EPD Information Privacy Policy can be found at www.environment.act.gov.au

Contact Details:

Environment, Planning and Sustainable Development Directorate
Customer Service Centres
GPO Box 158, Canberra City 2601
16 Challis Street Dickson ACT 2602

Business Hours: 8.30am to 4.30pm weekdays (excluding Public Holidays)
Phone: (02) 6207 1923
Email: epdcustomerservices@act.gov.au
Website: www.planning.act.gov.au



Application Number

1675



ACT Government

Environment, Planning and Sustainable Development

Planning and Development Act 2007, s425

Form 4 - LETTER OF AUTHORISATION

PRE APPLICATION MEETINGS DEVELOPMENT APPLICATION APPLICATION FOR RECONSIDERATION

LEASE/SITE DETAILS (Please Print)

If more than two leases/sites please attach the following details for each additional lease/site on a separate sheet

Block 18 Section 11 Suburb MITCHELL

Unit No. Street Address

Block Section Suburb

Unit No. Street Address

Describe location where no block and section details are available (e.g. for outdoor dining area location)

LESSEE(S) DETAILS - if more than two lessees please provide details of each additional lessee (Please Print)

1st Lessee Name KONSTANTINOU DEVELOPMENTS PTY LTD 2nd Lessee Name

LESSEE AUTHORISATION

This appointment is made under the Planning and Development Act 2007 and relates to: (please tick)

- Pre-application meeting Development Application Application for Reconsideration

I/we the lessee(s) authorise the person/company (to be known as the Applicant) detailed below:

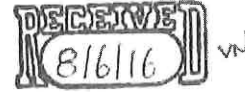
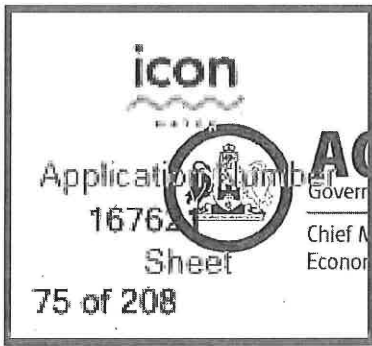
- to obtain information in relation to this site through the pre-application process
to act on my/our behalf in relation to a development application for the abovementioned site/s
to act on my/our behalf in relation to an application for a reconsideration of a development application for the abovementioned site/s
to pay all application fees, bonds and securities, liaise with the Planning and Land Authority when required, alter, amend or provide further information as necessary and receive any communications relating to the DA or Application for Reconsideration.

APPLICANT DETAILS (Please Print)

Applicant Name ANNETTE POGAS Email address @arpm.net.au
OR
Company Name Arpm Email address

Company Nominees - a Company can list up to three nominees. The first nominee must be authorised to sign on behalf of the Company

Nominee 1 DARREN JONES Nominee 2 ANNETTE POGAS Nominee 3



File Ref: 2015/27987

Mr Ryan O'Leary
SMEC Australia Pty Ltd
Suite 2, Level 1 243 Northbourne Ave
Lyneham ACT 2602

Dear Mr O'Leary

**ENDORSEMENT OF CONTAMINATION ASSESSMENT REPORT -
BLOCK 18 SECTION 11 MITCHELL GUNGAHLIN**

The Environment Protection Authority (EPA) has reviewed the report titled "Block 18 Section 11 Mitchell, ACT Lead Paint Assessment" dated 30 May 2016 by SMEC Australia Pty Ltd.

The EPA has assessed the report and supports the consultant's findings that the soils assessed "do not pose a risk to human receptors" from a contamination perspective and the results of analysis indicate that the paint on the shipping container is considered 'lead free'. The EPA would therefore support the use of the site as a childcare facility.

The works have been generally undertaken to the satisfaction of the EPA in accordance with the Contaminated Sites Environment Protection Policy November 2009 and associated guidelines.

This letter of endorsement must be read in conjunction with the above report.

This should not be taken as a warranty by the Environment Protection Authority or the Territory that the land is fit for any particular purpose.

Yours sincerely



Leesna Pitt
Delegate, Environment Protection Authority

2 June 2016

icon

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The information may also be disclosed where authorised by law or court order or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by or on behalf of an enforcement body. EPSDD's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by EPSDD, and how you may complain about an alleged breach of the Territory Privacy Principles. The EPSDD Information Privacy Policy can be found at www.environment.act.gov.au

icon

WATER

WATER AND SEWERAGE NETWORK

FAILS TO COMPLY

Does the Commonwealth Environment Protection and Biodiversity Conservation Act 1999 (EPBC) affect your proposal?

The EPBC came into operation on 16 July 2000. It establishes an environmental assessment and approval system that is separate and distinct from the ACT system. It does not affect the validity of ACT development assessment and approval processes, but may affect the assessment track. The ACT cannot provide preliminary advice on whether a proposal falls within the definition of a controlled action, or requires referral to the Commonwealth. You should consult with the Commonwealth to determine if your proposal is a controlled action before seeking any approvals under the Planning and Development Act 2007. For information about the EPBC, including the referral process and when a referral should be made, contact the Department of Sustainability, Environment, Water, Population and Communities. GPO Box 787, CANBERRA ACT 2601 Telephone: 62741111

The design depicted in this document is not accepted because it fails to comply with conditions listed on the accompanying statement

Please note: Construction of unapproved works may result in connection to Icon Water's water and sewerage networks being denied and/or action being taken to require Commonwealth. You should consult with the

Signed Eddie Gonzalez

Date 22 Feb 2018

Contact phone: 0240 3491

Contact Details: Environment, Planning and Sustainable Development Directorate Customer Service Centre GPO Box 158, Canberra City 2601 16 Challis Street, Dickson ACT 2602 Business Hours: 8.30am to 4.30pm weekdays (excluding Public Holidays) Phone: (02) 6207 1923 Email: epdcustomerservices@act.gov.au Website: www.environment.act.gov.au



I declare that I am the person shown in this eDA form as the applicant, and by clicking the ACCEPT button below I understand that this replaces my requirement to sign a hard copy of this application.

13 of 57

Accept

Acceptance date

13 Feb 2018

WATER AND SEWERAGE NETWORK

FAILS TO COMPLY

The design depicted in this document is not accepted because it fails to comply with conditions 1 to 3 on the accompanying statement.

Before Submitting

You have almost completed the first stage of your Development Application/Pre-Application request. **PLEASE ENSURE YOUR WIZARD SESSION IS SAVED BEFORE PROCEEDING.** This will enable you to resume your session in the event of a system outage.

Please note: Construction of unapproved works may result in connection to Icon Water's water and sewerage networks being denied and/or action being taken to require the property owner to remove non-compliant services or structures.

Signed: Eddie Gonzalez Date: 22 Feb 2018

Contact phone: 6248 3111

When you click on Finish below, you will be navigated to a new page which will enable you to upload any associated plans/documents prior to submitting to EPSDD for review.

Development applications (DAs) can be delayed unnecessarily because EPSDD does not have all the information it needs to undertake an assessment and make a decision.

To avoid delays ensure all required sections of the wizard are answered correctly and all required documentation is uploaded. In particular:

1. A signed appointment letter from all lessee's must be provided if works are to performed on the verge, a signed endorsement letter must be provided by the relevant Government Custodian;
2. Public register plans for residential applications are included;
3. You MUST include a statement against the criteria for development applications that will be assessed in the Merit track;
4. If the application is for a single unit on a unit titled block body corporate authorisation is required if there is works on a common property

If you are still not sure how to proceed or want to ensure you have everything you need for your application, you can visit the EPSDD Customer Service Centre, 16 Challis Street, Dickson, or call us on 6207 1923 and ask to speak with a technical officer.

Privacy Notice

The personal information on this form is provided to the Environment, Planning and Sustainable Development Directorate (EPSDD) to enable the processing of your application. The collection of personal information is authorised by the Planning and Development Act 2007. If all or some of the personal information is not collected EPSDD cannot process your application. The Planning and Development Act 2007 requires the details of applications, decisions and orders to be kept on a register and made available for public inspection. Information and documentation relevant to a development application may be made available via the Internet. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office, the Registrar General's Office, ACTEW Corporation, ActewAGL, Territory and Municipal Services Directorate and other Government agencies with a direct interest in the development assessment process.

icon

I/we understand that this application will be considered ~~lodged~~ on the relevant application fees have been paid:
Application Number

167569

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WATER AND SEWERAGE NETWORK

FAILS TO COMPLY

I/we understand that the documentation provided on CD/DVD or via the electronic lodgement process will be considered to be the relevant documentation associated with this application. All development application documentation will be made available for public inspection including via the Internet unless exclusion has been approved;

The design depicted in this document is not accepted because it fails to comply with conditions listed on the accompanying statement.

If the time for deciding the application (prescribed period) has ended and a decision has not been reached I/we understand that the application will be deemed refused and the Environment, Planning and Sustainable Development Directorate will not provide written advice of this decision.

I/we also understand that the Environment, Planning and Sustainable Development Directorate is able to still consider the application and make a decision after the expiration of the prescribed period;

Signed Eddie Gonzalez Date 22 Feb 2018

Contact phone: 6248 3111

I/we hereby authorise the Environment, Planning and Sustainable Development Directorate its servants and agents to erect sign/s on the subject property(s) as required;

I/we hereby authorise ACT Government officers to access the subject property(s) for the purpose of evaluating the proposal(including the inspection of driveways and trees);

I/we (lessee) appoint the applicant whose signature appears in the attached *letter of appointment* to act on my/our behalf in relation to this Development Application. This authorises the applicant to pay all application fees, bonds and securities, liaise with the Environment, Planning and Sustainable Development Directorate when required, alter, amend or provide further information as necessary and receive any communications relating to this Development Application;

I understand that costs associated with the relocation of any engineering services (light poles, storm water, sumps etc) will be at my expense and that I will indemnify the ACT Government, its servants and agents against any claims arising during the relocation of these services;

I understand that construction of any driveway associated with this application may not commence until the contractor has received endorsement by the relevant government entity;

I understand that a Certificate of Design Acceptance and a Road Opening Permit and Temporary Management Plan must be obtained from the relevant government agencies prior to the start of construction works;

I/we declare that all the information given on this form and its attachments is true and complete;

If lodging on behalf of a company, organisation or Government agency: -

I/we declare I/we have the appropriate delegation or authority to sign on behalf of the company, organisation or Government agency.

icon

icon

Application Number
167569
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and length dimensions of the development and the setback dimension of the development from the block boundaries. The information may be provided on one plan or on a series of plans provided each plan is signed by a registered surveyor. Note: For all unapproved development involving construction, the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features must comply with utility standards, access provisions and asset clearance zones. For more information on development exempt from approval, please click here. For more information on development exempt from approval, please refer to S205 under the Planning and Development Act 2007

FAILS TO COMPLY

Exclusion from Public Inspection

The design reported in this document is not accepted because it fails to comply with conditions listed on the accompanying statement.

In accordance with the requirements of Sections 28 and 30 of the Planning and Development Act 2007, the Environment, Planning and Sustainable Development Directorate must make the details and associated documents relevant to a development application available for public inspection. Please note that once approved, the details must also be available for public inspection. Water's water and sewerage networks being degraded and no action being taken to require the property owner to remove non-compliant services or structures.

If you wish to apply to have all or part of this development application excluded from public inspection, you must meet the requirements of Section 411(5) or 412(1) of the Planning and Development Act 2007

Signed Eddie Gonzalez

Date 22 Feb 2018

Contact phone: 6248 3111

Are you requesting an exclusion from *Public Inspection*?

No

Conflict of Interest Declaration

Does the applicant or the lessee have any association with the Environment, Planning and Sustainable Development Directorate staff?

No

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation

Applicant/Lessee Declaration

I/we hereby apply for approval to carry out the development described on the land specified in this application;

I/we declare that this application is accompanied by all of the required information or documents that address the relevant rules and/or relevant criteria for it to be considered for approval;

I/we understand that the information submitted with this application form will undergo a documentation check prior to the payment of fees and formal lodgement of the application. Further information may be required prior to the acceptance of the development application by the Authority;



Water Sensitive Urban Design (Stormwater Quality)



WATER

Application Number: 167569

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Water Sensitive Urban Design

WATER AND SEWERAGE NETWORK

Water Sensitive Urban Design (Stormwater Quantity)

FAILS TO COMPLY

Is the Water Sensitive Urban Design (Stormwater Quantity) item relevant to your application?

No

The design depicted in this document is not accepted because it fails to comply with conditions listed on the accompanying statement.

Driveways (For works on verge only)

Please note: Construction of unapproved works may result in connection to both water and sewerage networks. Existing services and structures being taken to require the property owner to remove non-compliant services or structures.

PLEASE NOTE: For proposals that include construction or modification of a driveway this application **MUST** be signed by the land custodian (Government Land Custodian - Asset Acceptance) as the works will be undertaken on unleased land **EXCEPT FOR DUAL OCCUPANCY DEVELOPMENT PROPOSALS.** For more information on driveways, garages and carports, please click here.

Signed Eddie Gonzalez

Date 22 Feb 2018

Contact phone: 0248 314 111

Does your proposal include construction or modification of driveway/s?

Yes

Please indicate the works to be undertaken

Construction of new driveway

Survey Requirements - S.139(2)(l) - P & D Act 2007

If this application is for approval of a development that requires construction work to be carried out on land that has previously been developed and is not leased for rural purposes, a survey certificate for the land where the development is to be carried out (prepared and signed by a registered surveyor) must accompany this application unless exempt by Regulation 25 of the *Planning and Development Regulations 2008*

Do you have a *survey certificate* with this application?

Yes

Development Undertaken Without Approval - S.205 - P & D Act 2007

Is this application for development undertaken without approval?

No

If YES - Under Section 139(2)(m) of the *Planning and Development Act 2007*, plans of the development signed by a registered surveyor confirming the location and dimensions of the development **must** be submitted with this application. The plans need to confirm the height, width



Access and Mobility

Application Number 167559
Is the *Access and Mobility* item relevant to your proposal?

Yes

Sheet 9/15/18

Have you provided documentation that demonstrates how your proposal complies with the requirements of the *Territory Plan*?

Yes



WATER

WATER AND SEWERAGE NETWORK

FAILS TO COMPLY

Site Access, Parking, Landscape, Lighting

The design depicted in this document is not accepted because it fails to comply with conditions listed on the accompanying statement.

Please note: Construction of unapproved works may result in connection to Icon Water's water and sewerage networks being denied and/or action being taken to require the property owner to remove non-compliant services or structures.

Signed Eddie Gonzalez

Date 22 Feb 2018

Contact phone: 6248 3111

Site Access

Is the *Site Access* item relevant to your proposal?

No

Landscape

Is the *Landscape* item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the *Territory Plan*?

Yes

Lighting

Is the *Lighting* item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the *Territory Plan*?

Yes

Signs, Water Sensitive Urban Design

Signs

Is the *Signs* item relevant to your proposal?

No

Water Sensitive Urban Design (Mains Water Consumption)

Is the *Water Sensitive Urban Design (Mains Water Consumption)* item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the *Territory Plan*?

Yes



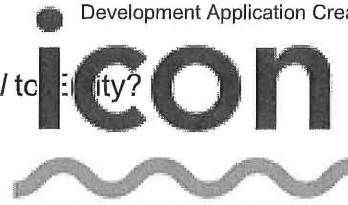
Have you provided required documentation for *referral* to Entity?

Yes

Application Number

167569

8 of 53 Servicing & Site Management, Utilities



WATER

Servicing and Site Management

WATER AND SEWERAGE NETWORK

Is the Servicing and Site Management item relevant to your proposal?

No

FAILS TO COMPLY

Utilities

The design depicted in this document is not accepted because it fails to comply with conditions listed on the accompanying statement.

Is the *Utilities* item relevant to your proposal?

Yes

Please note: Construction of unapproved works may result in connection to Icon Water's water and sewerage networks being denied and/or action being taken to require the property owner to remove non-compliant services or structures.

Please tick the relevant entities

Water

Electricity

Sewerage

Gas

Stormwater

Signed Eddie Gonzalez

Date 22 Feb 2018

Contact phone: 6248 3111

Have you provided Entity Endorsement?

No

Have you provided required documentation for *referral* to Entity?

Yes

Subdivision, National Capital Plan, Crime Prevention, Access & Mobility

Subdivision (other than residential zones)

Is the Subdivision (other than residential zones) item relevant to your proposal?

No

National Capital Plan

Is the *National Capital Plan* item relevant to your proposal?

No

Crime Prevention through Environmental Design

Is the *Crime Prevention* item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the *Territory Plan*?

Yes



Erosion and Sediment Control (for sites less than 0.3 of a hectare)

Application Number

167569?

Sheet

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Have you provided Entity Endorsement?

No

Have you provided required documentation for referral to Entity?

Yes

For works such as class 10 structures, additions and alterations, and backyard swimming pools - a note on the plan that "the development will comply with the ACT Environment Protection Authority, Environment Protection Guidelines for Construction and Land Development in the ACT" is required. In circumstances where there is a reasonable risk that soil from the required earthworks in the front of the block will impact on the stormwater system because the block slopes towards the street a separate Erosion & Sediment Control Plan will be required

The design depicted in this document is not accepted because it fails to comply with conditions listed on the accompanying statement.

Please note: Construction of unapproved works may result in connection to Icon Water's sewer and stormwater network. If from the plan required earthworks require the property owner to remove non-compliant services or structures.

Signed Eddie Gonzalez

Date 22 Feb 2018

Erosion and Sediment Control (for sites greater than 0.3 of a hectare)

Contact phone: 0248 3111

Is the Erosion and Sediment Control (for sites greater than 0.3 of a hectare) item relevant to your proposal?

No

Waste Management, Noise

Waste Management for waste facilities and management

Is the *Waste Management (for waste facilities)* item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for referral to Entity?

Yes

Waste Management for liquid trade waste

Is the *Waste Management (for liquid trade waste)* item relevant to your proposal?

No

Noise

Is the Noise Management item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No



J - Cost of all public works and/or off site works (\$)

Application Number

167569

K - TOTAL COST OF WORKS (E+H+I+J)

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1881800



WATER AND SEWERAGE NETWORK

FAILS TO COMPLY

*Cost of works **MUST** be calculated in accordance with the current version of Building (General) (Cost of Building Work) Determination OR a summary of costs from a bill of quantities prepared by a quantity surveyor supplied with application. A summary of costs from a bill of quantities MAY be requested for proposals where cost of work is between \$0 and \$10 million. A summary of costs from a bill of quantities **MUST** be provided for proposals where cost of work is over \$10 million. The design depicted in this document is not accepted because it fails to comply with conditions listed on the accompanying statement.

Please note: Construction of unapproved works may result in connection to Icon water and sewerage networks being created and in addition being able to require the property owner to construct compliant structures.

Demolition, Trees

Demolition

Is the *Demolition* item relevant to your proposal?

No

Trees

Is the *Trees* item relevant to your proposal?

No

Heritage

Heritage

Is the *Heritage* item relevant to your proposal?

No

Hazardous Materials, Contamination, Erosion and Sediment Control

Hazardous Material

Is the *Hazardous Materials* item relevant to your proposal?

No

Contamination

Is the *Contamination* item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

Yes



Please select a Community Use sub type:

New building
Application Number

167569
New Building storeys

Sheet

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WATER AND SEWERAGE NETWORK

Gross Floor Area (GFA) and Cost of Works

FAILS TO COMPLY

Please ensure that all values contain a decimal point followed by two digits

Gross Floor Area Calculation

The design depicted in this document is not accepted because it fails to comply with conditions listed on the accompanying statement.

A - Gross Floor Area (existing) (m²)

Please note: Construction of unapproved works may result in connection to Icon Water's water and sewerage networks being denied and/or action being taken to require the property owner to remove non-compliant services or structures.

0.00

B - Gross Floor Area to be demolished (m²)

Signed Eddie Gonzalez

Date 22 Feb 2018

0.00

Contact phone: 6248 3111

C - Gross Floor Area to be added (m²)

1087.00

D - Total Gross Floor Area of development (A-B+C)(m²)

1087

E - COST OF WORKS (\$)

1521800.00

Other Area Calculation (not already included in the areas provided above)

F - Area of other BCA Class 10 structures included in this application (e.g. metal carport, pergola, deck, verandah) (m²)

27.0

G - Parking areas – undercover

1100.0

H - COST OF WORKS (F & G) (\$)

160000.0

Cost of Associated Works

I - Cost of all associated works such as landscaping (\$)

180000.0



Mitchell Precinct map and code



Application Number

167569

Fully Describe Your Proposal

Sheet

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WATER

Please provide a full description of your proposal (Note: This must accurately describe all aspects of your proposal and include any

WATER AND SEWERAGE NETWORK

Construction of three storey building containing a childcare centre for up to 130 children with upper level outdoor play areas, ground level undercroft parking and service areas, associated landscaping, services infrastructure, off-site works comprising construction of new driveway entrances and pedestrian paths. The Crown lease purpose clause has been previously varied to include the proposed childcare centre use.

FAILS TO COMPLY

The design depicted in this document is not accepted because it fails to comply with conditions listed on the accompanying statement.

Proposed Use of the Land

Please note Construction of unapproved works may result in prohibition for both Water's water and sewerage networks being denied and/or action being taken to require the property owner to remove non-compliant services or structures.

Describe the use of the development. Example: Office, childcare facility, gymnasium. (Note:

Please refer to the Territory Plan definitions for land use definitions. Please also consider what is permitted under any Crown Lease for the site.)

Signed Eddie Gonzalez

Date 22 Feb 2018

childcare facility

Contact phone: 6248 3111

Is the proposed use consistent with the current Crown lease?

Yes

Assessment Track

Please indicate which assessment track applies to this Development Application: (If you are not sure which assessment track applies, please contact Environment, Planning and Sustainable Development Directorate on (02)62071923)

Merit

Has an Environmental Significance Opinion been sought for this proposal?

No

For more information about which track your development application will be assessed in, please click here. Please note, the Environment, Planning and Sustainable Development Directorate may refuse to accept a development application made in an incorrect assessment track. If the Environment, Planning and Sustainable Development Directorate assesses an application made in the incorrect assessment track it must refuse the application (S.114 (3)).

Type of Development

Please indicate which type of development applies to this development application.

Community Use (includes Institutional)

Community Use



Australian Company Number (ACN)

49088414742

Application Number

167369

Company Name

Konstantinou Developments Pty Ltd

Position / Role / Title

Director



WATER

3 of 55
Salutation

None

First Name

John

Surname

Konstantinou

Postal Address 1

PO Box 222

Postal /

WATER AND SEWERAGE NETWORK

FAILS TO COMPLY

Postal Address 3

Suburb

Mitchell

State/Territory

ACT

Postcode

2911

Country

Australia

Phone Number

0262423933

Fax Number

Please note: Construction of utility networks may result in connection to Icon Water's water and sewerage networks being denied and/or action being taken to require the property owner to remove non-compliant services or structures.

Email

john.konstantinou@kgroup.com.au

Signed **Eddie Gonzalez**

Date **22 Feb 2018**

Contact phone: 6248 3111

Notice of Decision and Plans

Please specify the delivery method for the return of plans. Unless otherwise specified, your Notice of Decision and/or plans will be returned via email.

Email

Are you applying for an *Estate Development Plan* OR *Home Business*?

No

Zone

Please specify which zone applies to this application (please select one zone only). Please click [here](#) to access ACTMAPi and locate the zone.

IZ2 Mixed use industrial zone

If more than one zone is applicable to your application, please specify them below:

Development/Precinct Code

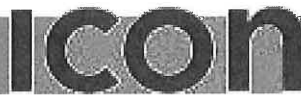
Please specify which development code applies to this application.

Industrial Zones Development Code

Please specify all relevant precinct code/s applied to your proposal



Applicant Details



WATER

WATER AND SEWERAGE NETWORK

Position held / Title

Project Leader

FAILS TO COMPLY

Application Number

What type of applicant are you:

Sheets

ABN

162174665

Company Name

ArPM Pty Ltd

Salutation

None

First Name

Annette

Surname

Pogas

Postal Address 1

Level 5, Tower A

Postal Address 2

7 London Circuit

statement.

Postal Address 3

Canberra

Please note: Construction of unapproved works may result in connection to Icon Water's water and sewerage networks being denied and/or action being taken to require the property owner to remove non-compliant services or structures.

Suburb

Canberra

State/Territory

ACT

Postcode

2601

Country

Australia

Signed Eddie Gonzalez

Date 22 Feb 2018

Phone Number

0261694097

Fax Number

Contact Mobile Number 0248 3111

Email

info@arpm.net.au

Lessee (Property Owners) Details

Lessee Number: 1

Is the Lessee a:

Registered company



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Before Starting

Planning and Development A 201



Development Application

Application Number: 20155028

WATER

WATER AND SEWERAGE NETWORK

PLEASE NOTE: This wizard will time out if left inactive for a period of more than two hours, after which time you will lose your application and be required to complete a new wizard. It is recommended you **save** this session if it is to be left inactive for an extended period of time.

FAILS TO COMPLY

Please ensure that your screen is set to the highest resolution (e.g. 1280 by 1024 pixels) to ensure all content in the wizard is visible.

The design depicted in this document is not accepted because it falls to comply with conditions listed on the accompanying statement.

Please note: Construction of unapproved works may result in connection to Icon Water network and sewerage network being disrupted and/or isolation being imposed to require the property owner to construct compliant as shown structures.

Type of Application

The type of application you are applying for is a **New Application**

Signed **Eddie Gonzalez**

Date **22 Feb 2018**

Contact phone: 6248 3111

Are you applying for a:

- Development Application

Has a pre-application meeting been held in relation to this proposal?

- No

Lease/Site Details

Site Number: 1

If your rural property is identified by a Block/Section/Suburb, please select the "Urban" radio button.

- Urban

| Suburb | Section | Block Number | Unit Number |
|----------|---------|--------------|-------------|
| MITCHELL | 11 | 18 | |

Street Address
MITCHELL

Site Number: 2

If your rural property is identified by a Block/Section/Suburb, please select the "Urban" radio button.

- Urban

| Suburb | Section | Block Number | Unit Number |
|----------|---------|--------------|-------------|
| MITCHELL | 11 | 18 | |

Street Address
MITCHELL



Mitchell Childcare Centre (7210)
Thematic Design

Application Number
167621
23.0 Food & Beverage Areas.
Sheet

53 of 209 Emergency Evacuation.

Mitchell Childcare Centre (7210)
 Application Number
 Architectural Schematic Design

167621

Sheet

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- fire wardens who have up-to-date information about people with disabilities who work or live in the building and information about the type and level of assistance those people require to evacuate.
- fire wardens should ensure emergency services are provided with information about the location and type of assistance required.
- emergency evacuation chairs should be considered. [A&A professional opinion]

Standard Access Report Numbers & Items

Notes and items have only been included in this report which are relevant to the project building. A full list of the items used in Architecture & Access' standard report are listed below.

- 1.0 Parking & Drop Off Zones.
- 2.0 External Paths of Travel.
- 3.0 Entrances.
- 4.0 Doors.
- 5.0 Door Controls.
- 6.0 Glazing & Visual Indicators.
- 7.0 Internal Paths of Travel.
- 8.0 Walkways & Ramps.
- 9.0 Stairs.
- 10.0 Lifts & Escalators.
- 11.0 Unisex Accessible Sanitary Facilities.
- 12.0 Ambulant Sanitary Cubicles.
- 13.0 Auditorium & Assembly Areas.
- 14.0 Hearing Augmentation.
- 15.0 Signage.
- 16.0 Switches, GPOs & Lighting.
- 17.0 Floor Finishes.
- 18.0 Sole Occupancy Units.
- 19.0 Swimming Pools.
- 20.0 Site Specific Areas.
- 21.0 Street Furniture
- 22.0 Joinery, Furniture & Fittings.

| | |
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| | Shank depth of 150mm is preferred for ease of use. [AS1428.2:1992 A5] |
| M | Taps to be provided within 475mm of the front of the bench where open knee clearance is provided. [as per AS1428.1:2009 Fig 45 Basins] |
| M | Taps to be provided within 300mm of the front of the bench where no open knee clearance is provided. [AS1428.2:1992 Clause 22.4] |
| M | Boiling water units to be provided within 300mm of the front of the bench. Larger lever taps are recommended. [AS1428.2:1992 Figure 23] |
| M | GPOs to be provided within 300mm of the front of the bench. [AS1428.2:1992 Figure 23] |
| M | Bench space to be provided on the right hand side of microwave ovens and on the door handle side of refrigerator to allow items to be placed on the adjacent bench. [A&A professional opinion] |
| M | D-shaped handles on all joinery are recommended for greater ease of use. [A&A professional opinion] |
| M | Joinery colour, which provides a luminance contrast with the floor colour is recommended to assist people with low vision. [A&A professional opinion] |
| M | Counters should have a matt or low sheen finish. [A&A professional opinion] |
| M | <u>Cafe/ Canteen/ Bar counters</u> Counter height of maximum 900mm AFFL recommended to allow safe collection of food and beverages. [A&A professional opinion] |

Reference 24.0 Emergency Evacuation

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| M | Emergency evacuation of people should be included in the design phase of a building and in consideration of the expected ability of the building's occupants. [A&A professional opinion] |
| M | Provide a space of minimum 1300x800mm within the fire stairs for a safe refuge for people with disabilities to wait for assistance to evacuate from the emergency services. Greater space should be provided where higher numbers of people with disabilities are expected within the building. [A&A professional opinion] |
| M | Provide a compliant path of travel, including door circulation spaces, to the emergency egress points. [A&A professional opinion] |
| M | Consideration of a fire isolated lift is recommended. [A&A professional opinion] |
| M | Visual strobe warning lights are recommended to alert people with hearing impairments of the need to evacuate. [A&A professional opinion] |
| M | Provide safe refuges for people to wait for assistance to evacuate the building. Braille and tactile signage indicating the location of the refuges and information about what to do within the refuge should be provided. [A&A professional opinion] |
| M | A means of communication with the emergency services from within the refuges is recommended. [A&A professional opinion] |
| M | Install all break glass door releases at 900-1100mm AFFL to allow use by a person with a disability. [A&A professional opinion] |
| M | Whilst a fire evacuation plan is the responsibility of the building occupants, it is recommended to include: |

Mitchell Childcare Centre (7210)
 Application Form 167621
 Architectural & Access Design

167621
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| | |
|---|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| M | Unobstructed sightlines should be provided between the staff and customer. [A&A professional opinion] |
| M | Where high level of interaction is likely to be required (e.g. writing), a minimum depth of 620mm for knee clearance is recommended. [AS1428.2:1992 Clause 24.1.4 / Figure 25] |
| M | Where minimal interaction is likely to be required (e.g. payments), a minimum depth of 400mm for knee clearance should be provided. [A&A professional opinion] |
| M | Where only verbal interaction is likely to be required, no open knee clearance is considered necessary. [A&A professional opinion] |
| M | A minimum width of 900mm is recommended. [AS1428.2:1992 Clause 24.1.5] |
| M | Circulation space of minimum 1540x2070mm is recommended on both the public and staff side of the counter. [A&A professional opinion] |
| M | Colours of counters are recommended which achieve a luminance contrast with the floor colour to assist people with low vision. [A&A professional opinion] |
| M | Counters should have a matt or low sheen finish. [A&A professional opinion] |
| M | <u>Utility Areas.</u> Manoeuvring space of 2070x1540mm in front of printers is recommended. [A&A professional opinion] |
| M | <u>Lockers/Pigeon Holes</u> A proportion of lockers/pigeon holes at 750-1200mm AFFL, including the height of locks and handles is recommended. A maximum depth of 300mm is recommended. [AS1428.2:1992 Clause 22.4 / Figure 23] |
| M | <u>Workstations</u> Height adjustable workstations are recommended with range of 650-1150mm AFFL. [A&A professional opinion] |
| M | <u>Seating</u> A proportion of seating with arm and back rests is recommended. [A&A professional opinion] |
| M | <u>Colour</u> Colour which provides a minimum 30% luminance contrast between joinery, seats, table and flooring colour to assist people with vision impairments is recommended. [A&A professional opinion] |
| M | <u>Payphones</u> Operative parts of public phones/ATM facilities should be located 900-1200mm AFFL. Phones installed according to "Accessibility of Payphones Industry Guideline" are recommended. [A&A professional opinion] |
| M | <u>Drinking fountains</u> Drinking fountains should be installed at 800-830mm AFFL with open knee clearance of 720mm under. A level landing with manoeuvring space of 1540x2070mm in front of the fountain should be provided. [A&A professional opinion] |

Reference 23.0 Food & Beverage Areas

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| M | <u>Tea Point/Kitchenette</u> Bench height of 850-870mm is recommended with open knee clearance under the sink. [AS1428.2:1992 Clause 24.1] |
|---|-----------------------------------------------------------------------------------------------------------------------------------------------|

Mitchell Childcare Centre (7210)
 Architectural Schematic Design

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| | <ul style="list-style-type: none"> ● Carpet pile height or pile thickness shall not exceed 11mm and the carpet backing thickness shall not exceed 4mm. [NCC/BCA D3.3(g)] |
| M | <ul style="list-style-type: none"> ● Recommend carpet pile height or pile thickness does not exceed 6mm and the carpet backing thickness should not exceed 4mm. [AS1428.1:2009 Clause 7.4.1 (a)] |
| H | <ul style="list-style-type: none"> ● Changes in level between abutting materials are to be maximum 3mm. Where edges are rounded or bevelled, changes in level are to be maximum 5mm. [AS1428.1:2009 Clauses 7.2 & 7.4.1 (c)] |
| H | <ul style="list-style-type: none"> ● Recessed matting levels are to be no more than 3mm above or below the surrounding level. (5mm if rounded or bevelled) (AS1428.1:2009 Clause 7.4.2) |
| H | <p><u>Unisex Accessible Sanitary Facilities</u></p> <ul style="list-style-type: none"> ● Floor gradient within the shower area is to be between 1:60 and 1:80. The floor gradient within the remaining facilities is to be between 1:80 and 1:100. [AS1428.1:2009 Clause 15.5.2 / Figure 49] |
| M | <ul style="list-style-type: none"> ● Gradient is to be self-draining. [A&A professional opinion] |
| H | <ul style="list-style-type: none"> ● Colour of flooring to provide a 30% luminance contrast with the white toilet seat. [AS1428.1:2009 Clause 15.2.3(e)] |
| M | <p><u>Best Practice Recommendations</u></p> <ul style="list-style-type: none"> ● All floor materials are recommended to be matt or low sheen to avoid glare for people with vision impairment. [A&A professional opinion] |
| M | <ul style="list-style-type: none"> ● Avoid highly patterned carpets, floor finishes or strongly contrasting lighting effects to reduce visual confusion for people with vision impairment. [A&A professional opinion] |
| M | <ul style="list-style-type: none"> ● Provide a minimum of 30% luminance contrast between floor and wall/skirting board colours to assist people with vision impairment. [A&A professional opinion] |
| M | <ul style="list-style-type: none"> ● Provide anti-static carpet to assist people who use hearing aids. [A&A professional opinion] |

Reference 20.0 Site Specific Areas

| | |
|---|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| M | <p><u>Parents' Rooms</u></p> <ul style="list-style-type: none"> ● Provide open knee clearance under sinks and change benches for parents with disabilities. [A&A professional opinion] |
| M | <ul style="list-style-type: none"> ● In child care centres, an additional row of visual indicators at 700mm AFFL is recommended. [A&A professional opinion] |
| M | <p><u>Playgrounds</u></p> <ul style="list-style-type: none"> ● Provide play equipment which children and parents with disabilities can enter and use. E.g. shop fronts, hammock swings, music toys, ramped access to some raised areas. Where access is not provided to upper levels, provide communication tubes to allow interaction between people at ground and upper levels. [A&A professional opinion] |

Reference 22.0 Joinery, Furniture & Fittings

| | |
|---|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| M | <p><u>Reception & Shop Counters</u></p> <ul style="list-style-type: none"> ● A lower section of counter at 850 +/- 20mm with a minimum clearance of 820 +/-20mm under the counter is recommended. [AS1428.2:1992 Clause 24.1] |
|---|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

Mitchell Childcare Centre (7210)
 Application Number: 167621
 Architect: Architecture & Access (Aust) Pty Ltd
 Architectural Design

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| | |
|---|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| M | Sign light switches with door furniture. [A&A professional opinion] |
| M | Provide a minimum 30% luminance contrast between the light switch and the wall surface. [A&A professional opinion] |
| M | <input type="radio"/> GPOs to be provided within 300mm of the front of tea point and kitchen benches. [AS1428.2:1992 Figure 23] |
| H | <input checked="" type="radio"/> Lighting Lighting levels are to be sufficient to provide safe movement within the building and are required to comply with AS1680.0. [NCC/BCA FP4.2 & F4.4 (b)] |
| M | <input type="radio"/> Levels in compliance with AS1428.2:1992 Clause 19.1 are recommended, including: <ul style="list-style-type: none"> • Toilets - 200lx • Kitchens - 300lx |
| M | <input type="radio"/> To allow for lip reading and sign language communication, lighting systems should provide even illumination which minimizes glare, reflections and shadows with a minimum lux level of 160lx. [AS1428.5:2010 Clause 8.3] |
| M | <input type="radio"/> Uplighting is not recommended where it is the only source of lighting and results in increased glare. [A&A professional opinion] |

Reference 17.0 Floor Finishes

| | |
|---|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| H | <input checked="" type="radio"/> All surfaces required to be slip resistant as determined by the use of the area, the gradient and location. The surface is required to be traversable by a person using a wheelchair, a person with an ambulant or sensory disability. [AS1428.1:2009 Clause 7.1 / HB198:2014 Table 3A] |
| H | <input checked="" type="radio"/> Slip resistance of paths of travel to be provided in accordance with NCC/BCA D2.13 & D2.14 when tested in accordance with AS4586. <p>Wet surfaces</p> <p>Step ramps & kerb ramps - P5 or R12</p> <p>Ramps with gradients between 1:14-1:20 - P4 or R11</p> <p>Stair treads and landings - P4 or R11</p> <p>Dry surfaces:</p> <p>Step ramps & kerb ramps - P4 or R11</p> <p>Ramps with gradients between 1:14-1:20 - P3 or R10</p> <p>Stair treads and landings - P3 or R10. TGSIs to provide the same level of slip resistance as above, as determined by the location. [NCC/BCA Table D2.14 / HB198:2014 Table 3A]</p> |
| M | <input type="radio"/> Slip resistance of all other floor surfaces to be provided according to ratings provided in HB198, including sanitary facilities to have P3/ R10. [HB198:2014 Table 3B] <p>Differential between the ratings of two adjoining surfaces to be no more than 2. [A&A professional opinion]</p> |
| M | <input type="radio"/> Maintenance & cleaning protocols should be developed by the building operator to ensure the required level of slip resistance is maintained over time. [A&A professional opinion] |

Mitchell Childcare Centre (7210)
 Application Number: Architectural Schematic Design

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Male/Female facilities

Sign to include raised, tactile Male/Female symbol, raised tactile text stating "Male Toilet" or "Female Toilet" and Braille information. [AS1428.1:2009 Clause 8.1(a)(B) / Figure 9(b)]

| | |
|---|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| | Ambulant Cubicles |
| H | <ul style="list-style-type: none"> ● Raised tactile and Braille signage stating "Male (Female) Ambulant Toilet" is to be provided on the door of the cubicle 1250-1350mm AFFL. [NCC/BCA D3.6(d) / AS1428.1:2009 Clause 16.4 & Clause 8.1 / Figure 9(c) (amended)] |
| M | <ul style="list-style-type: none"> ○ Include ambulant toilet sign, in addition to the Male/Female sign at the entrance door to the sanitary facility. [A&A professional opinion] |
| | Hearing Augmentation |
| H | <ul style="list-style-type: none"> ● Raised tactile Braille signage, including the international symbol for deafness is required to be displayed where a hearing augmentation system is provided. It is to include the type of system used, information on the area covered and where receivers can be obtained. [NCC/BCA D3.6 (b)] |
| | Best Practice & Wayfinding Signage |
| M | <ul style="list-style-type: none"> ○ Raised tactile and Braille maps are recommended to assist wayfinding. They should be located within 2m of the entrance to the building/property and other locations, as deemed necessary, at a height of 1000-1700mm AFFL. Locate the maps on the left hand side of the entrance, where possible. Provide a legend on the map to explain the tactile information. [A&A professional opinion] |
| M | <ul style="list-style-type: none"> ○ Use everyday language and include standardised symbols, where available. [A&A professional opinion] |
| M | <ul style="list-style-type: none"> ○ Recommend all room identifying signage is provided with raised tactile, Braille information to assist people with vision impairments. [A&A professional opinion] |
| M | <ul style="list-style-type: none"> ○ Avoid use of green, yellow & red colours together. Many people with colour blindness cannot distinguish these colours. [A&A professional opinion] |
| M | <ul style="list-style-type: none"> ○ Use title case for all signage. [A&A professional opinion] |
| M | <ul style="list-style-type: none"> ○ Use different colours and symbols to identify different levels and areas in the building to assist people with way finding. [A&A professional opinion] |
| M | <ul style="list-style-type: none"> ○ Tactile maps can assist wayfinding if they are well designed, uncomplicated, use recognisable symbols and well located within 2m of the building entrance. [A&A professional opinion] |
| M | <ul style="list-style-type: none"> ○ Signs should be located in a consistent position in relation to the accessible path of travel. (E.g. on the left side.) [A&A professional opinion] |
| M | <ul style="list-style-type: none"> ○ Locate signage in areas that are well lit, without back lighting. (I.e. not on a glazed wall.) [A&A professional opinion] |

Reference 16.0 Switches, GPOs & Lighting

| | |
|---|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| H | <ul style="list-style-type: none"> ● Switches to be located 900-1100mm AFFL and not within 500mm of an internal corner, except where provided on the architrave. [AS1428.1:2009 Clause 14.1] |
| H | <ul style="list-style-type: none"> ● Switches in UAWCs and accessible sole occupancy units to be minimum 30x30mm or 25mm for push pad switches. [AS1428.1 Clause 14.2] |
| H | <ul style="list-style-type: none"> ● GPOs in UAWCs and accessible sole occupancy units to be located 600-1100mm AFFL and not within 500mm of an internal corner. [AS1428.1:2009 Clause 14.2] |

Mitchell Childcare, Centre (7210)
 Application Number: 167621
 Architectural & Access Design

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| | |
|---|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| | Signage to provide minimum 30% luminance contrast between the sign background and the surface on which it is mounted. A border of minimum 5mm width can be used to provide this contrast. [NCC/BCA Specification D3.6 Clause 4(a)] |
| H | Signage to provide 30% luminance contrast between text/symbols & sign background. [NCC/BCA Specification D3.6 Clause 4(b)] |
| H | <u>Symbols, Text & Braille</u> International symbol of access and deafness to be provided as white on blue symbol in proportions required by AS1428.1:2009 Figures 10, 11 & 12. |
| H | The figure in the wheelchair on the international symbol of access is to face to the right. [AS1428.1:2009 Clause 8.2.1(a)] |
| H | International symbol of access and deafness may be used without explanatory text. [AS1428.1:2009 Clause 8.1] |
| H | Signs are required to include raised tactile text, Braille and where required, symbols. [AS1428.1:2009 Clause 8.1 (c)] |
| H | Text is to be horizontal. [AS1428.1:2009 Clause 8.1 (c)] |
| H | Arial font in title case is required for all raised tactile text. Tactile text is to be raised 1-1.5mm, left justified (unless a single word, which may be positioned centrally) with size of letters and distance between letters and words to comply with NCC/BCA Specification D3.6 Clause 3(a),(b),(g),(h),(i) & (k). |
| H | Braille information which fully describes the visual information is required. [AS1428.1:2009 Clause 8.1 (a)(i)(D)] |
| H | Braille is to be Grade 1 Braille in accordance with Australian Braille Authority criteria, left justified, located 8mm below the text. [NCC/BCA Specification D3.6 Clause 6(a)] |
| H | A separate block of Braille may be located adjacent to the sign where it is not possible to include all Braille between 1200-1600mm AFFL. |
| H | A solid tactile arrow is to be used in the Braille text, if arrows are included in the text of the sign. [NCC/BCA Specification D3.6 Clause 6(e)] |
| H | A semi-circular Braille locator, aligned with the first line of Braille is required on signs with multiple lines of text and characters. [NCC/BCA Specification D3.6 Clause 6(f)] |
| M | All signs are recommended to include raised tactile and Braille elements. [A&A professional opinion] |
| H | <u>Unisex Accessible Sanitary Facilities</u> Sign to include raised, tactile international symbol of access and Male & Female symbols. [AS1428.1:2009 Clause 8.1 (a)(i) / Figure 9(a)] |
| H | Raised tactile text is to state "Unisex Toilet" & "LH" or "RH" to indicate if a left or right handed transfer is provided. [AS1428.1:2009 Clause 8.1 (a) / Figure 9(a)] |
| H | Braille stating "Unisex Accessible Toilet LH" or "RH" is required. [AS1428.1:2009 Clause 8.1 (a) / Figure 9(a)] |
| M | Where showers are provided, signage including the shower symbol is recommended. [A&A professional opinion] |
| H | At any bank of toilets which does not contain an accessible facility, directional signage to the accessible facility is required. [NCC/BCA D3.6 (f)] |

Mitchell Childcare Centre (7210)
 Application Number: Architectural Design

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| | |
|---|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| | Consideration should be given to how the storage and charging of the receivers will be managed. |
| H | The white on blue international symbol for deafness is required to comply with AS1428.1:2009 Clause 8.2. |
| H | ● Raised tactile Braille signage, including the international symbol for deafness is required to be displayed where a hearing augmentation system is provided. It is to include the type of system used, information on the area covered and where receivers can be obtained. [NCC D3.6 (b)] |
| M | ● In addition to mandatory requirements, signage is recommended at building entrances & directories, on venue maps, in the front third of rooms covered by a system, at regular intervals in large open spaces and at locations receivers can be collected. [A&A professional opinion] |
| M | ● To allow for lip reading and sign language communication, lighting systems should provide even illumination which minimizes glare, reflections and shadows with a minimum lux level of 160lx. [AS1428.5:2010 Clause 8.3] |
| M | ● Building design which assists people with hearing impairments is recommended. This includes design of room shape which allows a person to be close to the speaker and have a direct line of sight. The minimization of background noise & reverberation should also be considered. [AS1428.5:2010 Clauses 2.2 / AS2107:2010 re sound levels and reverberation times] |
| M | ● Emergency evacuation strobe lights are recommended in areas where people are likely to be alone. [A&A professional opinion] |

Reference 15.0 Signage

| | |
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| ● H | Compliance with NCC/BCA Clause D3.6 & Specification D3.6 is required. |
| ● H | <u>Location</u> Signs to be located 1200-1600mm AFFL. Signs with single line of characters to be 1250-1350mm AFFL. [NCC/BCA Specification D3.6 Clause 2 (a) & (b)] |
| ● H | Signs to be located on the latchside of the door - 50-300mm from the architrave. Where this is not possible signs may be placed on the door. [NCC/BCA Specification D3.6 Clause 2 (c)] |
| ● M | Where a sign can be temporarily obscured e.g. in a crowd, the sign should be placed at a height of not less than 2000mm AFFL. [A&A professional opinion] |
| ● H | Directional signage is required at building entrances which are not accessible and at banks of toilets which do not have an accessible sanitary facility to direct a person to closest accessible entrance or facility. [NCC/BCA D3.6 (e) & (f)] |
| ● H | Signage to be provided at fire exit doors stating 'Exit' and 'Level' followed by the floor level number with raised tactile text and Braille. [NCC/BCA D3.6 (a)(ii)] Signage is required on the latchside of the door, 50-300mm from the architrave. Where this is not possible signs may be placed on the door. [NCC/BCA Specification D3.6 Clause 2 (d)] |
| ● H | <u>Finishes</u> All signs required to have rounded edges and symbols. [NCC/BCA Specification D3.6 Clause 3(c)] |
| ● H | Signage, including background, characters, symbols & logos are to have matt or low sheen finishes. [NCC/BCA Specification D3.6 Clause 3(e) & (f)] |

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An accessible shower is recommended in any location a shower is required by NCC/BCA. [A&A professional opinion]

Shower Fixtures and Fittings

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| H | Horizontal grabrail is to be minimum 660mm long at 800-810mm AFFL and located no more than 390-400mm from the internal corner. A vertical grabrail is to be provided 580-600mm from the side wall and extending from 1000-1100mm AFFL maximum, up to 1880-1900mm AFFL minimum. [AS 1428.1:2009 Clauses 15.5.4 & 17 / Figure 49] |
| H | Hand held shower head with a hose length of minimum 1500mm is required. Water outlet is required at 700 +/-5 mm AFFL. A water back flow device may be required to comply with plumbing standards. [AS1428.1:2009 Clause 15.5.6 / Figure 48] |
| H | Taps and soap dispensers are to be provided 900-1100mm AFFL, no less than 300mm & no more than 800mm from the internal corner and 50mm clear of the grabrail. [AS1428.1:2009 Clauses 15.5.4 & 15.5.5 / Figure 48] |
| H | Shower seat of minimum 1000x390mm is to be provided at 470-480mm AFFL, installed to withstand a force of 1100N. The seat is to be self draining, slip resistant and with rounded edges. [AS1428.1:2009 Clause 15.5.9] |
| H | Shower seat is to be no more than 40mm from the side wall. [AS1428.1:2009 Clause 15.5.1 (b) / Figure 47] |
| M | Shower seat with legs is preferred for greater stability of the seat. [A&A professional opinion] |
| H | Two clothes hooks are to be provided, one hook at 400+/-10mm from the seat and the second hook at 600+/-10mm from the seat, at a height of 1200-1350mm AFFL. [AS1428.1:2009 Clause 15.5.10 / Figure 47] |
| M | Shower curtain with a weighted hem is preferred as it reduces the curtain moving. [AS1428.1:2001 Clause 10.5.3(a)] |

Reference 14.0 Hearing Augmentation

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| H | Where an inbuilt amplification system is installed (other than one used only for emergency warning) hearing augmentation systems must be provided in accordance with NCC, including Class 9b buildings, auditoriums, conference & meeting rooms, rooms used for judiciary purposes and at any ticket office or teller's booth where the public is screened from the service provider. [NCC Clause D3.7 (a)] |
| H | The extent of coverage of the hearing augmentation system is determined by the type of system. Induction loops must cover no less than 80% of the area. Radio transmitters or infra red systems and must cover no less than 95% of the area. [NCC D3.7 (b)(i) & (ii)] |
| H | The number of receivers provided is required to be no less than 2 plus one receiver for every 25 people in rooms which accommodate up to 500 people. For rooms which accommodate more than 500 people the number of receivers must comply with NCC Clause D3.7 (b) |
| H | Any screen or scoreboard capable of displaying public announcements, associated with a Class 9b building, is required to be capable of supplementing the public address system. [NCC D3.7 (d) / AS 1428.5: 2010 Clause 7.1] |
| M | Hearing augmentation systems are recommended for all auditory equipment, including televisions. [A&A professional opinion] |
| R | It is recommended specialist advice is sought from qualified providers & installers of hearing augmentation systems. |

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| | Where it is provided as a separate fixture within any circulation space, it is to have a width of 120-150mm and length of 300-400mm and is to be provided at 900-1000mm AFFL. [AS1428.1:2009 Clause 15.4.2 (b)(i)] |
| | Where it is provided as a separate fixture outside any circulation space, it is to have a minimum size of 120x400mm and is to be provided at 790-1000mm AFFL. [AS1428.1:2009 Clause AS1428.2:2009 Clause 14.4.2(b)(ii)] |
| H | ● Soap dispensers, towel dispensers and hand dryers are required to have their operative components at 900-1100mm AFFL, be operable with one hand and be no less than 500mm from an internal corner. [AS1428.1:2009 Clause 15.4.3] |
| M | ● Install all dispensers within easy reach of a person at the basin. [A&A professional opinion] |
| | <u>Other Fixtures and Fittings</u> |
| H | ● Mirror, where provided, is required to extend from maximum 900mm to minimum 1850mm AFFL. If a second mirror is provided it is required to extend from minimum 600mm to minimum 1850mm AFFL. [AS1428.1:2009: Clause 15.4.1] |
| H | ● Coat hook to be provided at 1200-1350mm AFFL and be no less than 500mm from an internal corner. [AS1428.1:2009 Clause 15.4.4] |
| H | ● Baby change tables, where provided, are to be mounted at maximum 820mm AFFL with minimum 720mm AFFL clearance. [AS1428.1:2009 Clause 15.2.8.2] |
| H | ● Baby change tables are not to intrude into any circulation spaces, unless the table is fully recessed. [AS1428.1:2009 Clause 15.2.8] |
| M | ● Vertical baby change tables are recommended. [A&A professional opinion] |
| M | ● All baby change tables are recommended to be fully recessed. [A&A professional opinion] |
| H | ● Sharps containers, cabinets, dispensers are required to be operable by one hand with the operable components mounted 900-1100mm AFFL and no less than 500mm from an internal corner. [AS1428.1:2009 Clause 15.4.3] |
| H | ● Wall cabinets, where provided within a circulation space are to be mounted no lower than 900mm and protrude no more than 150mm into the circulation space. The top shelf of the accessible area is to be no more than 1250mm AFFL. [AS1428.1:2009 Clause 15.2.8.1 (g)] |
| M | ● Locker facilities should be located outside the accessible sanitary facility to allow access even when the accessible sanitary facility is in use. [A&A professional opinion] |
| | <u>Showers</u> |
| H | ● Shower circulation space of minimum 1600x2350mm is required or as detailed in AS1428.1:2009 Figure 47. The washbasin must not encroach into this space. The grabrails, shower hose fittings, taps, soap holder, shelf and shower seat are the only fixtures permitted in the space. [AS1428.1:2009 Clause 15.5.1 (a) / Figure 47] |
| H | ● The shower recess area must be 1100x1160mm and have a gradient of between 1:60 and 1:80. The remaining floor area is required to have a gradient of between 1:80 and 1:100. [AS 1428.1: 2009 Clause 15.5.2(c) & (d)] |
| H | ● The shower waste must be located 580+/-25mm from the side wall with the shower seat and 550+/-25mm from the wall with the shower head. [AS1428.1:2009 Clause 15.5.2 / Figure 47] |
| H | ● Where two or more showers are provided, at least one shall be of the opposite hand. [AS1428.1:2009 Clause 15.5.1 (c)] |

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| | WC seat is to provide a minimum luminance contrast of 30% with the floor, wall or WC pan. The seat is to be of the full round type, securely fixed with buffers which prevent sideways movement, be load rated to 150kg and remain upright when fully raised. [AS1428.1:2009 Clause 15.2.3] |
| M | WC seat luminance contrast with the WC pan is preferred. [A&A professional opinion] |
| H | Back rest is to be provided to the toilet pan which is 350-400mm wide, positioned with the lower edge at 120-150mm above the seat and with an angle of 95-100 degrees between the seat hinge and the centre of the backrest. The backrest must be capable of withstanding a force of 1100N provided in any direction. [AS1428.1:2009 Clause 15.2.4 / Figure 39] |
| H | Flush controls are to sit proud of the surrounding flush plate and be located 600-1100mm AFFL on the centreline of the pan OR in the area detailed in AS1428.1:2009 Figure 40. Controls must not be located in an area required by other fixtures. [AS1428.1:2009 Clause 15.2.5 / Figure 40] |
| H | Top of horizontal grabrails are to be located at 800-810mm AFFL and installed to withstand 1100N of force in any direction. An L-shaped grabrail is to be installed with the vertical section 200-250mm in front of the pan and extend up to a height of minimum 1400mm AFFL OR an angled grabrail is to be installed with the bend located 100-150mm in front of the pan and extend for minimum 700mm at an angle of 30-45 degrees. Grabrail is to extend to min 450mm from the edge of the pan on the rear wall. Where the cistern is not concealed, the grabrail is required to be min 300mm long and max 50mm from cistern. [AS1428.1:2009 Clause 15.2.7 / Figure 42] |
| H | Toilet paper holder outlet is to be no more than 300mm from the front of the pan, no more than 700mm AFFL and no less than the WC seat height of 460-480mm. [AS1428.1:2009 Clause 15.2.6 / Figure 41] |
| M | Toilet paper holder outlet is recommended at no less than 550mm AFFL for greater ease of use. [A&A professional opinion] |
| H | Washbasins Basin circulation space of 1500x850mm is required. The basin must be installed at a height of 800-830mm AFFL with open knee clearance under, as detailed in AS1428.1:2009 Figure 44 (A) & (B). |
| M | Front of wall basin is recommended to be minimum 430mm from the wall to the front of the basin. [A&A professional opinion] |
| H | The centreline of the basin is required to be minimum 425mm from a side wall. [AS1428.1:2009 Clause 15.3.1 / Figure 44 & 45] |
| M | The centreline of the basin is recommended to be 600mm from the side wall to ensure adjacent fixtures such as hand dryers do not restrict a person using the basin. [A&A professional opinion] |
| H | The basin may intrude into the door circulation space in some configurations as detailed in AS1428.1:2009 Figures 51(A) & 51(B). The basin is required to be no less than 300mm from the arc of the door. [AS1428.1:2009 Clause 15.6 (b)(iii) / Figures 51(A) & (B)] |
| H | Basin taps are to be lever or sensor taps or similar. The operable parts are required to be no more than 300mm from the front of the basin. [AS1428.1:2009 Clause 15.2.1 / Figure 44 (A) & (B)] |
| H | Washbasin Fixtures & Fittings Shelf is required adjacent to the basin. [AS1428.1:2009 Clause 15.4.2] Where it is provided as part of the vanity top it is to have a minimum size of 120x300mm and is to be at 800-830mm AFFL. [AS1428.1:2009 Clause 15.4.2(a)] |

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ESCALATORS & MOVING WALKWAYS

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| <input type="checkbox"/> | TGSIs are required, set 300mm back from the moving handrail, for a depth of 600-800mm. [AS1428.4.1:2009 Clause 2.4 / Figure 2.4] |
| <input checked="" type="checkbox"/> | TGSIs to provide luminance contrast of minimum 30% for integrated units, 45% for discrete indicators and 60% for composite indicators. [AS1428.4.1:2009 Clause 2.2] |
| <input type="checkbox"/> | Contrast nosings strips on escalator treads are recommended. Nosing strips should be 50-75mm depth across the full width of the tread, set back maximum 15mm from nosing and achieve minimum 30% luminance contrast against the background surface, as required by AS1428.1:2009 Clause 11.1. [A&A professional opinion] |

Reference 11.0 Unisex Accessible Sanitary Facilities

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| <input type="checkbox"/> | UAWC facility is required on every level where male & female sanitary facilities are provided in buildings Class 5-9. Where more than one bank of sanitary facilities are provided, UAWCs are required at a minimum of 50% of those banks. If male & female facilities are provided in separate locations, UAWCs are only required at one of those locations. [NCC/BCA F2.4 / Table F2.4 (a)] |
| <input type="checkbox"/> | UAWC facility is required in Class 1b, 3, 9c buildings in every accessible sole occupancy unit provided with a sanitary facility. [NCC/BCA F2.4 / Table F2.4 (a)] |
| <input type="checkbox"/> | UAWC facility is required in Class 2 buildings where facilities are provided in common areas. [NCC/BCA F2.4 / Table F2.4 (a)] |
| <input type="checkbox"/> | UAWCs are required to be located in an area that can be entered by both genders. [NCC/BCA F2.4 (f)] |
| <input type="checkbox"/> | UAWCs are required to contain a WC pan, washbasin, shelf and means of disposal of sanitary towels. [NCC/BCA F2.4 (d)] |
| <input type="checkbox"/> | Where more than one UAWC is required, the number of right and left handed configurations is to be provided as equally as possible. [NCC/BCA F2.4 (g)] |
| <input type="checkbox"/> | Compliant circulation spaces are required around all fixtures & fittings and the door. Circulation spaces may overlap. [AS1428.1:2009 Clause 13 & 15.6 / Figure 50, 51 & 52] |
| <input type="checkbox"/> | Provide room sizes which include construction tolerance and allowance for wall finishes. |
| <input type="checkbox"/> | <u>Toilet</u> WC pan circulation space of 1900x2300mm is required. The washbasin must not encroach into this space by more than 100mm and as permitted by AS1428.1:2009 Figure 43. [AS1428.1:2009 Clause 15.2.8.1 / Figure 43] |
| <input type="checkbox"/> | Fittings which are mounted at 900mm minimum and are detailed in AS1428.1:2009 Clause 15.2.8.1 including grabrails, dispensers, hand dryers are the only items permitted within the WC circulation space. Cabinets and dispensers cannot protrude more than 150mm. [AS1428.1:2009 Clause 15.2.8 / Figure 43] |
| <input type="checkbox"/> | WC pan circulation space is recommended to be provided outside the shower seat in its folded down position. [A&A professional opinion] |
| <input type="checkbox"/> | The centreline of the WC pan is to be 450-460mm from the side wall. The front of the WC pan is to be located 800-810mm from the rear wall. [AS1428.1:2009 Clause 15.2.2 / Figure 38] |
| <input type="checkbox"/> | WC seat height is to be 460-480mm AFFL. [AS1428.1:2009 Clause 15.2.2 / Figure 38] |

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| | A handrail adjacent to all control panels is recommended. [A&A professional opinion] |
| | <u>Internal Control Panel.</u> |
| H | One control panel is required to provide all control buttons and security devices between 700mm and 1250mm AFFL. [AS1735.12:1999 Clause 7.3.1 & 7.3.4] |
| H | All control buttons are to be located no less than 300mm from the internal corner of the lift when the buttons are located adjacent to the door. When the buttons are located on a side wall, the buttons must be no less than 400mm from an internal corner. [AS1735.12:1999 Clause 7.3.2] |
| H | Visual information (at minimum 1800mm AFFL) and auditory information is to be provided, identifying the level which the lift has stopped at. [AS1735.12:1999 Clause 8.6.1 & 8.1] |
| H | Emergency hands free communication button, including a light to indicate that the call has been received by the call centre. [NCC/BCA Table E3.6 (b)] |
| | <u>Lift Car & Landing Control Buttons</u> |
| H | All control buttons are to be minimum 19mm in size and be continuously lit or have a contrasting colour around the border, no less than 3mm wide. The distance between buttons is to be no less than 10mm. [AS1735.12:1999 Clause 7.4] |
| H | Braille and tactile information is to be located on the button or adjacent to it with tactile characters no less than 10mm high. [AS1735.12:1999 Clause 7.4] |
| H | The communication button must be located at the lower right hand corner of the control panel. [AS1735.12:1999 Clause 7.2.2] |
| H | Constant pressure buttons cannot be used in fully enclosed lifts. [NCC/BCA E3.6 (c)] |
| | <u>LOW RISE PLATFORM LIFT</u> |
| H | Must not travel more than 1000mm. [NCC/BCA Table E3.6(a)] |
| M | Provide handrail. [A&A professional opinion] |
| | <u>STAIRWAY PLATFORM LIFTS</u> |
| H | Part 7 lifts cannot be used in the following locations: - in areas where it is possible to install a different type of lift - in buildings accommodating more than 100 people - in high traffic public areas such as theatres, shopping centres, transport centres - to connect more than 2 storeys or 2 consecutive storeys where more than 1 lift is installed - when in the folded up position, the stairway width cannot be reduced below 1000mm, or as required by NCC/BCA D1.6. [NCC/BCA Table E3.6 (a)] |
| H | Lift platform size to be minimum 810x1200mm. [NCC/BCA Table E3.6(b)] |
| H | Passenger protection system if the door is automated. [NCC/BCA Table E3.6(b)] |
| | <u>LOW RISE CONSTANT PRESSURE LIFT</u> |
| H | Enclosed types - must not travel more than 4m. Unenclosed types - must not travel more than 2m. [NCC/BCA Table E3.6(a)] |
| H | Must not be used in high traffic public areas including theatres, cinemas, transport interchange, shopping centres or similar. [NCC/BCA Table E3.6(a)] |

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the riser by more than 10mm max, and not to project beyond the face of the riser. [AS1428.1:2009 Clause 11.1 (f), (g)]

Handrails are recommended on both sides of the fire stairs. [A&A professional opinion]

TGSIs are recommended where the fire stairs are used regularly for travel between floors. [A&A professional opinion]

Reference 10.0 Lifts, Escalators & Moving Walkways

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| H | <ul style="list-style-type: none"> ALL LIFTS - Except Part 7 Stairway Platform Lift <p>Lift car size to be minimum 1100x1400mm for lifts which travel less than 12m. [NCC/BCA Table E3.6(b)]</p> |
| H | <ul style="list-style-type: none"> Lift car size to be minimum 1400x1600mm for lifts which travel 12m or more. [NCC/BCA Table E3.6(b)] |
| M | <ul style="list-style-type: none"> All lift cars are recommended to be 1400x1600mm to allow a carer to accompany a person with a disability. [A&A professional opinion] |
| H | <ul style="list-style-type: none"> A minimum clear door opening width of 900mm is required. [AS1735.12:1999 Clause 2] |
| H | <ul style="list-style-type: none"> The door is to remain open for a minimum of 6 seconds or where there are more than 3 lifts, 8 seconds. [AS1735.12:1999 Clause 4.3] |
| H | <p><u>Lift Landing.</u></p> <ul style="list-style-type: none"> Lift call buttons, with Braille and tactile information, to be located 900-1200mm AFFL and no less than 500mm from an internal corner. [AS1735.12 Clause 7.3.1 & 7.3.3] |
| M | <ul style="list-style-type: none"> Lift call buttons recommended to provide a luminance contrast against the surrounding wall colour. [A&A professional opinion] |
| H | <ul style="list-style-type: none"> Visual and audible information to be provided on the landing to indicate the arrival of a lift and the direction of travel. [NCC/BCA Table E3.6 (b) / AS1735.12:1999 Clause 8.5 (b)] |
| M | <ul style="list-style-type: none"> Where there is more than one lift, audible information should be provided above or immediately adjacent to the lift door to assist people with low vision identify which lift has arrived. [A&A professional opinion] |
| H | <p><u>Lift Car.</u></p> <ul style="list-style-type: none"> Door protection systems required in compliance with AS1735.12:1999 Clause 4.2. [NCC/BCA Table E3.6 (b)] |
| H | <ul style="list-style-type: none"> Audible information to be provided within the lift to identify each time the car stops. [NCC/BCA Table E3.6 (b)] |
| H | <ul style="list-style-type: none"> Lighting to be in accordance with AS1735.12:1999 Section 10. [NCC/BCA Table E3.6 (b)] |
| M | <ul style="list-style-type: none"> Surfaces within 300mm of the control buttons are to have a finish which reduces glare. [AS1735.12:1999 Clause 5.1] |
| H | <p><u>Handrail - (all lifts except Low Rise Platform & Stairway Platform Lifts)</u></p> <ul style="list-style-type: none"> Handrail, 30-50mm diameter, minimum 600mm long, at a height of 850-950mm is required to be provided no more than 500mm from any control button required to operate the lift. Where more than one control panel is provided, the handrail shall be provided adjacent to at least one control panel.[AS1735.12:1999 Clause 5.3 / Figure 5.3.2] |

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| | Handrails in Class 9b primary schools are to have a second handrail provided at 665-750mm above the nosing. [NCC/BCA D2.17 (a)(iii)(B)] |
| M | Handrails which provide a luminance contrast with the background surfaces are recommended. [AS1428.2:1992 Clause 10.1.2(c)] |
| | Stair Nosings Contrast nosing strip to be 50-75mm depth across the full width of the step, set back maximum 15mm from nosing and achieve minimum 30% luminance contrast against the background surface. Luminance contrasting strip is not to extend down the riser by more than 10mm max, and not to project beyond the face of the riser. [AS1428.1:2009 Clause 11.1 (e), (f), (g)] |
| H | Stair nosings are to have a slip resistance rating of minimum P3 in dry areas and P4 in wet areas. [NCC/BCA Clause D2.14(a)(ii)(B) / Table D2.14] |
| | Tactile Ground Surface Indicators (TGSIs) At the property boundary, stairs are required to be set back from the transverse path of travel so the TGSIs and handrails do not protrude into that path of travel. [AS1428.1:2009 Clause 11.1 (a) / Figure 26(A)] This typically requires a set back of minimum 900mm. |
| H | TGSIs to be set back 300mm from the top and base of the stairs for a depth of 600-800mm across the full width of the stair. [AS1428.4.1:2009 Clause 2.4 / Figure 2.3 (b)] |
| H | TGSIs to be provided to intermediate landings of a stair for a depth of 300mm when the handrails are continuous and the landing is less than 3000mm deep. [AS1428.4.1:2009 Clause 2.4 / Figure 2.2(B) & 2.3 (A)] |
| H | TGSIs to be provided to intermediate landings for a depth of 600-800mm when the landing is more than 3000mm deep or the handrails are not continuous. [AS1428.4.1:2009 Clause 2.4 / Figure 2.2(B) & 2.3 (A)] |
| H | TGSIs can be provided to stairs within stair wells for a depth of 300mm where the landing is less than 3000mm deep. [AS1428.4.1:2009 Clause 2.4 / Figure 2.2(B)] |
| H | TGSIs to provide luminance contrast of minimum 30% for integrated units, 45% for discrete indicators and 60% for composite indicators. [AS1428.4.1:2009 Clause 2.2] |
| H | Where TGSIs are not required by the NCC/BCA (e.g. residential aged care facilities), provide a raised tactile domed button 4-5mm high and 10-12mm in diameter. The button is to be provided 150+/-10mm from the end of the handrail. [AS1428.4.1 Clause 2.4] |
| | Open Soffit Where an open soffit exists under the stairs and the clear head height is less than 2000mm AFFL, TGSIs are required unless another suitable barrier is provided. [AS1428.4.1 Clause 2.6 / Figure 2.6 (amended 2010)] |
| M | It is strongly recommended that all stair soffits are enclosed or alternative barriers are provided. [A&A professional opinion] |
| | Fire Isolated Stairs Handrails are required to be 865-1000mm above the nosing and be a consistent height. [AS1428.1:2009 Clause 12 (d) & (e) / Figure 26(A) & (B)] |
| H | Handrails are to be circular or elliptical with 30-50mm diameter and fixings which do not intrude into the uppermost 270 degrees to allow free passage of the hand. [AS1428.1:2009 Clause 12 / Figure 29] |
| H | Contrast nosing strip to be 50-75mm depth across the full width of the step, set back maximum 15mm from nosing and achieve minimum 30% luminance contrast against the background surface. Luminance contrasting strip is not to extend down |

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| | Access is required to be provided to at least one of every type of room or space for use in common by residents, including laundry, gym, games room, swimming pool, rubbish rooms. [NCC/BCA Table D3.1] |
| H | Access is required to be provided to common rooms and spaces located on levels which are accessible via a ramp or lift. [NCC/BCA Table D3.1] |
| X | <u>Class 5, 6, 7b & 8 Buildings</u> Access, via ramp or lift, need not be provided to a storey or level, other than the entrance storey, if the building contains not more than 3 storeys and each storey has a floor area of not more than 200m ² . The ground storey may exceed 200m ² . [NCC/BCA Clause D3.3(f)] |

Reference 9.0 Stairs

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| H | Stairs are required to be set back from a transverse path of travel so the handrails do not protrude into that path of travel. This typically requires a set back of approximately 700mm. [AS1428.1:2009 Clause 11.1 (a) / Figure 26B] |
| H | All stairs are required to comply with AS1428.1:2009 Clause 11, except fire isolated stairs and in areas exempt under D3.4. [NCC/BCA D3.3(a)(ii)] |
| H | Stair tread and riser dimensions must be provided in accordance with BCA Specification D2.13. |
| M | Tread widths of 275mm–300mm and riser heights of 150mm–165mm are preferred. [AS1428.2:1992 Figure 8] |
| H | Stair treads and nosings must not project beyond the face of the riser. An angled riser with a maximum set back of 25mm may be provided. (AS1428.1:2009 Clause 11.1(d) / Figure 27(A) & (B)) |
| H | Risers are to be opaque. [AS1428.1:2009 Clause 11.1 (c)] |
| H | <u>Handrails</u> Stairs are required to be set back from a transverse path of travel so the handrails do not protrude into that path of travel [AS1428.1:2009 Clause 11.1 (b) / Figure 26 (B)] . This typically requires a set back of approximately 700mm. |
| H | Handrails are required to be 865-1000mm above the nosing and be a consistent height through the stairs and landings. [AS1428.1:2009 Clause 12 (d) & (e) / Figure 26(A) & (B)] |
| H | Handrails are required on both sides of the stairs, extending 300mm horizontally at the top of the stairs and one tread width inclined plus 300mm horizontally at the base of the stairs. [AS1428.1:2009 Clause 11.2 (b), (d) & (e) / Figure 28] |
| H | Handrails are required to turn down 180 degrees or return to the post or wall according to AS1428.1:2009 Figure 26(C)&(D). [AS1428.1:2009 Clause 12 (g) / Figure 26 (C) & (D)] |
| H | Handrails are to be circular or elliptical with 30-50mm diameter. The handrail is to allow free passage of the hand and have no obstructions or fixings in the uppermost 270 degrees. [AS1428.1:2009 Clause 12 (b) / Figure 29] |
| H | Handrails are to have a minimum clearance of 50mm between the handrail and any adjacent wall or obstruction and to have a vertical clearance of not less than 600mm above the handrail. [AS1428.1:2009 Clause 12(h)] |

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| | The continuous accessible path of travel shall not include a step, stairway, turnstile, revolving door, escalator, moving walkway or other impediment. [AS1428.1:2009 Clause 6.1] |
| H | Path of travel to be a minimum width of 1000mm and 2000mm high, except at doorways. [AS1428:2009 Clause 6.2 & 6.3 / Figure 2] |
| H | Fixtures such as door handles mounted below 900mm AFFL, fire hose reels & extinguishers, telephones, skirting boards and other similar objects are not to intrude into the unobstructed width of the path of travel. [AS1428:2009 Clause 6.3 / Figure 2] |
| M | Path of travel width recommended to be 1800mm for main paths, 1500mm for secondary paths & 1200mm for all paths. [AS1428.2 Clause 6.4] |
| M | Where no line of sight is possible along paths of travel, provide 1800mm paths to allow passing. [A&A professional opinion] |
| M | Curved paths to be minimum 1500mm wide. [A&A professional opinion] |
| H | <u>Turning Spaces</u> Where there is a change in direction of between 60 degrees and 90 degrees, a level landing of minimum 1500x1500mm wide to be provided as a turning space. Turning space may be splayed across the internal corner. [AS1428.1:2009 Clause 6.5.1 / Figure 4 (amended 2010)] |
| H | Where the path is less than 1200mm wide and there is a change in direction of between 30 degrees and 60 degrees, a splay across the internal corner of minimum 500x500mm is to be provided. [AS1428.1:2009 Clause 6.5.2] |
| M | Where there is a change in direction of more than 90 degrees, turning spaces, 2070mm long x 1540mm wide to be provided at maximum 20m intervals and within 2m of the end of an accessway. An intersection of accessible paths of travel satisfies the requirements for turning spaces. [NCC/BCA D3.3 (c)(ii) & (d) / AS1428.1:2009 Clause 6.5 / Figure 5] |
| H | <u>Passing Spaces</u> Passing spaces 2000x1800mm to be provided at maximum 20m intervals where a direct line of sight is not possible. [NCC/BCA D3.3 (c)(i) / AS1428.1:2009 Clause 6.4] |
| M | Provide passing spaces at maximum 20m intervals in all locations. [A&A professional opinion] |
| H | <u>Hazards</u> The minimum unobstructed vertical clearance on paths of travel to be 2000mm. [AS 1428.1:2009 Clause 6.2] Where the vertical clearance is less than 2000mm and the area is not protected by another form of barrier (eg planters, fixed seating), TGSIs must be provided, set back 300+/-10mm from where the head height is reduced to 2000mm for a depth of 600-800mm. [AS1428.4.1:2009 Clause 2.6 Figure 2.6 amended 2010] |
| M | Enclose all areas with reduced head height. [A&A professional opinion] |
| H | <u>Class 1b, 2, 3 & 9c Buildings</u> A continuous accessible path of travel is required from the principal entrance to at least one floor containing sole occupancy units. Access is required to the door of each sole occupancy unit located on all floors which are accessible via a ramp or lift. Numbers of dwellings and bedrooms is to be accordance with NCC/BCA Table D3.1. |

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| H | Proximity card readers to be 900-1250mm AFFL and not within 500mm of an internal corner. [AS1428.1:2009 Clause 13.5.3 (c)] |
| H | Controls for auto doors to be located 900-1250mm AFFL, between 1000-2000mm from the door or the arc of a hinged door and not within 500mm of an internal corner. [AS1428.1:2009 Clause 13.5.3 (c) & (e)] |
| M | Push buttons, card readers, intercoms and all controls for doors are recommended on the latchside of the door to provide consistency and assist people with low vision locate the controls. [A&A professional opinion] |
| M | Provide 'Push/Pull' signage on doors to indicate the direction of opening. [A&A professional opinion] |
| M | Door handles to be in a colour which provides a luminance contrast with the colour of the door. [A&A professional opinion] |
| M | Door controls to be in a colour which provides a luminance contrast with the colour of the wall on which they are mounted. [A&A professional opinion] |

Reference 6.0 Glazing & Visual Indicators

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| H | Visual indicators are to be provided to glazed door leaves, sidelights and other glazing capable of being mistaken for an opening. A solid, non-transparent band of minimum 75mm wide with the lower edge of the contrasting band at 900-1000mm AFFL is required. It is to achieve minimum 30% luminance contrast against the background floor surface within 2000mm on opposite side of the glazing. [AS 1428.1:2009 Clause 6.6] |
| H | Glazing capable of being mistaken as an opening requires visual indicators, including glazing which is more than 500mm wide, with the lower edge at or less than 700mm AFFL and with a height of more than 1000mm. [AS1288:2006 Clause 5.4] |
| M | Additional visual indicators are recommended at 1500mm AFFL to assist people with central vision loss. [A&A professional opinion / British Standard 8300] |
| M | Where a glazed door is positioned within a glazed wall, a different decal design or size on the door is recommended to help identify the operable leaf of the door. [A&A professional opinion] |
| R | Glazing with transom rails do not require visual indicators if the upper edge of the transom rail is not less than 700mm or the lower edge of the rail is not more than 1000mm AFFL. Consider using transom rails to eliminate the need for visual indicators. |
| M | Glazed vision panels in doors recommended to have the lower edge of glazing at maximum 1000mm AFFL, upper edge of glazing at minimum 1600mm AFFL, minimum 150mm width and located maximum 200mm from the edge of the door. [AS1428.1:2001 Clause 7.5.2.] |

Reference 7.0 Internal Paths of Travel

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| H | A continuous accessible path of travel to be provided from the building entrance to all areas of the building required to be accessible. [NCC/BCA D3.2] |
| H | In existing buildings, undergoing building works which require a building permit, a continuous accessible path of travel is to be provided from the principal public entry to the new building works. [DAPS Clause 2.1 (1)(b) & (5)] |

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| | Door circulation spaces are recommended to include construction tolerance, including 550mm latchside circulation space for a depth of 1500mm for a front on approach. [A&A professional opinion] |
| R | Provide construction tolerance on all door circulation spaces. |
| M | The door recess depth to the face of the door must be no greater than 300mm, where this cannot be achieved, the door must be automated. [AS1428.1:2001 Clause 7.2] |
| H | Distance between doors in an air lock is required to be minimum 1450mm between the doors and arc of any swing door. [AS1428.1:2009 Clause 13.4 / Figure 34] |
| H | Where a threshold ramp is required at a door, the ramp must be a maximum of 280mm in length with a gradient of not more than 1:8 and 35mm max height. The threshold ramp must begin within 20mm of the door leaf. [AS1428.1:2009 Clause 10.5] |
| R | Design threshold ramps with a maximum height of 25mm to provide construction tolerance. |

Reference 5.0 Door Controls

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| H | Handles and locks to be located 900-1100mm AFFL. [AS1428.1:2009 Clause 13.5.3 (a)] |
| H | Handles are to allow for the door to be unlocked and opened with one hand. [AS1428.1:2009 Clause 13.5.2 (a)] |
| H | D-shaped lever and pull handles to be provided to allow a person with limited grip to use the handle. [AS1428.1:2009 Clause 13.5.2 (a)] |
| H | Handles to have a clearance of 35-45mm between the handle and the door. [AS 1428.1:2009 Clause 13.5.2 (b)] |
| H | D-pull handles on sliding doors required to be 60mm from the door jamb in both the open and closed position. [AS 1428.1:2009 Clause 13.5.3 (d)] |
| H | Door snibs on all doors required to be accessible, including accessible sanitary facilities and ambulant cubicles to be minimum 45mm long levers, measured from the centre of the spindle. [AS1428.1:2009 Clause 13.5.2 (d)] |
| H | Force to operate doors with a door closer fitted, is not to exceed 20N. [AS1428.1:2009 Clause 13.5.2 (e)] |
| M | Fire doors along an accessible path of travel which are fitted with closers are likely to exceed 20N force are recommended to be 'hold open' or fitted with closers that only activate during an alarm. [A&A professional opinion] |
| H | An auxiliary pull handle or horizontal grabrail on the closing face of the door is required on doors that are not self-closing. [AS1428.1:2009 Clause 13.5.2 (f) / Figure 36] |
| M | Door control buttons should be located on a level landing with a maximum grade of 1:40. [A&A professional opinion] |
| H | Push buttons, swipe cards and intercoms to be 900-1200mm AFFL and not within 500mm of an internal corner. [AS1428.1:2009 Clause 13.5.3 (b)] |
| H | Push buttons to be minimum 25mm diameter, sit proud of the surrounding plate and activate the door before the button becomes level with the surrounding plate. [AS1428.1 Clause 13.5.4] |

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determined by the location of the pivot and the type of door furniture. Doors with acoustic seals or similar will require greater leaf sizes.

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| H | Door circulation spaces are required, as determined by the direction of approach and the clear opening of the door. (E.g. An inward swinging door with a front on approach requires a landing depth of 1450mm, latchside clearance of 530mm and hingeside clearance of 110mm.) [AS1428.1:2009 Clause 13.3 / Figures 31 & 32] |
| H | The gradient and crossfall is required to be no steeper than 1:40 within the door circulation spaces. [AS1428.1:2009 Clause 13.3.1] |
| R | Provide construction tolerance with all door circulation spaces. |
| H | Distance between doors in an air lock is required to be minimum 1450mm between the doors and arc of any swing door. [AS1428.1:2009 Clause 13.4 / Figure 34] |
| H | Where a threshold ramp is required at a door, the ramp must be a maximum of 280mm in length with a gradient of not more than 1:8 and maximum 35mm height. The threshold ramp must begin within 20mm of the door leaf. [AS1428.1:2009 Clause 10.5] |
| R | Design all threshold ramps with a maximum height of 25mm to provide construction tolerance. |

Reference 4.0 Doors

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| H | Doors required to provide a minimum clear opening width of 850mm through the active leaf. [AS1428.1:2009 Clause 13.2] |
| R | Swing doors with standard butt hinges typically require a door leaf size of 920mm to achieve the required 850mm clear opening. Sliding doors typically require 1020mm door leaf. Doors with pivot hinges require greater leaf sizes, as determined by the location of the pivot. Doors with acoustic seals or similar will require greater leaf sizes. |
| M | Door clear open width recommended to be a minimum of 900mm. [A&A professional opinion] |
| H | Doors required to have a luminance contrast of minimum 30% between door, wall and/or frame. If the frame is the only contrasting element, it is to be minimum 50mm wide. [AS 1428.1:2009 Clause 13.1] |
| M | Luminance contrast of frameless glazed doors to be provided by a vertical visual indicator - 25mm wide on the leading edge of the door and 25mm wide on the adjacent glazed panel. [A&A professional opinion] |
| H | Door circulation spaces are required, as determined by the direction of approach and the clear opening of the door. (E.g. An inward swinging door with a front on approach requires a landing depth of 1450mm, latchside clearance of 530mm and hingeside clearance of 110mm.) [AS1428.1:2009 Clause 13.3 / Figures 31 & 32] |
| H | The gradient and crossfall within the door circulation spaces is required to be no steeper than 1:40. [AS1428.1:2009 Clause 13.3.1] |

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Racks should be positioned out of the path of travel and include allowance for poorly parked bikes. [A&A professional opinion]

Median Strips

M Cut through a raised median strip to provide an accessible path of travel. [A&A professional opinion] Where this is not provided, a minimum distance of 1200mm should be provided between the two kerb ramps, or 1500mm where there is a change of direction. [AS1428.4.1:2009 Appendix C4 / Figure C10]

M Provide median strip of minimum 2400mm wide to allow compliant TGSIs installation including 600mm deep TGSIs, set back 300mm from the road on both sides of the median strip. Provide 600mm gap between the two pads of TGSIs. [AS1428.4.1:2009 Appendix C4 / Figure C10]

M Assistance Animals
 Provide external areas to meet the toileting and feeding needs of assistance animals. [A&A professional opinion]

M Lighting
 Lighting which is even and does not cast undue shadows is recommended. Lighting consultant to address. [A&A professional opinion]

Reference 3.0 Entrances

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| H <input type="radio"/> | Accessible entrance is required through the principal pedestrian entry and 50% of all pedestrian entrances. An inaccessible pedestrian entry must be no more than 50m from an accessible entry in buildings with a total floor area more than 500m ² . [NCC/BCA D3.2 (b)] |
| H <input type="radio"/> | Entry doors required to have a luminance contrast of minimum 30% between door, wall and/or frame. If the frame is the only contrasting element, it is to be minimum 50mm wide. [AS1428.1:2009 Clause 13.1] |
| M <input type="radio"/> | Frameless glazed doors should have a contrasting band of minimum 50mm wide on the leading edge of the door. [A&A professional opinion] |
| H <input type="radio"/> | A revolving door or turnstile cannot form part of the continuous accessible path of travel. An alternative hinged or sliding door is required. [AS1428.1:2009 Clause 6.1] |
| H <input type="radio"/> | Entry doors required to provide a minimum clear opening width of 850mm through the active leaf. [AS1428.1:2009 Clause 13.2] |
| R <input type="radio"/> | Swing doors with standard butt hinges typically require a door leaf size of 920mm to achieve the required 850mm clear opening. Sliding door typically require 1020mm door leaf. Doors with pivot hinges require greater leaf sizes, as |

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where the head height is reduced to 2000mm unless another suitable barrier is provided. [AS1428.4.1:2009 Clause 2.6 / Figure 2.6 amended 2010]

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| M | IGSIs are not the preferred solution to over head hazards. It is strongly recommended to enclose areas with reduced head height or provide another barrier such as rubbish bins, planters or seats. [A&A professional opinion] |
| H | <u>Paving Surface</u> Paving surface to be slip resistant, firm and traversable by a person who uses a wheelchair or one who has an ambulant disability. [AS1428.1:2009 Clause 7.1 / HB 198] |
| H | Changes in level between abutting materials are to be maximum 3mm. Where edges are rounded or bevelled, changes in level are to be maximum 5mm. [AS1428.1:2009 Clause 7.2 & 7.3 / Figure 6] |
| H | Profile variation of irregular surface of pavers to be maximum 2mm deep and the joints between pavers are to be no more than 12mm wide. [AS1428.1:2009 Figure 7] |
| H | Drainage grate covers to have slotted openings 8mm wide OR slotted openings of 13mm wide are permitted where the slots are perpendicular to the direction of travel OR 13mm circular openings. [AS1428.1:2009 Clause 7.5] |
| H | Crossfalls on paths of travel are to be no greater than 1:40. [AS1428.1:2009 Clause 10.1 (d)] |
| M | <u>Timber decking</u> Timber boards recommended to be laid perpendicular to the path of travel with gaps of no less than 6mm and no greater than 10mm. [Sports and Recreation Victoria, Access for All:1996] |
| H | <u>Street Furniture Set Back</u> Obstructions, including bins, seats, fire hose reels, bike racks, light poles, trees and planters are to be provided away from the building line and outside the path of travel. Within a streetscape area, all obstructions should be provided on the kerb side of the path. [AS1428.1:2009 Clause 6.3 / AS1428.2 Clause 27.1] |
| M | <u>Seating</u> Seats should be positioned at least 500mm away from the edge of a pathway to prevent the legs of a seated person becoming a hazard for others. [AS1428.2 Clause 27.1(a)] |
| R | Refer Reference 21.0 Street Furniture for further recommendations. |
| M | <u>Bike racks</u> |

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| H | Kerb ramp landing to be minimum 1200mm long where no change of direction is possible or 1500x1500mm where a single change of direction is possible or 1500x2000mm where 2 changes of direction are possible. [AS1428.1:2009 Clause 10.7.2 & 3] |
| H | Kerb ramps are to be aligned across roadways with the lower edge of the ramp perpendicular to the direction of travel. [AS1428.1:2009 Clause 10.7.1 / Figure 23] |
| H | Warning TGSIs to be provided on kerb ramp set back 300+/-10mm from the roadway, extending the width of kerb ramp for a depth of 600-800mm. [AS 1428.4.1:2009 Clause 2.3.3 / Appendix C Figure C1] |
| H | Directional TGSIs to be provided from the building line to the top of the kerb ramp, if the distance between the top of the ramp and building exceeds 3000mm. [AS1428.4.1:2009 Appendix C3 / Figure C2(D) - C11] |
| M | Kerb ramps, including the splayed sides, are to be of a colour which contrasts with the adjoining surface. [AS1428.2:1992 Clause 8.4.5] |
| H | <u>Tactile Ground Surface Indicators (TGSIs)</u> TGSIs to provide luminance contrast of minimum 30% for integrated units, 45% for discrete indicators and 60% for composite indicators. [AS1428.4.1:2009 Clause 2.2] |
| H | Warning TGSIs to be provided where pedestrian paths are at the same grade as vehicular roadways, set back 300+/-10mm from the roadway or, where provided, 300+/-10mm from bollards. [AS1428.4.1:2009 Clause 2.5 / Figure 2.5] |
| H | Directional TGSIs to identify an accessible path of travel are to be provided parallel with and along the centreline of the path. [AS1428.4.1:2009 Clause 3.2.3] |
| H | Directional TGSIs are to be provided 300-400mm wide where a person is walking along the length of the path. Where a person approaches the TGSIs from an angle, they are to be 600-800mm wide. A 600x600mm pad of warning TGSIs is required where a change of direction is required. [AS1428.4.1:2009 Clause 3.2.3 / 3.3 / Figure 3.2] |
| M | Raised pavement markers are recommended to define pedestrian road crossings on roads with four lanes or more. [AS1428.4.1:2009 Appendix B] |
| H | <u>Hazards</u> Vertical clearance on paths of travel to be minimum 2000mm. [AS 1428.1:2009 Clause 6.2]If a hazard is present where the vertical clearance is less than 2000mm, TGSIs must be provided for a depth of 600-800mm, set back 300+/-10mm from |

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| | Path of travel to be a minimum width of 1000mm and 2000mm high, except at doorways. [AS1428.1:2009 Clause 6.2 & 6.3 / Figure 2] |
| M | Path width recommended to be 1800mm for main paths; 1500mm for secondary paths & 1200mm for all paths. [AS1428.2:1992 Clause 6.4 & 6.5] |
| M | Curved paths to be minimum 1500mm width. [A&A professional opinion] |
| M | All accessible paths of travel should be defined for people with vision impairments. This may include the use of borders, planter boxes or garden edging with contrasting texture or colour. [A&A professional opinion] |
| M | Where there is a change in level or hazard adjacent to the path of travel which may place people at risk of injury, a barrier is strongly recommended. [A&A professional opinion] |
| H | <u>Turning Spaces</u> Turning spaces of minimum 1500x1500mm wide to be provided where there is a change in direction of between 60° and 90°. Turning space may be splayed across the internal corner. [AS1428.1:2009 Clause 6.5.1 / Figure 4 (amended 2010)] |
| H | A splay across the internal corner of pathways of minimum 500x500mm to be provided where the path is less than 1200mm wide and where there is a change in direction of between 30° and 60°. [AS1428.1:2009 Clause 6.5.2] |
| H | Turning spaces, 2070mm long x 1540mm wide to be provided at maximum 20m intervals and within 2m of the end of an accessway. An intersection of accessible paths of travel satisfies the requirements for turning spaces. [NCC/BCA D3.3 (c)(ii) & (d) / AS1428.1:2009 Clause 6.5] |
| H | <u>Passing Spaces</u> Passing spaces 2000mm long x 1800mm wide to be provided at maximum 20m intervals where a direct line of sight is not possible. An intersection of accessible paths of travel satisfies the requirements for passing spaces. [NCC/BCA D3.3 (c)(i) & (d) / AS1428.1:2009 Clause 6.4] |
| M | Passing spaces are recommended at maximum 20m intervals, even where a clear line of sight is possible. [A&A professional opinion] |
| H | <u>Kerb Ramps</u> Kerb ramps to be provided at road crossings. Kerb ramps to be maximum 1:8 gradient, maximum 190mm rise and maximum 1520mm length, flush with roadway without any lip and have splayed sides at 45°. [AS1428.1:2009 Clause 10.7.2 / Figure 24] |

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Gradients within the parking space and shared areas shall be maximum 1:40 for concrete surfaces or 1:33 for bituminous surfaces if the parking space is outdoors. [AS2890.6:2009 Clause 2.3]

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| H | <input type="radio"/> Surface is to be slip resistant. [AS2890.6:2009 Clause 2.3] |
| M | <input type="radio"/> <u>Access Controlled Entries</u> Push buttons and controls are recommended to be placed 50+/-25mm behind the face of the kerb to allow easy reach for the driver. [AS2890.6:2009 Appendix A4] |
| M | <input type="radio"/> Controls should be suitable for people with weak grasp. [AS2890.6:2009 Appendix A4] <input type="radio"/> Buttons are recommended to sit proud of the surrounding surface and be minimum 25mm in size. [A&A professional opinion] |
| M | <input type="radio"/> <u>Ticket machines</u> Provide all operative parts of the machines at 900-1250mm AFGL. Provide machines on a level landing of maximum 1:40 with manoeuvring space of minimum 1540x2070mm. [A&A professional opinion] |
| M | <input type="radio"/> <u>Drop-Off Zones</u> A drop-off zone for buses, taxis and vans adjacent to building entrances should be provided, including 2400x2400mm space for the use of vehicular hoists at the rear of the zone. [A&A professional opinion] |
| M | <input type="radio"/> Kerb ramps between the road and the footpath level should be provided at the front and the rear of the drop-off zone. [A&A professional opinion] |
| M | <input type="radio"/> Provide seating adjacent to the drop-off zone, including an area adjacent to the seat for a person who uses a wheelchair. A circulation space of 1540x2070mm is recommended in front of the seat. [AS1428.4.1:2009 Appendix D] |
| M | <input type="radio"/> Provide shelter for the seating area. [A&A professional opinion] |

Reference 2.0 External Paths of Travel

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| H | <input type="radio"/> A continuous accessible path of travel is required from the property boundary to the building entry, car park and all other buildings on the site which are required to be accessible. [NCC/BCA D3.2] |
| H | <input type="radio"/> The continuous accessible path of travel shall not include a step, stairway, turnstile, revolving door, escalator, moving walkway or other impediment. [AS1428.1:2009 Clause 6.1] |

Where a designated pedestrian path of travel is not provided, install an accessible marked pedestrian path and crossing between the accessible parking bays and the building entrance for improved safety. [A&A professional opinion]

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| | <p><u>Space Identification</u></p> <ul style="list-style-type: none"> ● White international symbol of access (800-1000mm high) on a blue square of (maximum 1200x1200mm) to be placed centrally, 500-600mm in from the roadway. [AS 1428.1 Clause 14.2; AS 2890.6: 2009 Clause 3.1] |
| H | <ul style="list-style-type: none"> ● Parking space to be outlined in yellow lines 80-100mm wide. [AS 2890.6:2009 Clause 3.2 (a)] |
| H | <ul style="list-style-type: none"> ● Shared space to be outlined in yellow lines 80-100mm wide and marked with diagonal stripes 150-200mm wide, with spaces 200-300mm between. Stripes are to be at an angle of 45+/-10°. [AS 2890.6:2009 Clause 3.2 (b)] |
| H | <ul style="list-style-type: none"> ● All surface markings are to have a slip resistant surface [AS2890.2 Clause 3.2] |
| M | <ul style="list-style-type: none"> ● Directional signage to the accessible car parking spaces at the entrance to the car park is recommended. [NCC/BCA DP3.8 / AS 2890.6:2009 Appendix A3] |
| M | <ul style="list-style-type: none"> ● Vertical signage is recommended at the front of the space in locations it will not restrict the use of vehicle hoists. [AS 2890.6:2009 Appendix A3] |
| H | <ul style="list-style-type: none"> ● Vertical signage to be minimum 2000mm above the footpath level and minimum 2200mm above the road level. [AS1742.10:1999 Clause B2.3; AS1428.1:2009 Clause 6.2] |
| H | <p><u>Parallel Parking Spaces</u></p> <ul style="list-style-type: none"> ● Parallel parking shall include a dedicated space 3200mm wide X 7800mm long with the entire dedicated space at the same level. [AS 2890.6:2009 Clause 2.2.2 (a)(i)] |
| H | <ul style="list-style-type: none"> ● A shared area shall be provided at least 1600mm wide X 7800mm long adjacent to the non-trafficked side of the dedicated space. [AS 2890.6:2009 Clause 2.2.2 (b) (i)] |
| H | <ul style="list-style-type: none"> ● The shared area may be at a higher level from the dedicated space. A kerb ramp shall be provided however the path of travel must be increased in width to accommodate the kerb ramp and landings (approximately 2530mm). The kerb ramp can encroach into the car parking space by a maximum of 800mm. [AS 2890.6:2009 Clause 2.2.2 / Figure 2.6] |
| H | <p><u>Gradients</u></p> |

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| <input checked="" type="radio"/> H | <p><u>Vertical Clearance</u> Vertical clearance between car park entrance/exit and the accessible car spaces is to be minimum 2200mm. Vertical clearance within the accessible car spaces and shared areas is to be minimum 2500mm. The clearance may be reduced within the front 1000mm of the space according to AS290.6:2009 Fig 2.7. [AS 2890.6:2009 Clause 2.4]</p> |
| <input checked="" type="radio"/> H | <p><u>Angled Parking Spaces</u> Angled parking to be provided between 45 degrees and 90 degrees. [AS 2890.6:2009 Clause 2.2.1 (f)]</p> |
| <input type="radio"/> M | <p>Angled parking spaces at 90 degrees are preferred. [A&A professional opinion]</p> |
| <input checked="" type="radio"/> H | <p>Angled accessible car parking spaces to be minimum 5400mm long x 2400mm wide. [AS 2890.6:2009 Clause 2.2.1 (a)(i)]</p> |
| <input checked="" type="radio"/> H | <p>Shared area to be minimum 5400mm long x 2400mm wide provided adjacent at the same level. [AS 2890.6:2009 Clause 2.2.1 (b)(i)]</p> |
| <input checked="" type="radio"/> H | <p>Bollard to be 800+/-50mm in from the roadway end of the space. [AS 2890.6:2009 Clause 2.2.1 (e)]</p> |
| <input type="radio"/> M | <p>Bollard is recommended to be 1300mm high and provide a 30% luminance contrast with surrounds. [AS 2890.1:2004 Clause 2.4.5.3 (b)]</p> |
| <input checked="" type="radio"/> H | <p>Shared area of 2400mm wide X 2400mm long to be provided at one end of the dedicated space. It may be entirely at the front or at the rear of the dedicated space and can be shared with the parking aisle or roadway. [AS 2890.6:2009 Clause 2.2.1 (c)]</p> |
| <input checked="" type="radio"/> H | <p>The dedicated space and the shared area must be at the same level. Kerb ramps are not to intrude into the shared area. [AS 2890.6:2009 Clause 2.2.1 (d)]</p> |
| <input checked="" type="radio"/> H | <p>Where required, kerb ramp to be provided between car space and footpath. Kerb ramp to be 1:8 gradient and maximum 1520mm length. [AS1428.1:2009 Clause 10.7.2 & 3]</p> |
| <input checked="" type="radio"/> H | <p>Kerb ramp landing to be minimum 1200mm long where no change of direction is possible or 1500x1500mm where a single change of direction is possible or 1500x2000mm where 2 changes of direction are possible. [AS1428.1:2009 Clause 10.7.2 & 3]</p> |
| <input type="radio"/> M | <p>Where vehicles overhang the path of travel, provide a wheel stop to ensure the width of the path is maintained at all times. [AS1740.10:1999 Clause 2.4.5.4 & 2.4.5.5]</p> |

The following summary of the requirements and recommendations has been drawn from various documents including DAPS, NCC/BCA, Australian Standards for disability access and other relevant documents and industry guidelines related to each area.

It has been provided to assist the design team understand the principles and breadth of the issues which need to be considered under each area.

It has not been possible to reproduce all clauses of the full range of documents in this summary. Further clarification can be sought from Architecture & Access. The relevant clauses and figures have been included for reference.

Items 1.0 - 19.0 are areas where compliance with the requirements of the National Construction Code and its referenced Australian Standards is required. Additional non-mandated recommendations are also included under each area.

Items 20.0 - 24.0 are items where there are no mandatory requirements but are recommended to more closely meet the intent of the DDA.

| Colour | Icon | Initial | Comments |
|--------|------|---------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Red | ● | H (High) | Items which are mandatory under the DAPS and NCC/BCA and a high priority. |
| Amber | ● | M (Medium) | Items which are not mandatory but are based on other Australian Standards; relevant industry documentation and Architecture & Access' professional opinion. These are recommended to more closely meet the intent of the DDA and the principles/goals of universal design. These are a medium priority. |
| Green | ● | R (Recommend) | Recommended design improvements or further comments. |
| Blue | ● | X (Exemption, Concession or Performance Solution) | Areas where access is either exempt under D3.4, subject to a concession for existing buildings or are an agreed NCC/BCA Performance Solution. |
| Clear | | | No further action required. |

Reference 1.0 Parking & Drop Off Zones

| | |
|--------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ● M | Accessible car spaces to be provided in close proximity to the building entrances. [A&A professional opinion] |
| ● H | Number of spaces to be according to NCC/BCA Table D3.5. Accessible car spaces are not required to be signed for the exclusive use of people with disabilities where there are no more than 5 parking spaces provided. [NCC/BCA D3.5 (d)] |
| ● M | A separate pedestrian path through the car park is recommended. Where this is not possible, a marked pedestrian path on the road aisles is recommended. [A&A professional opinion] |

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Recommended to provide a range of seating, including some with armrests.

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23.0 Food and Beverage Areas

Kitchen:

No details at this stage. It is assumed the kitchen will mostly be used as a commercial style kitchen, and therefore typically considered exempt under NCC D3.4. Access into and around the kitchen is however recommended for best practice, and is currently indicated.

24.0 Emergency Evacuation

Recommended to consider emergency evacuation needs of persons with disability from First and Second Floors. Consider emergency refuge area (1300 x 800mm) within or near the egress stair adjacent the lift. Provide means of communication with any refuge area.

11.0 Unisex Accessible Sanitary Facilities (UAWC)

A Unisex Access WC with shower is provided at each level; Ground Floor, First Floor & Second Floor adjacent to main corridor.

Two right hand transfer, and one left hand transfer configurations are provided at this stage. The Ground Floor facility scales at approximately 2500mm x 3400mm, and First & Second Floor facilities scale approximately 2600 x 3200mm which can achieve compliance for the indicated layouts. Details of fittings and fixtures will be reviewed during documentation to ensure compliance with AS1428.1:2009.

Children's WC are provide adjacent to Preschool, Toddlers, Activity Toddlers & Activity Babies Rooms internal access to these WC are provided by sliding doors. Internal D handles are proposed to be positioned to provide latchside clearance on most of the doors. This is not a mandatory requirement for these rooms (as an Access WC is provided on each floor), but recommended as best practice.

12.0 Ambulant Sanitary Cubicle (AmbWC)

No separate gender sanitary facilities are provided, thus Ambulant Cubicles for persons with ambulant disabilities are not required or provided.

14.0 Hearing Augmentation

No details of in-built amplification systems at this stage. Where in-built amplification systems (other than emergency warning only) are provided, hearing augmentation must also be provided.

15.0 Signage

No details at this stage, but assumed that compliance will be achieved. See reference document for requirements and recommendations.

16.0 Switches, GPOs & Lighting

No details at this stage, but assumed that compliance will be achieved. See reference document for requirements and recommendations.

17.0 Floor Finishes

No details at this stage, but assumed that compliance will be achieved. See reference document for requirements and recommendations.

20.0 Site Specific Areas

Outdoor Play Areas:

Recommended that selection of equipment considers abilities of all people, and that areas provided are accessible and usable by all.

22.0 Joinery, Furniture & Fittings

No details at this stage. See reference document for recommendations.

At reception counter, a section suitable for wheelchair/seated access is strongly recommended.

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Details of door schedules, door hardware and finishes will be reviewed during documentation to ensure compliance is achieved.

Areas that will be considered exempt from accessibility requirements under Access Code/NCC D3.4 include:

- Plant Room
- Store Room
- Waste Enclosure.

5.0 Door Controls

Limited details at this stage. Compliance is assumed and details of door hardware will be reviewed during documentation to ensure compliance is achieved.

6.0 Glazing & Visual Indicators

Limited details of visual indicators at this stage. Visual Indicators will be required to glazed doors side lights and walls that may be confused for an opening. Details of location, design and contrast will be reviewed during documentation to ensure compliance.

Any frameless glass doors are also recommended to have a contrasting strip to the leading edge for recognition and safety of all people.

7.0 Internal Paths of Travel

An accessible path of travel is provided to all areas required to be accessible.

Circulation is generally assumed to be level. Provided the fall is not steeper than 1:40 (which is understood to be the intent) these areas will be considered to be level.

Reception joinery details will need to be reviewed further during documentation but scale to provide 1540mm clearance behind counters as recommended for staff access.

Circulation is assumed to be level at First & Second Floor entrances to Outdoor Play areas. Details will be required during documentation to confirm levels and thresholds.

8.0 Walkways & Ramps

Inclined walkways & ramps are not proposed for this development at this stage.

9.0 Stairs

Two fire stairs are provided linking Ground, First & Second Floors. Details are limited at this stage. These stairs will require contrast nosings compliant with AS1428.1:2009, and a minimum of one AS1428.1:2009 compliant handrail (excluding horizontal extension that are not mandatory for fire-isolated stairs). For safety and function of all persons, handrails to both sides are recommended, and appear to be indicated at this stage.

10.0 Lifts and Escalators

A lift is provided immediately adjacent the entry foyer & corridor, with left car scaling at approximately 1400mm x 2100mm, which will achieve compliance for disability access. Details of controls and fitout will be reviewed during detailed documentation to ensure compliance.

Review Comments

The areas of the development where compliance has been achieved and areas which require review are identified in the remainder of this report.

The section numbers refer to Architecture & Access' standard report format. Please note, all numbers may not appear in this report as sections which are not relevant to this project have been deleted.

Items 1.0 - 19.0 are areas where compliance with the requirements of the National Construction Code and its referenced Australian Standards is required. Additional non-mandated recommendations are also included under each area.

Items 20.0 - 24.0 are items where there are no mandatory requirements but are recommended to more closely meet the intent of the DDA.

1.0 Parking & Drop Off Zones

27 car parks, plus 1 accessible car park & shared space is provided close to building entry. Designated accessible carpark is designed as per AS/NZS2890.6:2009.

An additional drop-off zone is provided near the building entry, with access to building at grade.

2.0 External Paths of Travel

Compliant external paths of travel are provided from the car park, drop off area and from boundary. New footpaths to the north of development to be provided. Paths are assumed to be level with compliant crossfalls.

The columns along the main entry path from external footpath do not restrict required path width, but are recommended to contrast with adjacent surfaces.

As documentation develops further, details of levels and crossfalls will be required to ensure compliance.

3.0 Entrances

Accessible entry is provided via adjacent dropoff area via Foyer entry/reception (assumed glazed, automated sliding doors) to Lift. Compliance will therefore be achieved through the main principle pedestrian entrance.

As documentation develops further, details of levels and entrances, door openings, and controls will be required to ensure compliance. Application of luminance contrast at doorways (as per AS1428.1:2009) will require consideration during documentation, particularly if frameless glazed doors are proposed.

4.0 Doors

All doors required to be accessible currently scale with the required size to achieve minimum 850mm clear opening. Further design development can ensure compliance.

Door circulation spaces scale as compliant for all doors required to be accessible, and will be monitored during documentation.

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The provision of goods and services; and
 Access to premises.

Whilst Section 23 of the DDA stipulates that it is unlawful to discriminate, it does not provide information on how to design, construct or manage buildings in a way that is not discriminatory.

The Disability (Access to Premises - Buildings) Standard. (DAPS) 2010

The DAPS purpose is to define how to provide dignified and equitable access for people with disabilities which meets the intent of the DDA. This provides greater access for people with disabilities as well as greater certainty for building owners and developers that their obligations under the DDA have been met.

Access is required to be provided to all levels of buildings and all facilities and services operating from them, unless to do so would impose an unjustifiable hardship or the purpose of an area is unsuitable for a person with a disability or poses a health and safety risk for that person.

National Construction Code/Building Code of Australia (NCC/BCA)

The requirements of the DAPS were included in the National Construction Code/Building Code of Australia (NCC/BCA) in 2011 and apply to all new buildings and those undergoing building works which require a building permit.

Australian Standards for Disability Access

The Australian Standards referenced by the NCC/BCA provide many of the technical details on the construction of accessible buildings.

The following reference documents have been used in the preparation of this report:

- *Disability Discrimination Act (DDA) 1992.*
- *Disability (Access to Premises – Buildings) Standards 2010.*
- *Guideline on the Application of the Premises Standards Version 2 (2013), produced by Human Rights & Equal Opportunities Commission.*
- *National Construction Code / Building Code of Australia (NCC/BCA), as it applies to disability access in new buildings or buildings undergoing significant refurbishment or alteration.*
- *AS 1428.1 – 2009 Design for access and mobility – General requirements for access – New building work (including Amendment 1 – 2010).*
- *AS 1428.2 – 1992 Design for access and mobility – Enhanced and additional requirements.*
- *AS 1428.4.1 – 2009 Design for access and mobility – Means to assist the orientation of people with vision impairment – Tactile ground surface indicators.*
- *AS 2890.1 – 1993 Parking facilities Off-street parking.*
- *AS / NZS 2890.6 – 2009 Parking facilities Off-street parking for people with disabilities.*
- *AS 1735.12 – 1999 Lifts, escalators and moving walks – Facilities for persons with disabilities.*
- *AS 1288 – 2006 Glass in Buildings – Selection and installation.*

Mitchell Childcare Centre (7210)
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167621 - Store Room
 Sheet 1
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- Access WC
- Activity Toddlers Rooms X 2
- Activity Babies Rooms X 2
- Cot Rooms x 4
- Nappy WC Room
- Storage Areas
- Outdoor Play Area

Lift access, and fire stairs are provided linking all levels.

Documentation Reviewed

The report is based on drawings, received via email on 30/11/2017

| Drawing No. | Title | Rev |
|-------------|-------------------|----------------------------------|
| SK 101 | Site Plan | Preliminary (plot date 29/11/17) |
| SK 102 | Ground Floor Plan | Preliminary (plot date 29/11/17) |
| SK 103 | First Floor Plan | Preliminary (plot date 29/11/17) |
| SK 104 | Second Floor Plan | Preliminary (plot date 29/11/17) |
| SK 200 | Elevations | Preliminary (plot date 29/11/17) |
| SK 201 | Elevations | Preliminary (plot date 29/11/17) |
| SK 300 | Sections A | Preliminary (plot date 29/11/17) |
| SK 301 | Sections B | Preliminary (plot date 29/11/17) |
| SK 302 | Sections C | Preliminary (plot date 29/11/17) |
| SK 800 | Perspectives | Preliminary (plot date 29/11/17) |
| SK 801 | Perspectives | Preliminary (plot date 29/11/17) |
| SK 802 | Perspectives | Preliminary (plot date 29/11/17) |

Purpose of Report

The purpose of this report is to provide the client and design team with an access evaluation of the proposed plans. The report will provide comment on and advice regarding elements within the design that may leave the building owner, tenants or the design team exposed to a potential claim under the Disability Discrimination Act (DDA).

It is essential the objectives of safe, dignified and equitable access are met for all users of the building.

Legislative Requirements

The Disability Discrimination Act. (DDA) 1992

The DDA is Commonwealth legislation which was enacted in 1993. It aims to eliminate discrimination against people on the grounds of disability in many areas, including the following:

- Work;
- Accommodation;
- Education;

Mitchell Childcare Centre (7210)
 Access Report - Schematic Design

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 Project Number

7210

Date

30/11/2017

Prepared For

Annette Pogas
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 Level 5, Tower A
 7 London Circuit
 ACT 2601

ACAA Accredited Member

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 ACAA Accredited Member #262
 Association of Consultants in Access Australia

Revision History

| Doc # | Rev # | Title | Author | QA Reviewer | Date |
|-------|-------|----------------------------------|-----------|-------------|------------|
| 01 | - | Access Report - Schematic Design | S.Schulze | G.Wooller | 30/11/2017 |

Introduction

Project Summary

Architecture & Access has been commissioned to provide access consulting services for the proposed Mitchell Childcare Centre at Block 18, Section 11, corner Darling & Heffernan Streets, Mitchell ACT.

The development consists of:

- Ground Level
 - Car park
 - Entry/Reception
 - Kitchen
 - Laundry
 - Access WC
 - Plant Room
 - Lift
 - Staff Room
 - Office

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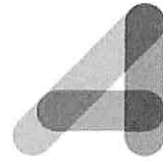
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ARCHITECTURE
& ACCESS

Commercial-in-Confidence | 189 Wakefield Street Adelaide SA 5000 Australia

Access Report 01 - Schematic Design Mitchell Childcare Centre (7210)



Access
Consulting



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AUSTRALIAN CAPITAL TERRITORY

TITLE SEARCH

Mitchell Section 11 Block 18 on Deposited Plan 4865
Lease commenced on 29/07/2007, granted on 20/08/2007, term of 99 years
Area is 1685 square metres or thereabouts

Sole Proprietor:
Konstantinou Developments Pty Ltd
of RSM Bird Cameron Level 1 103-105 Northbourne Avenue Canberra ACT 2600

| Registered Date | Dealing Number | Description |
|-----------------|----------------|--------------------------------------------------------------------------------------------------------------------|
| | | Original title is Volume 1829 Folio 31 Purpose Clause: Refer Crown Lease S.180 Land Act 1991: Current |
| 01/11/2007 | 1550876 | [REDACTED] |
| 25/07/2017 | 2102415 | Application to vary Crown Lease - refer instrument End of interests |

ADMINISTRATIVE INTERESTS
(This information is not guaranteed)

ACT Planning and Land Authority (ACTPLA) - For further information concerning the following administrative interests, please contact ACTPLA on (02) 6207 1923. ACTPLA administrative interests information has been provided to the Registrar-General since 1 February 2010.

| Reference Number | Type | Lodgement Date | Assessment Track | Status | Status Date |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------|----------------|----------------------------------|----------------------|-------------|
| 200916451 | Development Application | 12/03/2010 | MERIT TRACK - MAJOR NOTIFICATION | APPROVAL CONDITIONAL | 20/08/2010 |
| Description NONR COMMERCIAL - NEW BUILDING - SHOWROOM & OFFICE. Proposed construction of a new two storey office & showroom building; Includes rear carpark with access from Heffernan Street. | | | | | |



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IN WITNESS whereof the Authority on behalf of the Commonwealth and the Lessee have executed this Lease.

Signed by GERARD JOHN RYAN)
a delegate authorised to execute this lease)
on behalf of the Commonwealth in the)
presence of)

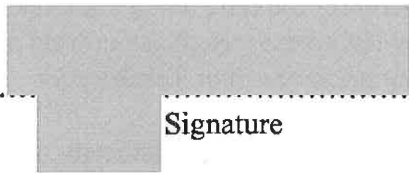


Delegate

Witness

ANDRA ALDRIDGE

Signed by KONSTANTINOU)
DEVELOPMENTS PTY LTD)
(A.C.N. 088 414 742) by:)



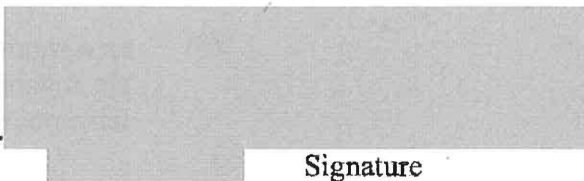
Signature

JOHN KONSTANTINOU

Name in full

DIRECTOR

Director/Secretary



Signature

JEFF KONSTANTINOU

Name in full

DIRECTOR

Director/Secretary

EXERCISE OF
POWERS

- (d) That any notice requirement demand consent or other communication to be given to or served upon the Lessee under this lease shall be deemed to have been duly given or served if signed by or on behalf of the Authority and delivered to or sent in a prepaid letter addressed to the Lessee at the registered office of the Lessee in the said Territory BUT if for any reason the Lessee does not have a registered office in the said Territory then at the usual or last-known address of the Lessee or affixed in a conspicuous position on the premises;
- (e) Any and every right, power and or remedy conferred on the Commonwealth or Territory hereunder or implied by law may be exercised on behalf of the Commonwealth or the Territory or as the case may be by –
- (i) the Authority;
 - (ii) an authority or person for the time being authorised by the Authority or by law to exercise those powers or functions of the Commonwealth or Territory; or
 - (iii) the authority or person to whom the Authority has delegated all its powers or functions under the Planning and Land Act 2002 or any Statute Ordinance or Regulation substituted therefore.



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TERMINATION
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IT IS MUTUALLY COVENANTED AND AGREED as follows:

- (a) That if -
 - (i) any rent or other moneys payable under this lease shall remain unpaid for three months next after the date appointed for payment thereof (whether such rent or other moneys shall have been formally demanded or not); or
 - (ii) an approved development in accordance with Clause 3(a) of this lease is not commenced within the period specified in the said Clause; or
 - (iii) an approved development in accordance with Clause 3(a) of this lease is not completed within the period specified in Clause 3(b); or
 - (iv) associated works in accordance with Clause 3(c) of this lease are not completed within the period specified in the said Clause; or
 - (v) after completion of an approved development as aforesaid the land is at any time not used for a period of one year for the purpose for which this lease is granted; or
 - (vi) the Lessee shall fail to observe or perform any other of the covenants herein contained on the part of the Lessee to be observed or performed and shall have failed to remedy such breach within a period of six months from the date of service on the Lessee of a notice in writing from the Authority specifying the nature of such breach

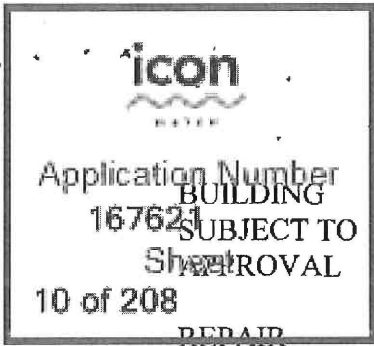
the Authority on behalf of the Commonwealth may terminate this lease but without prejudice to any claim which the Authority or the Commonwealth may have against the Lessee in respect of any breach of the covenants on the part of the Lessee to be observed or performed;

ACCEPTANCE
OF RENT

- (b) That acceptance of rent or other moneys by the Authority during or after any period referred to in Clauses 5(a) (i), (ii), (iii), (iv), (v) or (vi) of this lease shall not prevent or impede the exercise by the Authority of the powers conferred upon it by said Clauses;

FURTHER LEASE

- (c) Subject to the provisions of the Land (Planning and Environment) Act 1991 the Lessee shall be entitled to a further lease of the land for such further term and at such rent and subject to such conditions as may then be provided or permitted by Statute Ordinance or Regulation;



FAILURE TO REPAIR

- (n) That the Lessee shall not without the previous approval in writing of the Authority erect any building, or make any structural alterations to any building, on the land;
- (o) That the Lessee shall at all times during the said term maintain repair and keep in repair the premises to the satisfaction of the Authority;
- (p) If and whenever the Lessee is in breach of the Lessee's obligations to maintain repair and keep in repair the premises the Authority may by notice in writing to the Lessee specifying the repairs and maintenance needed require the Lessee to effect the necessary work in accordance with the notice. If the Authority is of the opinion that a building or some other improvement on the land is beyond reasonable repair the Authority may by notice in writing to the Lessee require the Lessee to remove the building or improvement and may require the Lessee to construct a new building or improvement in place of that removed within the time specified in the notice. If the Lessee does not carry out the required work within the time specified by the Authority any person or persons duly authorised by the Authority with such equipment as is necessary may enter the premises and carry out the necessary work and all costs and expenses incurred by the Authority in carrying out the work shall be paid by the Lessee to the Authority on demand and from the date of such demand until paid shall for all purposes of this lease be a debt due and payable to the Authority by the Lessee;

RIGHT OF INSPECTION

- (q) Subject to the provisions of the Land (Planning and Environment) Act 1991 to permit any person or persons authorised by the Authority to enter and inspect the premises at all reasonable times and in any reasonable manner;

RATES AND CHARGES

- (r) To pay all rates charges and other statutory outgoings assessed levied or payable in respect of the premises as and when the same fall due.

4. THE COMMONWEALTH COVENANTS WITH THE LESSEE as follows:

QUIET ENJOYMENT

That the Lessee paying the rent and observing and performing the covenants and stipulations on the part of the Lessee to be observed and performed shall quietly enjoy the premises without interruption by the Authority or any person lawfully claiming from or under or in trust for the Authority.



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AREA
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CAR AND TRUCK
PARKING

LANDSCAPING

LIGHTING

LOADING AND
UNLOADING OF
VEHICLES

PRESERVATION
OF TREES

FACILITIES AND
ACCESS FOR PERSONS
WITH A DISABILITY

SERVICE AREAS

- (f) That the combined gross floor area of all buildings erected on the land shall not be less than 200 square metres and shall not exceed 1,450 square metres;
- (g) That the Lessee shall provide and maintain an approved drained and sealed car and truck parking area on the land to a standard acceptable to the Authority in accordance with plans and specifications prepared by the Lessee and previously submitted to and approved in writing by the Authority;
- (h) That the Lessee shall provide and maintain landscaping on the land to a standard acceptable to the Authority in accordance with plans and specifications prepared by the Lessee and previously submitted to and approved in writing by the Authority;
- (i) That the Lessee shall illuminate and keep illuminated all public access areas, carparks and driveways on the land at the Lessee's cost during the evening hours of operation to a standard acceptable to the Authority in accordance with plans and specifications prepared by the Lessee and previously submitted to and approved in writing by the Authority;
- (j) That the Lessee shall provide and maintain an area for the loading and unloading of vehicles on the land to a standard acceptable to the Authority in accordance with plans and specifications prepared by the Lessee and previously submitted to and approved in writing by the Authority;
- (k) That the Lessee shall not, without the previous consent in writing of the Territory, remove any tree:
- (i) that has been identified in a development approval for retention during the period allowed for construction of the building; or
- (ii) to which the Tree Protection Act 2005, or any Act in substitution therefore, applies;
- (l) That the Lessee shall provide and maintain facilities and access on the land for persons with a disability in accordance with plans and specifications prepared by the Lessee and previously submitted to and approved in writing by the Authority;
- (m) That the Lessee shall screen and keep screened all service areas to the satisfaction of the Authority and shall ensure that all plant and machinery contained within the premises is suitably screened from public view;



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- (i) the design and construction of:
 - (A) a heavy duty industrial driveway in accordance with the Department of Territory and Municipal Services (TAMS) current version of the Design Standards for Urban Infrastructure Works and constructed to TAMS current version of the Standard Specifications for Urban Infrastructure Works; and
 - (B) a stormwater tie to fully service the site;
- (ii) construction of verge works, topsoil, grassing and landscaping; and
- (iii) any other works required as a result of an audit on submitted plans for design approval

including all ancillary works and fittings in accordance with the prescribed conditions for associated works and plans and specifications prepared by the Lessee and previously submitted to and approved in writing by the Authority;

INDEMNITY

- (d) That the Lessee shall indemnify and keep indemnified the Commonwealth, the Territory, the Authority, their servants and agents from all actions, claims, suits and demands, brought, maintained or made against the Commonwealth, the Territory, the Authority, their servants or agents by any person or body of persons arising out of the provision by the Lessee of the design and construction of the associated works referred to in Clause 3(c) until such works are completed and formally handed over to the Territory;

PURPOSE

- (e) To use the premises for one or more of the following purposes:
 - (i) funeral parlour;
 - (ii) light industry;
 - (iii) non retail commercial use LIMITED to office;
 - (iv) shop; and
 - (v) vehicle sales

PROVIDED ALWAYS THAT the maximum gross floor area for any supermarket or shop selling food shall not exceed 200 square metres;



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- (p) words in the singular include the plural and vice versa;
- (q) words importing one gender include the other genders.

2. THE LESSEE COVENANTS WITH THE COMMONWEALTH as follows:

RENT

- (a) That the Lessee shall pay to the Authority rent at the rate of five cents per annum if and when demanded payable within one month of the date of any demand made by the Authority relating thereto and served on the Lessee;

**MANNER OF
PAYMENT
OF RENT**

- (b) That any rent or other moneys payable by the Lessee under this lease shall be paid to such person as may be authorised by the Authority for that purpose at Canberra in the said Territory without any deduction whatsoever.

3. THE LESSEE FURTHER COVENANTS WITH THE COMMONWEALTH as follows:

**COMMENCEMENT
OF DEVELOPMENT**

- (a) That the Lessee shall within twelve (12) months from the date of the commencement of the lease or within such further time as may be approved in writing by the Authority for that purpose commence to erect an approved development including building works, carparking, fencing and landscaping on the land at a cost not less than the sum of one hundred and fifty thousand dollars (\$150,000) in accordance with plans and specifications prepared by the Lessee and previously submitted to and approved in writing by the Authority;

**COMPLETION
OF DEVELOPMENT**

- (b) That the Lessee shall within twenty four (24) months from the date of the commencement of the lease or within such further time as may be approved in writing by the Authority complete the erection of the said approved development including building works, carparking, fencing and landscaping on the land in accordance with the said plans and specifications and in accordance with every Statute Ordinance or Regulation applicable thereto;

**ASSOCIATED
WORKS**

- (c) That the Lessee shall commence within twelve (12) months and complete within twenty four (24) months respectively from the date of the commencement of the lease or within such further time as may be approved in writing by the Authority for that purpose, and prior to the commencement of any trading or business from the premises:

- (h) **“light industry” means an industry, not being a general, offensive, hazardous or mining industry, in which the processes carried on, the transportation involved or the machinery or materials used do not interfere with the amenity of the locality by reason of noise, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit, oil or otherwise. The use includes a craft workshop;**
- (i) **“non retail commercial” means a business agency, financial establishment, office, or public agency;**
- (j) **“office” means the use of land used for the purpose of administration, clerical, technical, professional or like business activities, including a government office, which does not include dealing with members of the public on a direct and regular basis except where this is ancillary to the main purpose of the office;**
- (k) **“premises” means the land and any building or other improvements on the land;**
- (l) **“public agency” means the use of land for the purpose of providing a public service directly and regularly to the public and includes a government agency, which provides a commercial service to the public;**
- (m) **“shop” means the use of land for the purpose of selling, exposing or offering the sale by retail or hire, goods and personal services and includes bulky goods retailing, department store, personal service, retail plant nursery, supermarket and take-away food shop;**
- (n) **“Territory” means -**
- (i) **when used in a geographical sense the Australian Capital Territory; and**
 - (ii) **when used in any other sense the body politic established by section 7 of the Australian Capital Territory (Self-Government) Act 1988 (C'th);**
- (o) **“vehicle sales” means the use of land for the sale, hire, display or offering for sale or hire of new or used motor vehicles, caravans, motor cycles, boats, trailers or other vehicles. The term includes the ancillary use of such premises for the sale of spare parts or accessories and the storage, cleaning and maintenance of such vehicles, but does not include a service station;**



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INTERPRETATION

IN THIS LEASE unless the contrary intention appears:

- (a) "Authority" means the Planning and Land Authority established by section 7 of the Planning and Land Act 2002;
- (b) "building" means any building or structure, as those terms are defined in section 222 of the Land (Planning and Environment) Act 1991, which requires approval under Part 6 of that Act;
- (c) "business agency" means the use of land for the purpose of providing a commercial service directly and regularly to the public;
- (d) "financial establishment" means the use of land for the primary purpose of providing finance, investing money, and providing services to lenders, borrowers and investors on a direct and regular basis;
- (e) "funeral parlour" means the use of land by an undertaker in the carrying out of that profession. The term includes all ancillary uses such as a funeral chapel and office;
- (f) "gross floor area" means the sum of the area of all floors of the building measured from the external faces of the exterior walls or from the centre lines of walls separating the building from any other building excluding any area used solely for rooftop fixed mechanical plant and/or basement carparking;
- (g) "Lessee" shall -
 - (i) where the Lessee consists of one person be deemed to include the Lessee and the executors administrators and assigns of the Lessee;
 - (ii) where the Lessee consists of two or more persons be deemed to include in the case of a tenancy in common the persons and each of them and their and each of their executors administrators and assigns and in the case of a joint tenancy be deemed to include the said persons and each of them and their and each of their assigns and the executors administrators and assigns of the survivor of them; and
 - (iii) where the Lessee is a corporation be deemed to include such corporation its successors and assigns;

icon
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ORIGINAL

Entered in Register Book Vol. 1829 Folio 31...

- 1 NOV 2007

AUSTRALIAN CAPITAL TERRITORY

LAND (PLANNING AND ENVIRONMENT) ACT 1991

Brett Phillips
 Registrar-General



Australian Capital Territory (Planning and Land Management) Act 1988 (C'th) ss 29, 30 & 31

LEASE GRANTED pursuant to the Land (Planning and Environment) Act 1991 and the Regulations thereunder on the *twentieth* day of *August* Two thousand and seven WHEREBY THE PLANNING AND LAND AUTHORITY ("the Authority") ON BEHALF OF THE COMMONWEALTH OF AUSTRALIA ("the Commonwealth") in exercising its functions grants to **KONSTANTINOU DEVELOPMENTS PTY LTD A.C.N. 088 414 742** a company having its registered office at RSM Bird Cameron, Level 1, 103-105 Northbourne Avenue Canberra in the Australian Capital Territory ("the Lessee") ALL THAT piece or parcel of land situate in the Australian Capital Territory containing an area of **1,685 square metres** or thereabouts and being **Block 18 Section 11 Division of Mitchell** as delineated on **Deposited Plan Number 4865** in the Registrar-General's Office at Canberra in the said Territory ("the land") RESERVING unto the Territory all minerals TO HOLD unto the Lessee for the term of ninety nine years commencing on the **twenty thrid** day of **July Two thousand and seven** ("the date of the commencement of the lease") to be used by the Lessee for the purpose set forth in Clause 3(e) of this lease only YIELDING AND PAYING THEREFOR rent in the amount and in the manner and at the times hereinafter provided and UPON AND SUBJECT TO the covenants conditions and agreements hereinafter contained.

ACT REVENUE OFFICE
 ORIGINAL DULY STAMPED
 Client A/C No 108451
 Assess Basis Liable
 Assessment ID 161903
 Assessed Value \$791,000.00
 Duty Paid **Bk 18 Sec 11 Mitchell**
 For **18/10/2007** Lease
 Date 18/10/2007 Time 11:08:57

icon

EXECUTION BY ACT PLANNING AND LAND AUTHORITY

Application Number

Signed by the person duly authorised by the Planning and Land Authority
(Please print full name of authorised signatory)

Print full name and address of witness

107521
Sheet
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Irma Sare

Jackie Hurst

Senior Officer Grade

Environment, Planning and Sustainable Development
Dame Pattie Menzies House
16 Challis Street
DICKSON ACT 2602

POSITION NO. 13612

0162 BMM

Signature of witness

Dated -

20.7.2017

Dated -

20.7.17

OFFICE USE ONLY

| | | | |
|-------------------|-------------|--------------------------------|---------|
| Lodged by | | Certificate of title lodged | |
| Data entered by | | Certificates attached to title | |
| Registered by | | Attachments / Annexures | |
| Registration date | 25 JUL 2017 | Production number | 2101498 |

DETAILS OF VARIATION

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167621

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**Australian Capital Territory
Planning and Development Act 2007
Variation of a Crown lease**

167621

Under the Planning and Development Act 2007 I, **Irma Sare** approved the variation of the Crown lease specified hereunder

Former Provision

3.(e) To use the premises for one or more of the following purposes:

- (i) funeral parlour
- (ii) Light Industry
- (iii) non retail commercial use Limited to office
- (iv) shop; and
- (v) vehicle sales

PROVIDED ALWAYS THAT the maximum gross floor area for any supermarket or shop selling food shall not exceed 200 square metres;

Amended Provision

3.(e) To use the premises for one or more of the following purposes:

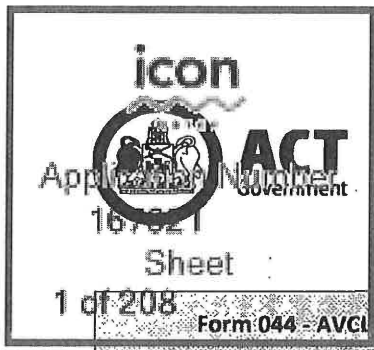
- (i) funeral parlour;
- (ii) Light Industry;
- (iii) non retail commercial use Limited to office;
- (iv) shop;
- (v) vehicle sales; and
- (vi) community use LIMITED to child care centre

PROVIDED ALWAYS THAT the maximum gross floor area for any supermarket or shop selling food shall not exceed 200 square metres;

Inserted Provisions

Replace the full stop/period (".") at the end of clause 1(q) with a semi-colon (";") and add the following sub clauses:

- 1 (r) "child care centre" means the use of land for the purpose of educating, supervising or caring for children of any age throughout a specified period of time in any one day, which is registered under the Children and Young People Act 2008 or authorised pursuant to the Education and Care Services national Law (ACT) ACT 2011 and which does not include residential care.
- 1(s) "community use" means childcare centre, community activity centre, community theatre, cultural facility, educational establishment, health facility, hospital, place or worship, religious associated use.



Access
Canberra.



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Chief Min

2102415

APPLICATION TO VARY A CROWN LEASE

Land Titles Act 1925

The Minister or the Delegate of the Planning and Land Authority (the Authority) has agreed to vary the lease as described below, subject to the mortgages, encumbrances and other instruments affecting the land including any created by dealings lodged for registration prior to the lodging of this document. (Note – This form cannot be used to vary a Unit within a Registered Units Plan)

LODGING PARTY DETAILS

| Name | Postal Address | Contact Telephone Number |
|---------------------------|----------------------------|--------------------------|
| Capital Crown Leasing P/L | PO Box 7336 Watson 2602 | [REDACTED] |

TITLE AND LAND DETAILS

| Volume & Folio | District/Division | Section | Block |
|----------------|-------------------|---------|-------|
| 1829:31 | Mitchell | 11 | 18 |

| FULL NAME OF REGISTERED PROPRIETOR/S (Surname Last) (ACN required for all companies) | FULL POSTAL ADDRESS |
|-----------------------------------------------------------------------------------------|--------------------------------------------------------------------------|
| Konstantinou Developments Pty Ltd – ACN 088 414 742 | RSM Bird Cameron level 1 103-105 Northbourne Avenue Canberra ACT 2600 |

LEGISLATIVE PROVISION TO VARY CROWN LEASE

I, **Irma Sare**, being a delegate of the planning and land authority, APPLY to you to register the variation which has been made to the Crown lease of the land described above. An approval of the Variation of Lease is submitted herewith in accordance with Section 72A of the Land Titles Act 1925.

DETAILS OF DELETED CLAUSES (no longer applicable after registration)

N/A

PLAN-201733198-EXISTING SERVICES-01#2.pdf
PLAN-201733198-FIRST-01#2.pdf
PLAN-201733198-GROUND-01#2.pdf
PLAN-201733198-NOTES-01.pdf
PLAN-201733198-SECOND-01#2.pdf
PLAN-201733198-TTMP-01#2.pdf
PLAN-201733198-TTMP-02#2.pdf
ROOF-201733198-01#2.pdf
SCRITERIA-201733198-01.pdf
SECTION-201733198-01#2.pdf
SECTION-201733198-02#2.pdf
SECTION-201733198-03#2.pdf
SEDIMENT-201733198-01#2.pdf
SHADOW-201733198-01.pdf
SITE-201733198-01.pdf
SURVEYCERT-201733198-01.pdf
SWMASTER-201733198-01.pdf
TRAFFICREPORT-201733198-01.pdf
TURNTEMPLATE-201733198-01.pdf
WATERURBANDESIGN-201733198-01.pdf

The design depicted in this application has been assessed by Icon Water and fails to comply with their water and sewerage network protection.

Reasons for Failure to Comply

Design Acceptance for External Services and Off Site Works must be in principle design approved by Icon Water Hydraulic Assets. Phone Icon Water Asset Acceptance on ph: 02 6248 3111. This needs to be referred back to Icon Water Building Approvals area for approval prior to any DA/BA Approval by ACTPLA or certifiers.

Resubmission of this application must be made to both Water and Energy Networks in order to ensure that subsequent changes to the plans meet the compliance requirements of both areas. You may also need to resubmit the application to other referral entities to ensure the changes comply with their requirements.

WARNING

This submission fails to comply with Icon Water requirements. A decision to proceed is likely to result in interference with an Icon Water sewer or water asset. Part 5 of the Utilities (Technical Regulation) Act 2014 applies, which indicates a person who interferes with a utility asset may be subject to prosecution. The current maximum penalty is 200 penalty units, imprisonment for two years, or both. In addition the land-holder can be ordered at their expense to stop the interference, which may involve removal of the building work or that part of the building work that is causing, or is likely to cause interference.

Comments:

Signed

Eddie Gonzalez

Date

02 Mar 2018

For further information please phone Icon Water 6248 3111.



FAILED TO COMPLY

Application No: 167621 **Suburb:** Mitchell

Block/Section 18 / 11

Applcn Type: Non residential/New Construction Inclusions : Basement

Attached Plans

%lease variation 25_7_17.pdf
%LEASE-201733198-01.pdf
%TITLE-201733198-01.pdf
ACCESSREPORT-201733198-01.pdf
APP-201733198-02.pdf
AUTHORISATION-201733198-01.pdf
ELEV-201733198-01#2.pdf
ELEV-201733198-02#2.pdf
ENTITYADVICE-201733198-EDU-01.pdf
ENTITYADVICE-201733198-EPA-01.pdf
ENTITYADVICE-201733198-EPA-02.pdf
ENTITYADVICE-201733198-EPA-03.pdf
HYDRAULICS-201733198-01#2.pdf
INDEX-201733198-01.pdf
INDEX-201733198-CIVIL-01.pdf
LIGHTING-201733198-01#2.pdf
LIGHTING-201733198-02#2.pdf
LIGHTING-201733198-03#2.pdf
LSCAPE-201733198-01#2.pdf
LSCAPE-201733198-COVER-01#2.pdf
LSCAPE-201733198-LEVEL 1-01#2.pdf
LSCAPE-201733198-LEVEL 2-01#2.pdf
LSCAPE-201733198-PLANING PALETTE-01.pdf
MISC-201733198-12#2.pdf
MISC-201733198-13#2.pdf
MISC-201733198-14#2.pdf
MISC-201733198-15#2.pdf
NOISE-201733198-01_Part1.pdf
NOISE-201733198-01_Part2.pdf
NOISE-201733198-01_Part3.pdf
OFFSITWORKS-201733198-01#2.pdf
PERSP-201733198-01#2.pdf
PERSP-201733198-02#3.pdf
PERSP-201733198-03#3.pdf
PLAN-201733198-CIVIL WORKS-01#2.pdf

WARNING

This submission fails to comply with Icon Water requirements. A decision to proceed is likely to result in interference with an Icon Water sewer or water asset. Part 5 of the Utilities (Technical Regulation) Act 2014 applies, which indicates a person who interferes with a utility asset may be subject to prosecution. The current maximum penalty is 200 penalty units, imprisonment for two years, or both. In addition the land-holder can be ordered at their expense to stop the interference, which may involve removal of the building work or that part of the building work that is causing, or is likely to cause interference.

Comments:

Signed

Eddie Gonzalez

Date

22 Feb 2018

For further information please phone Icon Water 6248 3111.