

LEGEND

- - - LEASE BOUNDARY
- - - - - ADDITIONAL LAND TO BE ACQUIRED. REFER LAND ACQUISITION PLAN DA-100-301



SURFACE ANALYSIS				
NUMBER	COLOUR	MINIMUM LEVEL (m)	MAXIMUM LEVEL (m)	2D AREA (m ²)
1		0.000	0.100	1279.9
2		0.100	0.200	922.9
3		0.200	0.300	281.4
4		0.300	0.400	15.6
5		0.400	0.500	0.0

File Name: P:\2018\181174_B21-S30-Dickson04_CAD\4_2_Drawings\CIV\181174-drg-civ-ew-0201.dwg

Rev	Description	Date	Drawn By
E	REVISED DEVELOPMENT APPLICATION	20.12.2018	DA
D	DEVELOPMENT APPLICATION	14.12.2018	DA
C	EDP UPDATE	14.11.2018	DA
B	EDP UPDATE	12.11.2018	DA
A	ESTATE DEVELOPMENT PLANS	9.11.2018	DA

Scales

1:250 @ A1

North

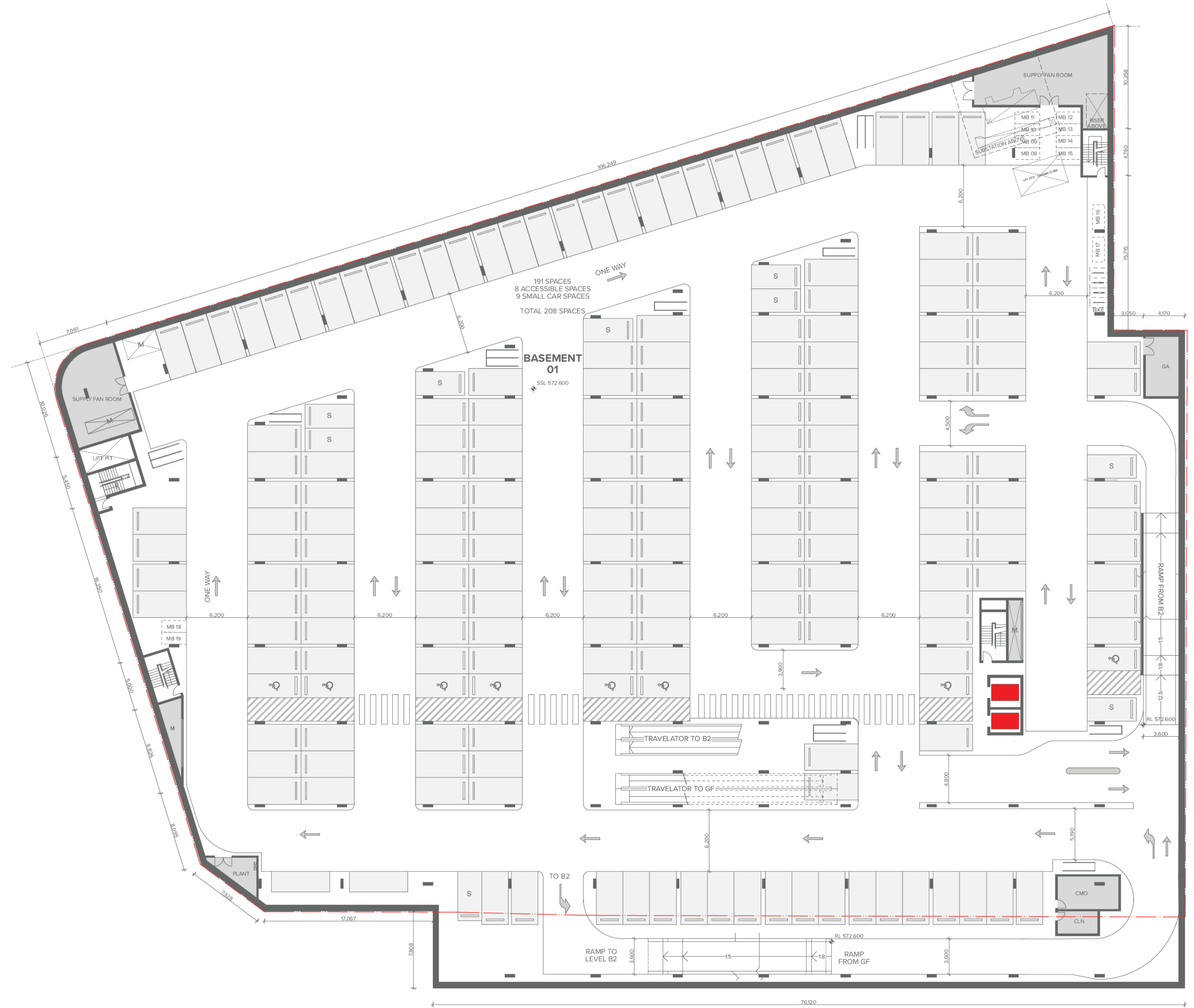
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Original Size	A1	Drawn By	DA
Date Plotted	20-Dec-18	Designed By	AE
Coordinate System	STROMLO GRID	Approved	BC
Height Datum	AHD	Approved Date	9.11.2018
		Approved Signature	

Project Name and Location						
DICKSON MIXED USE PROJECT						
BLOCK 21 SECTION 30 DICKSON ACT						
Drawing Title						
FILL PLAN						
Project Number	Type	Discipline	Sub-Discipline	Drg No.	Rev	
181174	DRG	CIV	EW	0201	E	



Property Boundary

Car Parking Schedule B1

Retail	191
Accessible	8
Small Car	9
Total	208

Parking Schedule B1

Bicycle	8
Motorbike	12

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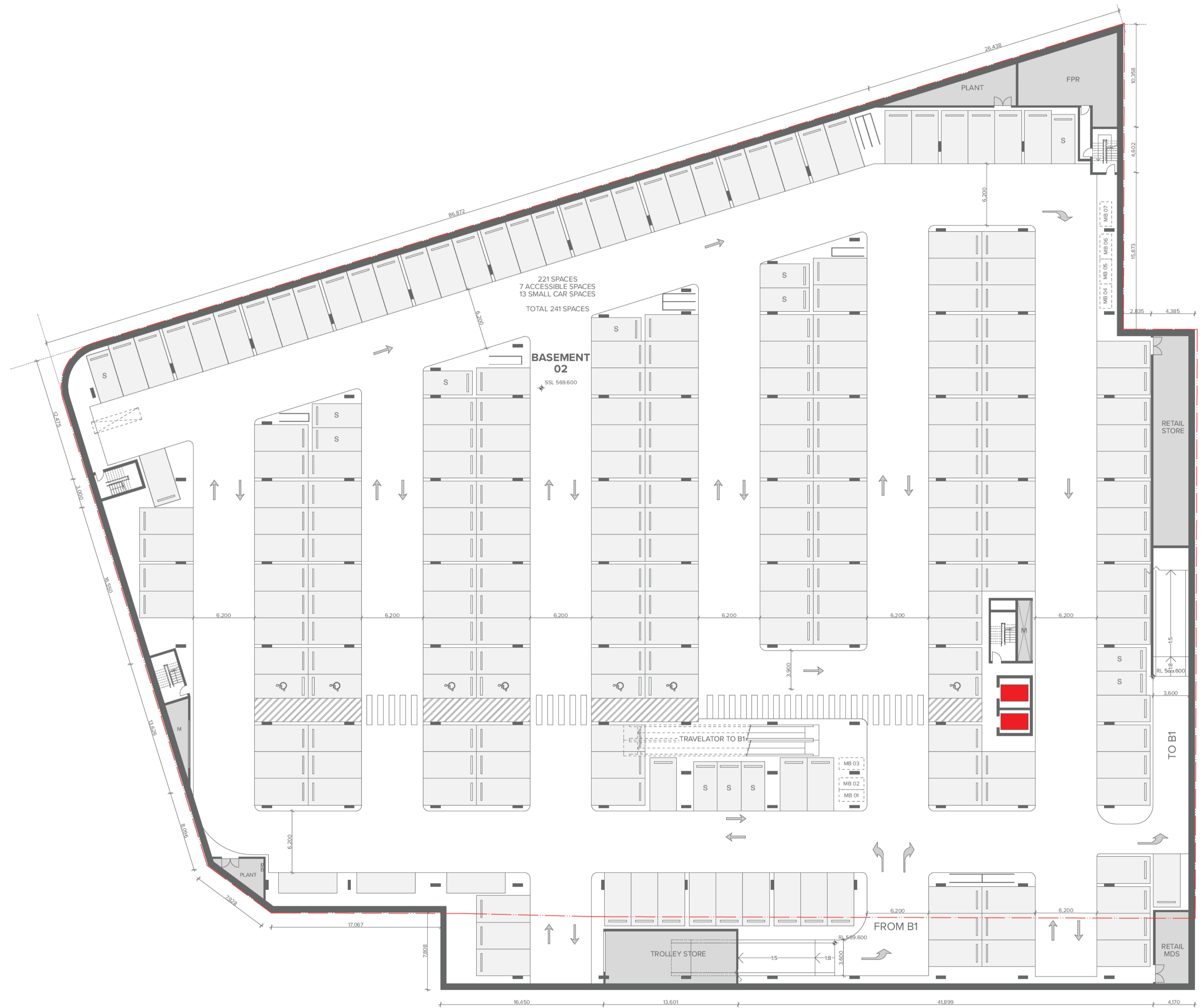
- Notes:**
1. This drawing is to be read in conjunction with relevant consultant drawings
 2. Entrances to all buildings along the accessible path of travel to be as AS1428.1
 3. All lifts to comply with AS735.12 and BCA
 4. All handrails within stairwells to AS1428.1
 5. Tactile indicators to top and bottom of stair risers and road crossings to AS1428.1 2009
 6. Mechanical ventilation systems to comply with AS1668.2 2012

Rev 01 Date 14.12.18 Approved by VP Issue Name Development Application

Project Title
Dickson Mixed Use
 Block Z1, Section 30, Dickson ACT 2602

Drawing Title
GA Plans
Basement 01

Scale 1:250 @A1, 50% @A3
 Status
 Project No. 18047
 Drawn by ML/KP
 Rev 01
 Dwg No. DA-110-008



Property Boundary

Car Parking Schedule B2	
Retail	221
Accessible	7
Small Car	13
Total	241

Parking Schedule B2	
Motorbike	7

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01	14.12.18	VP	Development Application	

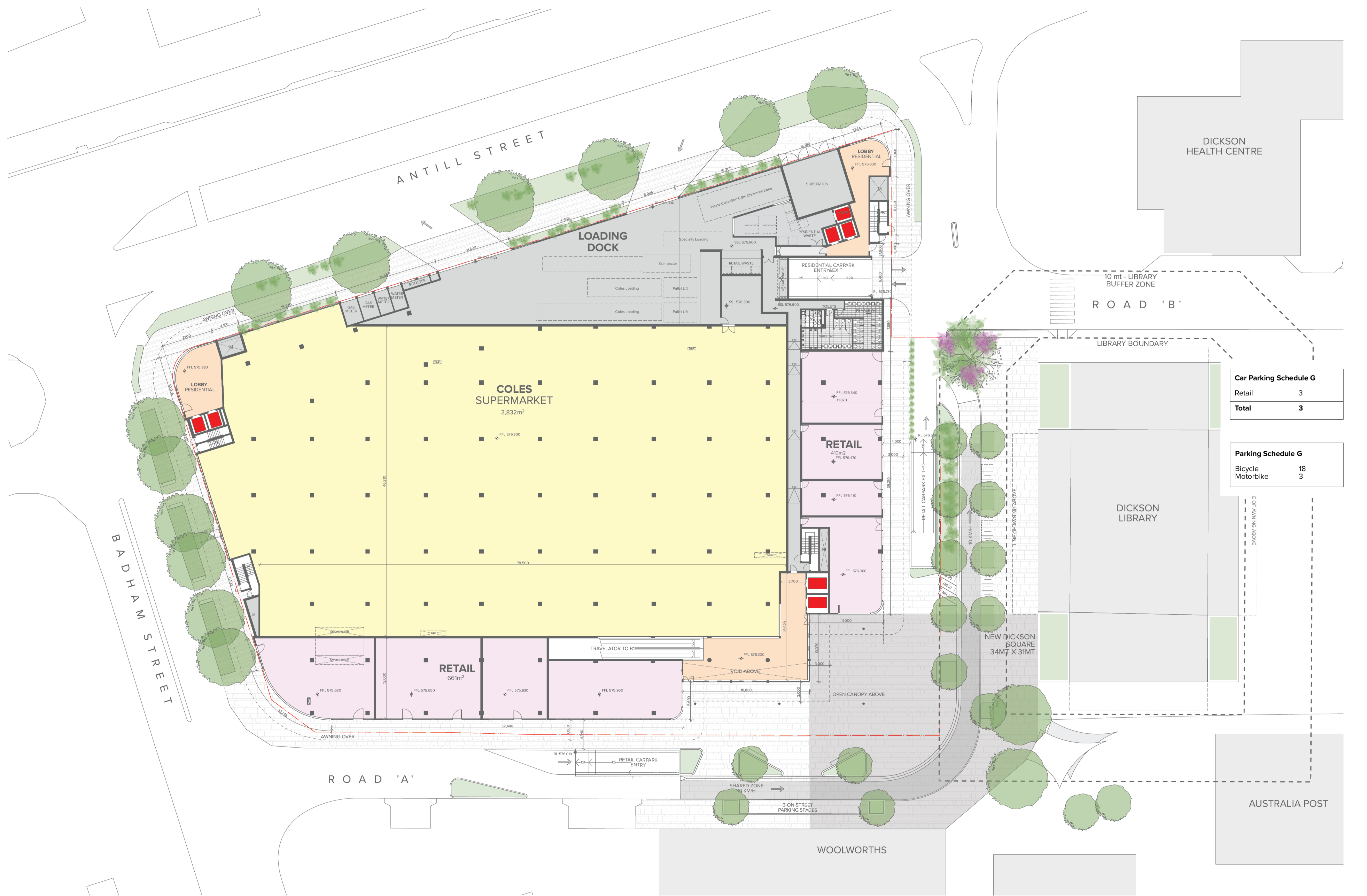
Project Title
 Dickson Mixed Use
 Block Z1, Section 30, Dickson ACT 2602

Drawing Title
 GA Plans
 Basement 02

Scale: 1:250 @A1, 50% @A3
 Status:
 Project No. 18047
 Drawn by ML/KP
 Dwg No. DA-110-007
 Rev 01

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Car Parking Schedule G

Retail	3
Total	3

Parking Schedule G

Bicycle	18
Motorbike	3

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Property Boundary as per current Block boundary

Rev 01 Date 14.12.18 Approved by [Signature] Issue Name Development Application

Project Title
Dickson Mixed Use
 Block 21, Section 30, Dickson ACT 2602

Drawing Title
GA Plans
 Ground Level

Scale
 1:250 @A1, 50% @A3

Project No. 18047
 Drawing No. DA-110-009
 Rev 01

Drawn by ML/KP
 Rev 01

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Parking Schedule Level 01	
Residential	169
Accessible	14
Retail Tenant	23
Total	206

Parking Schedule Level 01	
Bicycle	16
Motorbike	6

Storage Schedule Level 01	
Storage Units	140

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- Notes:**
1. This drawing is to be read in conjunction with respective consultant drawings
 2. Entrances to all buildings, units along the accessible path of travel to as AS14281
 3. All lifts to comply with AS735.12 and BCA
 4. All handrails within stairwells to AS14281
 5. Tactile indicators to top and bottom of stair risers and road crossings to AS14281 2009
 6. Mechanical ventilation systems to comply with AS1668.2 2012

Property Boundary as per current Block boundary

Rev	Date	Approved by	Issue Name
01	14.12.18	HP	Development Application

Project Title
Dickson Mixed Use
 Block 21, Section 30, Dickson ACT 2602

Drawing Title
GA Plans
Level 01

Scale	Project No.	Drawn by	North
1:250 @A1, 50% @A3	18047	ML/KP	↑
Status	DA-110-010	Rev	01

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Unit Schedule Level 03-05 (per level)	
Studio	1
1 Bed	13
2 Bed	11
3 Bed	3
Total	28

Legend	
B1, 2, 3	Bedroom
L	Living
D	Dining
K	Kitchen
BY	Balcony
TR	Terrace
BA	Bathroom
EN	Ensuite
LY	Laundry
ST	Study
WIR	Walk in robe

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Property Boundary as per current Block boundary

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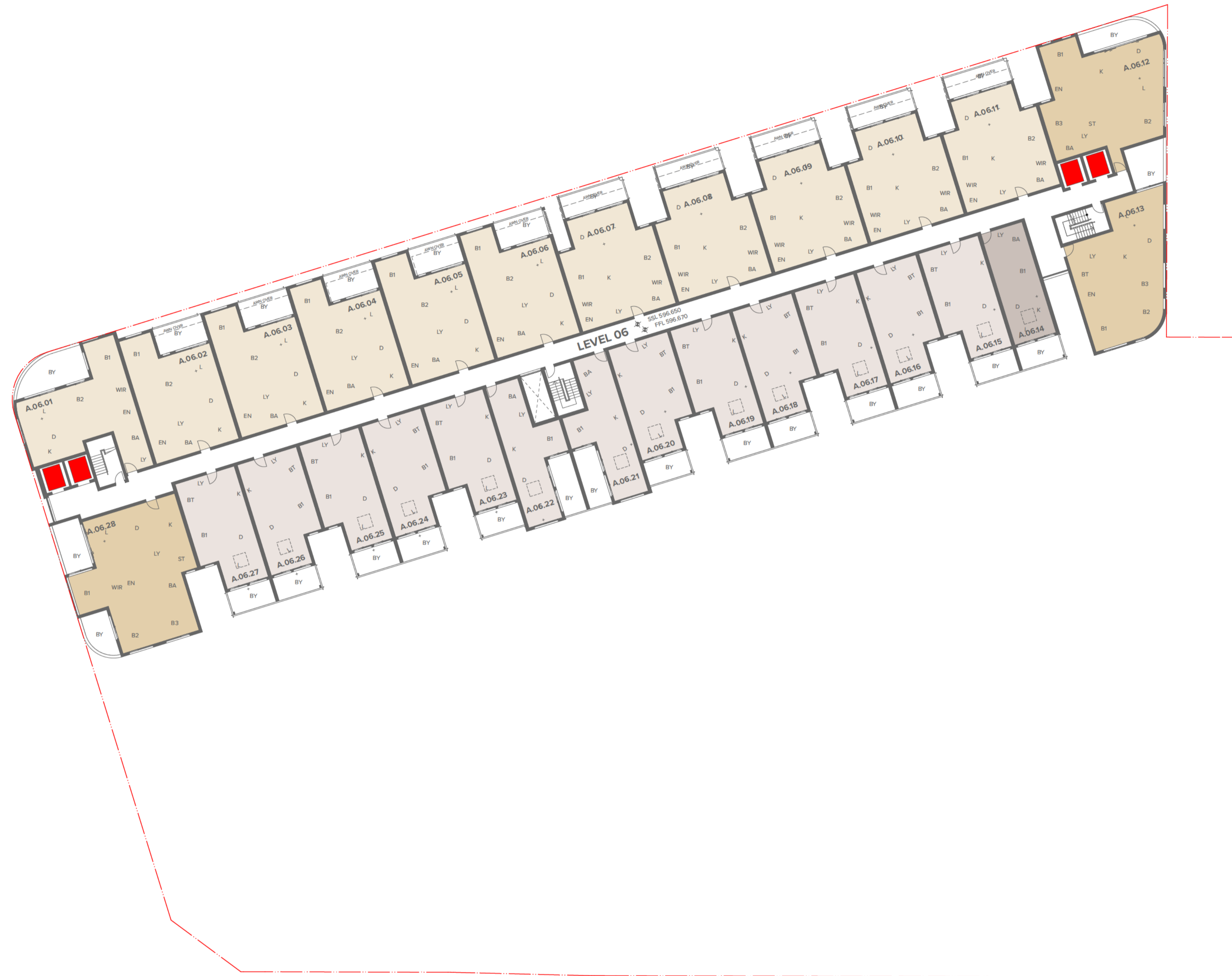
Project Title
Dickson Mixed Use
 Block 21, Section 30, Dickson ACT 2602

Drawing Title
Public Notification Plans
Level 03-05 Typical

Scale	Project No.	Drawn by	North
1:250 @A1, 50% @A3	18047	ML/KP	North
Status	Dwg No. DA-860-012	Rev	01

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 Nominated Architect: Nicholas Turner, 1987, 409/50/54/56/58/61

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Unit Schedule Level 06	
Studio	1
1 Bed	13
2 Bed	11
3 Bed	3
Total	28

Legend	
B1, 2, 3	Bedroom
L	Living
D	Dining
K	Kitchen
BY	Balcony
TR	Terrace
BA	Bathroom
EN	Ensuite
LY	Laundry
ST	Study
WIR	Walk in robe

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Property Boundary as per current Block boundary

Rev	Date	Approved by	Issue Name
01	14.12.18	VP	Development Application

Project Title
Dickson Mixed Use
 Block 21, Section 30, Dickson ACT 2602

Drawing Title
Public Notification Plans
Level 06

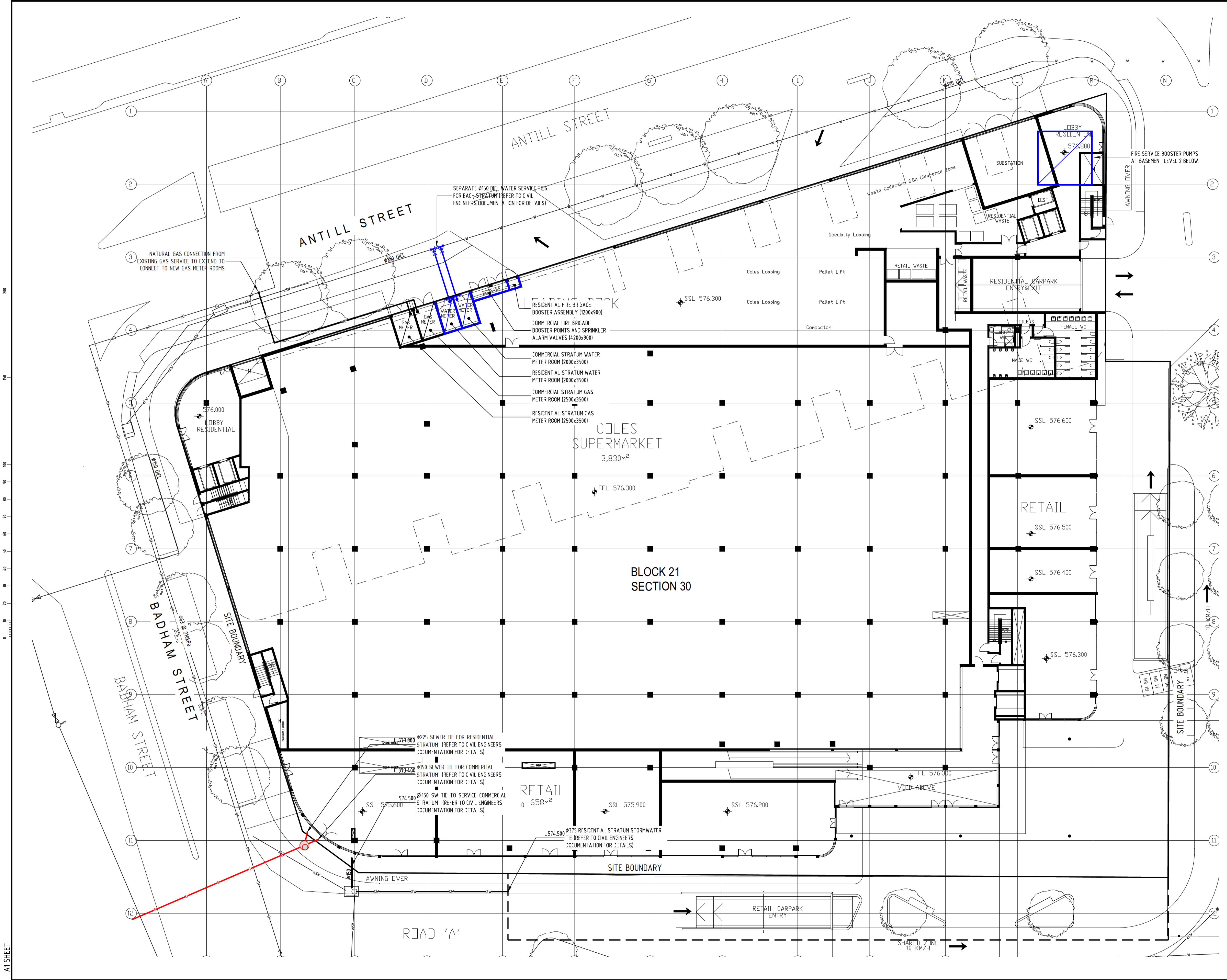
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1:250 @A1, 50% @A3	18047	ML/KP	North
Status	DA-860-013	Rev	01

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PLAN OF SANITARY DRAINAGE.

PLAN No: _____
 APPROVED UNDER REGULATION 7 OF THE CANBERRA SEWERAGE & WATER SUPPLY REGULATIONS
 Registration No: _____
 Approved By: _____ Date: _____



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04	DA ISSUE	14.12.18	DNT	DNT
03	DA ISSUE	07.12.18	DNT	DNT
02	EDP ISSUE	13.11.08	DNT	DNT
01	PRELIMINARY EDP ISSUE	11.11.08	DNT	DNT
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TENNANT HYDRAULIC CONSULTING SERVICES

PROJECT
**DICKSON VILLAGE
 MIXED USE DEVELOPMENT**
 BLOCK 21 SECTION 30 SUBURB DICKSON

DRAWING
**HYDRAULIC SERVICES
 SITE SERVICES PLAN**

DRAWN	DESIGNED	CHECKED	DATE	SCALE
DNT	DNT		NOV'18	1:200 A1 1:400 A3
PROJECT	DWG No.	REV	STATUS	
TH180067	H-DA-03	04	PRELIMINARY	

R86 - WATER REDUCTION CALCULATIONS				
Component		Residential	Commercial	Development Totals
Indoor Information	Number of Bedrooms (No)	225	n/a	0
	NLA (m ²)	n/a	4,933	4933
	Shower Head Rating (* Star)	4 Star	4 Star	varies
	Clothes Washing Machine Rating (* Star)	4 Star	n/a	varies
	Dishwashers Rating (* Star)	4 Star	5 Star	varies
	Toilet Rating (* Star)	4 Star	4 Star	varies
	Urinal Rating (* Star)	n/a	6 Star	varies
Site Information	Basin Rating (* Star)	n/a	5 Star	varies
	Site Area (m ²)	7,853	7,853	7,853
	Total Roof Area (m ²)	5,093	5,093	5,093
	Lawn Area (m ²)	0	n/a	0
	Irrigated Garden Area (m ²)	740	n/a	740
Rainwater Tank Information	Impervious Pavement or Driveway (m ²)	2,070	n/a	2,070
	Are There going to be water tanks installed	YES	No	No
	Total size of all the tanks (ltr)	10,000	-	-
	Total impervious area flowing into the tanks (m ²)	5,093	-	-
Pool, Spa or Pond Information	What will be the use for the water in the tanks	Garden	-	-
	Is there going to be a pool, spa, or pond ?	No	No	No
	Is there going to be a cover on the pool or spa ?	-	-	-
	Average depth of the pool, spa or pond (m)	-	-	-
	Average length of the pool, spa or pond (m)	-	-	-
Other Water Use	Average width of the pool, spa or pond (m)	-	-	-
	The volume of the pool, spa or pond is (ltr)	-	-	-
Water Reduction Information	Cooling System Water Consumption (ltr/yr)	n/a	n/a	n/a
	Fire Testing System Consumption (ltr/yr)		30,000	30,000
	Potable Water Usage with Reductions (L/day)	22,158	7,208	29,366
	Pre 2003 Potable Water Usage (L/day)	37,641	11,928	49,569
	Reduction (L/day)	15,483	4,720	20,203
% Reduction	41%	40%	41%	

R87 - STORMWATER MANAGEMENT SCHEDULE	
Block Area	7,853 m ²
Impervious Area - Roof Area	
Roof Connected to rainwater storage	4,161 m ²
Roof area not connected to storage	932 m ²
Total	5,093 m²
Impervious Area - Paved Areas	
Hard Paved Areas (shedding to drainage)	2,070 m ²
Permeable / porous paving (shedding to drainage)	0 m ²
Paved areas shedding runoff to garden beds and/or lawns	0 m ²
Total	2,070 m²
Total Impervious areas <i>(with 50% reduction applied to permeable paving areas, and excluding paving with runoff to garden beds and/or lawn)</i>	7,163 m²
Minimum Site Storage Required	
Development Type	Commercial Redevelopment
Portion of site area excluded from retention calculation	50%
Impervious area contributing to storage volume calculation	3,237 m ²
Site storage required at 1.4kl per 100m ² of impervious area	45 kl
Rainwater Storage Proposed	
Type of storage	Void Liner
Proposed re-use function	Irrigation
Volume of Storage	10 kl
Extended Storage Detention	
Type of storage	tank
Volume of Storage	45 kl
Stormwater Site Storage Achieved <i>(= 50% of rainwater storage + 100% of extended storage)</i>	45 kl
Slow release period	1 day
Slow release flow rate	0.52 l/s

R88 - MUSIC MODELLING

Catchment Areas	Contributing	Bypass
Total Site Area	0.69	0.09
Impervious Area	0.62	0.09
Impervisity	90%	100%

Treatment Devices

- Gross Pollutant Trap: Nil
- Stormwater Quality Improvement Device: SPEL Hydrosystem Model SHS.1000

Tank

Tank Volume	10 Kl
Depth above overflow	0 m
Surface Area	36 m ²
Initial volume	10 Kl
Reuse Rates	
Toilet Flushing	0 l/day
Irrigation	572 l/day
Total	572 l/day

Node Diagram

Treatment Train Effectiveness

	Sources	Residual Load	% Reduction
Flow (ML/yr)	4.72	4.52	4.3
Total Suspended Solids (kg/yr)	730	161	78
Total Phosphorus (kg/yr)	1.06	0.466	55.9
Total Nitrogen (kg/yr)	12.6	7.11	43.4
Gross Pollutants (kg/yr)	163	19.8	87.9

PLAN OF SANITARY DRAINAGE.

PLAN No.: _____
 APPROVED UNDER REGULATION 7 OF THE CANBERRA SEWERAGE & WATER SUPPLY REGULATIONS
 Registration No. _____
 Approved By: _____ Date: _____

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03	DA ISSUE	07.12.18	DNT	DNT
02	EDP ISSUE	13.11.08	DNT	DNT
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PROJECT
**DICKSON VILLAGE
 MIXED USE DEVELOPMENT**
 BLOCK 21 SECTION 30 SUBURB DICKSON

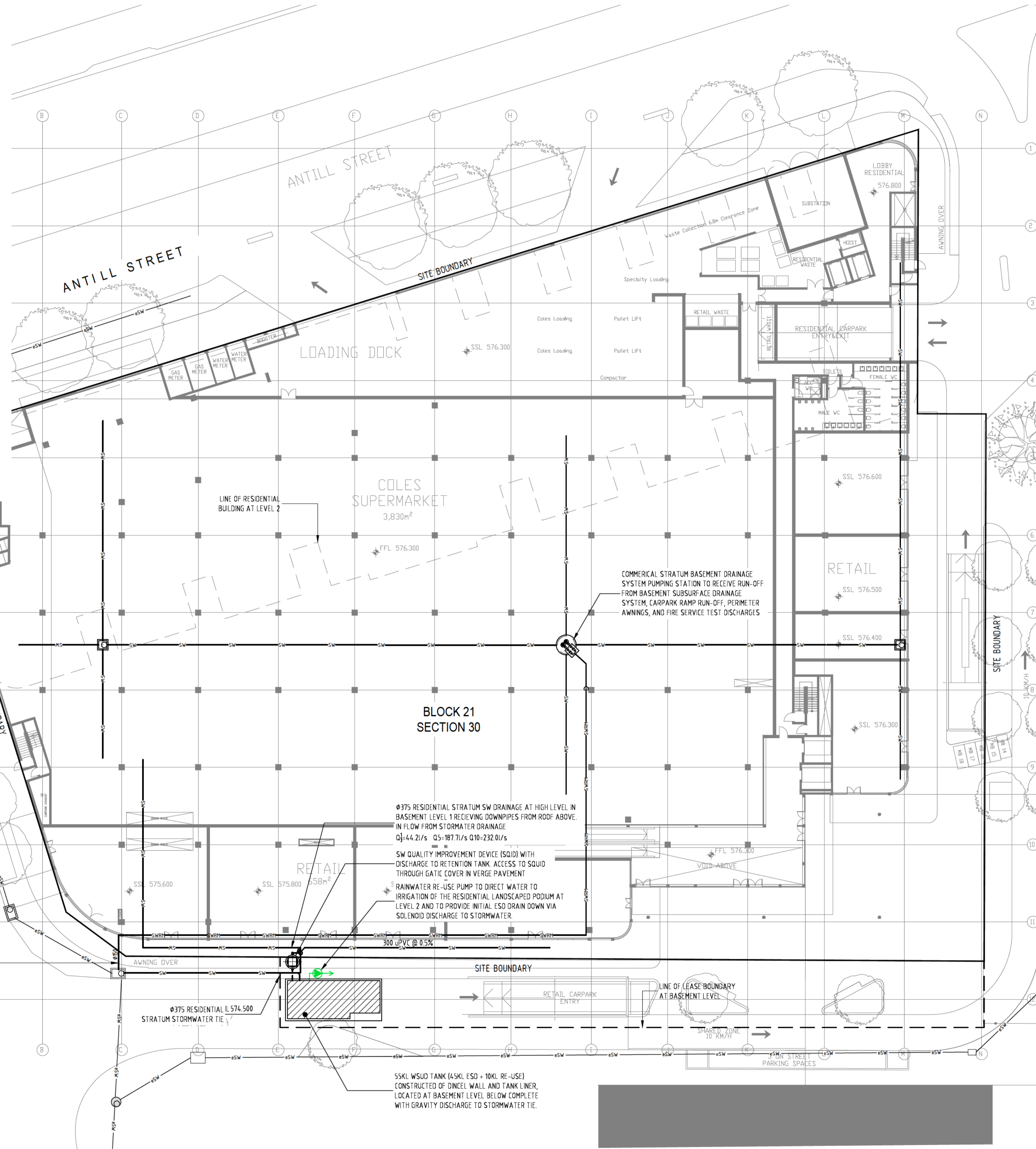
DRAWING
**HYDRAULIC SERVICES
 STORMWATER MANAGEMENT
 SCHEDULES**

DRAWN	DESIGNED	CHECKED	DATE	SCALE
DNT	DNT		NOV '18	NTS NTS
PROJECT	DWG No.	REV	STATUS	
TH180067	H-DA-02	3	PRELIMINARY	

A1 SHEET

WSUD COMPLIANCE SCHEDULE		
Rule	Requirement	Response
R86	The Development achieves a minimum 40% reduction in mains water consumption compared to an equivalent development constructed in 2003, without reliance on landscaping measures	Compliance is achieved by the use of high water efficiency fixtures and appliances as scheduled in the separate summary spreadsheet provided on drawing H-DA-002 A net reduction in excess of the minimum 40% is achieved.
R87	On sites larger than 2000m ² stormwater management measures comply with all of the following: a) provision for the retention of stormwater on the block is equivalent to at least 1.4kl per 100m ² of impervious area. b) the retained stormwater complies with one of more of the following - i) is stored for later re-use ii) it is released to the stormwater system over a period of not less than 1 day. Rainwater tanks connected to at least the toilet and all external taps may be counted towards this requirement.	In order to satisfy these criteria a minimum extended storage detention (ESD) volume of 45kl is required (refer to separate schedule on drawing H-DA-002 for calculation details) which will be provided by means of a retention tank to be constructed at basement level 1. The tank will additionally accommodate 10kl of storage for irrigation re-use to the Level 2 residential landscaped podium providing a total of 55kl of WSUD storage. Water will be slow released from the ESD zone of the tank over a 1-2 day period by means of a flow regulated solenoid valve discharging at 0.5l/s from the irrigation water supply line. The solenoid valve will be deactivated once the ESD zone is drained down.
R88	For blocks 5,000m ² or larger, the average annual stormwater pollutant export is reduced for all of the following: a) suspended solids by at least 60% b) total phosphorous by at least 45% c) total nitrogen by at least 40% compared with an urban catchment with no water quality management controls.	i) SW quality improvement device receiving the treatment flow and discharging to storage. iii) Retention storage tank of 55kl of which 10kl is reserved for irrigation purposes. The outcomes of the above treatment measures have been modelled utilising MUSIC Version 6.0 which has demonstrated compliance with the required criteria. Modelling outcomes are provided on drawing H-DA-002.
R89	On previously developed blocks larger than 2000m ² the capacity of the existing pipe (minor) stormwater connection is not exceeded in the 1-in-10 year storm event and the capacity of the existing major overland stormwater system is not exceeded in the 1-in-100 year stormevent.	The existing 300dia stormwater tie on the corner of Badham St and Dickson Lane is to be disconnected and replaced with a new 375dia stormwater tie from an existing kerb inlet sump which connects to an existing 600dia stormwater pipe. The downstream network has been demonstrated by the civil engineers to have sufficient capacity to service the Q ₁₀ run-off from this development

This site is zoned under the Territory Plan as CZ1 Core Zone, accordingly the proposed development is required to comply with the Dickson Precinct Code and the Commercial Zones Development Code which under Part F requires multi unit residential developments in commercial zoned areas to comply with the Multi Unit Housing Development Code. Accordingly the WSUD design response for this project has been determined to comply with Element 8: Environment of the Multi Unit Housing Development Code. Extracts from the code requirements together with compliance statements are provided in the above schedule.



PLAN OF SANITARY DRAINAGE.

PLAN No: _____
 APPROVED UNDER REGULATION 7 OF THE CANBERRA SEWERAGE & WATER SUPPLY REGULATIONS
 Registration No: _____
 Approved By: _____ Date: _____

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PROJECT
DICKSON VILLAGE
MIXED USE DEVELOPMENT
 BLOCK 21 SECTION 30 SUBURB DICKSON

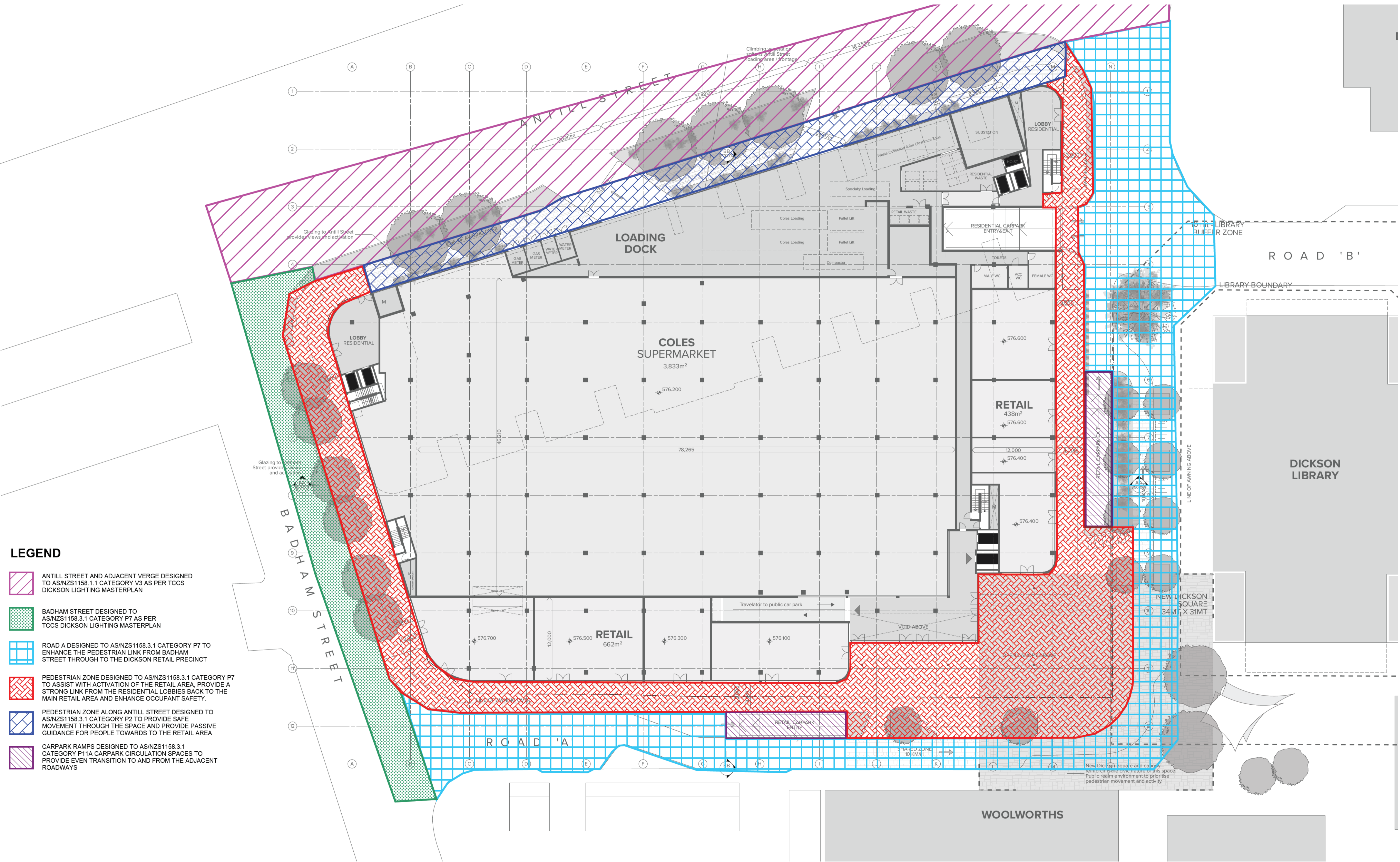
HYDRAULIC SERVICES
STORMWATER
MANAGEMENT PLAN

DRAWN	DESIGNED	CHECKED	DATE	SCALE
DNT	DNT		NOV'18	1:250 A1 1:500 A3







File Name: TH180067-H-DA-01-SW REV 2/DWG
 Plot Date: 10/14/2018 12:29 PM

PROJECT	DWG No.	REV	STATUS
TH180067	H-DA-01	04	PRELIMINARY

BLOCK 21 SECTION 30 DICKSON PROPOSED EXTERNAL LIGHTING DESIGN CRITERIA



LEGEND

-  ANTILL STREET AND ADJACENT VERGE DESIGNED TO AS/NZS1158.1.1 CATEGORY V3 AS PER TCCS DICKSON LIGHTING MASTERPLAN
-  BADHAM STREET DESIGNED TO AS/NZS1158.3.1 CATEGORY P7 AS PER TCCS DICKSON LIGHTING MASTERPLAN
-  ROAD A DESIGNED TO AS/NZS1158.3.1 CATEGORY P7 TO ENHANCE THE PEDESTRIAN LINK FROM BADHAM STREET THROUGH TO THE DICKSON RETAIL PRECINCT
-  PEDESTRIAN ZONE DESIGNED TO AS/NZS1158.3.1 CATEGORY P7 TO ASSIST WITH ACTIVATION OF THE RETAIL AREA, PROVIDE A STRONG LINK FROM THE RESIDENTIAL LOBBIES BACK TO THE MAIN RETAIL AREA AND ENHANCE OCCUPANT SAFETY.
-  PEDESTRIAN ZONE ALONG ANTILL STREET DESIGNED TO AS/NZS1158.3.1 CATEGORY P2 TO PROVIDE SAFE MOVEMENT THROUGH THE SPACE AND PROVIDE PASSIVE GUIDANCE FOR PEOPLE TOWARDS TO THE RETAIL AREA
-  CARPARK RAMPS DESIGNED TO AS/NZS1158.3.1 CATEGORY P11A CARPARK CIRCULATION SPACES TO PROVIDE EVEN TRANSITION TO AND FROM THE ADJACENT ROADWAYS

NOTES
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CLIENT
Coles Group Property Development
6 Giffnock Avenue Macquarie Park NSW
2113

Sketch: SKE-002 [P2]
Title: EXTERNAL LIGHTING DESIGN CRITERIA
Project Number/Name: S4B13006200 - DICKSON MIXED USE
Date: 9/11/2018
Scale: 1:200@A1



Project Title
Dickson Mixed Use
Block 21, Section 30, Dickson ACT 2602
Drawing Title
GA Plans
Ground Level

Scale
@A1: 50% @A3
Status
Project No. 18047
Drawing No. DA-110-009
Drawn by TURNER
Rev. C
North

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