







Brougham-Pratt, Charlotte

From: Achieve Pre-construction <precon.admin@achievehomes.com.au>
Sent: Friday, 15 July 2022 10:47 AM
To: AC, EPD Customer Services
Subject: RE: ADMIN FAILURE - EXEMPTION DECLARATION-1-77-STRATHNAIRN
Attachments: 1N Letter of Authorisation -3.pdf

Caution: This email originated from outside of the ACT Government. Do not click links or open attachments unless you recognise the sender and know the content is safe. [Learn why this is important](#)

Please see attached

Thank you


Preconstruction Project Manager  ACHIEVE HOMES
E @achievehomes.com.au
A 15/9 Beaconsfield Street Fyshwick ACT 2609
T  M 

achievehomes.com.au

[Would you like to book a meeting?](#)

4 X HIA MEDIUM HOME BUILDER OF THE YEAR



I will endeavour to get back to you within 24 hours.

From: AC, EPD Customer Services <ACEPDCustomerServices@act.gov.au>
Sent: Friday, 15 July 2022 10:35 AM
To: Achieve Pre-construction <precon.admin@achievehomes.com.au>
Subject: RE: ADMIN FAILURE - EXEMPTION DECLARATION-1-77-STRATHNAIRN

OFFICIAL

Good morning,

On the Letter of Authorisation, please remove the street number from the unit number box and add it to the street address box and then we can proceed with this application.

Kind regards,

Bethany | Customer Coordination | Environment, Land and Planning shopfront
Phone: 02 6207 1923 | Email: epdcustomerservices@act.gov.au
Access Canberra | Chief Minister Treasury and Economic Development Directorate | ACT Government
8 Darling St, Mitchell | GPO BOX 158, Canberra City ACT 2601 | www.act.gov.au/accessCBR





From: Achieve Pre-construction <precon.admin@achievehomes.com.au>
Sent: Thursday, 14 July 2022 4:31 PM
To: AC, EPD Customer Services <ACEPDCustomerServices@act.gov.au>
Cc: AC, EPD Customer Services <ACEPDCustomerServices@act.gov.au>
Subject: RE: ADMIN FAILURE - EXEMPTION DECLARATION-1-77-STRATHNAIRN




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Hey

Please see attached

Thank you


Preconstruction Project Manager  ACHIEVE HOMES

E @achievehomes.com.au
A 15/9 Beaconsfield Street Fyshwick ACT 2609
T  M 


achievehomes.com.au

[Would you like to book a meeting?](#)

4 X HIA MEDIUM HOME BUILDER OF THE YEAR



I will endeavour to get back to you within 24 hours.

From: AC, EPD Customer Services <ACEPDCustomerServices@act.gov.au>
Sent: Thursday, 14 July 2022 3:53 PM
To: Achieve Pre-construction <precon.admin@achievehomes.com.au>
Subject: ADMIN FAILURE - EXEMPTION DECLARATION-1-77-STRATHNAIRN

OFFICIAL

Good afternoon,

The information you have provided for the Exemption Declaration was not sufficient to enable the acceptance of your application for processing.

Your application was not accepted because of the following reason:

The street address is missing from the Authorisation Form. Please amend the Authorisation Form to correctly state the street address in the street address box.

Please email all required documentation to epdcustomerservices@act.gov.au.

If you require any further information or assistance please contact the Customer Service Centre on 62071923.

Regards,

Bethany | Customer Coordination | Environment, Land and Planning shopfront
Phone: 02 6207 1923 | Email: epdcustomerservices@act.gov.au
Access Canberra | Chief Minister Treasury and Economic Development Directorate | ACT Government
8 Darling St, Mitchell | GPO BOX 158, Canberra City ACT 2601 | www.act.gov.au/accessCBR



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Exempt Declaration Form 1N - Submission confirmation

Your submission has been successful. Please keep a copy of this receipt for your records.

Date and time

29 Jun 2022 5:24:08 PM

Reference code

3DNT3HWD

Environment, Planning and Sustainable
Development Directorate

GPO Box 158
Canberra City ACT 2601

Phone: (02) 6207 1923

Lease/site details

Suburb *

STRATHNAIRN

Section *

77

Block *

1

Address line 1 *

260 PRO HART AV

Address line 2

Suburb *

STRATHNAIRN

State *

ACT

Postcode *

2615

Applicant/certifier details

Is the applicant a *

Company Individual

Company name *

Achieve Homes PTY LTD

Enter an ABN or ACN: *

ABN (Australian Business Number)

31137872014

ACN (Australian Company Number)

Contact details

Title

Given name *

Family name *

Position held in company *

Project Manager

Enter at least one phone number: *

Home phone number

Work phone number

Mobile number

Email address *

Lessee (Property owners) details

Lessee 1

Same as applicant

Lessee

Is this lessee a *

Company Individual

Contact details

Title

Given name *

Family name *

Enter at least one phone number: *

Home phone number

Work phone number

Mobile number

Email address *

Lessee 2

Lessee

Is this lessee a *

Company Individual

Contact details

Title

Given name *

Family name *

Enter at least one phone number: *

Home phone number

Work phone number

Mobile number

Email address *

Please attach a letter of authority signed by all lessees. *

[1N Letter of Authorisation -2.pdf](#)

Rule departure/s

This application seeks approval for the following minor departure/s from the Single Residential Housing Development Code.

Departure 1
Rule number *
<input type="text" value="7"/>
Description of departure *
<input type="text" value="Solar Encroachment"/>

Relevant plans and supporting documentation that clearly identify the rule departure/s must be uploaded as a single PDF. *

[1 of 77 1N Docs.pdf](#)

Is the work detailed in this application currently under construction? *

Yes No

Is this application for an existing structure? *

Yes No

Is the application being considered subject to a current Building Approval? *

Yes No

Is the application subject to a completed Building Approval? *

Yes No

Is this application currently subject to compliance action? *

Yes No

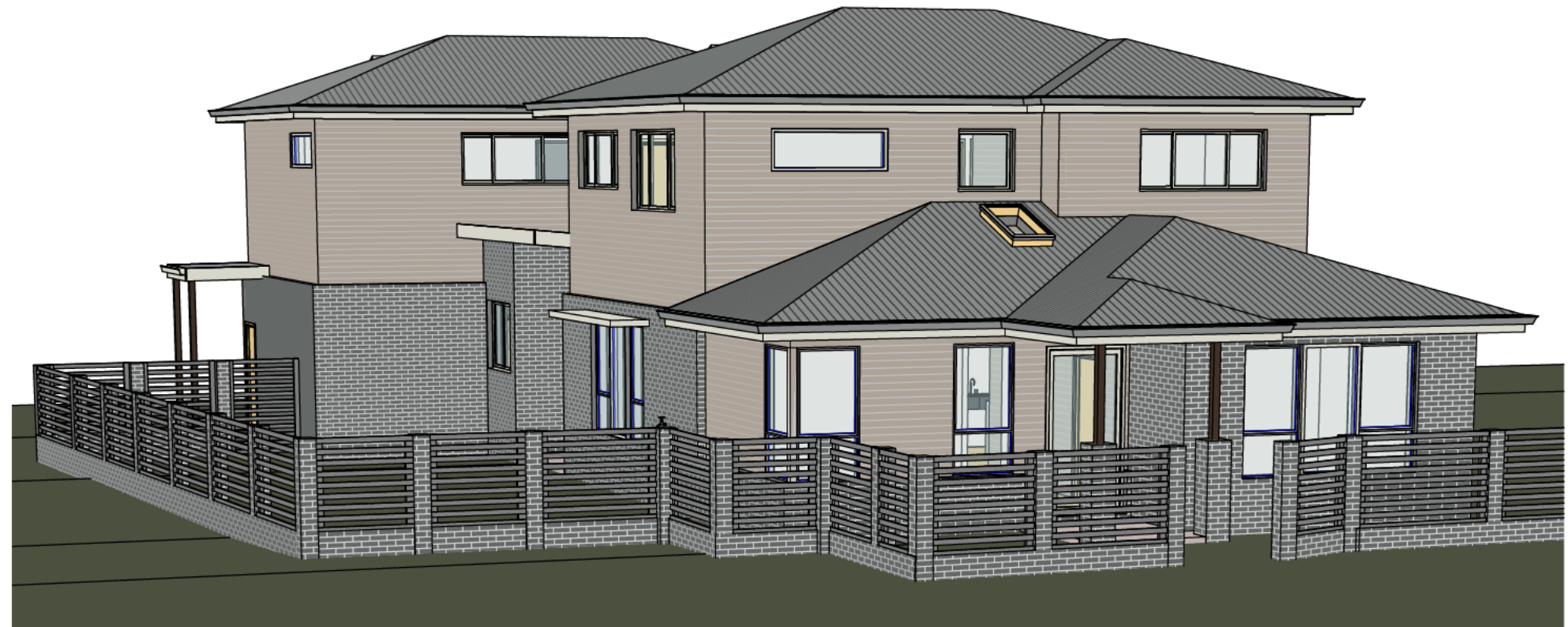
Applicant declaration

I, [REDACTED]

- declare that all the information given on this form and its attachments is true and complete. *
- declare that the attached plans clearly show the departure (for example, through using colour), and any other relevant information. *
- I understand an assessment is only conducted once an application is lodged, and incorrect documentation may result in a refusal. *

PROJECT DETAILS

CLIENT: [REDACTED]
 PROJECT NAME: RESIDENCE
 BLOCK: 1
 SECTION: 77
 SUBURB: STRATHNAIRN
 PROJECT ADDRESS: 260 PRO HART AVENUE
 PROJECT NO: 211201
 DATE 22/6/22
 VERSION FOR APPROVAL



IMPORTANT BLOCK INFORMATION

BLOCK SIZE: 567 m² (RZ3)
 OPEN SPACE MIN: 290.2 m²
 (60% - 50.0m²)
 MAX GFA (50%): 283.5 m²
 PPOS: 24 m²
 POS: 56.7m² (6m FOR AN AREA NOT
 LESS THAN 10% OF THE BLOCK AREA
 AND TOTAL AREA OF HARD
 LANDSCAPE NOT TO EXCEED 50%
 AREA OF P.O.S.)

SITE AREA	
OPEN SPACE	404.38 m ²
Footprint	133.25 m ²
Total	537.63 m²

GFA		
Number	Name	Area
1	GF Living	132.87 m ²
2	UF Living	62.12 m ²
3	Surv Unit	58.57 m ²
4	Garage	29.74 m ²
Grand total		283.31 m²

Construction Area		
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5	Carport	36.01 m ²
6	Alfresco	13.38 m ²
7	Porch 1	4.05 m ²
8	Porch 2	2.80 m ²
9	Void 1	4.40 m ²
10	Void 2	6.10 m ²
Grand total		350.04 m²

Drawing List			
Sheet No	Sheet Name	Drawn By	Checked By
A000	COVER PAGE	B.Virk	Client
A100	SITE PLAN	B.Virk	Client
A103	EROSION&SEDIMENT PLAN	B.Virk	Client
A105	FENCING PLAN	B.Virk	Client
A200	GROUND FLOOR PLAN	B.Virk	Client
A201	UPPER FLOOR PLAN	B.Virk	Client
A300	ELEVATION 1&2	B.Virk	Client
A301	ELEVATION 3&4	B.Virk	Client
A400	SECTION A	B.Virk	Client
A500	ROOF PLAN	B.Virk	Client
A700	3D VIEWS	B.Virk	Client
A800	SAFE DESIGN CODE		

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NOTE: Final selection of materials is the responsibility of client and/or builder,
 including but not limited to proper installation of materials, nailing, gluing, caulking,
 insulating, flashing, roofing, weatherproofing and other items and details not
 indicated on the Plans, and over which the Designer has no control or responsibility.

**Virk Building Design
 Services**

Email: virk.bds@gmail.com

Mob: 0425677755

NOTE: The drawings are indicative only and are required to be
 verified / confirmed by the owner and/or builder and engineer
 and/or certifier in accordance with the relevant Building
 Legislation/Regulations, Housing Development Codes, NCC,
 Australian Standards, etc.
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 party whatsoever for any design or structural component, notation
 or accuracy of documentation herein. Client / Builder accepts
 Plans and responsibility once plans are accepted for approvals.

RESIDENCE

BLOCK: 1

SECTION: 77

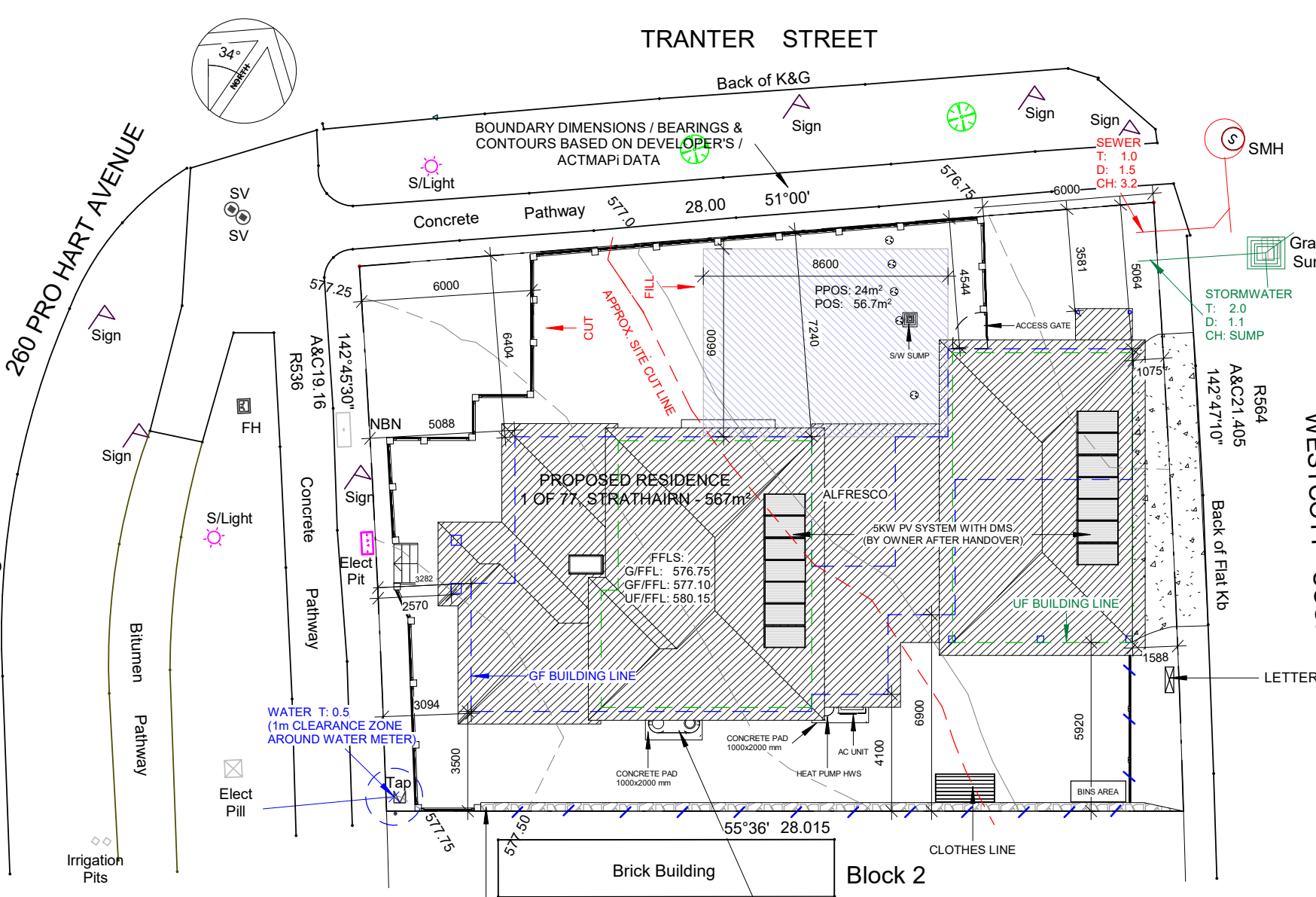
SUBURB: STRATHNAIRN

COVER PAGE

FOR APPROVAL

Project number	211201	A000			
Drawn Date	22/6/22				
Drawn by	B.Virk	Checked by	Client	Print Date:	22/06/2022 6:31:00 PM
Version	FOR APPROVAL	Scale:			on A3

IMPORTANT NOTES:
 *THE REQUIREMENT OF REGULATIONS TAKES PRECEDENCE OVER THE DRAWINGS. DETAIL DRAWINGS TAKE PRECEDENCE OVER GENERAL DRAWINGS.
 *DO NOT SCALE DRAWINGS - ALL DIMENSIONS IN "mm".
 *BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS, PRODUCING SHOP DRAWINGS OR FABRICATING COMPONENTS.
 *BUILDER TO CHECK DOORS/WINDOWS DIMENSIONS BEFORE ORDERING ON FLOOR PLAN AND ELEVATIONS.
 *ALUMINIUM FRAMED DOORS/WINDOWS WITH OPENING STYLES IN ACCORDANCE WITH ELEVATIONS AND FROM APPROVED MANUFACTURER UNO.
 *LINTELS TO TRUSS MANUFACTURERS TABLES, ROOF TRUSSES TO MANUFACTURER'S SPECIFICATION.
 *ALL CONSTRUCTION WORK TO BE DONE IN ACCORDANCE WITH BCA AND RELEVANT AUSTRALIAN STANDARDS AND DEVELOPMENT CODES.
 *TERMITE PROTECTION TO COMPLY WITH AS1694 'PHYSICAL BARRIERS' & AS3660 'APPENDIX D' AND TO ACT BUILDING CONTROL BUILDING NOTE NO3, FRAMING TO AS1684 'NATIONAL TIMBER FRAMING CODE' AND SUPPLIMENTS, HARDWOOD TO AS.2796, ELECTRICAL TO AS.3000, PLUMBING TO AS3500, CONCRETE TO AS.3600, BRICKWORK TO AS.3700, 'SAA MASONRY CODE' AND AS.1640 'SAA BRICKWORK CODE', STRUCTURAL STEEL TO AS.1170 & AS.4100, WET SEAL TO AS.3740 AND .
 *SMOKE ALARMS CONNECTED TO MAINS POWER SUPPLY, WITH BATTERY BACKUP, ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786.
 *BLOCK BOUNDARIES, CONTOURS, SERVICES AND EASEMENTS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION.
 *CONFIRM ALL LEVELS AND CONTOURS ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. BUILDER IS RESPONSIBLE TO ENSURE ALL INFORMATION SHOWN HERE REGARDING LEVELS ARE ACCURATE AND REPRESENTS EXISTING ON SITE LEVELS.
 *THE FFLs ARE SUBJECT TO CHANGE AND ARE UP TO BUILDERS DISCRETION TO BE VERIFIED ON SITE, MAXIMUM CHANGE UNDER 340 mm, TO BE CONFIRMED BY CERTIFIER.
 *LOCATION OF CUTS ARE INDICATIVE ONLY AND TO BE VERIFIED ON SITE. THEREFORE, ALL CUTS & FFL TO BE VERIFIED ON SITE BY A REGISTERED SURVEYOR.
 *0.3 M CUT APPROX AT LINE OF HOUSE - SITE TO BE LEVELED / GRADED TO ALLOW FOR SURFACE DRAINAGE AS PER BCA.
 *RETAINING WALL TO BE BUILT ENSURING DRAINAGE AS PER RELEVANT CODES/BCA V2. HEIGHTS AND ALL LEVELS TO SUIT SITE CONDITIONS. FINAL HEIGHTS TO BE CONFIRMED BY BUILDER ON SITE.
 *SEDIMENT & EROSION CONTROL TO COMPLY WITHIN THE BEST PRACTICE GUIDELINES - PREVENT SOULTION FOR RESIDENTIAL BUILDING SITES MARCH 2006 AND ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, MARCH 2011.
 *BUILDER TO PROVIDE CRUSHED GRANITE OR AGGREGATES AT ACCESS POINT TO SITE DURING CONSTRUCTION



IMPORTANT BLOCK INFORMATION
 BLOCK SIZE: 567 m² (RZ3)
 OPEN SPACE MIN: 290.2 m²
 (60% - 50.0m²)
 MAX GFA (50%): 283.5 m²
 PPOS: 24 m²
 POS: 56.7m² (6m FOR AN AREA NOT LESS THAN 10% OF THE BLOCK AREA AND TOTAL AREA OF HARD LANDSCAPE NOT TO EXCEED 50% AREA OF P.O.S.)

SITE AREA	
OPEN SPACE	404.38 m ²
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Total	537.63 m²

Construction Area		
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7	Porch 1	4.05 m ²
8	Porch 2	2.80 m ²
9	Void 1	4.40 m ²
10	Void 2	6.10 m ²
Grand total		350.04 m²

AC UNITS MUST BE INSTALLED AS PER PART 5 OF THE HOUSING DEVELOPMENT REQUIREMENTS. AC UNITS MUST BE ONE (OR MORE) OF THE FOLLOWING:
 * Reverse cycle air conditioning that achieves a minimum Energy Efficiency Ratio (EER) of 3.5 for the cooling cycle
 o Coefficient of Performance (COP) of 3.5 for the heating cycle
 * Air conditioning with a cooling cycle only that achieves a minimum Energy Efficiency Ratio (EER) of 3.5
 o ducted evaporative cooling with a self-closing damper
 o ground source heat pump

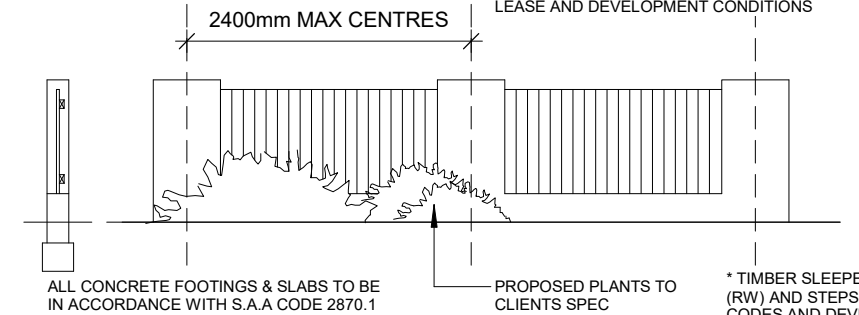
RETAINING WALL (MAX CUT / RW HT: 1.5m WITH IN 1.5m OF BOUNDARIES) AND STEPS TO SITE CONDITION - TO BE PROVIDED BY CLIENT AFTER HANDOVER

* MIN 400L RAINWATER TANK, 50% OR 100m² OF ROOF AREA, WHICHEVER IS THE LESSER, IS CONNECTED TO THE TANK.
 * TANK IS CONNECTED TO ATLEAST A TOILET, LAUNDRY COLD WATER AND ALL EXTERNAL TAPS, AS PER ACT TERRITORY PLAN.
 *THE CONNECTION WILL REQUIRE A PUMP WHERE IT CANNOT BE ELEVATED SUFFICIENTLY TO GIVE ADEQUATE PRESSURE

* DRIVEWAY TO COMPLY WITH GW/SD/DC.02 & FINISH TO COMPLY WITH ALL LEASE & DEVELOPMENT CONDITIONS AND RELEVANT LOCAL CODES
 * IF LEVELS & CONTOURS ARE DIFFERENT ON SITE FROM THE DRAWING BUILDER TO PROVIDE CONTOUR PLAN & REPORT BACK TO THE DESIGNER TO ADJUST LEVELS ACCORDINGLY.
 * NO PART OF CUT SHOULD ENCRACH OUT OF THE BOUNDARY OR EASEMENT

710 x 230 BRICK PIERS TO BE PAINTED RESIDENCE COLOUR OR BRICKWORK TO MATCH RESIDENCE

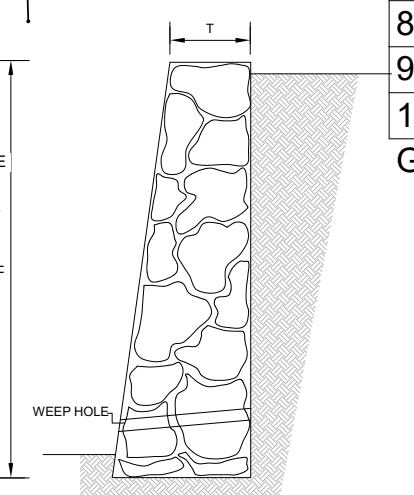
COURTYARD WALL TO BE CONSTRUCTED IN ACCORDANCE WITH TERRITORY PLAN AND LEASE AND DEVELOPMENT CONDITIONS



ALL CONCRETE FOOTINGS & SLABS TO BE IN ACCORDANCE WITH S.A.A CODE 2870.1

PROPOSED PLANTS TO CLIENTS SPEC

* TIMBER SLEEPER / STONE RETAINING WALL (RW) AND STEPS TO SITE CONDITION, RELEVANT CODES AND DEVELOPERS GUIDELINES
 * SUBSOIL DRAINAGE SYSTEMS: AG PIPE / WATERPROOFING, COMPLIANCE TO RELEVANT CODES/AS/ BCA
 * AGRI DRAIN TO PREVENT SURFACE WATER ENTRY AS PER BCA V2, Part 3.1.2/AS 4654.2-2012



Ww	H	Wf	T
300	900	350	300
500	1500	600	350
600MAX	1800	700	350
700	2100	800	400

ROCK RETAINING WALL

NOISE AFFECTED BLOCK - TO COMPLY WITH:
 * AS/NZS 2107:2000 - Acoustics - Recommended design sound levels and reverberation times for building interiors (the relevant satisfactory recommended interior design sound level)
 * AS/NZS 3671 - Acoustics - Road Traffic Noise Intrusion Building Siting and Design and Ginninderry Noise Management Plan

1. SITE PLAN
 1 : 200

Virk Building Design Services
 Email: virk.bds@gmail.com Mob: 0425677755

NOTE: The drawings are indicative only and are required to be verified / confirmed by the owner and/or builder and engineer and/or certifier in accordance with the relevant Building Legislation/Regulations, Housing Development Codes, NCC, Australian Standards, etc.
 Virk BDS will not be held liable / responsible in any form by any party whatsoever for any design or structural component, notation or accuracy of documentation herein. Client / Builder accepts Plans and responsibility once plans are accepted for approvals.

RESIDENCE
 BLOCK: 1 SECTION: 77
 SUBURB: STRATHNAIRN

SITE PLAN		FOR APPROVAL	
Project number	211201	A100	
Date	22/6/22		
Drawn by	B.Virk		
Checked by	Client		
Scale		1 : 200 on A3	

22/06/2022 6:31:01 PM

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BUILDER NOTE:

BUILDER TO PROVIDE CRUSHED GRANITE OR AGGREGATES AT ACCESS POINT TO SITE DURING CONSTRUCTION

NO CONSTRUCTION MATERIAL TO BE STORED ON THE VERGE
VERGE TO BE COMPLETELY REINSTATED ON COMPLETION INCLUDING GRADING, GRASSING AND/OR TURF TO CITY PARKS AS PER TAMS REQUIREMENT.

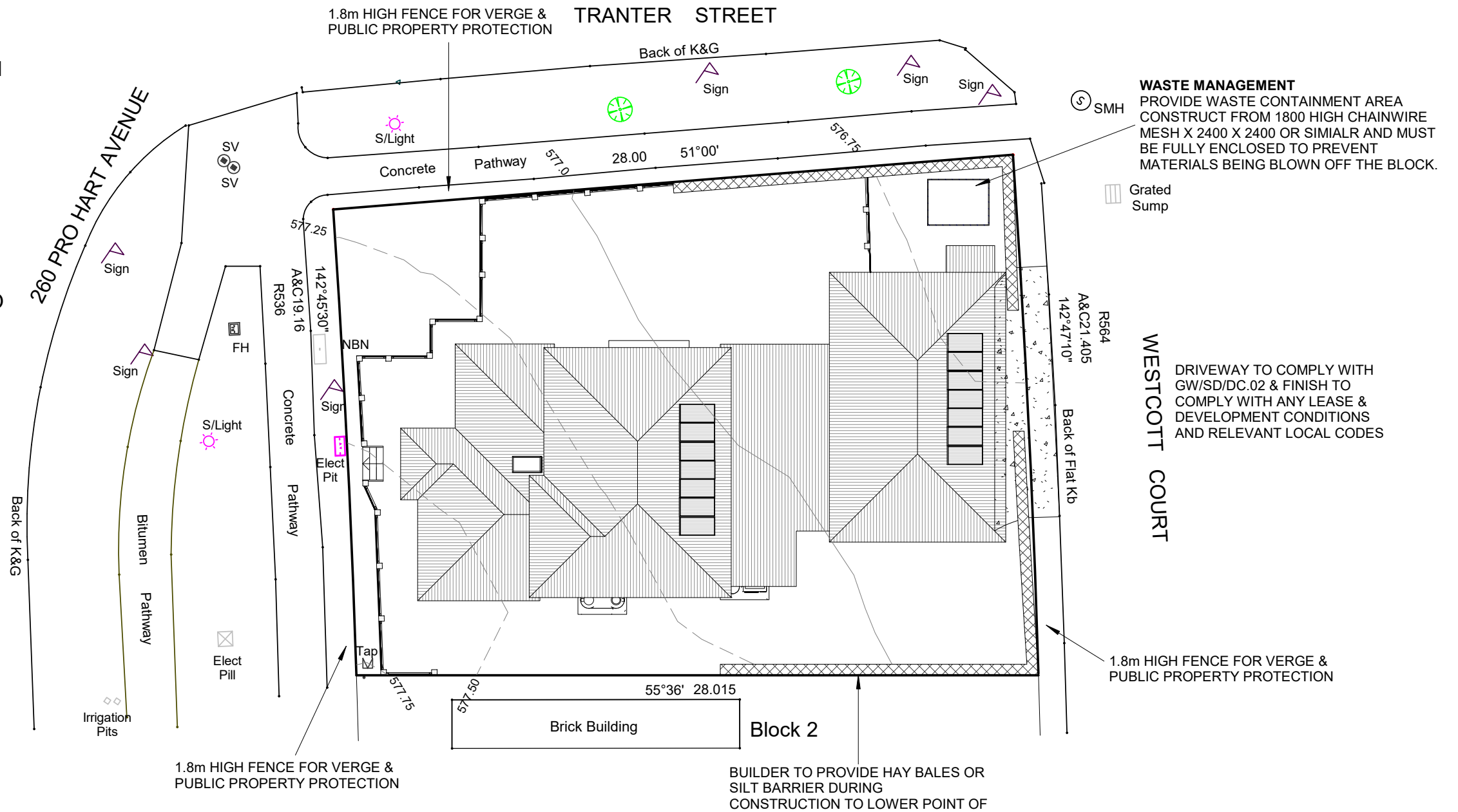
PROVIDE GEOTEXTILE FENCE, FIXED TO STARPICKETS AT 2m MAX. CTS 600mm DEEP OR PROVIDE HAY BALES AT LOWER SIDE OF THE SITE FOR SEDIMENT CONTROL

PROVIDE 1.8m HIGH FENCE AROUND THE BLOCK DURING CONSTRUCTION

PROVIDE TEMPORARY WASTE LOCATION & UTILITY FACILITIES ON SITE

IF DRIVEWAY IS NOT POUR ON THE VERGE BUILDER TO LAY 150-200mm THICK LAYOUT OF GRAVEL OR CRUSHED BRICK OR CONCRETE TO VEHICULAR ACCESS POINT

ANY & ALL DAMAGE CAUSED TO THE SURROUNDING PUBLIC INFRASTRUCTURE INCLUDING STREET KERBS, STREET TREES, FOOTPATHS, KERB CROSSOVERS, VERGE (NATURE STRIP) SERVICES & ADJOINING LAND, CAUSED BY THE CONSTRUCTION OF THE RESIDENCE IS TO BE REPAIRED & REINSTATED TO ITS ORIGINAL STATE



1

EROSION & SEDIMENT

1 : 200

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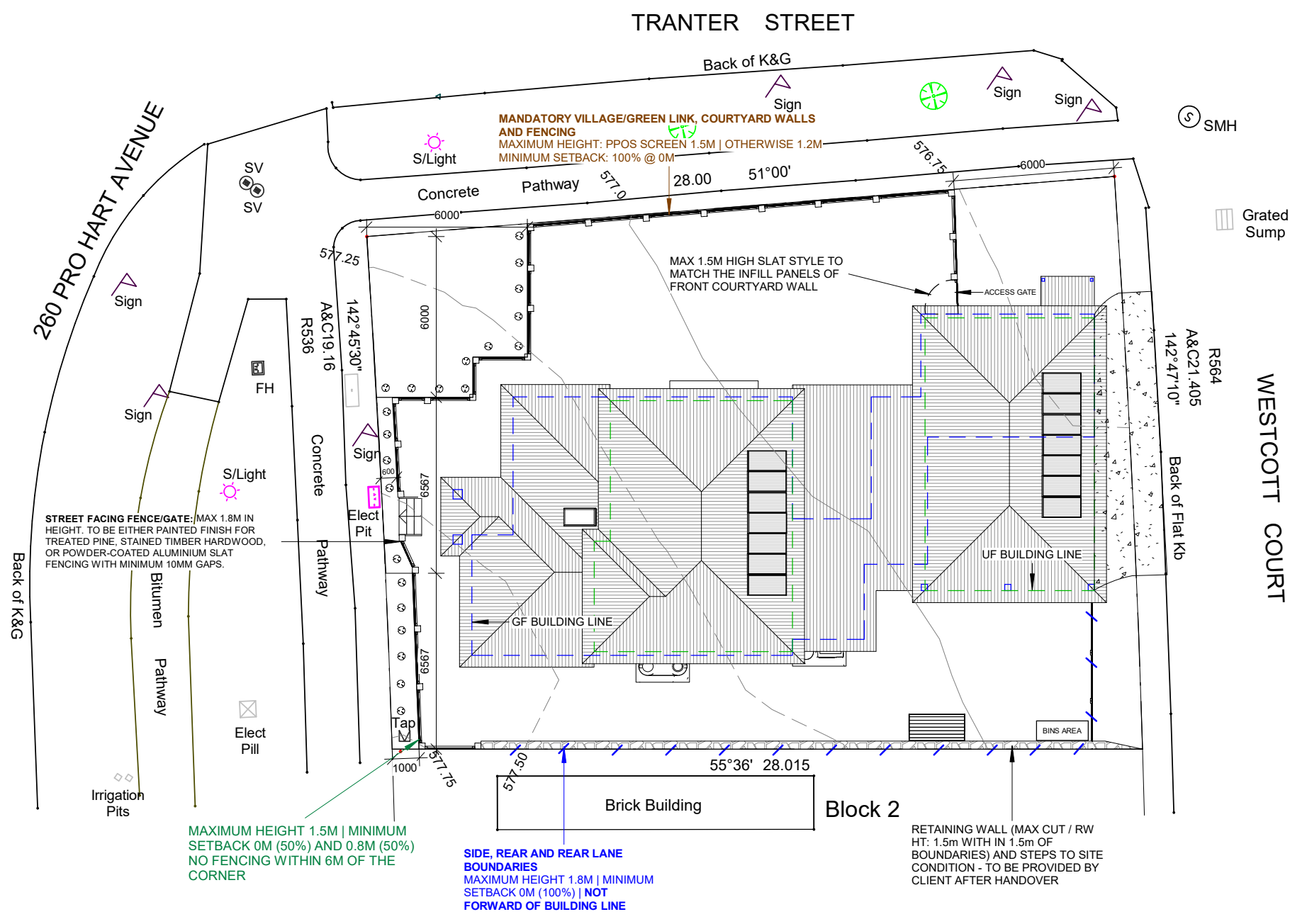
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RESIDENCE
BLOCK: 1 SECTION: 77
SUBURB: STRATHNAIRN

EROSION&SEDIMENT PLAN FOR APPROVAL

Project number	211201	A103
Date	22/6/22	
Drawn by	B.Virk	
Checked by	Client	
Scale	1 : 200	on A3

22/06/2022 6:31:01 PM



1 FENCING PLAN
1 : 200

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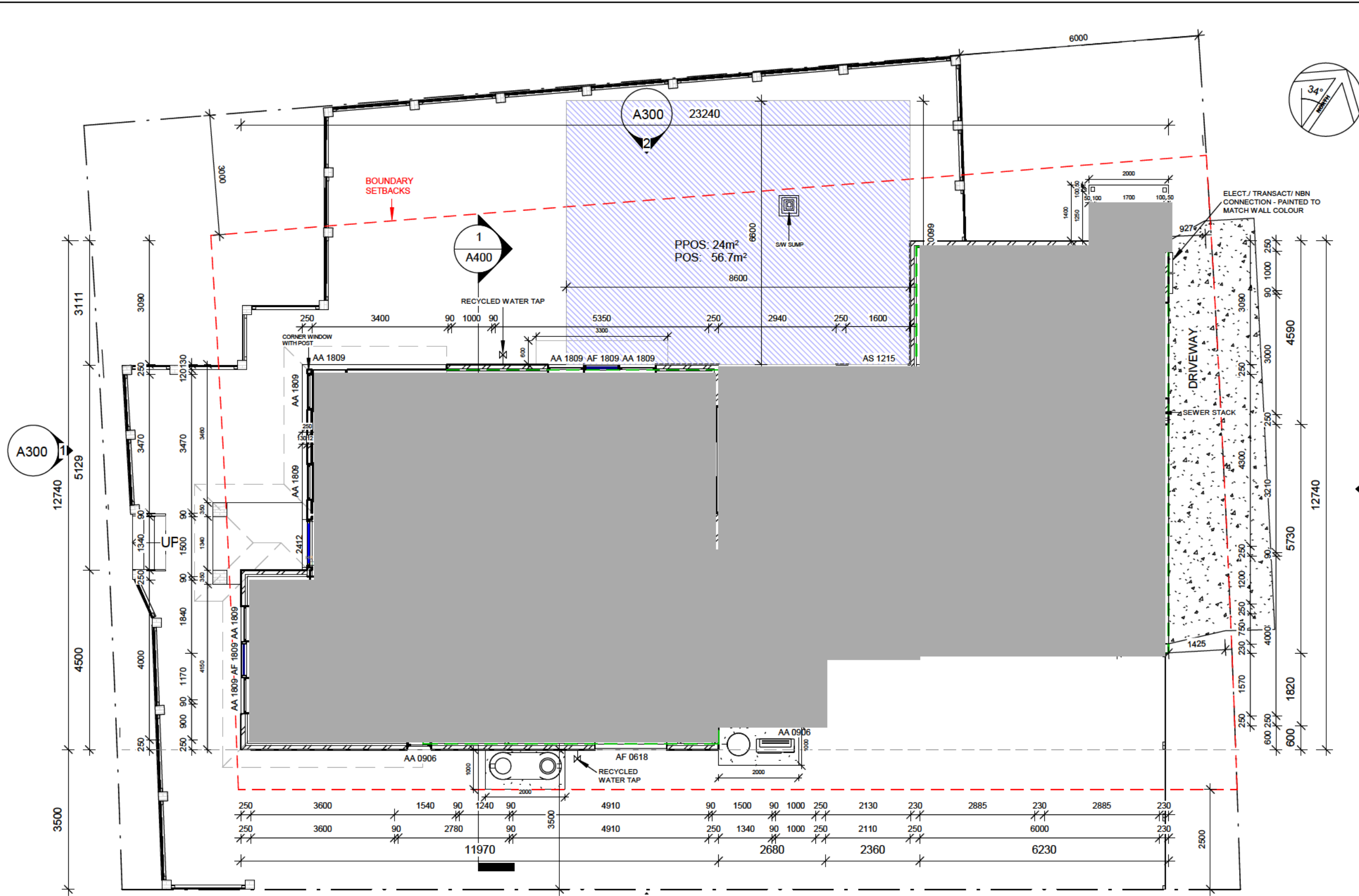
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 Email: virk.bds@gmail.com Mob: 0425677755

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RESIDENCE
 BLOCK: 1 SECTION: 77
 SUBURB: STRATHNAIRN

FENCING PLAN		FOR APPROVAL	
Project number	211201	A105	
Date	22/6/22		
Drawn by	B.Virk		
Checked by	Client		
Scale	1 : 200	on A3	

22/06/2022 6:31:02 PM



SITE AREA	
OPEN SPACE	404.38 m ²
Footprint	133.25 m ²
Total	537.63 m²

GFA		
Number	Name	Area
1	GF Living	132.87 m ²
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2. GROUND FLOOR PLAN

1 : 100

- ALL MECHANICAL VENTILATION TO BE DUCTED DIRECTLY TO OUTSIDE ROOF SPACE IN ACCORDANCE WITH BCA V2 PART 3.8.7.4
- FLOW RATE OF MECHANICAL SYSTEMS TO COMPLY WITH BCA V2 3.8.7.3
- UPPER FLOOR WINDOWS TO BE RESTRICTED IN ACCORDANCE WITH BCA V2 3.9.2.6
- ALL WINDOWS AND SLIDERS AS PER AS2047 & AS1288 AND DOUBLE GLAZED
- FLOOR DRAINS IN ALL WET AREAS / BALCONY / OUTDOOR AS REQUIRED
- ALL INTERNAL DOORS HEIGHT: 2040mm

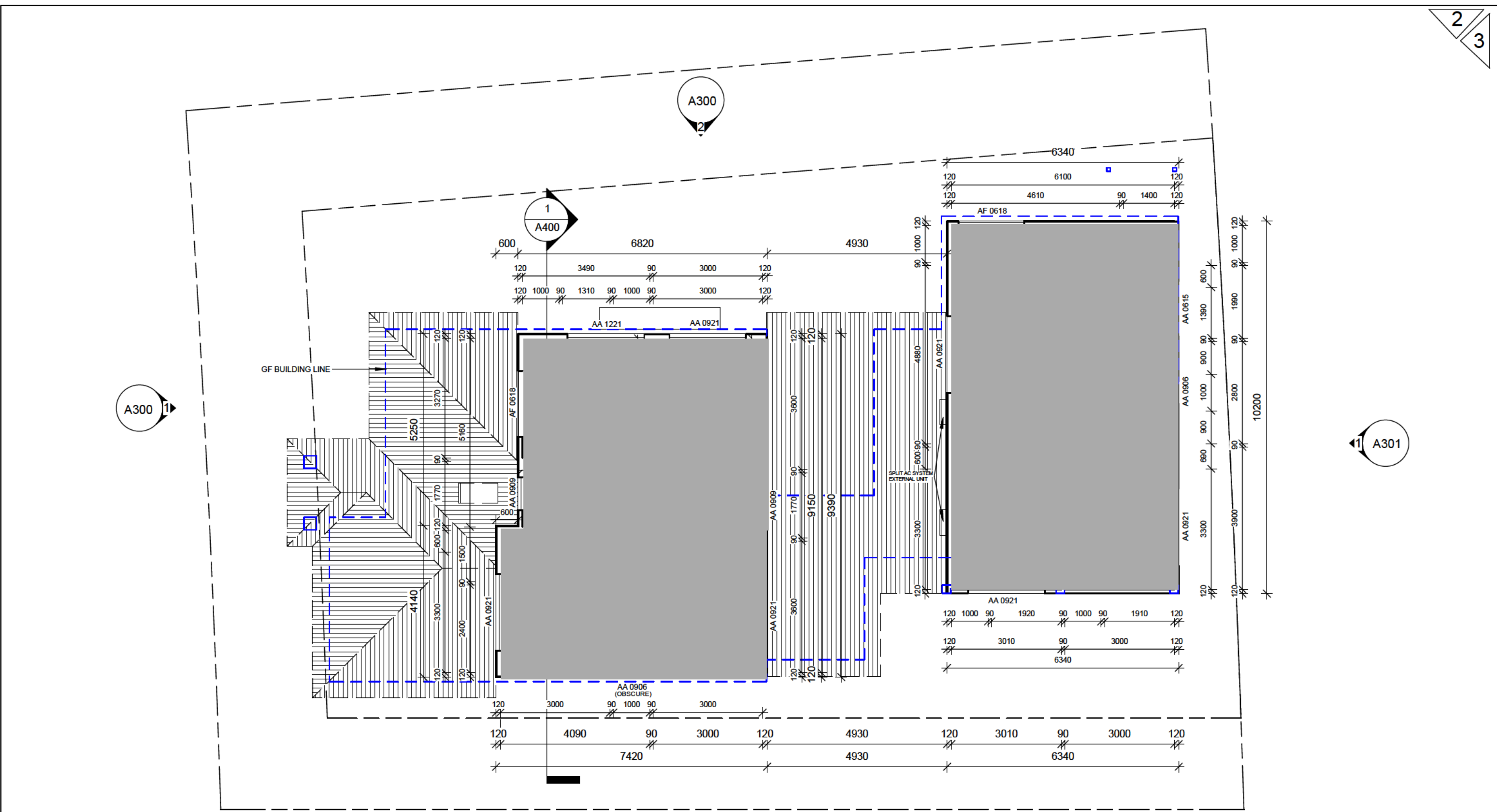
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RESIDENCE
 BLOCK: 1 SECTION: 77
 SUBURB: STRATHNAIRN

GROUND FLOOR PLAN FOR APPROVAL

Project number	211201
Date	22/6/22
Drawn by	B.Virk
Checked by	Client

A200	
Scale	1 : 100 on A3



3. UPPER FLOOR PLAN

1 : 100

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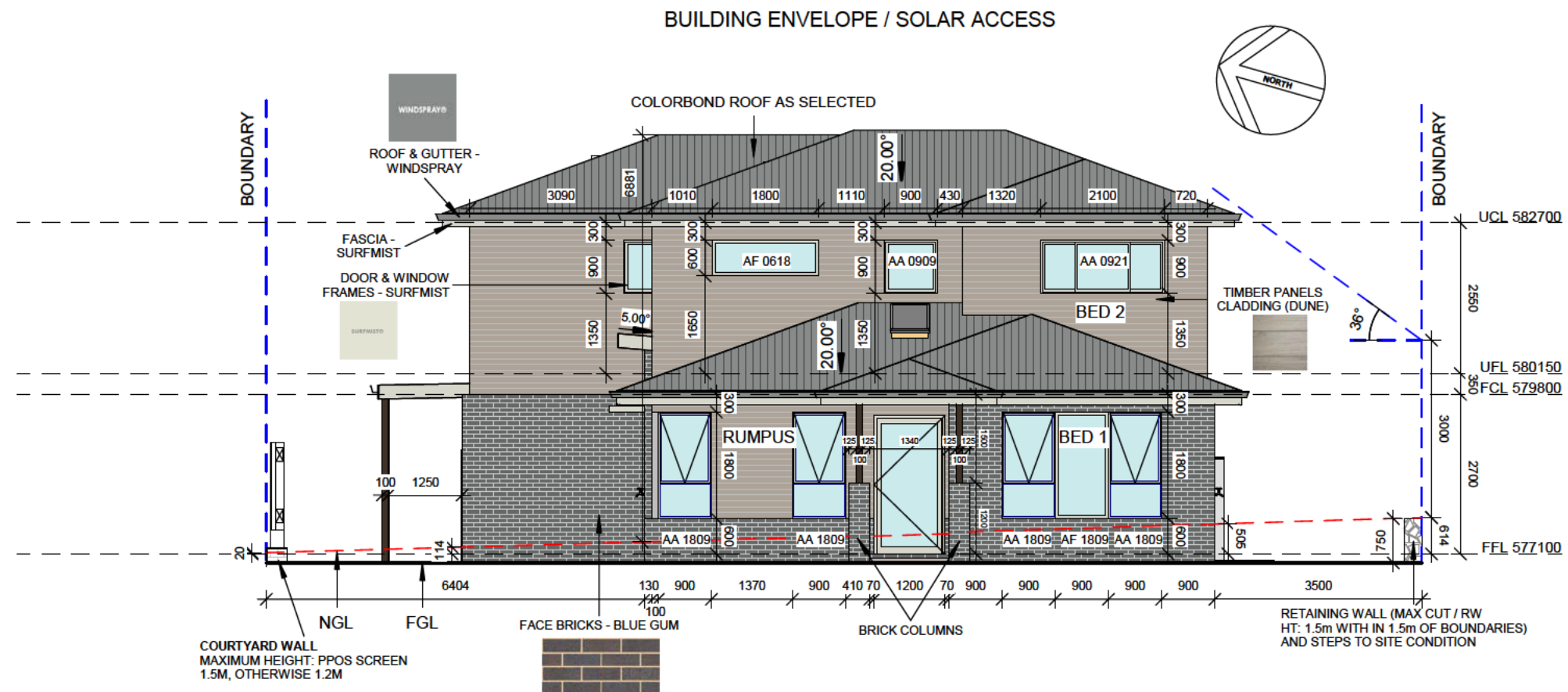
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 SUBURB: STRATHNAIRN

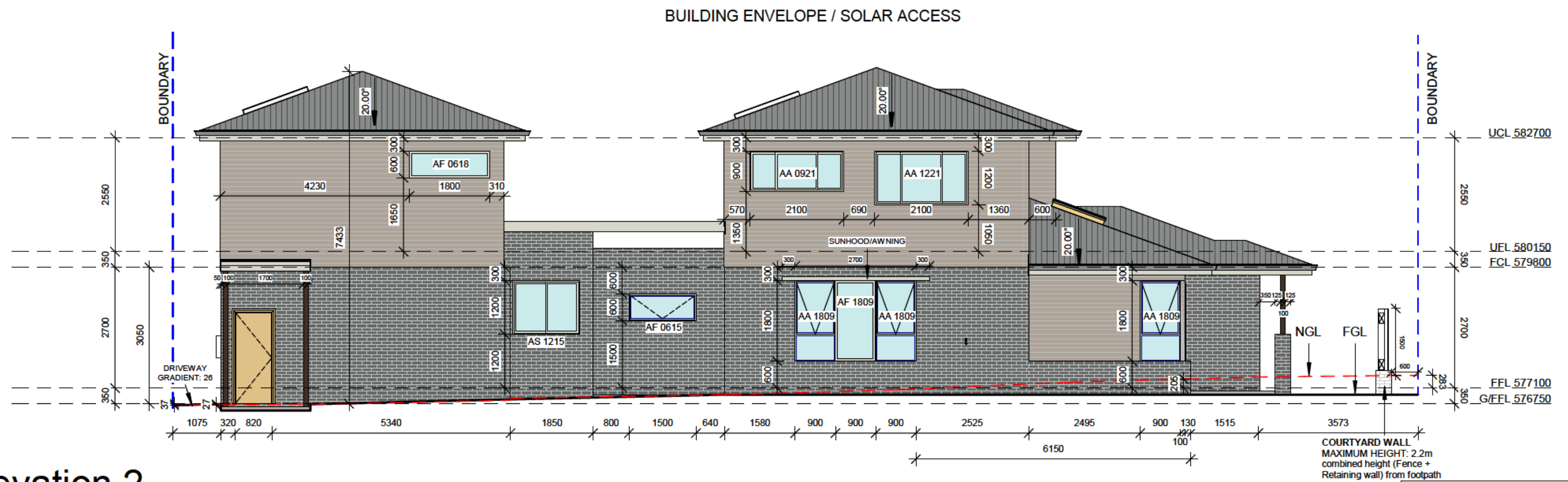
UPPER FLOOR PLAN		FOR APPROVAL	
Project number	211201	A201	
Date	22/6/22		
Drawn by	B.Virk		
Checked by	Client		
		Scale	1 : 100 on A3

22/06/2022 6:31:03 PM

1 Elevation 1
1 : 100



2 Elevation 2
1 : 100



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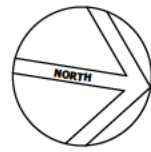
Email: virk.bds@gmail.com Mob: 0425677755

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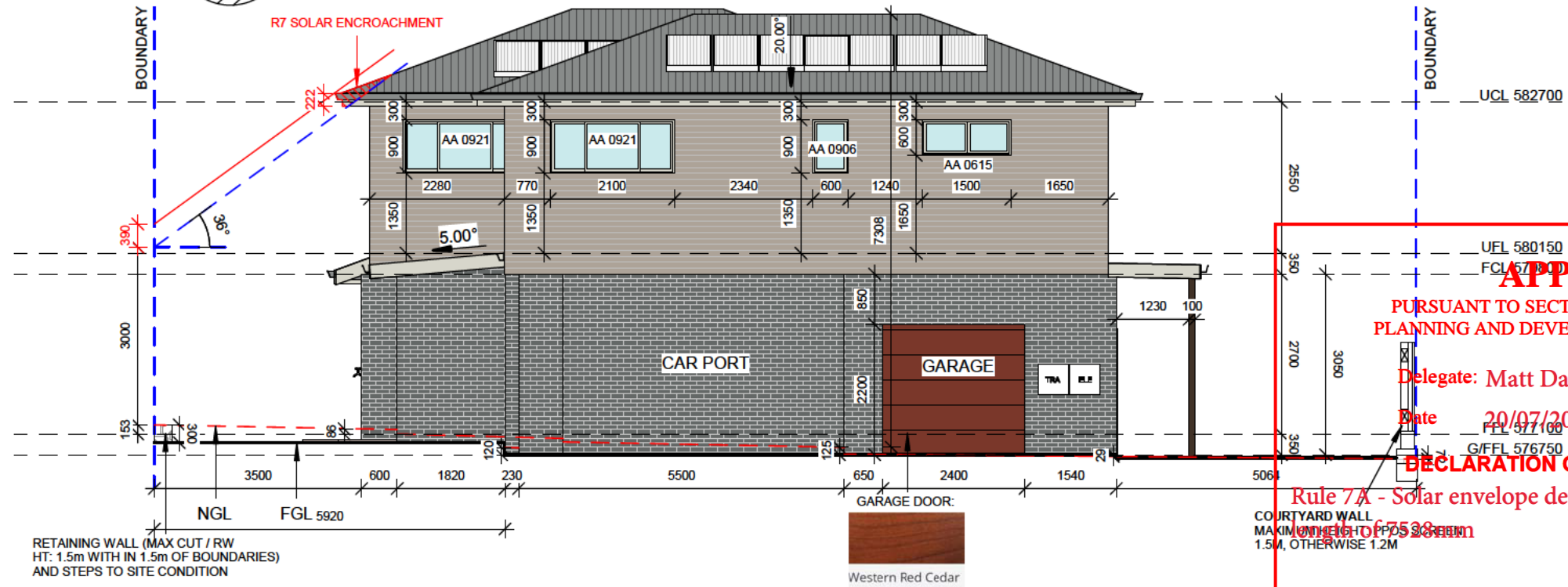
RESIDENCE
BLOCK: 1 SECTION: 77
SUBURB: STRATHNAIRN

ELEVATION 1&2		FOR APPROVAL	
Project number	211201	A300	
Date	22/6/22		
Drawn by	B.Virk		
Checked by	Client		
Scale	1 : 100	on A3	

22/06/2022 6:31:03 PM



BUILDING ENVELOPE / SOLAR ACCESS



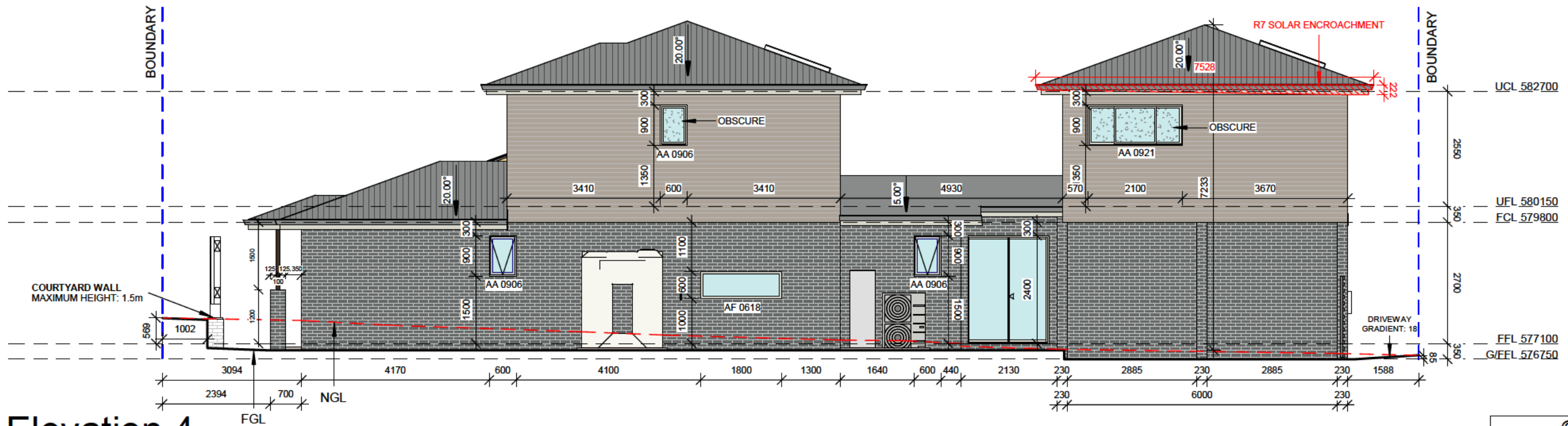
Elevation 3

1 : 100

1

APPROVED
 PURSUANT TO SECTION 1.100A/1.100AB OF THE
 PLANNING AND DEVELOPMENT REGULATION 2008
 Delegate: Matt Davis
 Date: 20/07/2022
DECLARATION OF EXTENDED DISTANCE
 Rule 7A - Solar envelope departure of a maximum 222mm for a
 length of 67538mm
 COURT YARD WALL
 MAXIMUM HEIGHT: 1.5M
 1.5M, OTHERWISE 1.2M

BUILDING ENVELOPE / SOLAR ACCESS



Elevation 4

1 : 100

2

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Email: virk.bds@gmail.com Mob: 0425677755

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RESIDENCE
 BLOCK: 1 SECTION: 77
 SUBURB: STRATHNAIRN

ELEVATION 3&4		FOR APPROVAL	
Project number	211201	A301	
Date	22/6/22		
Drawn by	B.Virk		
Checked by	Client		
Scale	1 : 100	on A3	

22/06/2022 6:31:04 PM

WINDOWS / DOORS:

* ALL MATERIALS, FIXING, FRAMES, GLAZING, FLY SCREENS, ETC TO CONFORM TO AS2047 & AS1288 / RELEVANT CODES / BEST TRADE PRACTICES.
* ENSURE CORRECT OPERATION OF WINDOWS, SLIDING DOORS, ENSURING CORRECT PROTECTION FROM THE WATER.
* ALL ALUMINIUM DOORS AND WINDOWS TO BE ALUMINIUM IMPROVED.

ELECTRICAL:

* ALL ELECTRICAL MATERIALS, CONNECTIONS AND INSTALLATION FOR FULL SATISFACTORY OPERATION IN ACCORDANCE WITH AUTHORITY REQUIREMENTS, RELEVANT CODES / REGULATIONS AND AS DIRECTED BY THE BUILDER.
* LIGHTING TO COMPLY WITH CLAUSE 3.12.5.5 OF BCA.
* DOWNLIGHTS INSTALLED WITH APPROVED NON-VENTILATED COVER OR SHIELD ALLOWING INSTALLATION OF INSULATION TO SIDES AND TOP.
* SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH BCA , BUILDING NOTE 19 & TO COMPLY WITH AS3786. SMOKE ALARMS TO BE CONNECTED MAIN POWER WITH BATTERY BACKUP AND WIRED, IN ACCORDANCE WITH AS3000.

WATER HEATER IN HOT WATER SUPPLY SYSTEM TO COMPLY WITH CLAUSE 3.12.5.6 OF BCA V2.

FOOTINGS:

* ALL CONCRETE FOOTINGS AND SLABS TO BE IN ACCORDANCE WITH S.A.A. CODE 2870.1 & ENGINEER'S DESIGN / SPECIFICATIONS.
* CONTINUOUS DAMPPROOF MEMBRANE UNDER SLAB.
* DAMPROOF COURSE AT BEARER SEATING LEVELS, STEPPED CAVITY FLASHING WITH WEEP HOLES AT 1200MM CENTERS TO THE EXTERNAL BRICK SKIN AT GROUND FLOOR LEVEL, UNDER WINDOW SILLS AND BRICKWORK ABOVE WINDOWS.

BRICKWORK:

* MASONRY STONE / BRICKWORK AS SELECTED, GENERALLY 230 X 110 X76 MM BRICKS BONDED IN STRETCHER BOND.
* MORTAR TO COMPLY WITH THE REQUIREMENTS OF RELEVANT CODES & AUSTRALIAN STANDARDS. COLOUR TO NOT BE WHITE OR OFF WHITE.
* MASONRY ARTICULATION REQUIRED (VERTICAL ARTICULATION JOINTS) IN ACCORDANCE WITH BCA V2 3.3.5.13

LINTELS FOR BRICKWORK. ALL BEAMS & LINTELS AS PER ENGINEER'S DESIGN / SPECIFICATION & MANUFACTURER'S TABLE.

MATERIAL & FINISHES TO BE CONFIRMED BY THE CLIENT

TIMBER STUD WORK:

* ALL TIMBER WORK TO COMPLY WITH AS 1684.2 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION"
* 90X35MM PINE STUDS AT 450 MM CENTERS TO ALL LOAD - BEARING WALLS & AT 600 MM CENTERS TO NON LOAD-BEARING WALLS
* 90X35MM PINE PLATE & NOGGING AND PROVIDE SECOND 90X45 MM TOP PLATE TO ALL LOAD - BEARING WALLS
* PROVIDE 90X45 F8 STUDS TO BOTH SIDES OF OPENING CARRYING LINTELS F8 TIMBER TO WALLS SUPPORTING TRUSSES WITH SPANS GREATER THAN 6.0 M
* 50X38 MM CEILING BATTENS AT 450 MM CENTERS.
* 10 MM PLASTER BOARD INTERNAL WALL & CEILING *LINING FIBROUS CEMENT SHEET LINING TO EAVES.

STEEL FRAME WORK:

* ALL STEEL WORK TO COMPLY WITH:
AS/NZS 4600, COLD FORMED STEEL STRUCTURES
AS 3623, DOMESTIC METAL FRAMING
AS 4100, STEEL STRUCTURES
* BCA STANDARDS ADHERED TO BCA VOLUME 2, PART 3.4.2 STEEL FRAMING

ROOFING:

* TRUSSES AT 600mm CENTERS, FIXED TO MANUFACTURERS SPECIFICATIONS.
* LINTEL SIZE TO TRUSS MANUFACTURERS CHART.
* METAL FASCIA & GUTTER AS SELECTED.
* PLASTER INTERNAL LININGS WALL FRAMING TO ALL ROOMS TO BE COVERED JOINTS BEING BACKED WITH EITHER NOGGINGS OR STUDS AS REQUIRED BY MANUFACTURER.
* ALL ELEMENTS TO BE SECURELY FIXED.
* PLASTER BOARD (MIN 10MM THICK) WALL & CEILING LINING.
* FIBROUS CEMENT SHEET WALL LINING TO WET AREAS.
* PROVIDE CORNICE, AS SELECTED SHALL BE FIXED AT INTERSECTION OF ALL BEAMS AND WALL JUNCTIONS WITH CEILINGS.
* PROVIDE ROOF LIGHTS & VENTILATION TO COMPLY WITH THE NCC.
* ROOF PLUMBING, FLASHING, ETC AS NECESSARY, TO COMPLY WITH RELEVANT AUSTRALIAN STANDARDS.

WATERPROOFING:

* WET AREAS WATERPROOFING: AS 3740 - 2010 AND AMDT 1 - 2012, AND BCA V2: 3.8.1.2
* EXTERNAL / BALCONIES WATERPROOFING: AS 4654 - 2012 AND BCA V2: 3.8.1.3

INSULATION SCHEDULE (NCC-2016 PART3.12):

* R 4.0 CEILING INSULATION + R1.3 BLANKET/SARKING
* R 2.0 WALL INSULATION + BUILDING WRAPS
* R 2.0 INSULATION TO INTERNAL WET AREA WALLS
* R 2.0 FLOOR INSULATION
* ALL WINDOWS / SLIDERS TO BE DOUBLE GLAZED
* HEAVY DRAPES WITH PELMETS, WEATHER STRIPS TO EXTERNAL DOORS & SEAL EXHAUST FANS

COLORBOND ROOF AS SELECTED

TRUSSES TO MANUFACTURERS DESIGN / SPECIFICATIONS

Gutter - Bevel
125 x 125mm

FASCIA
19X235

EAVES

WEATHERTEX
ECOGROOVE CLADDING
(DUNE)

BRICK VENEER -
FACE BRICK

NGL

FGL

RETAINING WALL (MAX CUT / RW
HT: 1m WITH IN 1.5m OF BOUNDARIES)
AND STEPS TO SITE CONDITION

NOISE AFFECTED BLOCK - TO COMPLY WITH:
* AS/NZS 2107:2000 - Acoustics - Recommended design sound levels and reverberation times for building interiors (the relevant satisfactory recommended interior design sound level)
* AS/NZS 3671 - Acoustics - Road Traffic Noise Intrusion Building Siting and Design and Ginninderry Noise Management Plan

WAFFLE POD SLAB TO
ENGINEER'S DESIGN

1 Section A
1 : 50

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Email: virk.bds@gmail.com Mob: 0425677755

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RESIDENCE
BLOCK: 1 SECTION: 77
SUBURB: STRATHNAIRN

SECTION A

FOR APPROVAL

Project number	211201
Date	22/6/22
Drawn by	B.Virk
Checked by	Client

A400

Scale 1 : 50 on A3

22/06/2022 6:31:04 PM

A300 1

A300 2

2
3

A301 11

A301 2

4. ROOF PLAN

1 : 100

1
4

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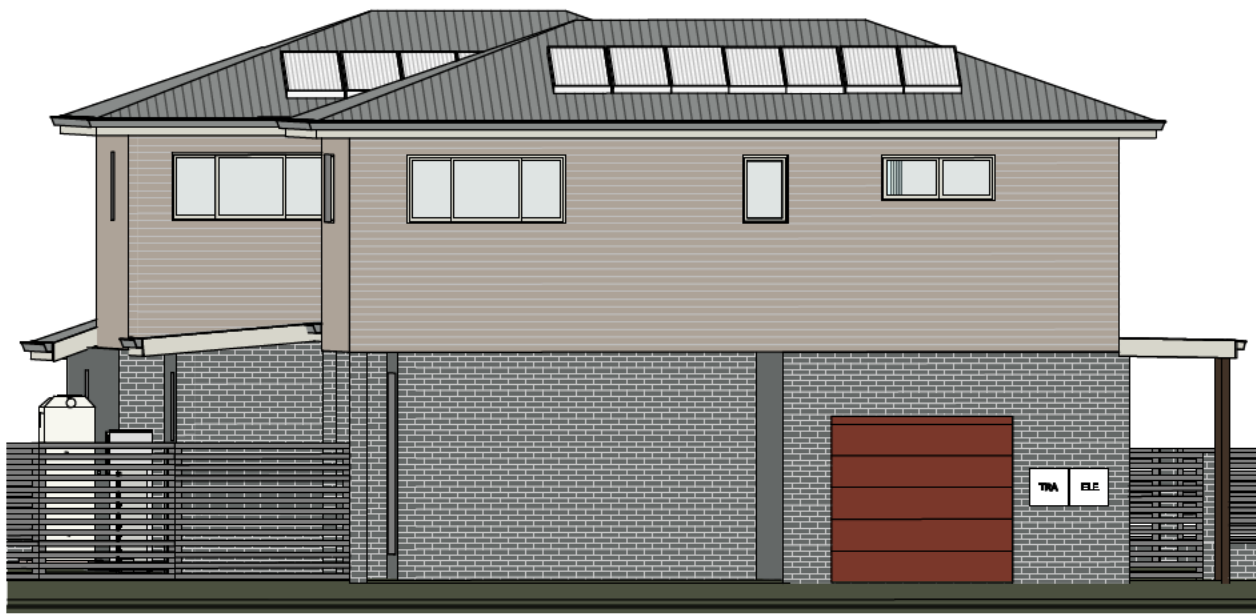
Virk Building Design Services
 Email: virk.bds@gmail.com Mob: 0425677755

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RESIDENCE
 BLOCK: 1 SECTION: 77
 SUBURB: STRATHNAIRN

ROOF PLAN		FOR APPROVAL	
Project number	211201	A500	
Date	22/6/22		
Drawn by	B.Virk		
Checked by	Client		
		Scale	1 : 100 on A3

22/06/2022 6:31:05 PM



1 3D-FRONT VIEW



2 3D-LT SIDE VIEW



3 3D-RT SIDE VIEW

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RESIDENCE
 BLOCK: 1 SECTION: 77
 SUBURB: STRATHNAIRN

3D VIEWS

FOR APPROVAL

Project number	211201
Date	22/6/22
Drawn by	B.Virk
Checked by	Client

A700

Scale on A3

22/06/2022 6:31:06 PM

SAFE DESIGN OF STRUCTURES CODE OF PRACTICE

1. FALLS, SLIPS, TRIPS

WORKING AT HEIGHTS

DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation. For buildings where scaffold, ladders, trestles are not appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

FLOOR FINISHES - Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen

FLOOR FINISHES - By Owner

If designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

2. STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace. Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways. Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

3. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted

4. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road: Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

For building where on-site loading/unloading is restricted: Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

For all buildings: Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

5. SERVICES

GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

Locations with underground power: Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

Locations with overhead power lines: Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

6. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

7. HAZARDOUS SUBSTANCES ASBESTOS

ASBESTOS

For alterations to a building constructed prior to 1990:

If this existing building was constructed prior to:

1990 - it therefore may contain asbestos

1986 - it therefore is likely to contain asbestos either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

8. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required:

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

For buildings with small spaces where maintenance or other access may be required: Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

9. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

10. OPERATIONAL USE OF BUILDING

RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements. All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace. All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (BUT NOT LIMITED TO): OWNER, BUILDER, SUB-CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS.

Brougham-Pratt, Charlotte

From: AC, EPD Customer Services
Sent: Friday, 15 July 2022 3:59 PM
To: precon.admin@achievehomes.com.au
Subject: FEE ADVICE-EXEMPTION DECLARATION-1-77-STRATHNAIRN

OFFICIAL

Good afternoon,

We have received and completed our initial check of the Exemption Declaration Application for Block 1 Section 77 Strathnairn, it is ready to proceed to assessment once payment is received.

Please click the link below and complete the online form for payment of **\$630.35**

<https://form.act.gov.au/smartforms/landing.htm?formCode=1215>

Alternatively, payment can be made via cash or cheque at the ACT Government shopfront, 8 Darling Street Mitchell.

Kind regards,

Georgia Greco | Customer Co-ordination

Phone: 02 6207 1923 | **Email:** ACEPDCustomerServices@act.gov.au

Access Canberra | Chief Minister Treasury and Economic Development Directorate | ACT Government

8 Darling St, Mitchell | GPO BOX 158, Canberra City ACT 2601 | www.act.gov.au/accessCBR



Aloisi, Angelina

From: Exemptdec
Sent: Tuesday, 12 July 2022 6:21 PM
To: AC, EPD Customer Services
Subject: FW: FURTHER INFO-INITIAL-EXEMPTION-DECLARATION-1-77-STRATHNAIRN-APPLICATION-01 [SEC=UNCLASSIFIED, DLM=Sensitive: Personal]
Attachments: EXEMPTION-DECLARATION-1-77-STRATHNAIRN-APPLICATION-01.pdf; 1n letter of authorisation -2.pdf; 20005 (1 of 77 Straithairn - Pre Con WD) 20220711134442147v04.pdf

OFFICIAL

Hey team,

Plans are sufficient for this 1N.
Thank you have a great day!

Kind regards,
Jak O'Brien

Duty Planner | **Gateway** | 6207 0520 | jak.obrien@act.gov.au
Statutory Planning Division | Environment, Planning and Sustainable Development Directorate | **ACT Government**
Level 1, 480 Northbourne Avenue, Dickson | www.environment.act.gov.au | www.planning.act.gov.au

From: Exemptdec <Exemptdec@act.gov.au>
Sent: Thursday, 30 June 2022 3:57 PM
To: precon.admin@achievehomes.com.au; Exemptdec <Exemptdec@act.gov.au>
Subject: FURTHER INFO-INITIAL-EXEMPTION-DECLARATION-1-77-STRATHNAIRN-APPLICATION-01 [SEC=UNCLASSIFIED, DLM=Sensitive: Personal]

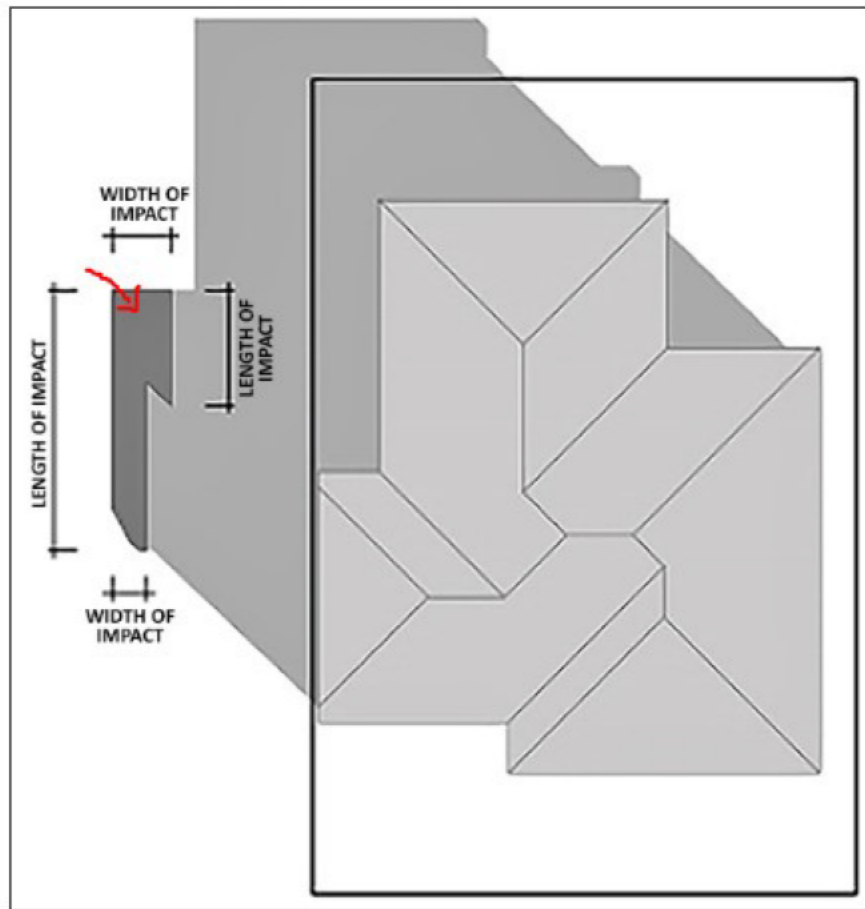
OFFICIAL

FURTHER INFO-INITIAL-

Hello,

We have undertaken an initial check of this Exemption Declaration. We require some further information prior to lodgement of this application. Please address the following and resubmit your plans via return email;

1. Provide shadow diagram highlighting (in red hatching) the extended shadow casted from the solar encroachment (->) during winter solstice 21 June, 9am 12pm and 3pm. These must also show the PPOS and windows of habitable rooms (aside from bedrooms) of the South neighbouring properties.



Shadow diagram - extended shadow

**Kind regards,
Jak O'Brien**

Duty Planner | Gateway | 6207 0520 | jak.obrien@act.gov.au
Statutory Planning Division | Environment, Planning and Sustainable Development Directorate | ACT Government
Level 1, 480 Northbourne Avenue, Dickson | www.environment.act.gov.au | www.planning.act.gov.au

From: smartforms@act.gov.au <smartforms@act.gov.au>
Sent: Thursday, 30 June 2022 11:46 AM
To: Exemptdec <Exemptdec@act.gov.au>
Subject: EXEMPTION-DECLARATION-1-77-STRATHNAIRN-APPLICATION-01 [SEC=UNCLASSIFIED, DLM=Sensitive: Personal]

Exempt Declaration Form 1N

Form data summary

Submission ID	3DNT3HWD
Reference code	3DNT3HWD

For issues or questions relating to SmartForms please contact the Payment Services Integration Team on *5 4607 or email smartforms.admin@act.gov.au.