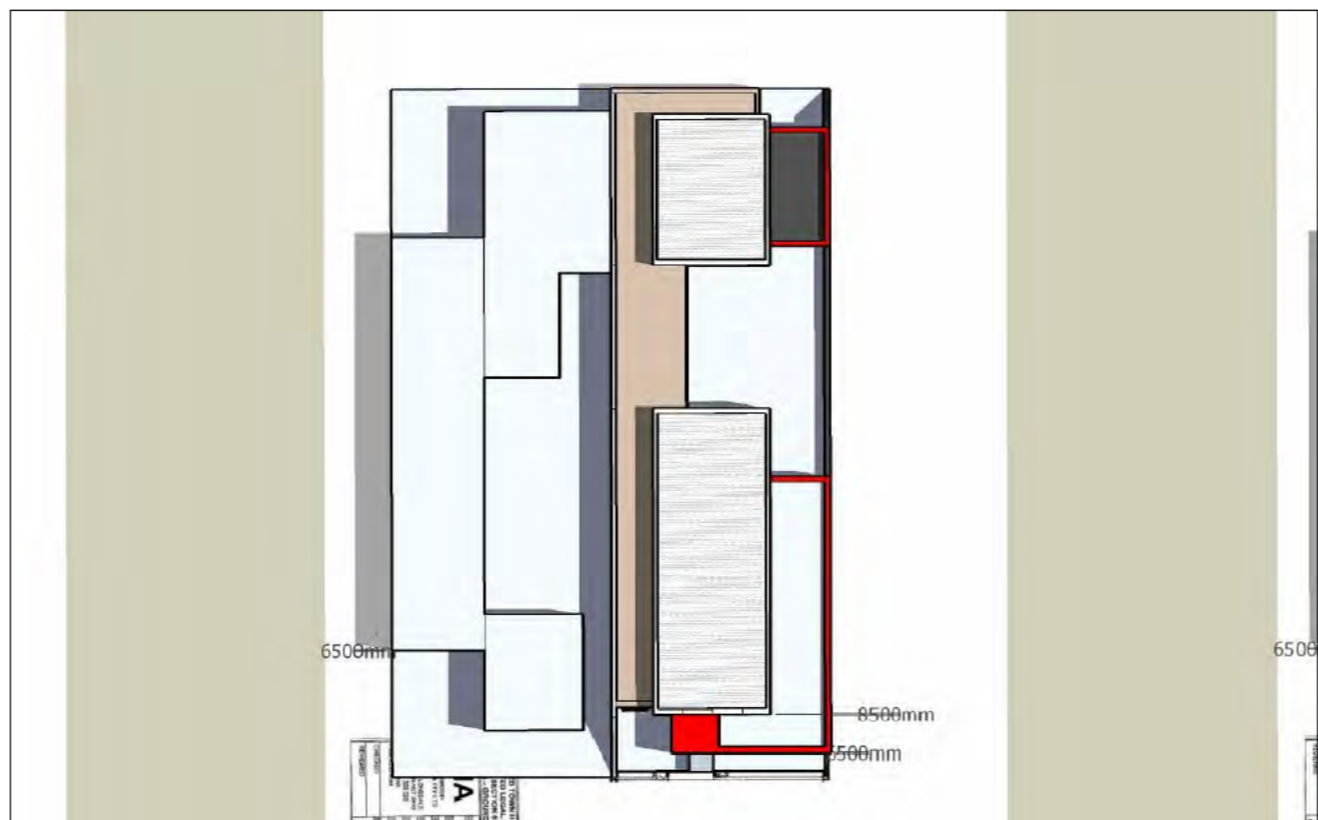




○ JANUARY 9AM



○ JANUARY 12PM



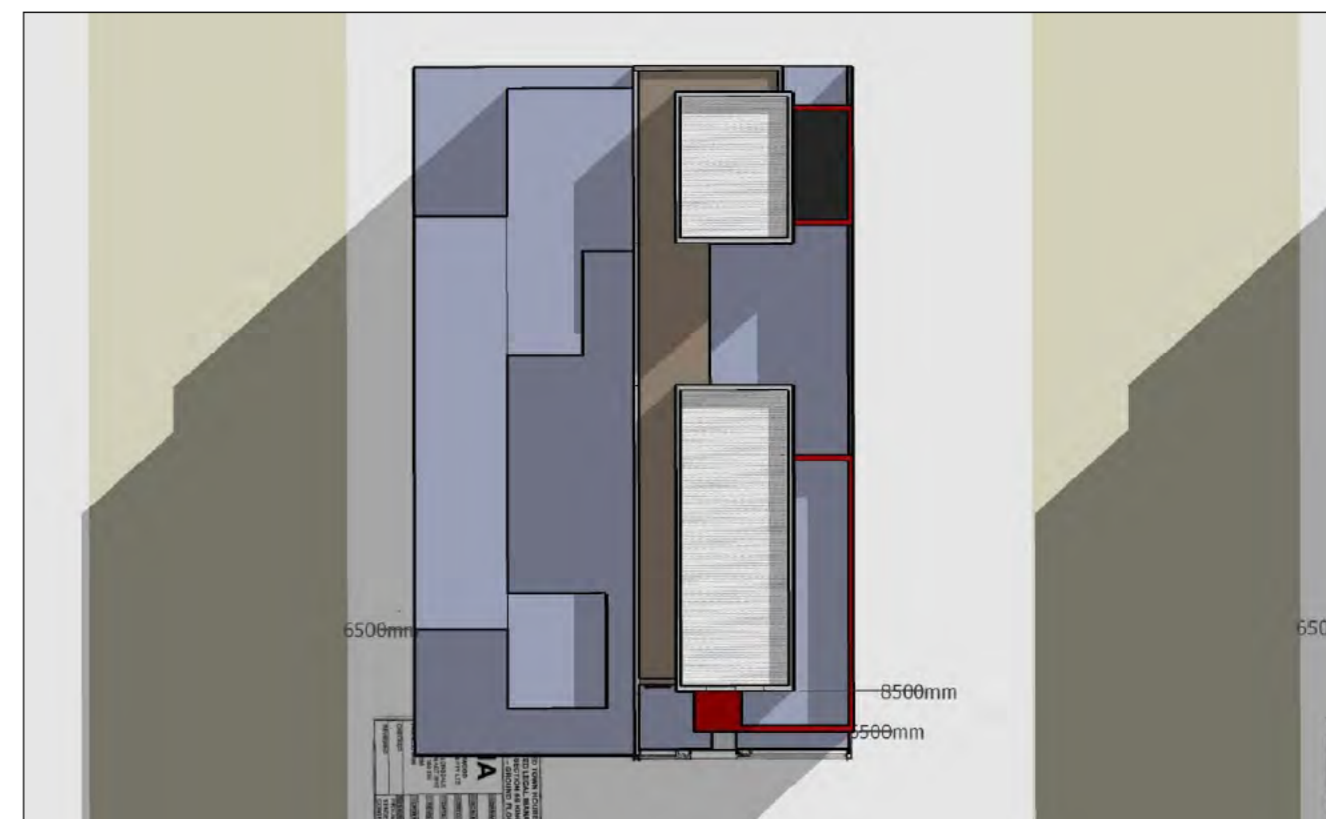
○ JANUARY 3PM



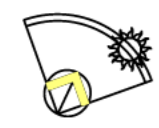
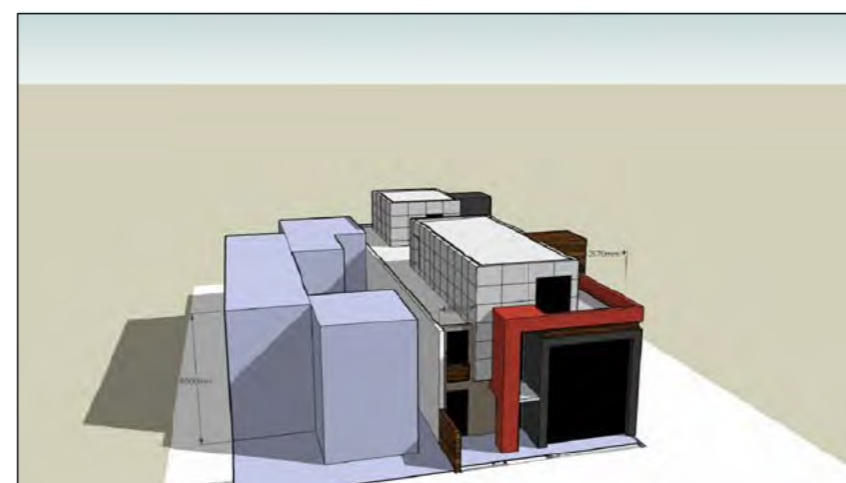
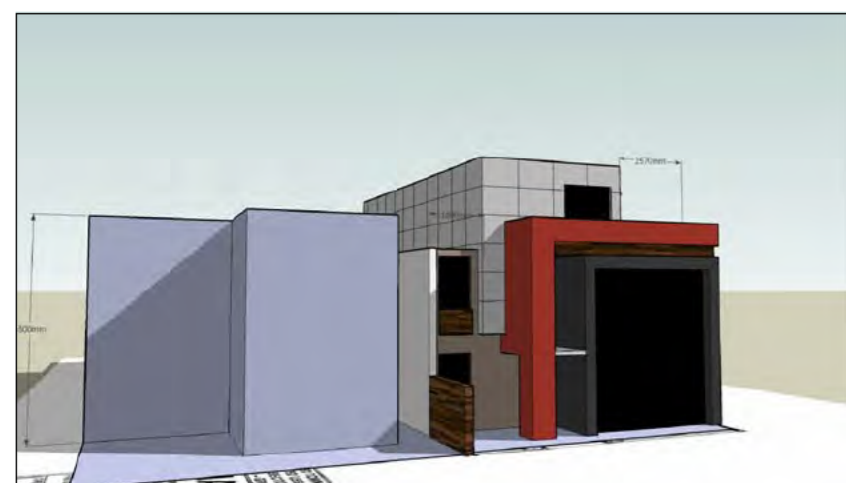
○ JUNE 9AM




○ JUNE 12PM



○ JUNE 3PM



PROJECT			CLIENT		 DOWSE NORWOOD ARCHITECTS PTY LTD SUITE 10 14 LONSDALE STREET BRADDON ACT 2612 ABN: 43 097 309 325 TEL: 02 6230 4688 FAX: 02 6230 4699	DRAWN	AJ	REVISION
PROPOSED NEW RESIDENCE			UNITED LEGAL			SCALE	1:50 AT A2	CHECKED
BLOCK	SECTION	SUBURB	DRAWING			PROJ NO.	0766	REVIEWED
3	55	KINGSTON	SHADOW DIAGRAMS		DATE	14.11.08	PSP	
					DRAWING NO.	DA-A15	DA	
							BA	
							CONST	

From: Connors, Brian
Sent: Tuesday, 6 January 2009 9:28 AM
To: App Sec
Subject: FW: Refer revised plans to Actew #200813271(DISREGARD)

PLEASE DISREGARD LAST EMAIL re Actew advice

-----Original Message-----

From: Connors, Brian
Sent: Tuesday, 6 January 2009 9:23 AM
To: App Sec
Subject: Refer revised plans to Actew #200813271

Please forward revised plans to Actew electrical for advice re failure to comply notice.

Regards
Brian

From: Connors, Brian
Sent: Friday, 9 January 2009 10:26 AM
To: App Sec
Subject: Advice to applicant re 200813271

After further assessment of development application 200813271, section 55, block 3 and consultation with my supervisor the following matters need to be addressed.

- 1) Refer page 3 Third Storey Elements of L&D - Third storey elements are not permitted facing on to laneway frontages. Due to third storey limitations, the proposed rear third storey element will not be supported.
- 2) Refer to diagram in Design Guidelines re limited third story potential. The southern third story building side setback provided is not sufficient. The setback needs to be within the required 31 degree angle from south wall so there is no more overshadowing than already created by the 6.50m side wall. This has not been achieved.
- 3) The northern third story side building setback is achieved, however the timber cladded stairwell encroaches on to the 1.80m setback. Please provide a statement against criteria addressing this.

Page 2 of the Lease and Development Conditions states that architectural and building designs are to be endorsed by the Agency prior to their submission to the Authority as part of the Development Application. This is mandatory as the proposed third storey element does not comply with L&D requirements. You can attempt to get the proposed plans endorsed or alternatively provide amended and endorsed plans addressing the above issues.

Regards
Brian Connors.

From: BAsubmission_WaterSewer <BAsubmission_WaterSewer@actewagl.com.au>
Sent: Friday, 9 January 2009 3:29 PM
To: ACTPLA ACTEWAGL Comments
Subject: RE: Referral-ActewAGL-200813271-S141A-3/55 Kingston-01
Attachments: printmaster@actewagl_20090109_144045.pdf

ACTEWAGL - WATER DIVISION

Your application has been assessed by ActewAGL and complies with our water and sewerage requirements.

Please find attached, your stamped plans together with a statement of compliance.

Separate compliance statements are required from other utilities (eg: electricity, gas, stormwater and communications)

Regards

[Redacted]

Planning Approval Officer

Customer Support and Education

ActewAGL Water Division

Telephone [Redacted]

Facsimile 02 6242 1459

Email devapp@actewagl.com.au

GPO Box 366 Canberra ACT 2601

www.actewagl.com.au

Please consider our environment before printing this email.

-----Original Message-----

From: App Sec [mailto:App.Sec@act.gov.au]
Sent: Wednesday, 7 January 2009 8:38 AM

To: Development Applications
Subject: Referral-ActewAGL-200813271-S141A-3/55 Kingston-01

<<%FLOORASSESS-200813271-S141A-01.pdf>>
<<%FLOORASSESS-200813271-S141A-landscape-01.pdf>>
<<ELEV-200813271-S141A-01.pdf>> <<STREET-200813271-S141A-01.pdf>>
<<APP-200813271-S141A-01.pdf>>
DEVELOPMENT APPLICATION NO: 200813271-S141A

BLOCK: 3 SECTION: 55 DIVISION: Kingston

Pursuant to Section 148(1) of the Planning and Development Act 2007 the ACT Planning and Land Authority requests that you consider the abovementioned development application and provide any written advice no later than 15 working days after the date of this notice (As soon as possible - 15 working days).

In accordance with Section 150 of the Planning and Development Act 2007 If advice is not received within the prescribed time it will be taken that you have supported the application.

Please forward any written advice via email to the Applications Secretariat
ACTPLAACTEWAGLComments@act.gov.au

Please use the following format in the subject line of the email when providing advice:

COMM-Agency Name-20080XXXX-Block XX Section XX SuburbXXXXX-01

Example: COMM-Heritage-200801234-Block 10 Section 10 Dickson-01

Applications Secretariat

07/01/2008

This email, and any attachments, may be confidential and also privileged. If you are not the intended recipient, please notify the sender and delete all copies of this transmission along with any attachments immediately. You should not copy or use it for any purpose, nor disclose its contents to any other person.

ActewAGL acts as agent for ACTEW Corporation

ActewAGL

STATEMENT OF COMPLIANCE

for

Application N^o: 51324 Drawings in set 4

Block: 3 Section: SS

Suburb: KINGSTON

The design depicted in this application has been assessed by ActewAGL and complies with ACTEW's water and sewerage network protection and access requirements.

Please note:

- ❖ Separate applications are required for ActewAGL electricity and gas networks.
- ❖ Any failure to accurately show existing or proposed structures may result in damage and costs for which the property owner will be liable. Damage to network assets must be reported to ActewAGL.
- ❖ Utility conditions may also apply to minor structures and landscaping works that may not have been depicted in this document. Consultation with ActewAGL's Water Division is advised if such structures and landscaping are planned.
- ❖ ActewAGL recommend setbacks provided for equipment access to water or sewerage network assets are kept free of obstruction by the property owner.
- ❖ Construction of works without the approval of ActewAGL may result in connection to ACTEW's water and sewerage networks being denied and /or action being taken to require the property owner to remove non-compliant services (e.g. sanitary drains) or structures.

Comments:

.....

Signed..........Date 9/1/09

- | | |
|---|---------------------------------------|
| <input type="checkbox"/> E. Milczarek | <input type="checkbox"/> R. McKee |
| <input checked="" type="checkbox"/> P. Clarke | <input type="checkbox"/> R. Pearce |
| <input type="checkbox"/> R. Cirson | <input type="checkbox"/> G. Manwaring |

For further information please phone ActewAGL 6248 3555 (then 2)

ActewAGL

Water and Sewerage Network

Utility compliance application

Applicant details

Applicant:		Certifier's case number (if relevant)
Organisation:	DOWSE NORWOOD ARCHITECTS P/L	
Postal address	PO BOX 5087 BRADDON 2612	
Email address (if required for return)		
Phone:	Business () 6230 4688	mobile
Signature:		Date of application ...7...1...1...1...09.....

Property owner details (if not the applicant) - mandatory

Owner:	
Organisation:	
Phone:	()
Postal address	

Nature of proposed works:

Block:	3	Section:	55
Suburb:	KINGSTON		
Street address:	PRINTERS WAY.		
Approval requested for:	<input type="checkbox"/> Commercial <input type="checkbox"/> Multi-unit residential <input type="checkbox"/> Dual Occupancy <input checked="" type="checkbox"/> Single residential <input type="checkbox"/> New structure <input type="checkbox"/> Alterations & additions <input type="checkbox"/> Demolition <input type="checkbox"/> Minor structures <input type="checkbox"/> Existing structures <input type="checkbox"/> Landscaping <input type="checkbox"/> Pool <input type="checkbox"/> Other specify		

Preferred mode of return: pick-up mail email PDF

Please note: separate compliance statements are required from other utilities (eg: electricity, gas, stormwater and communications)

----- for office use only -----

ActewAGL application number:

5	1	3	2	4	
---	---	---	---	---	--

number of drawings in set:

4

received by: ROB



Planning and Development Act 2007, s425

DEVELOPMENT APPLICATION

Form 1G

FOR ALL APPLICATION TYPES -
SUBMISSION OF FURTHER INFORMATION

Type of Application



Submission of Further Information as requested under
Section 141 of the Planning and Development Act 2007

Insert Proposal Number to which this
information relates

2008.13.271...

Lease/Site Details *Please Print*

If more than one lease/site, attach the following details for each lease/site

Block	<input type="text" value="3"/>	
Section	<input type="text" value="55"/>	Unit (if applicable) <input type="text"/>
Suburb	<input type="text" value="KINGSTON"/>	
District	<input type="text" value="INNER SOUTH"/>	
Street Number	<input type="text"/>	
Street Name	<input type="text" value="Printers Way"/>	
Postcode	<input type="text" value="2604"/>	

Applicant Details *Please Print*

Surname	<input type="text" value="Dowse"/>	First Name	<input type="text" value="Glen"/>
Company Name	<input type="text" value="Dowse Norwood Architects Pty Ltd."/>		
Position held in company	<input type="text" value="Director"/>	Australian Company/Business Number (ACN/ABN)	<input type="text" value="43 097 309 325"/>
Postal Address	<input type="text" value="P.O. Box 5087"/>		
Suburb	<input type="text" value="Braddon"/>	State	<input type="text" value="ACT"/>
		Postcode	<input type="text" value="2612"/>
Phone Number Business Hours	<input type="text" value="6230 4688"/>	Mobile	<input type="text"/>
EMAIL ADDRESS	<input type="text" value="Glen.dowse@dnarchitects.com.au"/>		

Please list/fully describe the information being provided

EXAMPLE: New floor plan, shadow diagram and draft tree management plan

- Revised floor plan showing location of new SWATCH area
- Revised elevation of rear lane
- Approval from ACTEWAGL
- location of Sewerage Pipe & Water meter shown on plans.

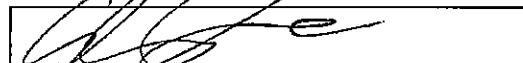
Applicant Declaration

I/we declare that this application is accompanied by all of the required information or documents as requested by the ACT Planning and Land Authority in accordance with Section 141 of the Planning and Development Act 2007;

I/we understand that the documentation provided on CD/DVD or via the electronic lodgment process will be considered to be the relevant documentation associated with this application. If only hard copy plans are provided at the time of lodgment they will be electronically scanned. All development application documentation will be made available for public inspection including via the Internet unless exclusion has been approved;

I/we declare that all the information given on this form and its attachments is true and complete;

Applicant Signature (s)



Date

11.12.08

Privacy Notice

The personal information on this form is being collected to enable processing of your application. Collection of personal information is authorised by Chapters 7, 8 and 9 of the *Planning and Development Act 2007*. The information that you provide may be disclosed to the ACT Revenue Office and the Registrar-General's Office. The information may be accessed by other government agencies, ACTEWAGL, ACTEW Corporation and other commercial organisations interested in development and building information. The *Planning and Development Act 2007* requires the details of applications, decisions and orders to be kept on a register and made available for public inspection. Information and documentation relevant to a development application may be made available via the Internet.

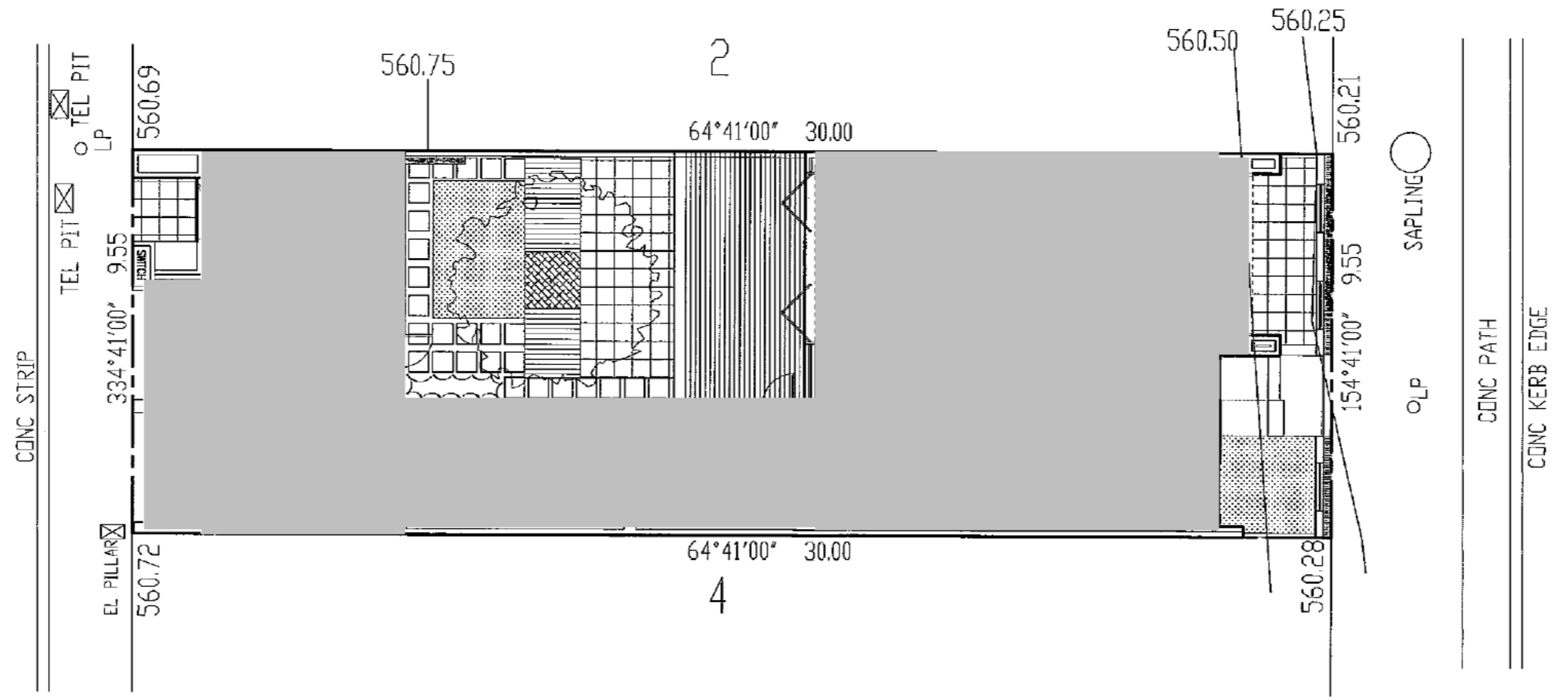
Contact Details:

ACT Planning and Land Authority
 Customer Service Centre
 GPO Box 1908, Canberra City 2601
 16 Challis Street, Dickson ACT 2602
 Business Hours: 8.30am to 4.30pm weekdays (excluding Public Holidays)
 Phone: (02) 6207 1923 Fax: (02) 6207 1925 TTY: (02) 6207 2622
 Email: actpla.customer.services@act.gov.au Website: www.actpla.act.gov.au

LEGEND	
	EXISTING TREES
	SHRUBS AND GROUNDCOVERS
	PAVING
	500 X 500 CONCRETE STEPPING STONES
	LAWN WITH PAVER EDGE
	RETRACTABLE CLOTHES LINE
	DECKING
	MULCHED GARDENS

ActewAGL acts as agent for ACTEW Corporation
ActewAGL
 Application number
 5 | 1 | 3 | 2 | 4
 Sheet
 1 | 4

CHARLES ROACH LANE



1 LANDSCAPE PLAN
 SCALE 1: 100 @ A2



PROJECT PROPOSED NEW RESIDENCE		CLIENT UNITED LEGAL		DRAWN AJ		REVISION	
DRAWING LANDSCAPE PLAN		DOWSE NORWOOD ARCHITECTS PTY LTD SUITE 10 16 LONSDALE STREET BRADDOCK ACT 2612 ABN: 43 097 305 325 TEL: 02 4230 4685 FAX: 02 6230 4699		SCALE 1:100 AT A2		CHECKED	
BLKCK 3	SECTION 55	SUBURB KINGSTON		PROJ NO. 0766		REVIEWED	
				DATE 16.07.08		PSP DA CONST	
				DRAWING NO. DA-A04		<input type="checkbox"/> DD <input type="checkbox"/> DD <input type="checkbox"/> DD	

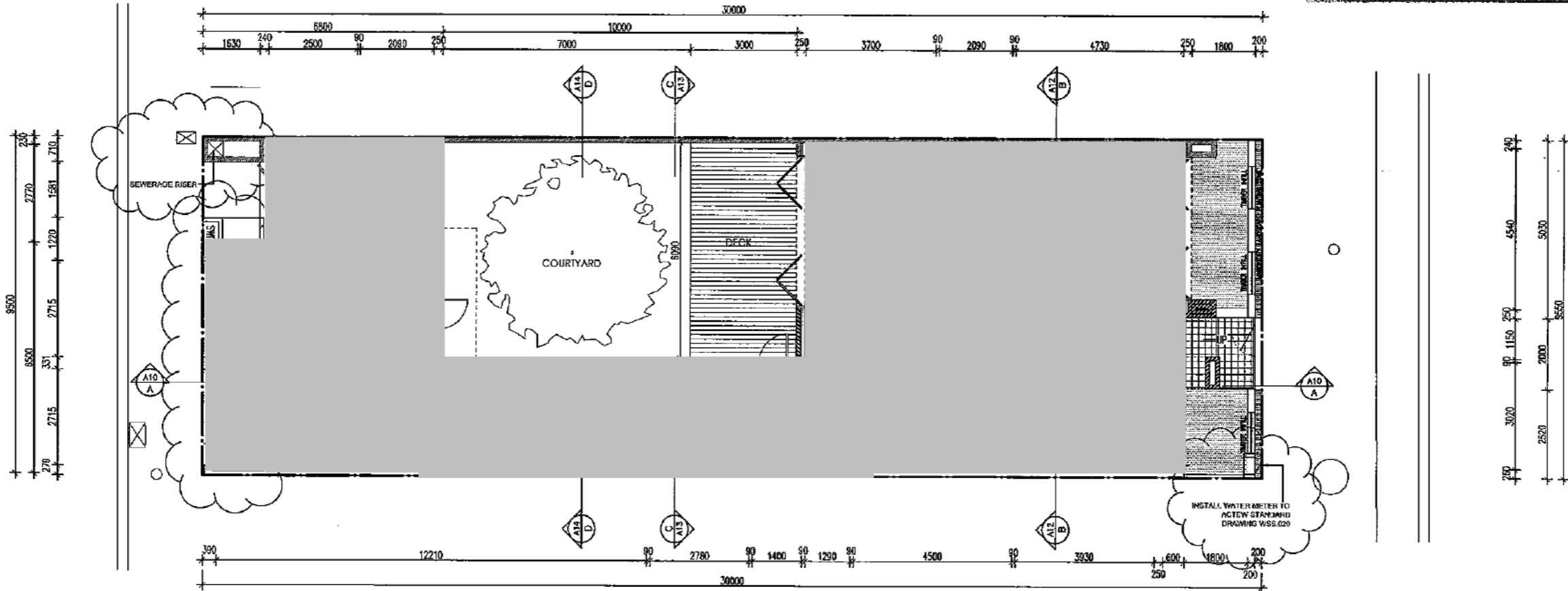
ActewAGL acts as agent for ACTEW Corporation
ActewAGL
APPROVED
 The design depicted in this document has been assessed by ActewAGL and complies with ACTEW's water and sewerage network protection and access requirements.
 Refer to ActewAGL's 'statement of compliance' for additional advice.
 Signed: _____ Date: 9.1.08
 Contact phone: 6248 3555 (then select 2)

ActewAGL acts as agent for ACTEW Corporation
ActewAGL
 Application number

5	1	3	2	4
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 Sheet

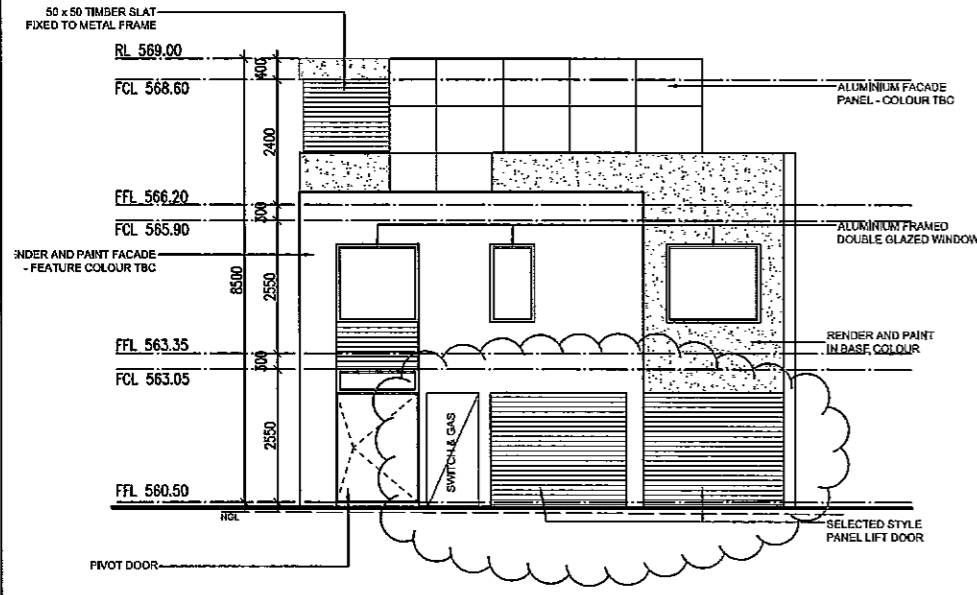
2	of	4
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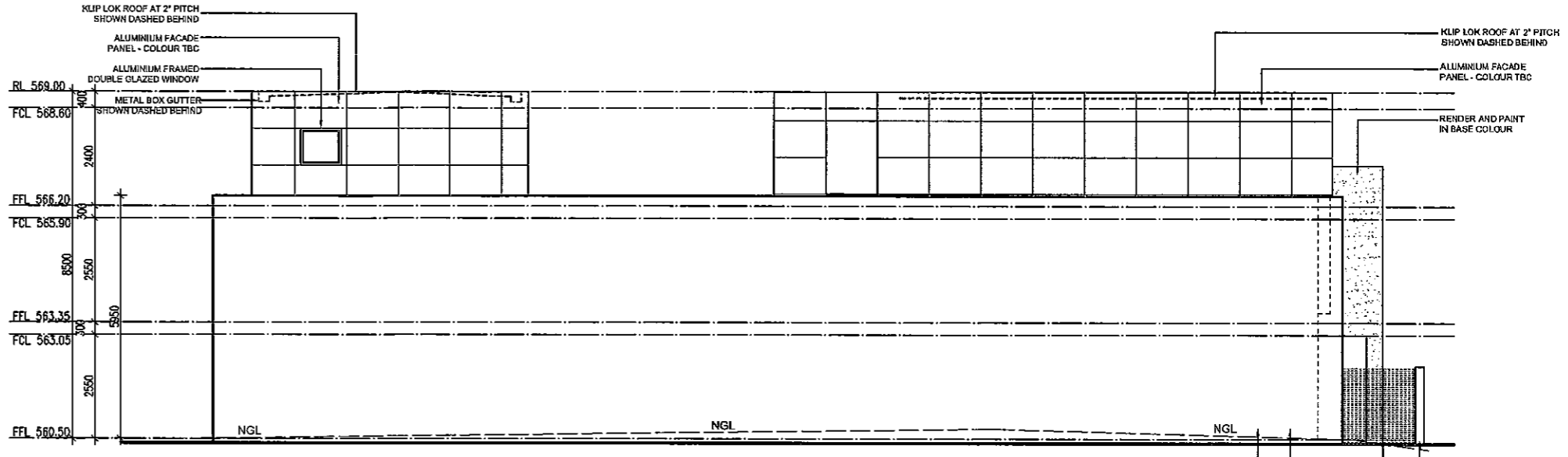
○ GROUND FLOOR PLAN
 SCALE 1:100 @ A2



PROJECT PROPOSED NEW RESIDENCE			CLIENT UNITED LEGAL		 DONWSE NORWOOD ARCHITECTS PTY LTD SUITE 10 15 LONSDALE STREET BRADSDON ACT 2612 ABN: 43 097 309 325 TEL: 02 6234 4688 FAX: 02 6230 4699	DRAWN AJ	REVISION
BLOCK 3			DRAWING GROUND FLOOR PLAN			SCALE 1:100 AT A2	CHECKED
SECTION 55			SUBURB KINGSTON			PROJ NO. 0788	REVIEWED
					DATE 16.07.08	PSP DA	<input type="checkbox"/>
					DRAWING NO. DA-A06	BA CONST	<input type="checkbox"/>



FAST ELEVATION
SCALE 1:100 @ A2



NORTH ELEVATION
SCALE 1:100 @ A2

ActewAGL acts as agent for ACTEW Corporation

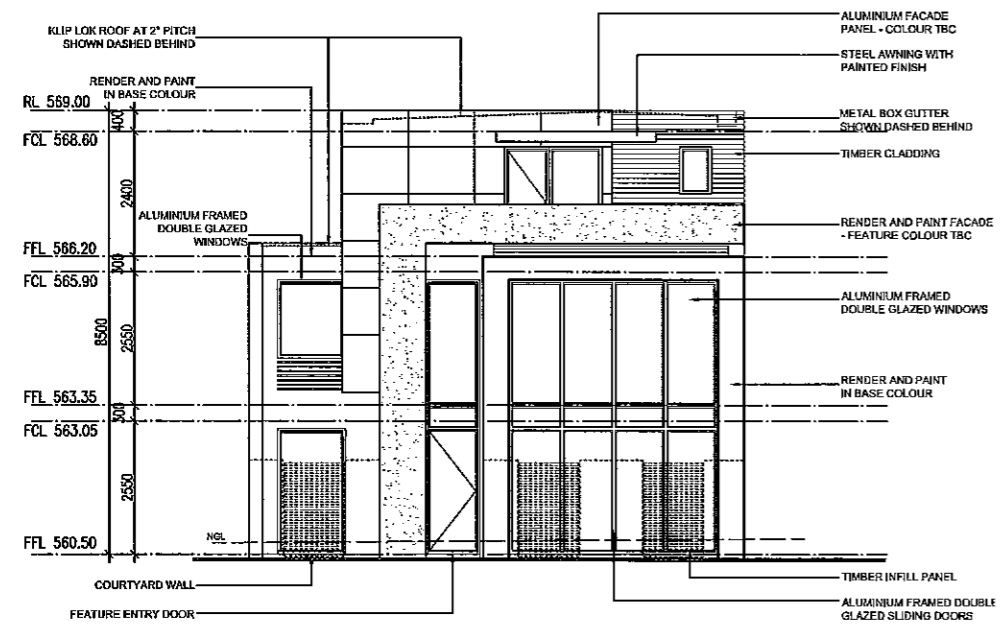
ActewAGL

Application number

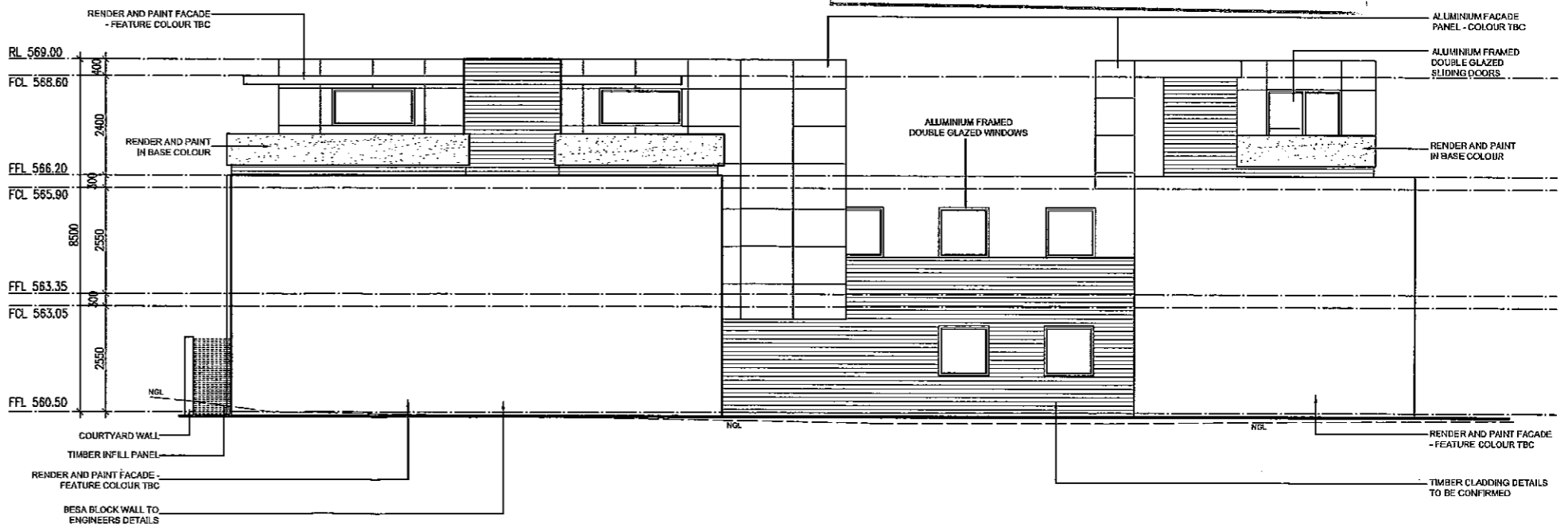
5	1	3	2	4
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Sheet

3	of	4
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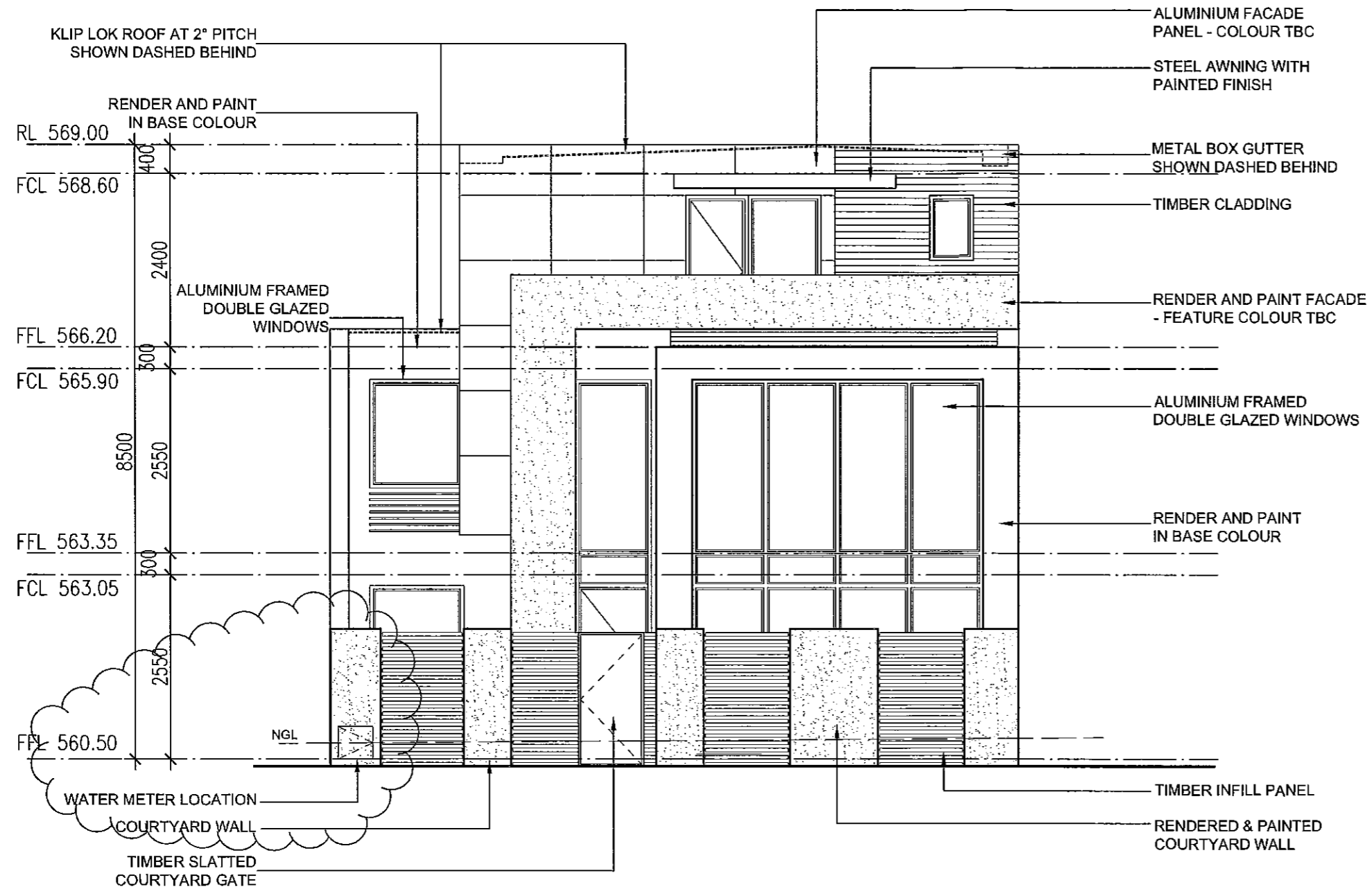
WEST ELEVATION
SCALE 1:100 @ A2



SOUTH ELEVATION
SCALE 1:100 @ A2



PROJECT PROPOSED NEW RESIDENCE			CLIENT UNITED LEGAL		 DOWSE NORWOOD ARCHITECTS PTY LTD SUITE 10 14 LONSDALE STREET BRADBURN ACT 2612 ABN: 43 097 309 325 TEL: 02 6230 4688 FAX: 02 6230 4699	DRAWN AJ	REVISION
BLOCK 3	SECTION 55	SUBURBS KINGSTON	DRAWING ELEVATIONS			SCALE 1:100 AT A2	CHECKED
					PROJ NO. 0766	REVIEWED	
					DATE 16.07.08	PSP DA	<input type="checkbox"/>
					DRAWING NO. DA-A09	BA CONST	<input type="checkbox"/>



COMPOSITE STREETSCAPE ELEVATION
scale 1:50 @ A2

ActewAGL acts as agent for ACTEW Corporation

ActewAGL


Application number

5	1	3	2	4
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Sheet

4	of	4
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PROJECT PROPOSED NEW RESIDENCE			CLIENT UNITED LEGAL		 90WSE NORWOOD ARCHITECTS PTY LTD SUITE 10 14 LONSDALE STREET BRADDON ALT 2612 ABN: 43 097 309 325 TEL: 02 6230 4688 FAX: 02 6230 4599	DRAWN AJ	REVISION
BLOCK 3	SECTION 55	SUBURB KINGSTON	DRAWING COMPOSITE STREETSCAPE ELEVATION			SCALE 1:50 AT A2	CHECKED
					PROJ NO. 0766	REVIEWED	
					DATE 14.11.08	PSP DA	<input type="checkbox"/>
					DRAWING NO. DA-A16	BA LONST	<input type="checkbox"/>

From: App Sec
Sent: Monday, 12 January 2009 11:24 AM
To: 'Glen Dowse'
Subject: Further Information Required

Dear Mr/s Dowse

In accordance with section S141 of the *Planning and Development Act 2007*, before this application can be determined, the Authority requires the information below to be lodged the period stated:

DA Number: 200813271
Site Details: Block: 3 Section: 55 KINGSTON
Applicant Name: Glen Dowse

After further assessment of development application 200813271, section 55, block 3 and consultation with my supervisor the following matters need to be addressed.

1) Refer page 3 Third Storey Elements of L&D - Third storey elements are not permitted facing on to laneway frontages. Due to third storey limitations, the proposed rear third storey element will not be supported.

2) Refer to diagram in Design Guidelines re limited third story potential. The southern third story building side setback provided is not sufficient. The setback needs to be within the required 31 degree angle from south wall so there is no more overshadowing than already created by the 6.50m side wall. This has not been achieved.

Information Required:

3) The northern third story side building setback is achieved, however the timber cladded stairwell encroaches on to the 1.80m setback. Please provide a statement against criteria addressing this.

Page 2 of the Lease and Development Conditions states that architectural and building designs are to be endorsed by the Agency prior to their submission to the Authority as part of the Development Application. This is mandatory as the proposed third storey element does not comply with L&D requirements. You can attempt to get the proposed plans endorsed or alternatively provide amended and endorsed plans addressing the above issues.

Regards

Brian Connors.

Further Information 06/02/2009 00:00:00
due date:

To lodge amended plans or make any other submissions that address the above matters, you are required to complete a Development Application form, indicating the submission of Further Information under the heading Type of Application.

If you cannot provide your response within the required timeframe, it is recommended you write to the Authority prior to the expiration of the period stated above and seek an extension of the prescribed period for providing the information. Please note, Section 141 (4) of the *Planning and Development Act 2007* provides that only one such extension may be granted.

You are advised that if some or all of the information has not been provided in accordance with this request, Section 142 of the *Planning and Development Act 2007* provides that the Authority may refuse the application under Section 162.

This email was automatically generated **please do not respond**. If you need to contact the ACT Planning and Land Authority in relation to this proposal please contact the Applications Secretariat on (02) 6207 1687 or email app.sec@act.gov.au.

Yours faithfully

Applications Secretariat
ACT Planning and Land Authority

From: [REDACTED]
Sent: Wednesday, 14 January 2009 10:06 AM
To: ACTPLA ACTEWAGL Comments
Subject: Kingston 3/55 200813271
Attachments: 20090114_100436.pdf

Good Morning,

Please find attached, Statement of Compliance for electrical for Block 3 Section 55 Kingston.

Regards,

Denise Thurtell
ActewAGL
Electricity Networks
Greenway

ELECTRICITY NETWORKS - ASSET PROTECTION ADVICE MANAGEMENT

EN17571

Location Details

Suburb	Block	Section
Kingston	3	55

Address: Printers Way

Leaseholder / Owner

Surname: First Name:

Application Details

Request Category: Development Application Certification

Applicant Company:

Company Phone:

Company Fax:

Applicant Surname: ACT

First Name: PLA

Applicant Type: Delegated Agent of Leaseholder / Owner

Demolition and New Residence	<input type="checkbox"/>	Carport	<input type="checkbox"/>	Patio	<input type="checkbox"/>	Other	<input type="checkbox"/>
New Residence	<input checked="" type="checkbox"/>	Deck	<input type="checkbox"/>				
Alterations / Extension	<input type="checkbox"/>	Pergola	<input type="checkbox"/>				
Garage	<input type="checkbox"/>	Swimming Pool	<input type="checkbox"/>				

Date Received: 06/Jan/2009 Entered By: Denise Thurtell Date Entered: 07/Jan/2009

Assessment Details

Action Officer: James Cappello

Ph:

Mob:

Assessment: Approved With Conditions

Conditional Approval/Advice Details:

Your re-submitted plans for 3/55 Kingston will be conditionally approved. The conditions will be that the contractor/electrician will have to expose the original conduits, cut and join them with 50mm orange conduit and run it to the new position.

Date Completed: 14/Jan/2009

Comments:

Service MarkingService Marking Required:

Service Marking Number:



Electricity Networks

STATEMENT OF
CONDITIONAL COMPLIANCE

Application N°: 17571 Drawings in set _____

Block: 3 Section: 55

Suburb: Kingston

This application has been assessed against legislation protecting ActewAGL's infrastructure and access to it.

This application is approved subject to compliance with the following conditions:

- The location and area allocated for the substation is to comply with ActewAGL standards
- Installation of the Point-Of-Entry cubicle will be the responsibility of the proponent
- Installation of electrical conduits (on or off block) will be the responsibility of the proponent
- Development is to comply with minimum clearances to overhead conductors Ref ActewAGL Drawing 3811-004 Rev K (attached)
- Change of Service is required (see attached form)
- Development is to comply with minimum separation requirements
- Ref ActewAGL Drawing 3832-018 Rev E (attached)
- Proponent is required to contact ActewAGL prior to the commencement of any development activity to negotiate the connection of new and/or relocation of existing electricity assets
- WARNING: ActewAGL underground cables are in or adjacent to this block. ActewAGL Asset Location Advice may be required.
- Other

Please note:

- If ActewAGL approval conditions are not met, a breach of the law may result.
- Separate applications are required for water & sewerage, gas and communication network services.
- A failure of this document to show or accurately locate electricity assets may result in damage and costs for which the property owner will be liable. Damage to network assets must be reported to ActewAGL
- Utility conditions may also apply to minor structures and landscaping works that may not have been depicted in this document. Consultation with ActewAGL staff is advised.
- Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on ActewAGL's electricity network

Signed.....  Date 14 JAN 2009..

J. Powell G. Wolk E Turnsek J. Cappello R Tinio A Scanes

For further information please phone ActewAGL 6248 3555 (then 1).

Thurteill, Denise

From: App Sec [App.Sec@act.gov.au]
Sent: Wednesday, 7 January 2009 8:38 AM
To: Development Applications
Subject: Referral-ActewAGL-200813271-S141A-3/55 Kingston-01

Attachments: %FLOORASSESS-200813271-S141A-01.pdf; %FLOORASSESS-200813271-S141A-landscape-01.pdf; ELEV-200813271-S141A-01.pdf; STREET-200813271-S141A-01.pdf; APP-200813271-S141A-01.pdf



%FLOORASSESS-2 %FLOORASSESS-2 ELEV-200813271-SSTREET-200813271 APP-200813271-S1
0813271-S141A-0..0813271-S141A-l... 141A-01.pdf (6... -S141A-01.pdf ... 41A-01.pdf (11...
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<<ELEV-200813271-S141A-01.pdf>> <<STREET-200813271-S141A-01.pdf>>
<<APP-200813271-S141A-01.pdf>>
DEVELOPMENT APPLICATION NO: 200813271-S141A

BLOCK: 3 SECTION: 55 DIVISION: Kingston

Pursuant to Section 148(1) of the Planning and Development Act 2007 the ACT Planning and Land Authority requests that you consider the abovementioned development application and provide any written advice no later than 15 working days after the date of this notice (As soon as possible - 15 working days).

In accordance with Section 150 of the Planning and Development Act 2007 If advice is not received within the prescribed time it will be taken that you have supported the application.

Please forward any written advice via email to the Applications Secretariat
ACTPLAACTEWAGLComments@act.gov.au

Please use the following format in the subject line of the email when providing advice:

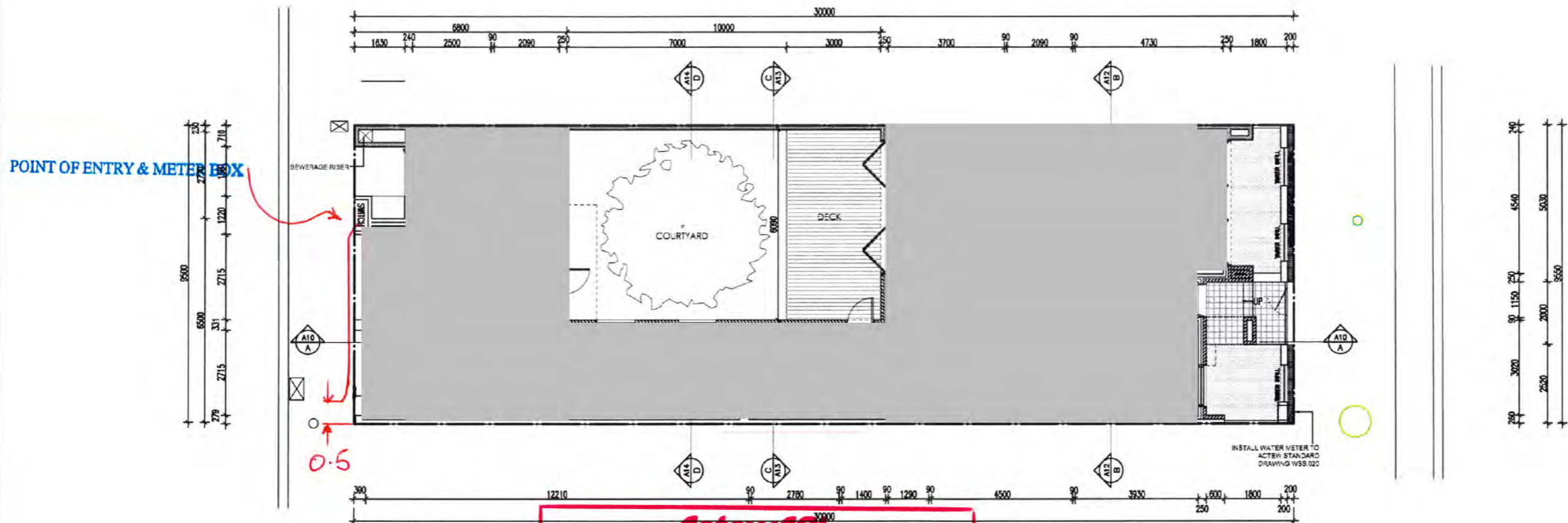
COMM-Agency Name-20080XXXX-Block XX Section XX SuburbXXXXX-01

Example: COMM-Heritage-200801234-Block 10 Section 10 Dickson-01

Applications Secretariat

07/01/2008

This email, and any attachments, may be confidential and also privileged. If you are not the intended recipient, please notify the sender and delete all copies of this transmission along with any attachments immediately. You should not copy or use it for any purpose, nor disclose its contents to any other person.



ActewAGL
Electricity Networks

CONDITIONALLY COMPLIES

This document has been assessed against legislation protecting ActewAGL's infrastructure and access to it.

The information contained in this application complies with ActewAGL's electricity network protection and access requirements subject to the conditions as listed on the Statement of Conditional Compliance.

Please note: Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on ActewAGL's electricity network.

Signed: Date: **14 JAN 2009**
Contact phone: 6293 5770

GROUND FLOOR PLAN
SCALE 1:100 @ A2



PROJECT PROPOSED NEW RESIDENCE			CLIENT UNITED LEGAL		DRAWN AJ	REVISION CHECKED
BLOCK 3	SECTION 55	SUBURB KINGSTON	DRAWING GROUND FLOOR PLAN			
DOWSE NORWOOD ARCHITECTS PTY LTD SUITE 10 14 LONSDALE STREET BRADSON ACT 2512			DATE 16.07.08		RSP DA BA CONST	DRAWN 0000
AGN: 43 097 309 325 TEL: 02 6230 4668 FAX: 02 6230 4699			PROJECT NO 0786			
DRAWING NO DA-A08			REVIEWED			

From: AJ <aj@dnarchitects.com.au>
Sent: Wednesday, 4 February 2009 11:05 AM
To: Connors, Brian
Subject: RE: App 200813271-Wrap around roof option
Attachments: WRAP AROUND ROOF SKETCH 1.pdf

Hi Brian,

Please find attached sketch regarding the 3rd storey element 'facing' the rear laneway. What we are proposing is that the roofing material wraps down. Effectively making it roof and not façade.

If we could get some clarity regarding this, it would be much appreciated. As I mentioned to you on the phone we are trying to address one item at a time with this.

Much appreciated.

Cheers, Aj

Kind Regards,

Ajanthan BalaretnaRaja

Dowse Norwood Architects Pty Ltd

P: 02 6230 4688

F: 02 6230 4699

A: 14 Lonsdale St., Braddon ACT 2612

E: aj@dnarchitects.com.au

W: www.dnarchitects.com.au

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-----Original Message-----

From: Connors, Brian [mailto:Brian.Connors@act.gov.au]
Sent: Tuesday, 13 January 2009 8:04 AM
To: AJ
Subject: App 200813271

Hi AJ,

1) The 31deg angle from the south boundary is measured 31deg east of

north.

2) Regarding the issue with maximum building height. Buildings are to be two storeys with a maximum height of approx 6.0m as shown on Design Guidelines long section.

Properties may extend to 8.50m with limited third storey element only. Third storey element not to face laneway. This is a bulk and scale issue to create rear laneway height uniformity. Therefore the front third storey element may be supported so long as the overshadowing to block 4 issue is addressed.

3) It is a requirement that the revised design plans be endorsed by the developer. The design documents will be reviewed by the LDA against the key framework documents for the overall Kingston Foreshore development and the site specific conditions including:

* Lease & Development Conditions for block 3, section 55.

* Design Guidelines for First Edition

This will eliminate any misinterpretation of the L&Ds and enable ACTPLA to finalise this Development Assessment.

Regards
Brian Connors

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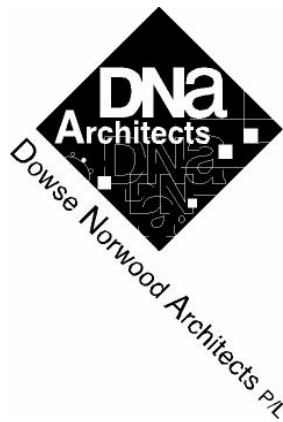
0766- Single Residential-Block 3 Section 55-First Edition Precinct, Kingston

DOWSE NORWOOD ARCHITECTS PTY. LTD.

A.B.N. 43 097 309 325

SUITE 10 14 LONSDALE ST BRADDON PO BOX 87 BRADDON ACT 2612

TEL: 6230 4688 FAX: 6230 4699



STATEMENT AGAINST RELEVANT CRITERIA

Part A-CZ5 Mixed Use Zone:

Lease purpose:

The lease purpose, as outlined in the Lease & development Conditions approved by ACTPLA on the 19th of April, clearly states that the use of the land is for one of the following purposes, that is:

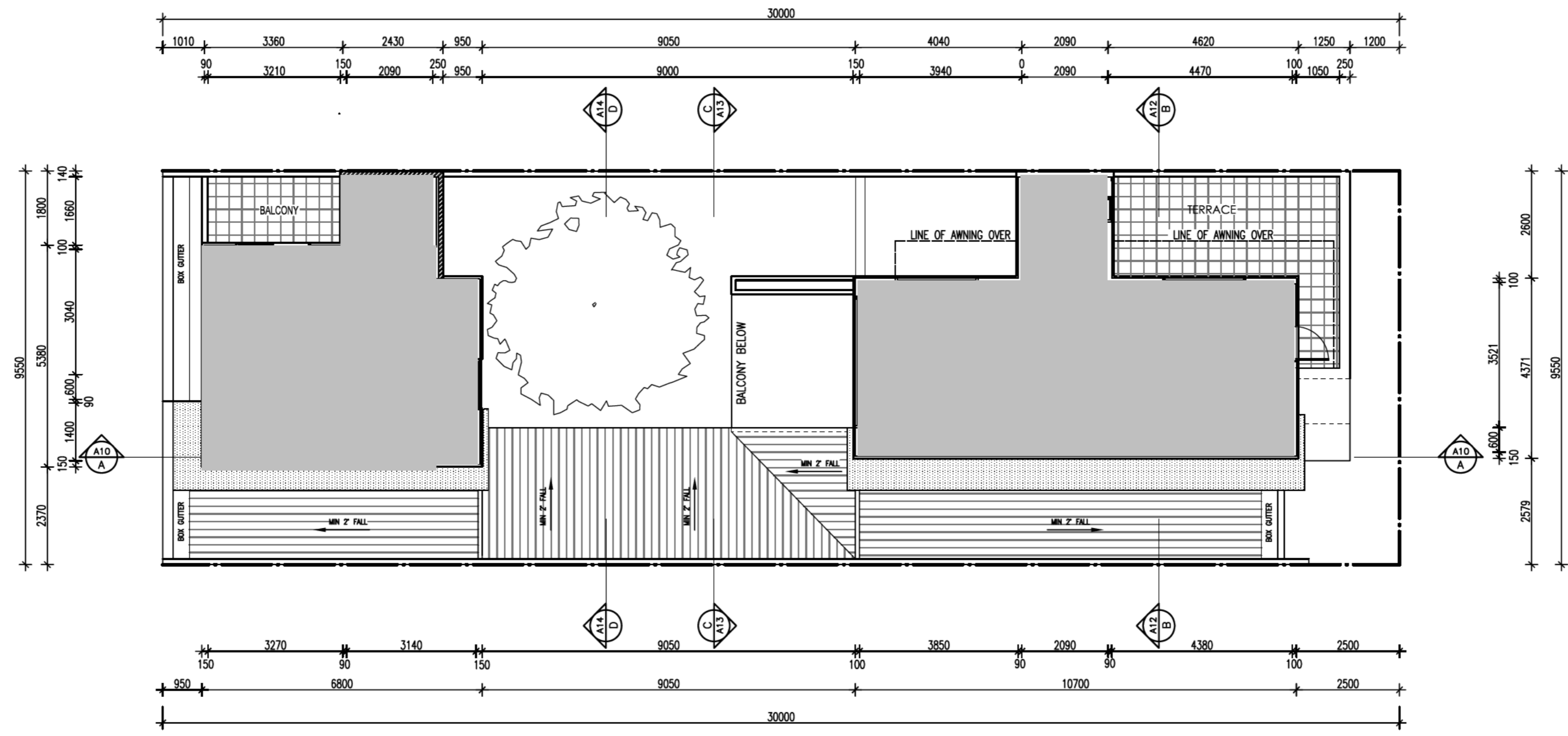
- a) A single attached house **OR**
- b) A single detached house

Built form

3.1 Building Design & Materials:


- a) The timber clad stairways do encroach slightly into the setbacks required for the 3rd storey element. However, the setbacks were designed to improve solar access and privacy to neighbouring properties.

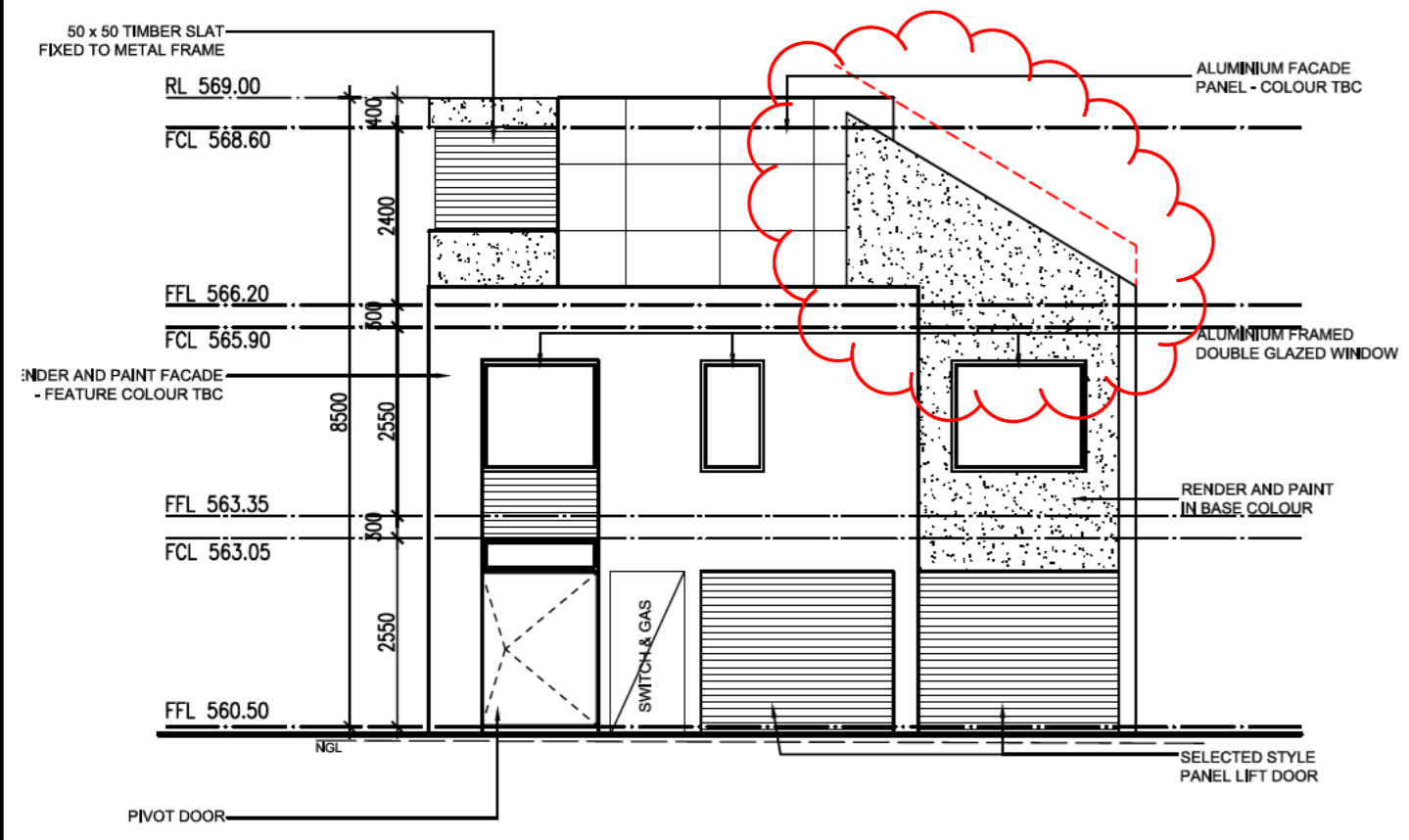
These stairways being on the Northern boundary only overshadow onto Block 3, not any of the neighbouring sites. The stairways also have no windows that overlook into adjoining properties. Therefore the minor encroachment of the stairways does not adversely affect the streetscape nor the privacy or solar access of the neighbours.



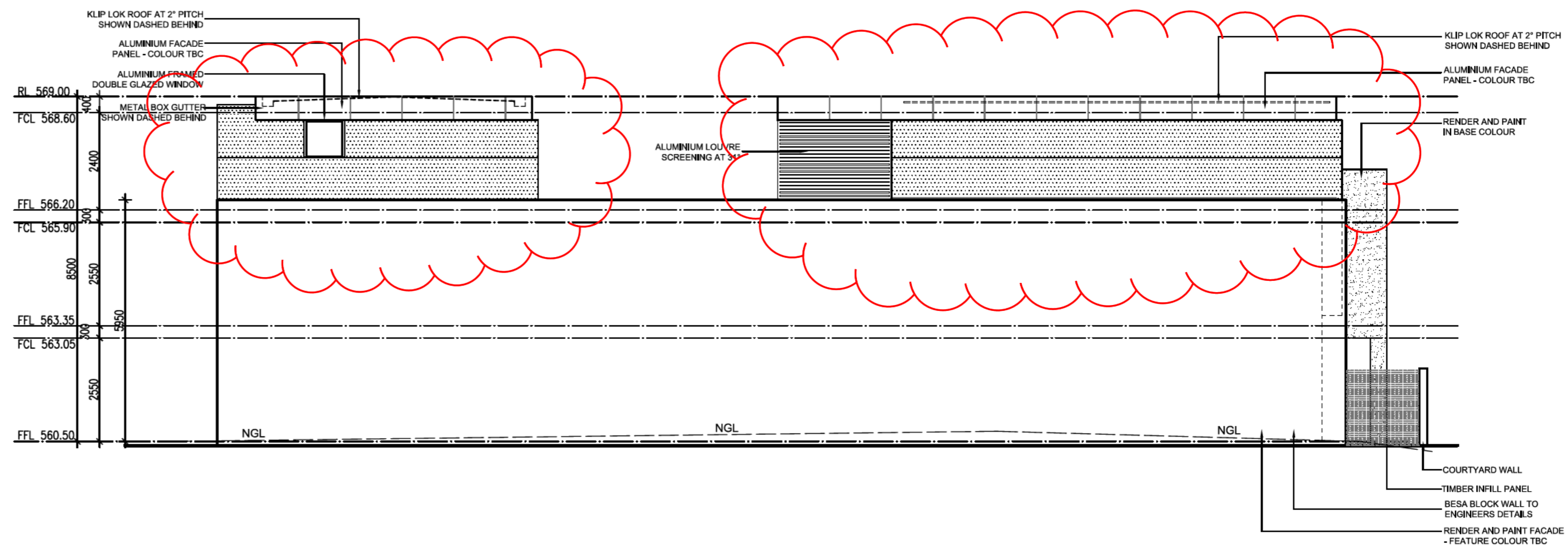
SECOND FLOOR PLAN
SCALE 1:100 @ A2



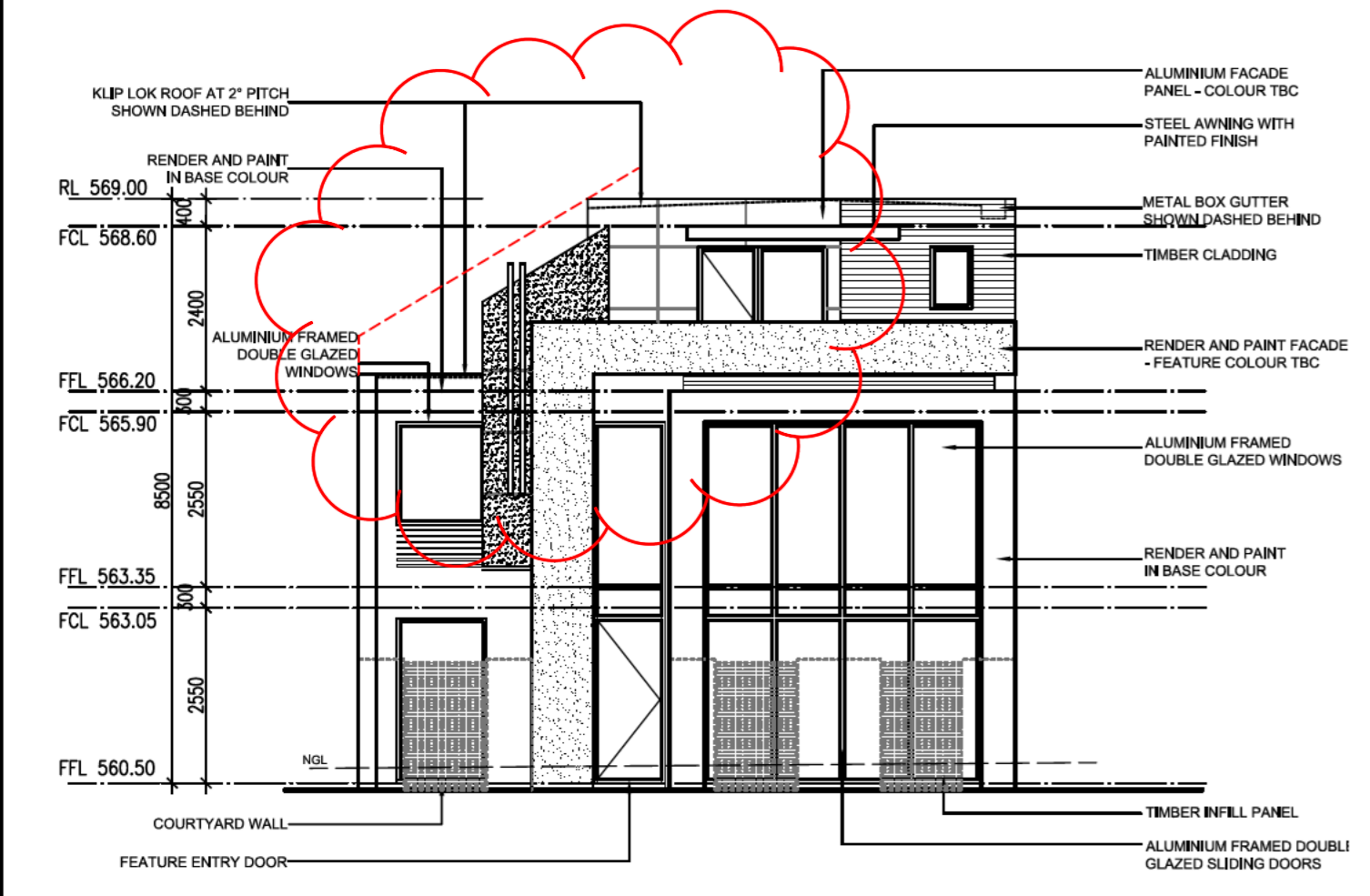
PROJECT PROPOSED NEW RESIDENCE			CLIENT UNITED LEGAL		 DOWSE NORWOOD ARCHITECTS PTY LTD SUITE 10 14 LONSDALE STREET BRADDON ACT 2612 ABN: 43 097 309 325 TEL: 02 6230 4688 FAX: 02 6230 4699	DRAWN AJ	REVISION
BLOCK 3	SECTION 55	SUBURB KINGSTON	DRAWING SECOND FLOOR PLAN			SCALE 1:100 AT A2	CHECKED
					PROJ NO. 0766	REVIEWED	
					DATE 05.02.09	PSP DA BA CONST	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
					DRAWING NO. DA-A08		



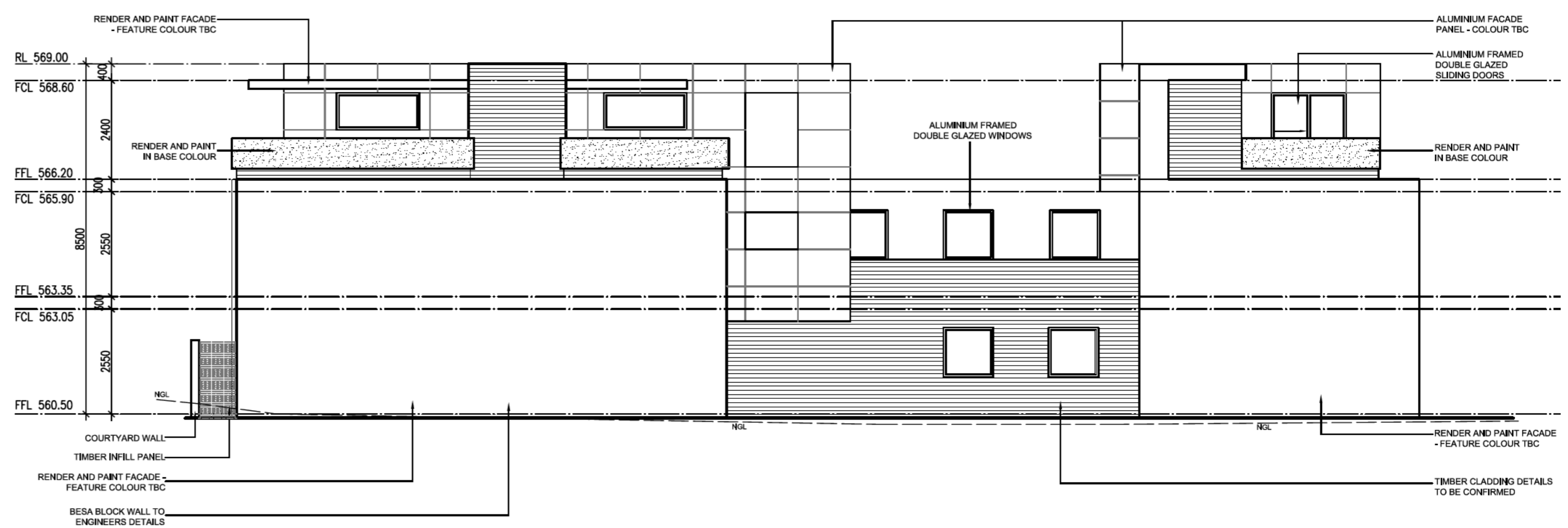
EAST ELEVATION
SCALE 1:100 @ A2



NORTH ELEVATION
SCALE 1:100 @ A2




WEST ELEVATION
SCALE 1:100 @ A2



SOUTH ELEVATION
SCALE 1:100 @ A2



PROJECT PROPOSED NEW RESIDENCE			CLIENT UNITED LEGAL		 DOWSE NORWOOD ARCHITECTS PTY LTD SUITE 10 14 LONSDALE STREET BRADDON ACT 2612 ABN: 43 097 309 325 TEL: 02 6230 4688 FAX: 02 6230 4699	DRAWN AJ	REVISION
BLOCK 3	SECTION 55	SUBURB KINGSTON	DRAWING ELEVATIONS			SCALE 1:100 AT A2	CHECKED
						PROJ NO. 0766	REVIEWED
					DATE 05.02.09	PSP DA BA CONST	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
					DRAWING NO. DA-A09		