

Planning and Development Act 2007

Development Application

Application Number: **201733198**

Before Starting

PLEASE NOTE: This wizard will time out if left inactive for a period of more than two hours, after which time you will lose your application and be required to complete a new wizard. It is recommended you **save** this session if it is to be left inactive for an extended period of time.

Please ensure that your screen is set to the highest resolution (e.g. 1280 by 1024 pixels) to ensure all content in the wizard is visible.

Type of Application

The type of application you are applying for is a **New Application**

Are you applying for a:

Development Application

Has a pre-application meeting been held in relation to this proposal?

Yes

Lease/Site Details

Site Number: 1

If your rural property is identified by a Block/Section/Suburb, please select the "Urban" radio button.

Urban

Suburb	Section	Block Number	Unit Number
<input type="text" value="MITCHELL"/>	<input type="text" value="11"/>	<input type="text" value="18"/>	<input type="text"/>

Street Address

Applicant Details

What type of applicant are you:

Business

ACN or ABN

162174665

Company Name

ArPM Pty Ltd

Position held / Title

Project Leader

Salutation

None

First Name

Annette

Surname

Pogas

Postal Address 1

Level 5, Tower A

Postal Address 2

7 London Circuit

Postal Address 3

Canberra

Suburb

Canberra

State/Territory

ACT

Postcode

2601

Country

Australia

Phone Number

0261694097

Fax Number

Mobile Number

Email

info@arpm.net.au

Lessee (Property Owners) Details

Lessee Number: 1

Is the Lessee a:

 Registered company

Australian Company Number (ACN)

49088414742

Company Name

Konstantinou Developments Pty Ltd

Position held / Title

Director

Salutation

None

First Name

John

Surname

Konstantinou

Postal Address 1

PO Box 222

Postal Address 2

Postal Address 3

Suburb

Mitchell

State/Territory

ACT

Postcode

2911

Country

Australia

Phone Number

0262423933

Fax Number

Mobile Number

0419654655

Email

john.konstantinou@kgroup.com.au

Notice of Decision and Plans

Please specify the delivery method for the return of plans. Unless otherwise specified, your Notice of Decision and/or plans will be returned via email.

Email

Are you applying for an *Estate Development Plan* OR *Home Business*?

No

Zone

Please specify which zone applies to this application (please select one zone only). Please click [here](#) to access ACTMAPi and locate the zone.

IZ2 Mixed use industrial zone

If more than one zone is applicable to your application, please specify them below:

Development/Precinct Code

Please specify which development code applies to this application.

Industrial Zones Development Code

Please specify all relevant precinct code/s applied to your proposal
Mitchell Precinct map and code

Fully Describe Your Proposal

Please provide a full description of your proposal (Note: This must accurately describe all aspects of your proposal and include any lease changes being applied for.)

Construction of three storey building containing a childcare centre for up to 130 children with upper level outdoor play areas, ground level undercroft parking and service areas, associated landscaping, services infrastructure, off-site works comprising construction of new driveway entrances and pedestrian paths. The Crown lease purpose clause has been previously varied to include the proposed childcare centre use.

Proposed Use of the Land

Describe the use of the development. **Example:** Office, childcare facility, gymnasium. (Note: Please refer to the Territory Plan definitions for land use definitions. Please also consider what is permitted under any Crown Lease for the site.)

childcare facility

Is the proposed use consistent with the current Crown lease?

Yes

Assessment Track

Please indicate which assessment track applies to this Development Application: (If you are not sure which assessment track applies, please contact Environment, Planning and Sustainable Development Directorate on (02)62071923)

Merit

Has an Environmental Significance Opinion been sought for this proposal?

No

For more information about which track your development application will be assessed in, please click [here](#). *Please note, the Environment, Planning and Sustainable Development Directorate may refuse to accept a development application made in an incorrect assessment track. If the Environment, Planning and Sustainable Development Directorate assesses an application made in the incorrect assessment track it must refuse the application (S.114 (3)).*

Type of Development

Please indicate which type of development applies to this development application.

Community Use (includes Institutional)

Community Use

Please select a Community Use sub type:

New building

New building storeys

Gross Floor Area (GFA) and Cost of Works

Please ensure that all values contain a decimal point followed by two digits

Gross Floor Area Calculation

A - Gross Floor Area (existing) (m²)

B - Gross Floor Area to be demolished (m²)

C - Gross Floor Area to be added (m²)

D - Total Gross Floor Area of development (A-B+C)(m²)

1087

E - COST OF WORKS (\$)

1521800.00

Other Area Calculation (not already included in the areas provided above)

F - Area of other BCA Class 10 structures included in this application (e.g. metal carport, pergola, deck, verandah) (m²)

27.0

G - Parking areas – undercover

1100.0

H - COST OF WORKS (F & G) (\$)

160000.0

Cost of Associated Works

I - Cost of all associated works such as landscaping (\$)

180000.0

J - Cost of all public works and/or off site works (\$)

20000.0

K - TOTAL COST OF WORKS (E+H+I+J)

1881800

Cost of works **MUST be calculated in accordance with the current version of [Building \(General\) \(Cost of Building Work\) Determination](#) OR a summary of costs from a bill of quantities prepared by a quantity surveyor supplied with application. A summary of costs from a bill of quantities MAY be requested for proposals where cost of work is between \$0 and \$10 million. A summary of costs from a bill of quantities **MUST** be provided for proposals where cost of work is over \$10 million.*

Demolition, Trees

Demolition

Is the [Demolition](#) item relevant to your proposal?

No

Trees

Is the Trees item relevant to your proposal?

No

Heritage

Heritage

Is the [Heritage](#) item relevant to your proposal?

No

Hazardous Materials, Contamination, Erosion and Sediment Control

Hazardous Material

Is the [Hazardous Materials](#) item relevant to your proposal?

No

Contamination

Is the [Contamination](#) item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

Yes

Erosion and Sediment Control (for sites less than 0.3 of a hectare)

Is the Erosion and Sediment Control (for sites less than 0.3 of a hectare) item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

Yes

For works such as class 10 structures, additions and alterations, and backyard swimming pools - a note on the plan that "the development will comply with the ACT Environment Protection Authority, Environment Protection Guidelines for Construction and Land Development in the ACT" is required. In circumstances where there is a reasonable risk that soil from the required earth works in the front of the block will impact on the stormwater system because the block slopes towards the street a separate Erosion & Sediment Control Plan will be required

Erosion and Sediment Control (for sites greater than 0.3 of a hectare)

Is the Erosion and Sediment Control (for sites greater than 0.3 of a hectare) item relevant to your proposal?

No

Waste Management, Noise

Waste Management for waste facilities and management

Is the [Waste Management \(for waste facilities\)](#) item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

Yes

Waste Management for liquid trade waste

Is the [Waste Management \(for liquid trade waste\)](#) item relevant to your proposal?

No

Noise

Is the Noise Management item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

Yes

Servicing & Site Management, Utilities

Servicing and Site Management

Is the Servicing and Site Management item relevant to your proposal?

No

Utilities

Is the [Utilities](#) item relevant to your proposal?

Yes

Please tick the relevant entities

Water

Electricity

Sewerage

Gas

Stormwater

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

Yes

Subdivision, National Capital Plan, Crime Prevention, Access & Mobility

Subdivision (other than residential zones)

Is the Subdivision (other than residential zones) item relevant to your proposal?

No

National Capital Plan

Is the [National Capital Plan](#) item relevant to your proposal?

No

Crime Prevention through Environmental Design

Is the [Crime Prevention](#) item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the [Territory Plan](#)?

Yes

Access and Mobility

Is the [Access and Mobility](#) item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the [Territory Plan](#)?

Yes

Site Access, Parking, Landscape, Lighting

Site Access

Is the Site Access item relevant to your proposal?

No

Landscape

Is the [Landscape](#) item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the [Territory Plan](#)?

Yes

Lighting

Is the [Lighting](#) item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the [Territory Plan](#)?

Yes

Signs, Water Sensitive Urban Design

Signs

Is the [Signs](#) item relevant to your proposal?

No

Water Sensitive Urban Design (Mains Water Consumption)

Is the Water Sensitive Urban Design (Mains Water Consumption) item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the [Territory Plan](#)?

Yes

Water Sensitive Urban Design (Stormwater Quality)

Is the Water Sensitive Urban Design (Stormwater Quality) item relevant to your proposal?

No

Water Sensitive Urban Design

Water Sensitive Urban Design (Stormwater Quantity)

Is the Water Sensitive Urban Design (Stormwater Quantity) item relevant to your application?

No

Driveways (For works on verge only)

PLEASE NOTE: For proposals that include construction or modification of a driveway this application **MUST** be signed by the land custodian (Government Land Custodian - Asset Acceptance) as the works will be undertaken on unleased land **EXCEPT FOR DUAL OCCUPANCY DEVELOPMENT PROPOSALS**. For more information on driveways, garages and carports, please click [here](#).

Does your proposal include construction or modification of driveway/s?

Yes

Please indicate the works to be undertaken

Construction of new driveway

Survey Requirements - S.139(2)(l) - P & D Act 2007

If this application is for approval of a development that requires construction work to be carried out on land that has previously been developed and is not leased for rural purposes, a survey certificate for the land where the development is to be carried out (prepared and signed by a registered surveyor) must accompany this application unless exempt by Regulation 25 of the [Planning and Development Regulations 2008](#)

Do you have a [survey certificate](#) with this application?

Yes

Development Undertaken Without Approval - S.205 - P & D Act 2007

Is this application for development undertaken without approval?

No

*If YES - Under Section 139(2)(m) of the Planning and Development Act 2007, plans of the development signed by a registered surveyor confirming the location and dimensions of the development **must** be submitted with this application. The plans need to confirm the height, width and length dimensions of the development and the setback dimensions of the development from the block boundaries. The information may be provided on one plan or on a series of plans provided each plan is signed by a registered surveyor. Note: For all unapproved development involving construction the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features must comply with utility standards, access provisions and asset clearance zones. For more information on development exempt from approval, please click [here](#). For more information on development applications for developments undertaken without approval, please refer to S205 under the [Planning and Development Act 2007](#)*

Exclusion from Public Inspection

In accordance with the requirements of Sections 28 and 30 of the [Planning and Development Act 2007](#), the Environment, Planning and Sustainable Development Directorate must make the details and associated documents relevant to a development application available for public inspection.

If you wish to apply to have all or part of this development application excluded from public inspection, you must meet the requirements of Section 411(5) or 412(1) of the Planning and Development Act 2007

Are you requesting an exclusion from [Public Inspection](#)?

No

Conflict of Interest Declaration

Does the applicant or the lessee have any association with the Environment, Planning and Sustainable Development Directorate staff?

No

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation

Applicant/Lessee Declaration

I/we hereby apply for approval to carry out the development described on the land specified in this application;

I/we declare that this application is accompanied by all of the required information or documents that address the relevant rules and/or relevant criteria for it to be considered for approval;

I/we understand that the information submitted with this application form will undergo a documentation check prior to the payment of fees and formal lodgement of the application. Further information may be required prior to the acceptance of the development application by the Authority;

I/we understand that this application will be considered lodged once the relevant application fees have been paid;

I/we understand that if during the assessment of this application it is found to have been submitted in the incorrect assessment track the application will be refused and I/we will not be entitled to a refund or transfer of fees;

I/we understand that the documentation provided on CD/DVD or via the electronic lodgement process will be considered to be the relevant documentation associated with this application. All development application documentation will be made available for *public inspection* including via the Internet unless exclusion has been approved;

If the time for deciding the application (prescribed period) has ended and a decision has not been reached I/we understand that the application will be deemed refused and the Environment, Planning and Sustainable Development Directorate will not provide written advice of this decision. I/we also understand that the Environment, Planning and Sustainable Development Directorate is able to still consider the application and make a decision after the expiration of the prescribed period;

I/we hereby authorise the Environment, Planning and Sustainable Development Directorate its servants and agents to erect sign/s on the subject property(s) as required;

I/we hereby authorise ACT Government officers to access the subject property(s) for the purpose

of evaluating the proposal(including the inspection of driveways and trees);

I/we (lessee) appoint the applicant whose signature appears in the attached *letter of appointment* to act on my/our behalf in relation to this Development Application. This authorises the applicant to pay all application fees, bonds and securities, liaise with the Environment, Planning and Sustainable Development Directorate when required, alter, amend or provide further information as necessary and receive any communications relating to this Development Application;

I understand that costs associated with the relocation of any engineering services (light poles, storm water, sumps etc) will be at my expense and that I will indemnify the ACT Government, its servants and agents against any claims arising during the relocation of these services;

I understand that construction of any driveway associated with this application may not commence until the contractor has received endorsement by the relevant government entity;

I understand that a Certificate of Design Acceptance and a Road Opening Permit and Temporary Management Plan must be obtained from the relevant government agencies prior to the start of construction works;

I/we declare that all the information given on this form and its attachments is true and complete;

If lodging on behalf of a company, organisation or Government agency: -

I/we declare I/we have the appropriate delegation or authority to sign on behalf of the company, organisation or Government agency.

I declare that I am the person shown in this eDA form as the Applicant, and by clicking the ACCEPT button below I understand that this replaces my requirement to sign a hard copy of this application.

I accept the above declarations

Accept

Acceptance date

21 Dec 2017

Before Submitting

You have almost completed the first stage of your Development Application/Pre-Application request. **PLEASE ENSURE YOUR WIZARD SESSION IS SAVED BEFORE PROCEEDING.** This will enable you to resume your session in the event of a system outage or other interruption.

When you click on Finish below, you will be navigated to a new page which will enable you to upload any associated plans/documents prior to submitting to EPSDD for review.

Development applications (DAs) can be delayed unnecessarily because EPSDD does not have all the information it needs to undertake an assessment and make a decision.

To avoid delays ensure all required sections of the wizard are answered correctly and all required documentation is uploaded. In particular:

1. A signed appointment letter from all lessee's must be provided if works are to be performed on the verge, a signed endorsement letter must be provided by the relevant Government Custodian;
2. Public register plans for residential applications are included;
3. You MUST include a statement against the criteria for development applications that will be assessed in the Merit track;
4. If the application is for a single unit on a unit titled block body corporate authorisation is required if there is works on a common property

If you are still not sure how to proceed or want to ensure you have everything you need for your application, you can visit the EPSDD Customer Service Centre, 16 Challis Street, Dickson, or call us on 6207 1923 and ask to speak with a technical officer.

Privacy Notice

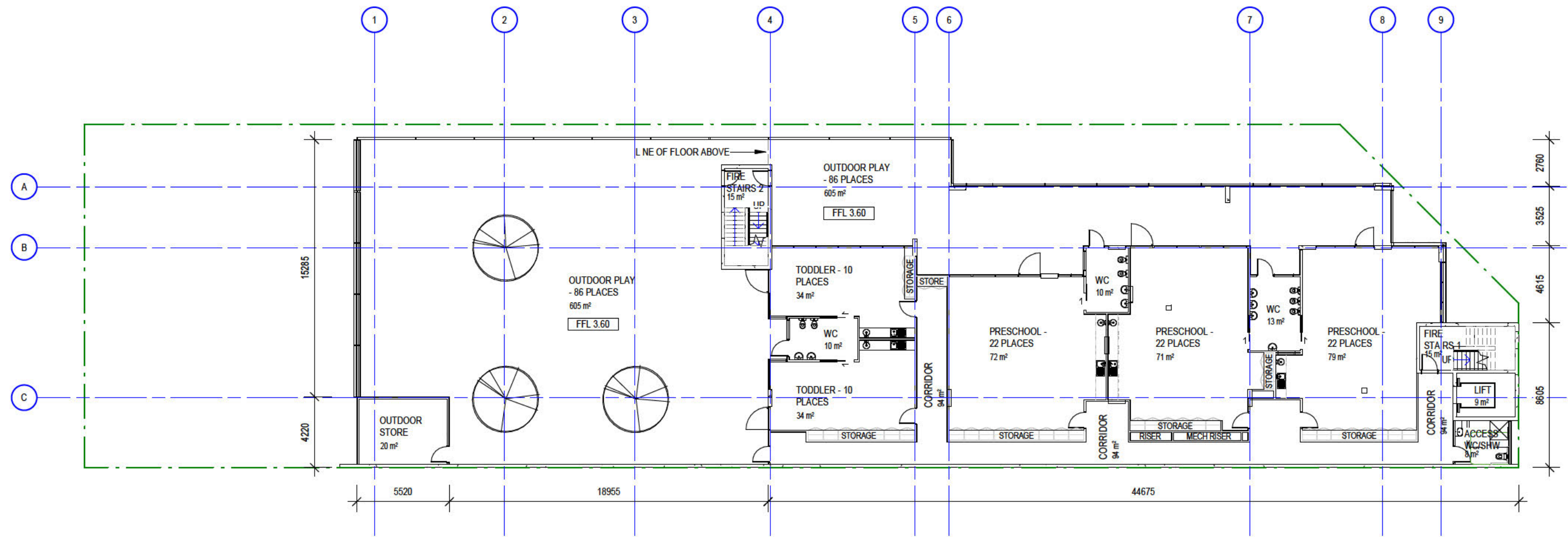
The personal information on this form is provided to the Environment, Planning and Sustainable Development Directorate (EPSDD) to enable the processing of your application. The collection of personal information is authorised by the Planning and Development Act 2007. If all or some of the personal information is not collected EPSDD cannot process your application. The Planning and Development Act 2007 requires the details of applications, decisions and orders to be kept on a register and made available for public inspection. Information and documentation relevant to a development application may be made available via the Internet. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office, the Registrar General's Office, ACTEW Corporation, ActewAGL, Territory and Municipal Services Directorate and other Government agencies with a direct interest in the development assessment process. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. EPSDD's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by EPSDD, and how you may complain about an alleged breach of the Territory Privacy Principles. The EPSDD Information Privacy Policy can be found at www.environment.act.gov.au

Does the Commonwealth Environment Protection and Biodiversity Conservation Act 1999 (EPBC) affect your proposal?

The EPBC came into operation on 16 July 2000. It establishes an environmental assessment and approval system that is separate and distinct from the ACT system. It does not affect the validity of ACT development assessment and approval processes, but may affect the assessment track. The ACT cannot provide preliminary advice on whether a proposal falls within the definition of a controlled action, or requires referral to the Commonwealth. You should consult with the Commonwealth to determine if your proposal is a controlled action before seeking any approvals under the Planning and Development Act 2007. For information about the EPBC, including the referral process and when a referral should be made, contact: the Department of Sustainability, Environment, Water, Population and Communities, GPO Box 787, CANBERRA ACT 2601
Telephone: 62741111

Contact Details: Environment, Planning and Sustainable Development Directorate Customer Service Centre GPO Box 158, Canberra City 2601 16 Challis Street, Dickson ACT 2602

Business Hours: 8.30am to 4.30pm weekdays (excluding Public Holidays) Phone: (02) 6207 1923
Email: epdcustomerservices@act.gov.au Website: www.environment.act.gov.au



Rev	Amendment	Date	Init



Adelaide | Alice Springs | Canberra | Darwin | Hobart | Melbourne | Perth
 Level 5, 15 Moore Street Canberra ACT 2601 P: (02) 6169 4097 | E: info@arpm.net.au

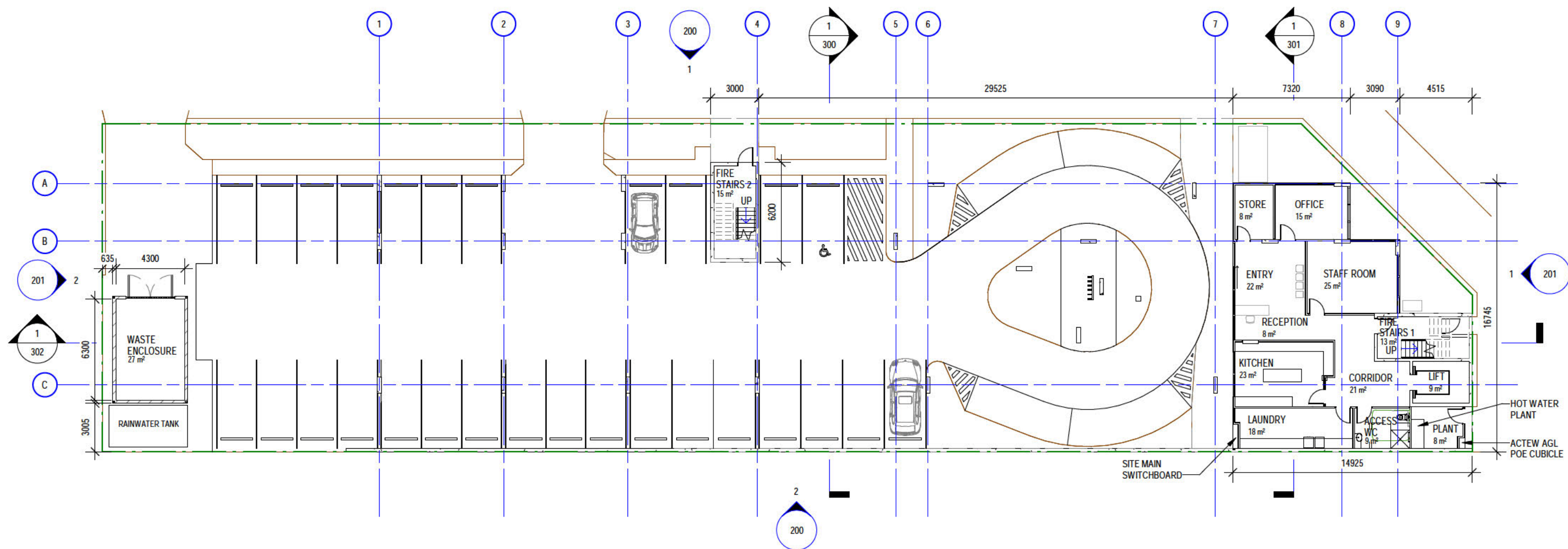
MITCHELL CHILDCARE CENTRE
 BLOCK 18, SECTION 11 CORNER DARLING &
 HEFFERNAN STREET, MITCHELL, ACT

FIRST FLOOR PLAN

Drawn	Date	Scale	Project Number
Author		1:250	A3 A17041
Review	Date	Project Leader	Date
Checker		Designer	
PRELIMINARY			Drawing Number SK 103



Contractor shall check and verify all levels and dimensions on site and report any discrepancies to the Superintendent before undertaking any work or shop drawings.



Rev	Amendment	Date	Init



Adelaide | Alice Springs | Canberra | Darwin | Hobart | Melbourne | Perth
 Level 5, 15 Moon Street Canberra ACT 2601 P: (02) 6169 4097 | E: info@arpm.net.au

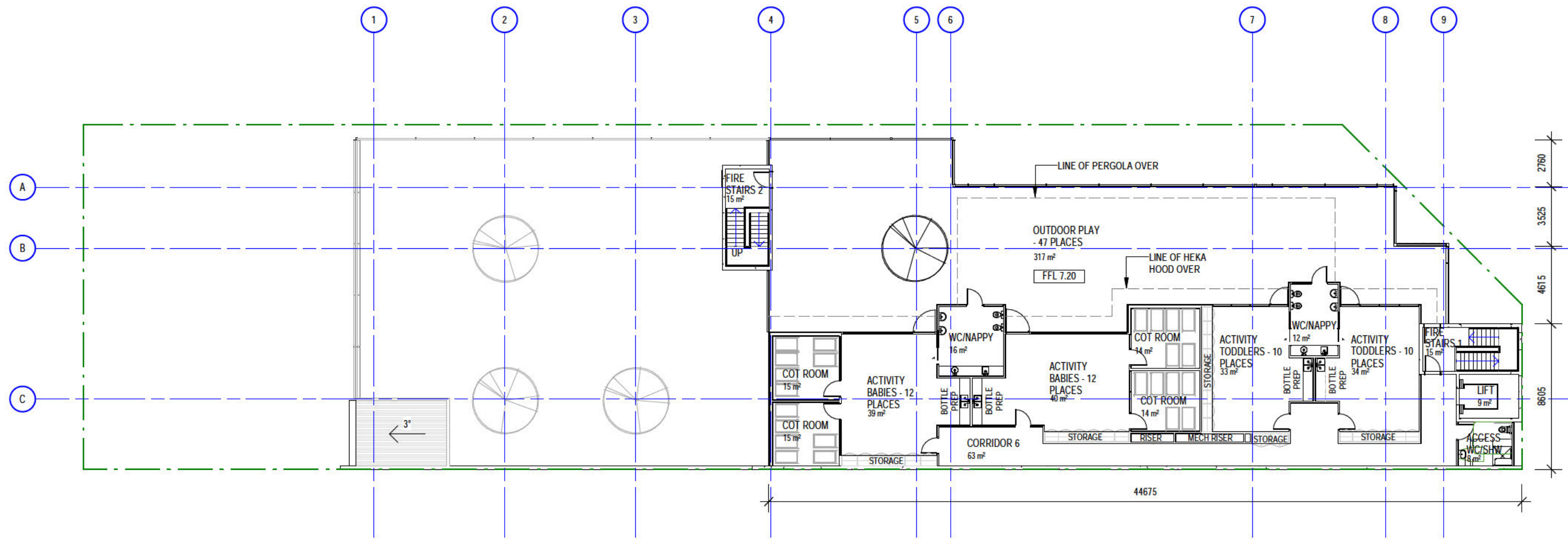
MITCHELL CHILDCARE CENTRE
 BLOCK 18, SECTION 11 CORNER DARLING &
 HEFFERNAN STREET, MITCHELL, ACT

GROUND FLOOR PLAN

Drawn	Date	Scale	Project Number
Author		1 : 250	A3 A17041
Review	Date	Project Leader	Date
Checker		Designer	
PRELIMINARY			Drawing Number SK 102

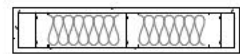


Contractor shall check and verify all levels and dimensions on site and report any discrepancies to the Superintendent before undertaking any work or shop drawings

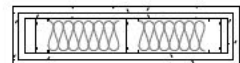


WALL TYPE LEGEND:

INTERNAL WALLS:

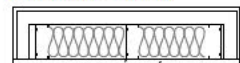


- P01** **STUD FRAMED WALL - STANDARD**
 - 92mm INTERNAL STEEL STUD FRAMING @ 400mm MAX CENTRES
 - 13mm PLASTERBOARD LINING TO BOTH SIDES, FLUSHED AND PAINTED
 - 11 kg/m³ POLYESTER OR GLASS WOOL 75mm INSULATION

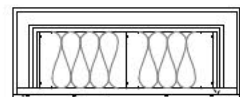


- P02** **STUD FRAMED WALL - COT ROOMS**
 - 92mm INTERNAL STEEL STUD FRAMING @ 400mm MAX CENTRES
 - 2 LAYERS 16mm FIRE RATED PLASTERBOARD LINING TO BOTH SIDES, FLUSHED AND PAINTED
 - R2.7 HIGH DENSITY GLASSWOOL ACOUSTIC INSULATION TO STUDS

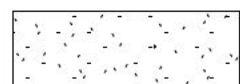
EXTERNAL WALLS:



- E01** **EXTERNAL STUD FRAMED WALL - STANDARD**
 - 92mm STEEL STUD FRAMING @ 400mm MAX CENTRES AND NOGGINGS @ 800mm MAX CENTRES
 - 13mm PLASTERBOARD LINING INTERNALLY, FLUSHED AND PAINTED
 - R2.5 INSULATION TO STUDS
 - 9mm CEMINTEL BARESTONE EXTERNAL CLADDING (1200 X 2400mm PANELS) ON 35mm TOPHATS @ 800mm CENTRES



- E02** **STUD FRAMED WALL - COT ROOMS**
 - 150mm STEEL STUD FRAMING @ 400mm MAX CENTRES AND NOGGINGS @ 800mm MAX CENTRES
 - 2 LAYERS 16mm FIRE RATED PLASTERBOARD LINING INTERNALLY, FLUSHED AND PAINTED
 - 90mm THICK R2.7 HIGH DENSITY GLASSWOOL ACOUSTIC INSULATION TO STUDS
 - 2 LAYERS 9mm CFC SHEET FIXED DIRECTLY TO OUTSIDE OF STEEL STUDS. 9mm CEMINTEL BARESTONE EXTERNAL CLADDING (1200 X 2400mm PANELS) ON 35mm TOPHATS @ 800mm CENTRES OVER THE TOP OF THE 2 LAYERS OF CFC SHEET



- E03** **PRECAST CONCRETE WALL**
 - 200mm THICK PRECAST CONCRETE PANELS

Rev	Amendment	Date	Init



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 189 Wakefield Street, Adelaide SA 5000 P: (08) 8236 2900 E: info@arpm.net.au

MITCHELL CHILDCARE CENTRE
 BLOCK 18, SECTION 11 CORNER DARLING &
 HEFFERNAN STREET, MITCHELL, ACT

SECOND FLOOR PLAN

Drawn	Date	Scale	Project Number
Author	As indicated	A3	A17041
Review	Date	Project Leader	Date
Checker	Designer	Drawing Number	Area
PRELIMINARY			SK 104



Contractor shall check and verify all levels and dimensions on site and report any discrepancies to the Superintendent before undertaking any work or shop drawings

INITIAL ADMINISTRATION CHECKLIST
(All failure reasons to go to the lodgement checklist)

Unit(s): Block(s): Section: Suburb:

1. Documentation

<u>Task</u>	<u>Select</u>	<u>Comments/Failure Reasons</u>
a) Can all uploaded documents be opened and are correctly showing in objective?	Yes	
b) Has a Public Register Floor Plan been submitted (only for residential)? <i>Note: Any plans with internal layout MUST have a corresponding plan submitted without the layout</i>	NA	
c) Has a statement against the criteria been submitted (Merit Track)?	Yes	
d) Are the plans correctly named, rotated, and do the plans cover the minimum standards?	Yes	
e) Is there a Lease Variation component to this DA	No	
f) Has a list of interested parties been supplied (Lease Variation)?	NA	

2. Application Form and Lessee Requirements

a) Street address matches block & section ACTMAPi	NA	
b) Check lessee details are correct – TARQUIN	Yes	
c) Correct letter of Authorisation –Form 4 or Appointment letter from Lessee	Yes	
d) Is a Land Custodian signature required?	Yes	NOT PROVIDED
e) Check correct Zone and nominate overlays (<i>If on Designated Land the application may not be accepted – See supervisor</i>)	Yes	
f) Correct/Sufficient Description of Proposal	Yes	
g) Assessment Track	Merit	
h) Exclusion from Public Register (<i>if yes, allocate to supervisor in edevelopment</i>)	No	
i) Conflict of Interest (<i>notify supervisor</i>)	No	

INITIAL ADMINISTRATION CHECKLIST
(All failure reasons to go to the lodgement checklist)

3. Block information on PALM

**Add information to lodgement checklist*

PALM – Land Blocks

Heritage	No	Compliance	No
Bushfire	No	Future Urban Area	No
Asbestos Flag If (yes – Loose Fill) please add to the Mr Fluffy DA spreadsheet and email to Linda.Southwell@act.gov.au and artmaintenance@act.gov.au weekly		No <i>Note: Properties nominated as Loose Fill Asbestos were part of the Mr Fluffy Program - If de-registered DO NOT refer to the Taskforce</i>	

PALM – Tenure Leases

Unit Titled	No	Unleased	No
Holding Lease	No		

4. General Information

a) Select Lodgement Checklist	LOGGEMENTCHECKLIST - Meri
b) Complete Part A of Lodgement Checklist	Fail
c) Number of Public Notification Signs (Part B)	1
d) Complete Dispatch Advice Checklist	Saved to Decision Folder
e) Lease <i>Download the lease via the Volume folio link shown in Tarquin. Once downloaded save it to objective. Rename as %Lease-DA NUMBER-01.</i>	Yes
f) Is this a Concurrent Development Application under Division 7.3.2A of the <i>Planning and Development Act 2007</i> ?	No
g) Allocated to technical officer	Edev Gateway Manager
h) Is there a completed Environmental Significance Opinion with this application? <i>(Document name would start ESO, If yes, allocate to Impact team)</i>	No
Processed by:	BENJAMIN
DATE:	22/12/2017

Is a Lease Search fee (Dial-a-search) applicable for this application?

If a Lease Search fee is applicable, number of **additional** leased blocks?

Exemption S411/412:

Has the Applicant requested exemption for part of the Development Application? **NO**

Is this a **Concurrent** Development Application under Division 7.3.2A of the *Planning and Development Act 2007*? **NO**

Note: the public notification period is not less than 35 working days for Concurrent Development Application.

Part B (i): Public Notification Requirements

The development application requires:

IF MAJOR NOTIFICATION:

Number of **additional small** signs required is

Number of **additional large** signs required is

Number of days for notification: **Make Selection**

NB: Section 155 is subject to the restrictions outlined at Section 411 and 412 of the Act. Limited public notifications for certain Merit Track applications are prescribed in Schedule 2 of the Regulations.

Note (i) – Large signs are used for DA’s that meet any one or more of the following. DA’s that are in the Impact Track, a building or structure intended to be higher than 25m, a building where the total floor space is intended to be more than 7000m2, and a residential building intended to be higher than 3 storeys AND consisting of 50 or more units.

Part B (ii) Public Notification Wording

Customer Services to complete - Insert wording for public notification:

DA Leasing to complete lease variation component – Insert Lease Variation public notification wording component:

PROPOSAL FOR CHILDCARE CENTRE - construction of a new 3 storey childcare centre, new driveways, car park and dropoff area, landscaping and associated site works.

~~~~~  
**DA LEASING OFFICER TO COMPLETE PART C**  
*(Before commencing Leasing Check: complete and check Part B(ii) Public Notification Wording if there is a Lease Variation Component)*

**Part C: Leasing Check**

**Public Notification wording checked by DA Leasing officer**

**LEASING OFFICER** rhonda **DATE:** 2/1/18

**INITIAL CHECK BY DA LEASING**  **Pass**  **Fail**

**DA Leasing Failure reasons**

Resubmission

Accepted? List each failure reason separately

- 1. DATE
- 2. DATE
- 3. DATE

**Comments**

Is the application for a combined lease variation and design and siting? **NOT APPLICABLE**  
*If YES complete Part B(ii) – lease variation public notification wording component*

Is the application to vary the lease to remove the concessional status? **Make Selection**

If yes, has a Social Impact Assessment report been provided? **Make Selection**

Is this a land rent lease? **NO**

Is a Lease Variation fee applicable? \$

If yes, how many **additional** Lease Variation components?

Type of Lease: **Industrial** Proposal is Consistent with all clauses in the Lease: **Yes**

Type of Lease Variation: Initial referral to AVO:

Most Recent Variation Date: **25/7/17**

|                                                                                 |                                    |
|---------------------------------------------------------------------------------|------------------------------------|
| <b><u>Building and Development Provisions -</u></b>                             |                                    |
| Commencement of development by:                                                 | Completion of development by:      |
| Commencement of associated works by:                                            | Completion of associated works by: |
| <b><u>LVC</u></b>                                                               |                                    |
| LVC is s276E <input type="checkbox"/> OR LVC is s277 <input type="checkbox"/> : |                                    |
| Valuation Report Supplied: <input type="checkbox"/>                             |                                    |
| Valuation Certificate Supplied: <input type="checkbox"/>                        |                                    |

|                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                     |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|
| If LVC is s277 – Leasing Officer to tick entity referral boxes for AVO and Treasury                                                                                                                                                                                                                                                                                                                                                                          |                     |
| <b>Relevant Clauses</b>                                                                                                                                                                                                                                                                                                                                                                                                                                      |                     |
| Purpose: To use the premises for one or more of the following purposes:<br>i) funeral parlour;<br>ii) light industry;<br>iii) non retail commercial use limited to office;<br>iv) shop;<br>v) vehicle sales; and<br>vi) community use limited to child care centre<br>provided always that the max gfa for any supermarket or shop selling food shall not exceed 200 sqm;                                                                                    |                     |
| Gross Floor Area:                                                                                                                                                                                                                                                                                                                                                                                                                                            |                     |
| Car Parking:                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                     |
| Other:                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                     |
| <b>Units Plan</b>                                                                                                                                                                                                                                                                                                                                                                                                                                            |                     |
| Endorsement by Owners Corporation:                                                                                                                                                                                                                                                                                                                                                                                                                           |                     |
| Written evidence from a Certified Practising Valuer advising whether the proposed variation to the Unit Title will affect the Schedule of Unit Entitlements (Form 3) for the Units Plan; and<br>Where a Certified Practising Valuer has advised a Unit Entitlement will change, a Revised Schedule of Unit Entitlements (Form 3):                                                                                                                            |                     |
| <b>Consolidation</b>                                                                                                                                                                                                                                                                                                                                                                                                                                         |                     |
| Existing Lease Details:                                                                                                                                                                                                                                                                                                                                                                                                                                      | Issues to be noted: |
| <b>Subdivision</b>                                                                                                                                                                                                                                                                                                                                                                                                                                           |                     |
| Existing Lease Details:                                                                                                                                                                                                                                                                                                                                                                                                                                      | Issues to be noted: |
| <b>Land Use</b>                                                                                                                                                                                                                                                                                                                                                                                                                                              |                     |
| Details: IZ2 mixed use industrial zone                                                                                                                                                                                                                                                                                                                                                                                                                       |                     |
| <b>Other Comments:</b><br>Construction of three storey building containing a childcare centre for up to 130 children with upper level outdoor play areas, ground level undercroft parking and service areas, associated landscaping, services infrastructure, off-site works comprising construction of new driveway entrances and pedestrian paths. The Crown lease purpose clause has been previously varied to include the proposed childcare centre use. |                     |

~~~~~  
*DA OFFICER TO COMPLETE FROM THIS POINT FORWARD
(Before commencing completeness check: complete and check Part B: Public Notification)*

Part D: DA Officer Completeness Check

Public Notification wording checked by DA officer

DA OFFICER: Therese Tran

DATE: 08/01/2018
16/02/2018

INITIAL CHECK BY DEVELOPMENT ASSESSMENT **Pass** **Fail**

DA Officer Failure reasons

Resubmission

Accepted? List each failure reason separately

- 1. Site plan: please label site contours to Australian height datum. Please label proposed driveways and verge crossings. Please provide setback dimensions of proposed childcare to north-eastern and southern block boundary. Please provide setback dimensions of proposed waste enclosure and rainwater tank to western and southern block boundary. **DATE 16/02/2018**
- 2. Section: please provide all FFLS to AHD. Please identify and label NGL **DATE 16/02/2018**
- 3. Elevation: please provide all FFLS to AHD. Please identify and label NGL **DATE 16/02/2018**
- 4. **DATE**
- 5. **DATE**

Comments

Composite streetscape elevation has not been requested as adjoining block is undeveloped
Please include Customer Services and DA Leasing failure reasons to edevelopment if applicable.

Part E: General and requirements under Section 139 of the Act

Is the proposed development assessable (i.e. not exempt or prohibited development)? **Assessable Development**

Comment:

- Does the application state the intended land use? **YES**
- Which is the chosen assessment track? **MERIT**
- Is the application accompanied by a survey certificate as specified at Section 139 (2)(i) (unless exempt – see Section 25 of Regulations)? **YES**
- Does Section 205 (DAs for developments undertaken without approval) apply and if so, is the application accompanied with a plan/s endorsed by a registered surveyor that sets out the dimensions of the development as specified at Section 139(2)(j)? **NO**
- If the application is for a single unit(s) on a unit titled block, is works being carried out on common property?
(if yes, Any works within the common property will require the Owner's Corporation to Authorise the DA as the lessee of the common property and the owners corporation is listed on the application form) **NOT APPLICABLE**
- Is the land undeveloped?
(if yes, a referral to DA Leasing is required) **NO**
- Is the land subject to a FUA layer? *(Development by an entity other than the Territory in a future urban area is prohibited unless the structure plan for the area states otherwise – see section 137)* **NO**
- Has this application been subject to an Environmental Significance Opinion?
(if yes, a additional fee component is applicable – see part i) **NO**
- Are any blocks impacted by the development a Reserved Area - public land under S315 of the Planning and Development Act 2007 for any one of the following **NO**

purposes:

- a wilderness area,
- a national park,
- a nature reserve,
- a special purpose reserve.

NO

Is this application subject to pre-lodgement community consultation?
(if yes, select the relevant number of days for notification in part B(i))

If this application is a Concurrent Development Application, is it accompanied by a concurrent document?

Not Applicable

Part F: Track Specific requirements

Is the application accompanied by information and documents in line with the DA form, including entity endorsements and/or required documentation?

YES

Also if Merit Track and relevant, does the application include an assessment of the possible environmental effects of the development?

NOT APPLICABLE

Also if Impact Track has a completed Environmental Impact Statement for the proposal been submitted (unless Section 211 applies)?

NO

Also if Impact Track has a signed letter from a delegate of the Minister for an exemption from requiring an EIS been submitted (under Section 211)?

NO

Public notification requirements and wording checked and amended?
See Notification Requirements (Page 2, Part B)

YES

Review Development Application Form to ensure the description of the proposal is accurate; and corresponds with terminology in the Territory Plan.

Part G: GFA and Cost of Works

Costs of works are calculated in accordance with Building (General) (Cost of Building Work) Determination 2015 (No 1).

Fees can be determined using the Cost of Works and DA Fees Calculator 2015-16. The calculator is located in objective in the assessment tools folder, under development assessment team.

Note: Where a bill of quantities has been provided, please ensure GST is not included in the cost of works.

Total Cost of Works: **\$ 3, 214, 687.00 (taken from DA calculator) (ex GST)**

Development fee payable: \$

Part H: Entity Referrals

For guidance please refer to [Work Instruction – Entity Referrals](#)

If no entity referrals are required check box

Refer to Work Instruction – Entity Referrals for guidance.
Indicate referral requirements by checking appropriate box/es:

Asset Acceptance (Transport Canberra and City Services)	<input checked="" type="checkbox"/> Referral to TCCS is required (NB: no need to send a separate email for referral to the Land Custodian for TCCS) Notes for referral:
ICON Water/ACTEW Corporation	<input type="checkbox"/> Demolition works – utilities <input checked="" type="checkbox"/> Utilities – electricity, water & sewer and gas <input type="checkbox"/> Liquid Trade Waste Notes for referral:
Conservator of Flora and Fauna	<input type="checkbox"/> General referral <input type="checkbox"/> Declared site only <input type="checkbox"/> Plan of Management (works on public land) <input type="checkbox"/> S147A (Selected Impact Track applications only – case officer must liaise with the Impact Assessment Team for all Impact Track DA's to determine if this is required) Notes for referral:
City Renewal Authority cityrenewal@act.gov.au	<input type="checkbox"/> Notes for referral:
Custodian of the Land (unleased)	<input type="checkbox"/> Identify Custodian: Notes for referral:
Environment Protection Agency	<input checked="" type="checkbox"/> Noise <input type="checkbox"/> Erosion and Sediment Control (if site > 0.3 of a hectare) <input type="checkbox"/> Hazardous Material – Pre 1985 Multi-unit Housing or Pre 2005 commercial / industrial premises <input checked="" type="checkbox"/> Other – please specify Notes for referral: child care in industrial zone
Heritage	<input type="checkbox"/> Heritage – Registered Land or Building Notes for referral:
Tree Protection	<input type="checkbox"/> Where the development proposal requires groundwork within the tree protection zone of a protected tree, or is likely to cause damage to or removal of, any protected trees Notes for referral:
Worksafe Worksafe asbestos@act.gov.au Cc: Matthew.Colman@act.gov.au	<input type="checkbox"/> Private demolition of loose fill affected residence Notes for referral:

**Asbestos Response Task force
Coordinator General**
artmaintenance@act.gov.au
CC: sarah.radford@act.gov.au

Asbestos affected "Mr Fluffy" block
(Do not refer if the block has been deregistered)

Notes for referral:

<input type="checkbox"/> ACT Health	
<input type="checkbox"/> ACT Valuation Office	
<input type="checkbox"/> Australian National University	
<input type="checkbox"/> Breach Management Any development applications that relate to rectification of Service Station sites.	
<input checked="" type="checkbox"/> Capital Metro	
<input checked="" type="checkbox"/> Department of Education and Training (Childcare Centres) To be referred to ceca@act.gov.au and Social Infrastructure Planning	
<input type="checkbox"/> Department of Education and Training (School Planning section) Any application for removal of underground tanks in close proximity to child care centres, and schools plus any other additional triggers	
<input checked="" type="checkbox"/> Emergency Services (Fire or Ambulance)	
<input type="checkbox"/> Gambling and Racing Commission	
<input type="checkbox"/> Housing and Community Services	
<input type="checkbox"/> National Capital Authority	
<input type="checkbox"/> Office of Regulatory Services (Registrar Generals Office) Any development applications that relate to permanent structures, on unleased Territory land, associated with permits for outdoor eating.	
<input type="checkbox"/> Office of Regulatory Services (Liquor compliance)	
<input type="checkbox"/> Plan Implementation Team at EDD All EDP's in Gungahlin District	
<input type="checkbox"/> Police	
<input type="checkbox"/> Queanbeyan City Council	
<input type="checkbox"/> EPD Utilities Team Proposals involving utility scale power generation e.g. solar farm	
<input type="checkbox"/> Workcover	
<input type="checkbox"/> Yass Valley Council	
<input type="checkbox"/> Other (please specify)	
Internal	Provide Reason for Referral
<input type="checkbox"/> General Leasing team - leasing@act.gov.au All Merit Track applications with encroachments or works on unleased Territory Land	
<input type="checkbox"/> DA Leasing team – ACTPLADALEASING@act.gov.au All Merit Track applications with combined design and siting and lease variation component	
<input type="checkbox"/> Rural Leasing Proposals on all agricultural rural blocks or in Pialligo	
<input type="checkbox"/> DA Merit Assessment team – Commercial	
<input type="checkbox"/> DA Merit Assessment team – Residential	
<input type="checkbox"/> DA Impact Assessment team (referral mandatory for all Impact Track DA's and Merit Track DA's with a ESO)	

<input type="checkbox"/> Deed Management Conditions for a Deed of Agreement if Works being returned to the Territory (including offsite works) costs >\$300k.	
<input checked="" type="checkbox"/> Strategic Planning – esddstrategicplanningreferrals@act.gov.au	<input type="checkbox"/> Social Infrastructure Planning <input type="checkbox"/> Infrastructure Policy <input type="checkbox"/> Design Policy <input type="checkbox"/> Land Policy <input type="checkbox"/> Land and Infrastructure Group <input type="checkbox"/> Major projects - <input type="checkbox"/> Parking
<input type="checkbox"/> Water Policy EPSDD <input checked="" type="checkbox"/> WSUD Code Requirements water.policy@act.gov.au	
<input type="checkbox"/> Utilities Technical Regulation team Techregulator.utilities@act.gov.au	

Part I: Calculation of fees for the development application (Merit or Impact Track)

Completeness Check:	<input type="text" value="0"/>
Development (Cost of Works Fee or EDP Fee):	<input type="text" value="8,600.67"/>
Merit Track with ESO:	<input type="text" value="0"/>
Impact Track Fee/s:	<input type="text" value="0"/>
Lease Variation:	<input type="text" value="0"/>
Public Notification:	<input type="text" value="1662"/>
Lease Search:	<input type="text" value="38"/>

Note: Please see fees and charges schedule 2017-2018 for a variation of a unit title lease in which to vary a lease by single application which affects more than one unit in the same units plan for one unit.

*Note: An additional fee of \$1156.00 is required **in addition** to the development fee where the application is in the merit track where an ESO is provided to support lodgement in that track*

I (i) Home Business Fee

Is this application a new application or renewal?	<input type="text" value="N/A"/>
How many years is the applicant applying for?	<input type="text" value="0"/>
Home Business Fee:	<input type="text" value="0"/>

Note: Other fee components are still applicable.

I (ii) Estate Development Plan Fee (To be added as development fee, if applicable)

To determine relevant development fees consult the EDP Fee calculator in objective.

Estate Development Plan fee:

Note: Other fee components are still applicable.

I (iii) Impact Track Fees (To be added in addition to development fee)

- Matters specified in Schedule 4, Part 4.2 and/or **\$34,091.00**
 - Matters specified in Schedule 4, Part 4.3, Column 1, Items 1 to 6 and/or **\$12,813.00**
 - Matters specified in Schedule 4, Part 4.3, Column 1, Items 7 to 11 **\$2,564.00**
- OR**
- Impact Track application with no specific Schedule 4 trigger **\$2,564.00**

Note: Other fee components are still applicable

Part J: Resubmissions (if application to be failed)

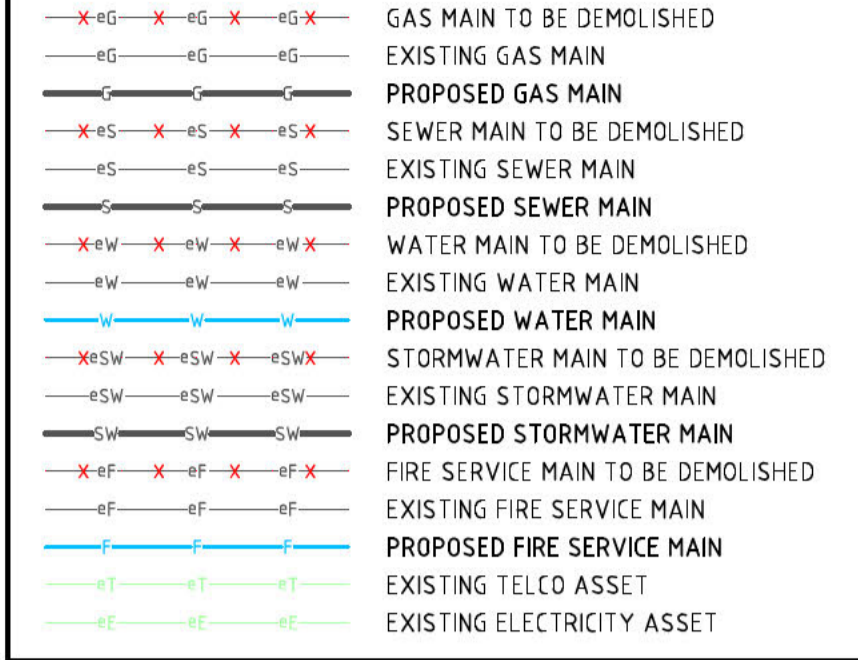
- Resubmission to be checked by Customer Services**
- Resubmission to be checked by DA Leasing**
- Resubmission to be checked by DA officer**

Numbers of Completeness check failures:

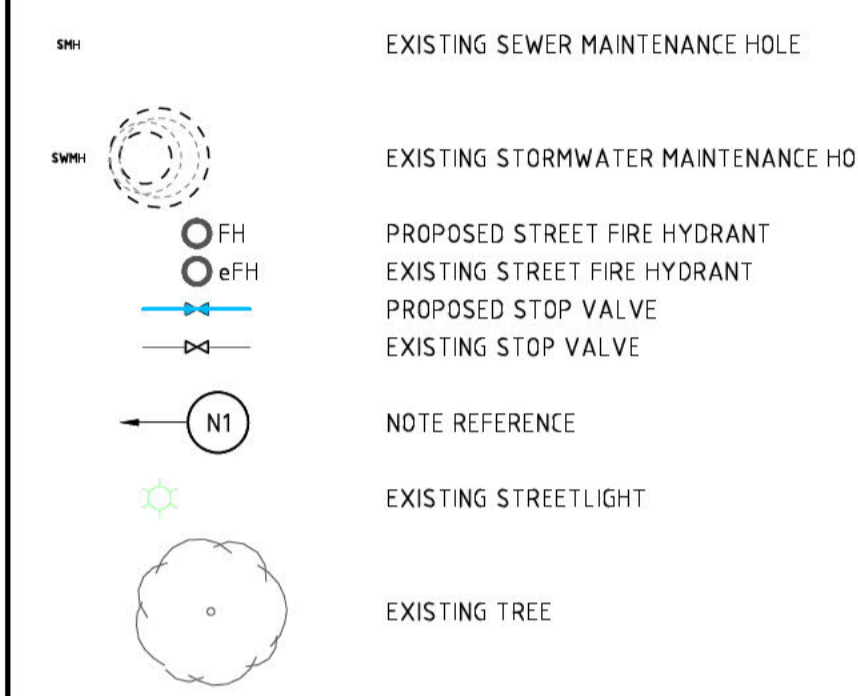
GENERAL NOTES

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH ICON WATER, WATER SUPPLY AND SEWERAGE STANDARDS, RELEASE 2, AMENDMENT 7, SEPTEMBER 2012 AND A CT PUBLIC WORKS BASIC SPECIFICATION.
 - WORKS UNDER THE CONTROL OF THE PLUMBING INSPECTORS TO BE CARRIED OUT IN ACCORDANCE WITH THE (CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS AND AS 3500.
 - CONNECTIONS AND DISCONNECTIONS AT MAIN BY ICON WATER AT THE CONTRACTORS EXPENSE.
 - THE CONTRACTOR MUST VISIT THE SITE OF WORKS BEFORE TENDERING AND MAKE ALLOWANCES ON HIS TENDER FOR ALL TOPOGRAPHIC CONSTRAINTS AFFECTING THE EXECUTION OF THE WORKS AND THE RESTORATION OF THE SITE.
 - THE CONTRACTOR MUST SECURE ALL PERMITS, ARRANGE ALL CLEARANCES AND PAY ALL FEES REQUIRED TO COMPLETE THE PROJECT, PRIOR TO THE COMMENCEMENT OF WORK.
 - ALTHOUGH THE POSITION OF EXISTING UNDERGROUND SERVICES HAS BEEN PLOTTED FROM AVAILABLE RECORDS, THE CONTRACTOR MUST DIG TEST PIT BY HAND AT UTILITY CROSSINGS AND/OR CONNECTIONS IN ADVANCE OF TRENCHING.
 - EXCESS EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE AND DUMPED AT AN APPROVED SPOIL AREA.
 - WORK AS EXECUTED DRAWING AND THE BOOK MUST BE SUBMITTED BEFORE CONNECTION. A REGISTERED DEPOSITED PLAN MUST ALSO BE SUBMITTED WHERE EASEMENTS ARE EXISTING OR PROPOSED ON THE BLOCK. WORK AS EXECUTED DRAWINGS AND TIE BOOK DETAIL (A4 SIZE) ARE TO SHOW DIMENSIONED LOCATIONS OF TAPPING ONTO MAIN, WHERE SERVICE CROSSES FRONT BOUNDARY AND DISTANCE METER IS INSIDE THE BLOCK.
 - PROVISIONAL CERTIFICATE OF OPERATION WILL BE ISSUED WHEN HANDOVER INSPECTION IS PASSED AND ACCEPTABLE WORK AS EXECUTED DRAWING AND THE BOOK RECORD HAS BEEN COMPLETED AND SUBMITTED TO ICON WATER.
- WARNING**
EXISTING SERVICES SHOWN ARE BASED ON INFORMATION PROVIDED BY SERVICE AUTHORITIES AND ARE ESTIMATES ONLY. UNDER NO CIRCUMSTANCES SHOULD THE LOCATIONS OF SERVICES SHOWN ON THIS PLAN BE RELIED UPON FOR ON SITE WORK. ALL INFORMATION MUST BE CONFIRMED IN THE FIELD.

HYDRAULIC LEGEND



HYDRAULIC SYMBOLS



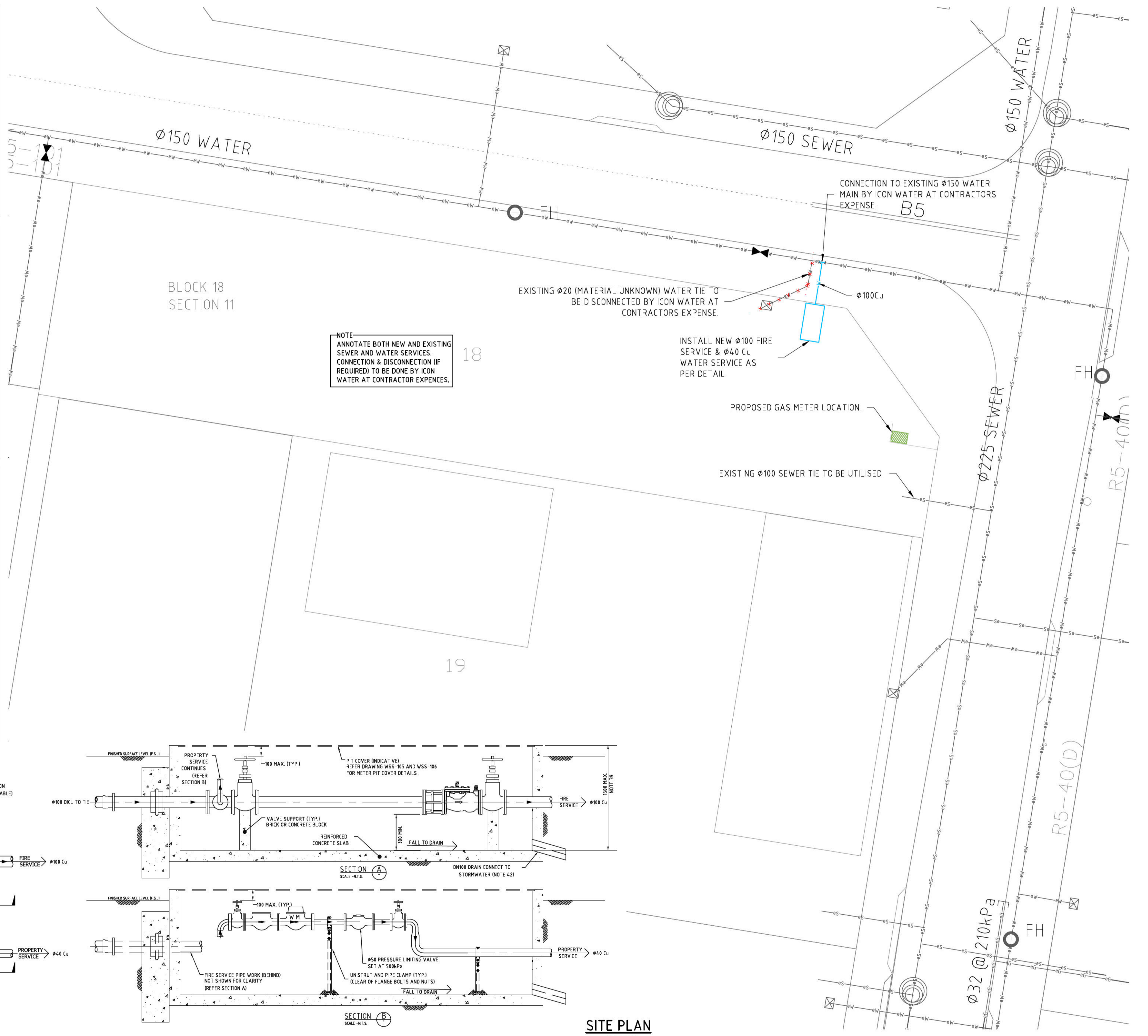
REINSTATEMENT GENERALLY

- UNLESS OTHERWISE DIRECTED REINSTATE ALL SURFACES DISTURBED BY THE WORKS WITH MINIMUM 100mm SITE TOP SOIL, DRY LAND GRASS, BITUMEN, STRAW MULCH.
- CONSOLIDATE FOR 13 WEEKS ONCE HEALTHY SWARD ESTABLISHED.
- REMOVE ALL EXCESS SOIL INCLUDING EXCESS TOPSOIL AND UNSUITABLE SUBGRADE FROM THE SITE UNLESS DIRECTED OTHERWISE.

WATER

- CONSTRUCT CONNECTIONS, BENDS etc. IN ACCORDANCE WITH THE FOLLOWING STANDARD DRAWINGS.
- WSS-001 - DESIGN SYMBOLS AND NOTATION.
 - WSS-027 - HYDRANT MARKERS ON ROADS.
 - WSS-100 - GENERAL NOTES AND SIZING SCHEDULE.
 - WSS-103 - SINGLE FIRE SERVICE BELOW GROUND ARRANGEMENT AND CONNECTION DETAILS.
 - WSS-105 - METER PIT COVER FOR METERS COVER FOR LARGER THAN 50mm GENERAL ARRANGEMENT AND DETAILS.
 - WSS-106 - VALVE AND METER PIT COVERS.

SITE LOCATION PLAN - N.T.S.



NOTE
ANNOTATE BOTH NEW AND EXISTING SEWER AND WATER SERVICES. CONNECTION & DISCONNECTION (IF REQUIRED) TO BE DONE BY ICON WATER AT CONTRACTOR EXPENSES.

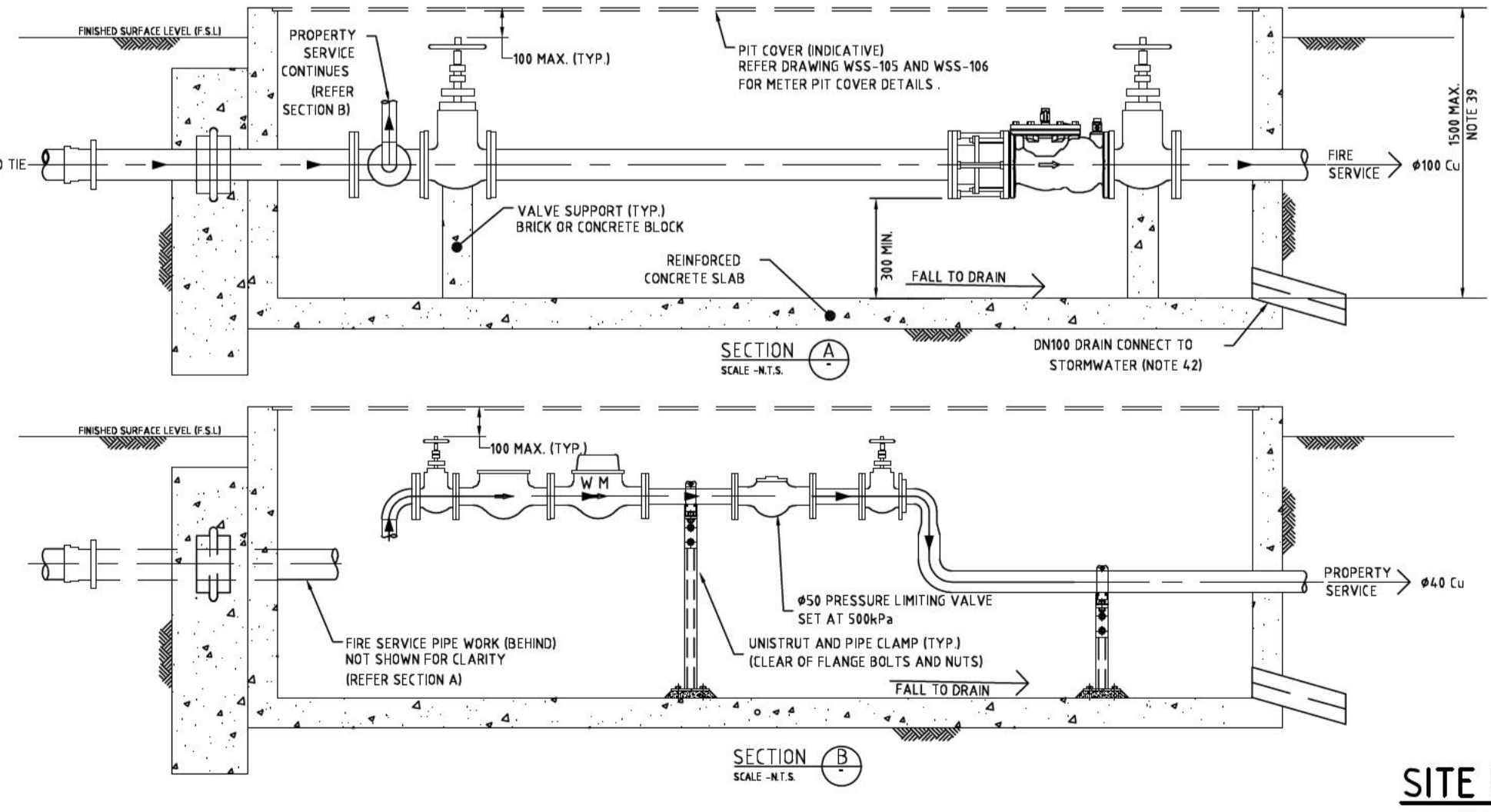
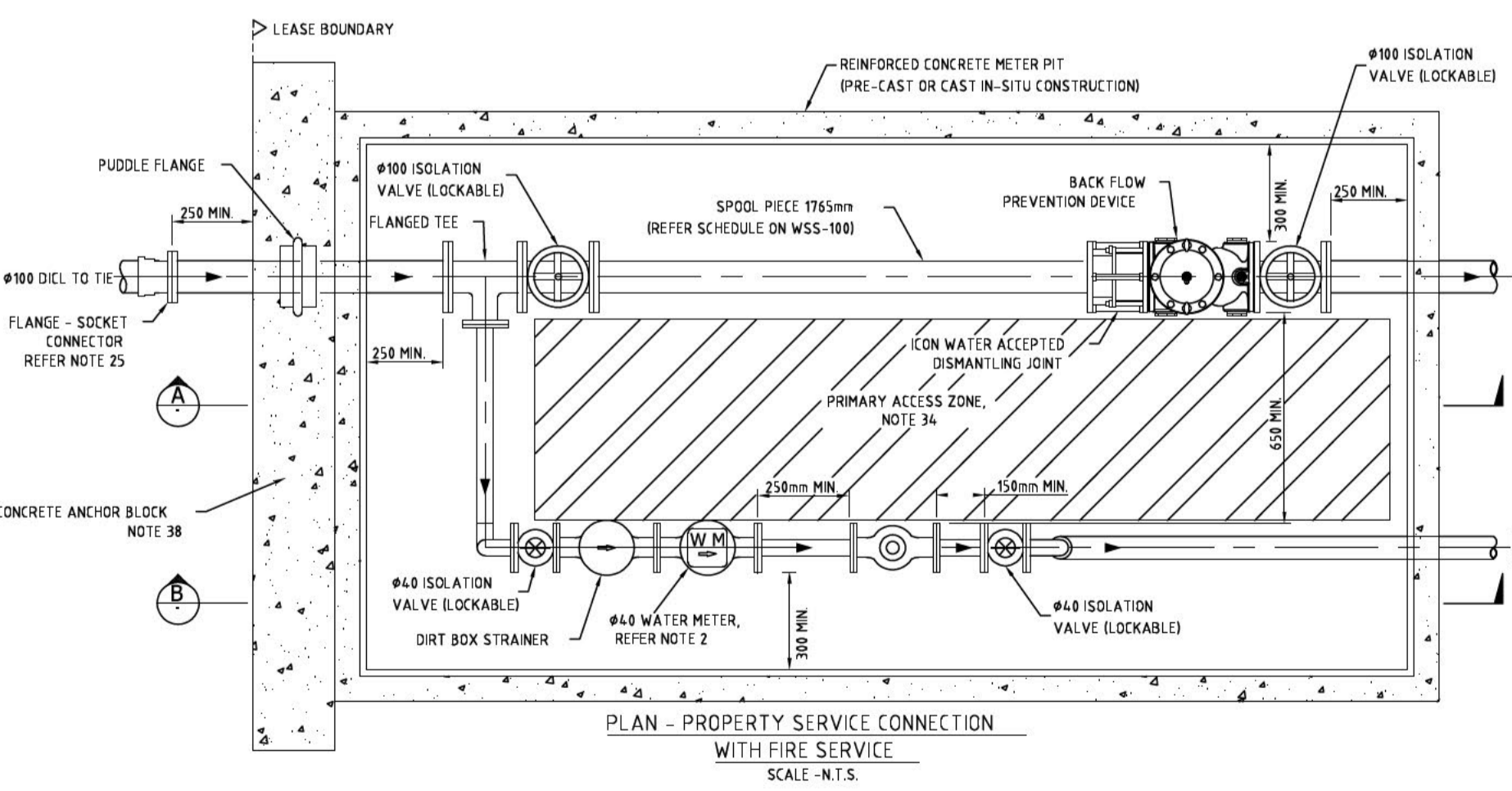
CONNECTION TO EXISTING Ø150 WATER MAIN BY ICON WATER AT CONTRACTORS EXPENSE. B5

EXISTING Ø20 (MATERIAL UNKNOWN) WATER TIE TO BE DISCONNECTED BY ICON WATER AT CONTRACTORS EXPENSE.

INSTALL NEW Ø100 FIRE SERVICE & Ø40 Cu WATER SERVICE AS PER DETAIL.

PROPOSED GAS METER LOCATION

EXISTING Ø100 SEWER TIE TO BE UTILISED.



SITE PLAN
SCALE 1:200

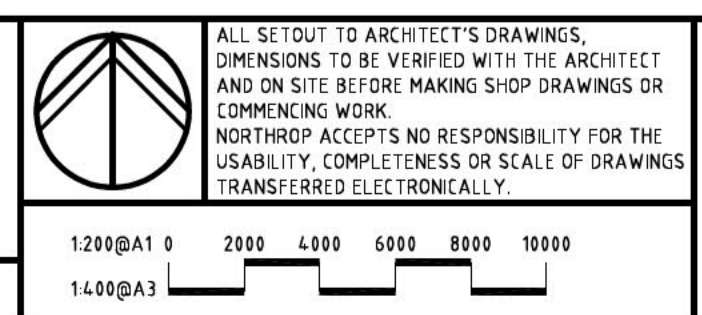
NOT FOR CONSTRUCTION

VERIFIER: AC
JOB MANAGER: AC
DESIGNED: AS
DRAWN: AS

REVISION	DESCRIPTION	ISSUED	VER'D	APP'D	DATE	CLIENT
1	ISSUED FOR INFORMATION	AS	AC	AC	16.11.2017	ARCHITECT ARPM ARCHITECTURE PROJECT CONSULTING INTERIOR DESIGN
2	ISSUED FOR APPROVED IN PRINCIPLE	AS	AC	AC	16.11.2017	

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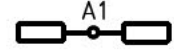
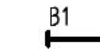


NORTHROP
Canberra
Unit 2, 2-6 Shea Street, Phillip ACT 2606
Ph (02) 6285 1822 Fax (02) 6285 1863
Email canberra@northrop.com.au ABN 81 094 433 100

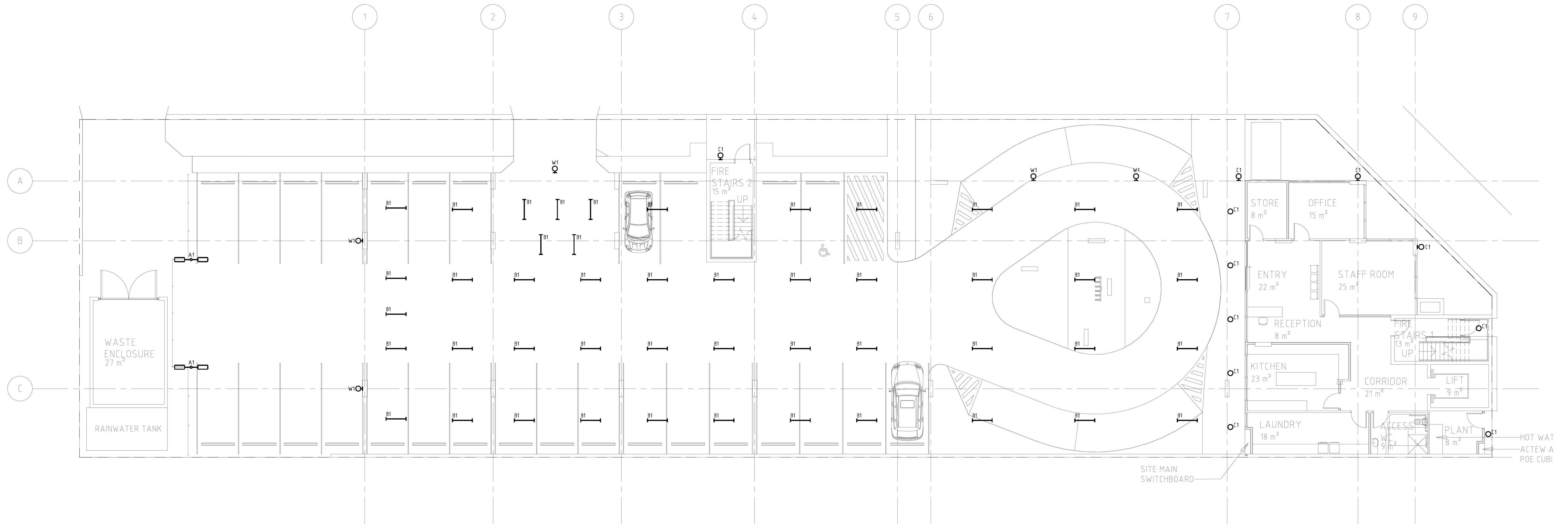
PROJECT
CHILD CARE CENTRE
BLOCK 18 SECTION 11 MITCHELL

DRAWING TITLE
HYDRAULIC SERVICES
EXTERNAL SERVICES
FOR THE PROPOSED
CHILD CARE CENTRE

JOB NUMBER CR171360	
DRAWING NUMBER ES01	REVISION 2
DRAWING SHEET SIZE = A1	

LEGEND:

-  3000 LUMEN, 4000K, IP65 RATED, ASYMMETRIC LED AREA LIGHTING TWIN LUMINAIRES MOUNTED ON 6m POWDER COATED FLANGE BASE MOUNTED LIGHTING COLUMN
-  3000 LUMEN, 4000K, IP65 RATED, 1200 LONG SURFACE MOUNTED LED LUMINAIRE THORN GLADIATOR
-  28WATT, 800 LUMEN, 4000K, IK08 SOFFIT or IP65 RATED LED WALL MOUNTED 270 DIA CIRCULAR LUMINAIRE, LIGMAN SANDY 2
-  3000 LUMEN, 4000K, IP65 RATED, SURFACE MOUNTED ASYMMETRIC LED AREA LUMINAIRE, WALL MOUNTED TO LEVEL 1 SLAB EDGE



THIS LIGHTING DESIGN MEETS THE REQUIREMENTS OF CATEGORY 11b AND 12 IN ACCORDANCE WITH AS/NZS 1158 - LIGHTING FOR ROADS AND PUBLIC SPACES.

THIS LIGHTING DESIGN COMPLIES WITH THE REQUIREMENTS OF AS 4282 - CONTROL OF OBTRUSIVE INTRUSIVE EFFECTS OF OUTDOOR LIGHTING.

VERIFIER:
 JOB MANAGER: KS
 DESIGNED: KS
 DRAWN: EL

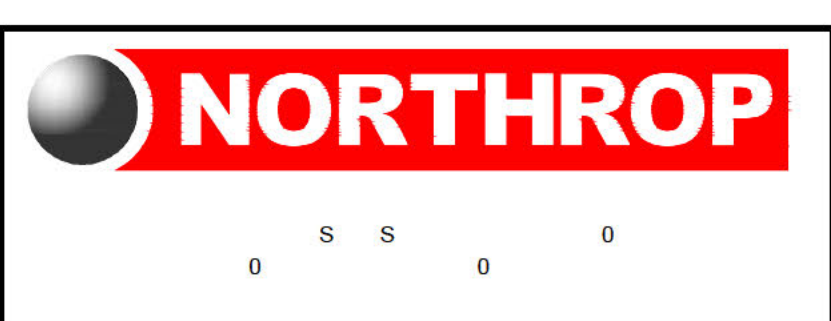
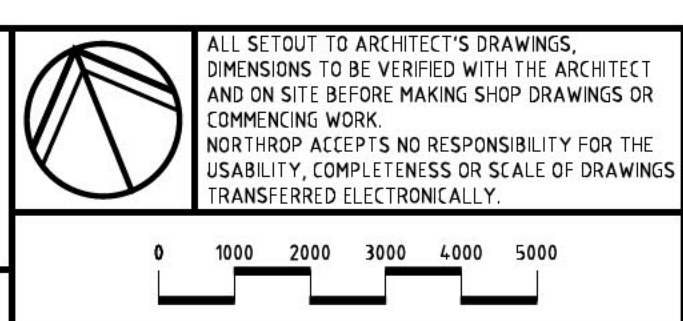
NO	DESCRIPTION	ISSUED	VERD	APP'D	DATE
1	DRAFT DA	EL		PK	24.11.17
2	DA	EL		PK	28.11.17
3	DA	EL		PK	30.11.17

CLIENT	ARCHITECT
	A u p g u g

ALL SETOUT TO ARCHITECT'S DRAWINGS. DIMENSIONS TO BE VERIFIED WITH THE ARCHITECT AND ON SITE BEFORE MAKING SHOP DRAWINGS OR COMMENCING WORK. NORTHROP ACCEPTS NO RESPONSIBILITY FOR THE USABILITY, COMPLETENESS OR SCALE OF DRAWINGS TRANSFERRED ELECTRONICALLY.

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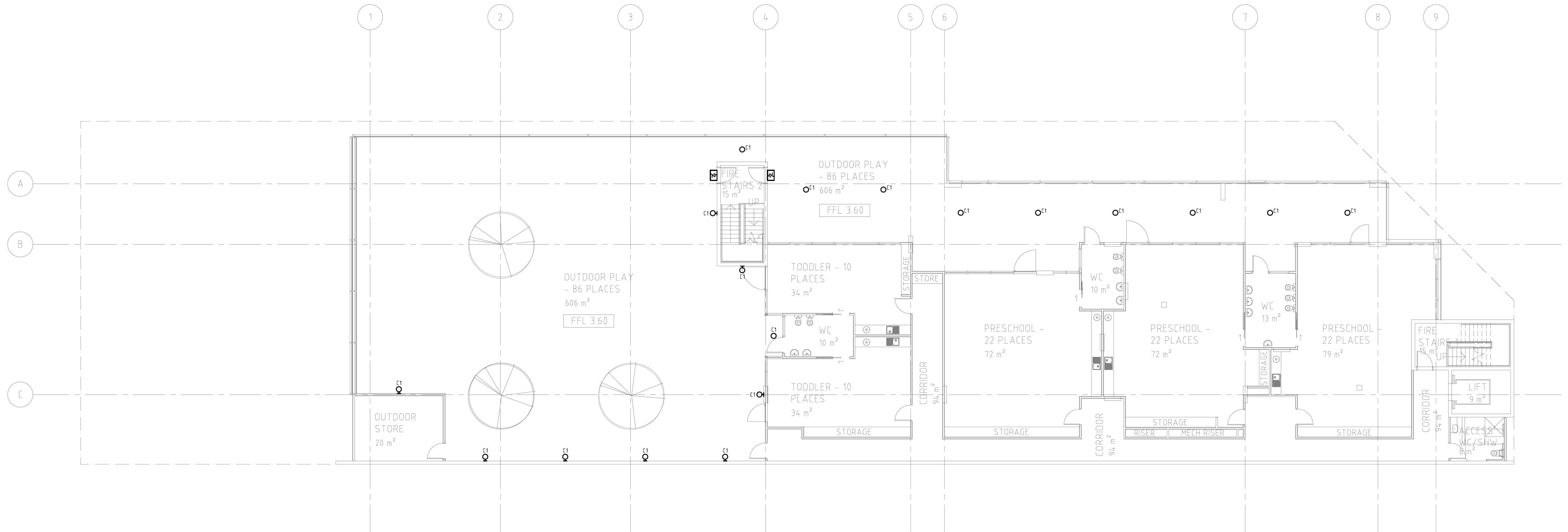
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PROJECT	M H H A M H
DRAWING TITLE	A V U Y U

JOB NUMBER	7
DRAWING NUMBER	
REVISION	
DRAWING SHEET SIZE	B1

NOTE:
1. FOR LEGEND REFER DRAWING E100.



VERIFIER:

JOB MANAGER: KS

DESIGNED: KS

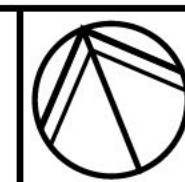
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NO.	DESCRIPTION	ISSUED	VER'D	APP'D	DATE
1	DRAFT DA	EL		PK	24.11.17
2	DA	EL		PK	28.11.17
3	DA	EL		PK	30.11.17

CLIENT

ARCHITECT

A u p g u g



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PROJECT

M H H A M H
B

DRAWING TITLE

A V
H Y U

JOB NUMBER

7

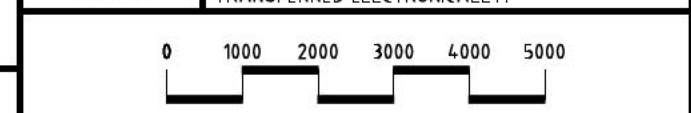
DRAWING NUMBER

REVISION

DRAWING SHEET SIZE = B1

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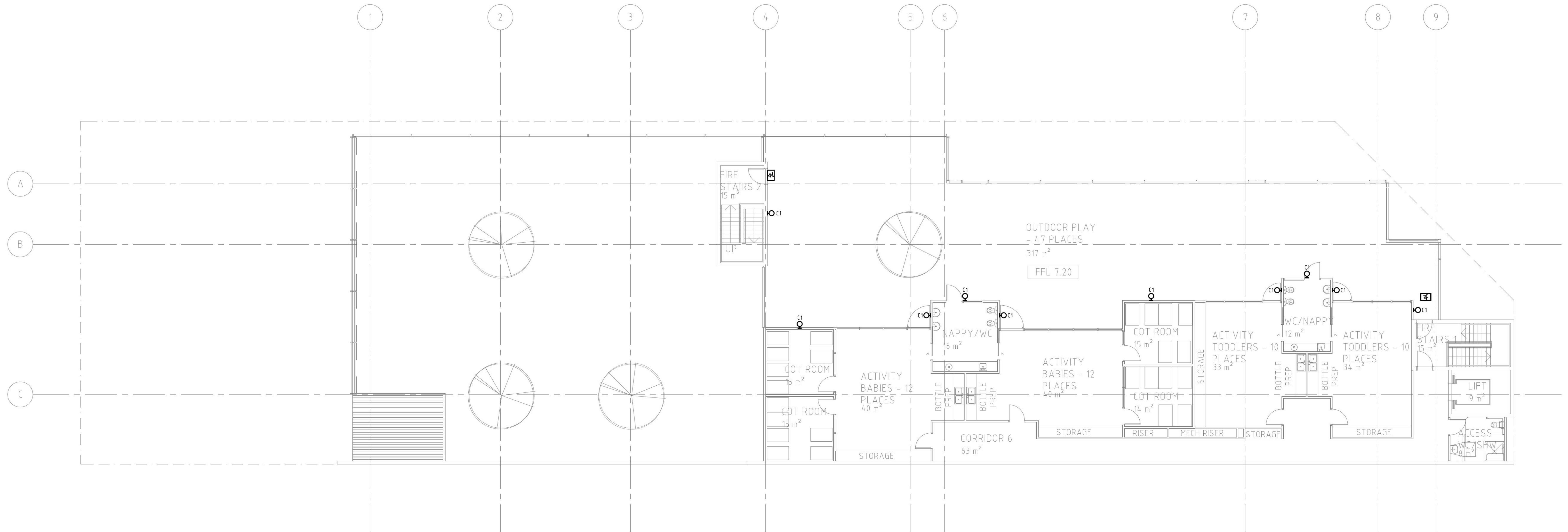
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0 S S 0 0

T T T

NOTE:
1. FOR LEGEND REFER DRAWING E100.



VERIFIER:

JOB MANAGER: KS

DESIGNED: KS

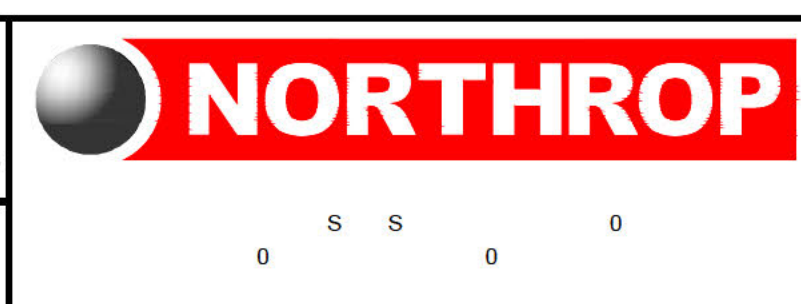
DRAWN: EL

NO	DESCRIPTION	ISSUED	VER'D	APP'D	DATE
1	DRAFT DA	EL		PK	24.11.17
2	DA	EL		PK	28.11.17
3	DA	EL		PK	30.11.17

CLIENT

ARCHITECT
A u p g u g

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PROJECT
M H H A M H

DRAWING TITLE
A V H Y U

JOB NUMBER	REVISION
7	
2	

DRAWING SHEET SIZE = B1

MITCHELL CHILDCARE
CENTRE

BLOCK 18 SECTION 11, MITCHELL

17/1272



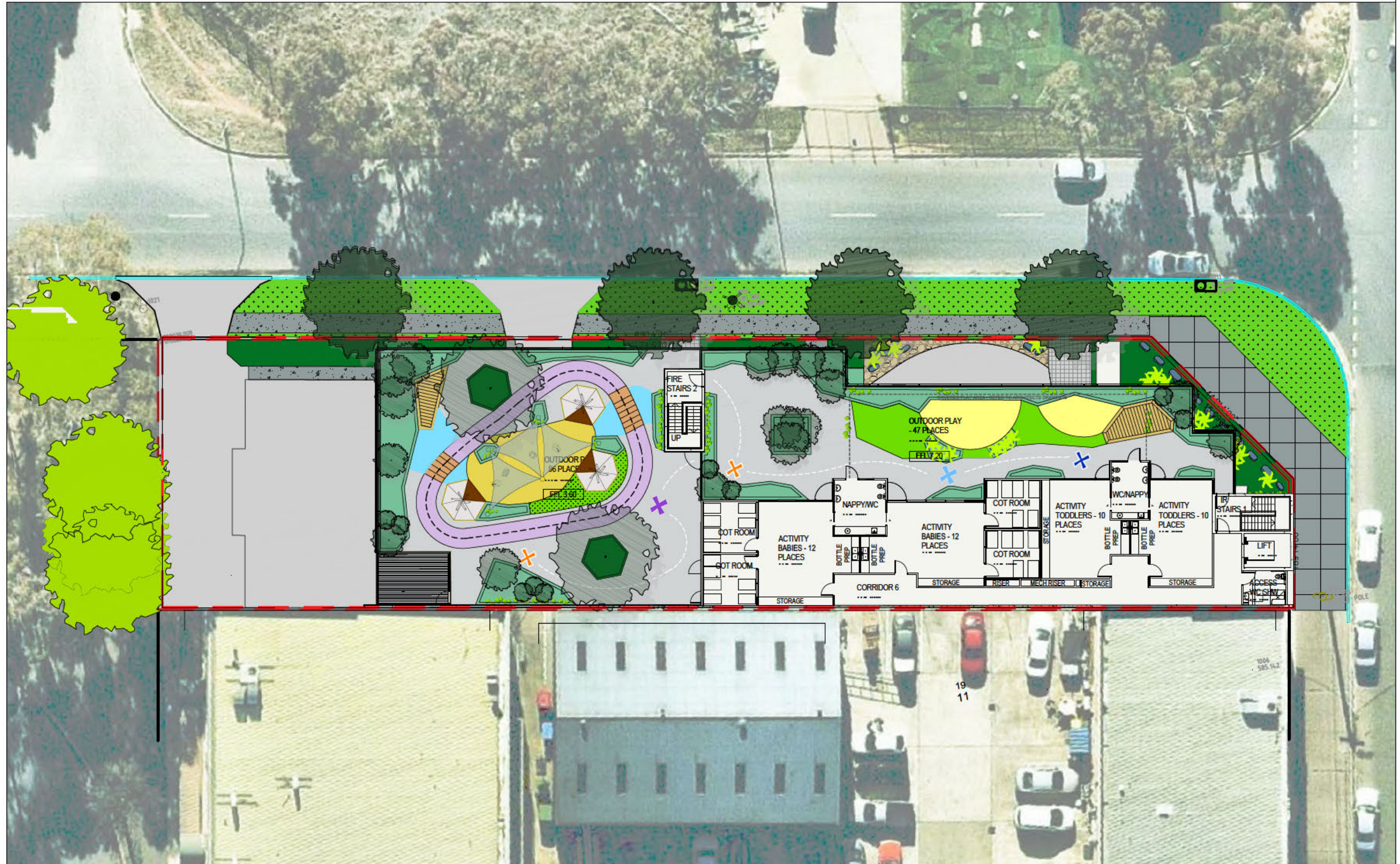
SPACELAB
CREATING TIMELESS PLACES

ISSUE DATE: 01.12.2017
DA ISSUE
REVISION: C

DRAWING SCHEDULE

LANDSCAPE DRAWINGS:

DWG No.	Drawing Title
L501.1	LANDSCAPE PLAN - GROUND FLOOR
L501.2	LANDSCAPE PLAN - LEVEL 1
L501.3	LANDSCAPE PLAN - LEVEL 2
L502.1	PLANTING PALETTE



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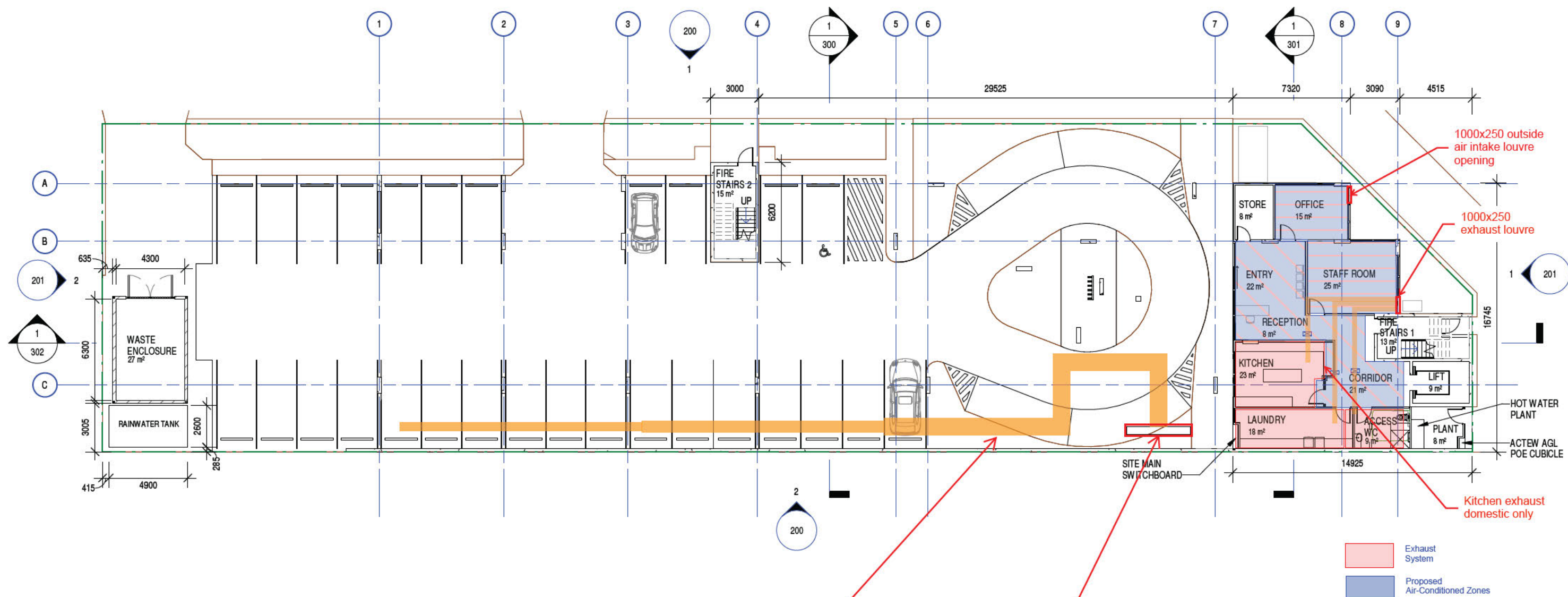


BLOCK 18 SECTION 11, MITCHELL - KEY PLAN

SCALE: 1:150 @ A1 1:300 @ A3

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17/01/2018 12:12:52 PM



Carpark ventilation ductwork.

Carpark ventilation ductwork required to be in fire rated riser.

- Exhaust System
- Proposed Air-Conditioned Zones

Rudds Consulting Engineers
 Pty Limited
 5 Bodalla Place
 Fyshwick, ACT 2609
 Tel: (02) 6240 2900
 Fax: (02) 6280 9951
 Email: firstname.surname@rudds.com.au
 Website: www.rudds.com.au
 ABN 16 054 211 192

Rev	Amendment	Date	Int



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MITCHELL CHILDCARE CENTRE
 BLOCK 18, SECTION 11 CORNER DARLING &
 HEFFERNAN STREET, MITCHELL, ACT

GROUND FLOOR PLAN			
Drawn	Date	Scale	Project Number
Author		1 : 250	A3 A17041
Review	Date	Project Leader	Date
Checker		Designer	
PRELIMINARY			Drawing Number
			SK 102

Contractor shall check and verify all levels and dimensions on site and report any discrepancies to the Superintendent before undertaking any work or shop drawings

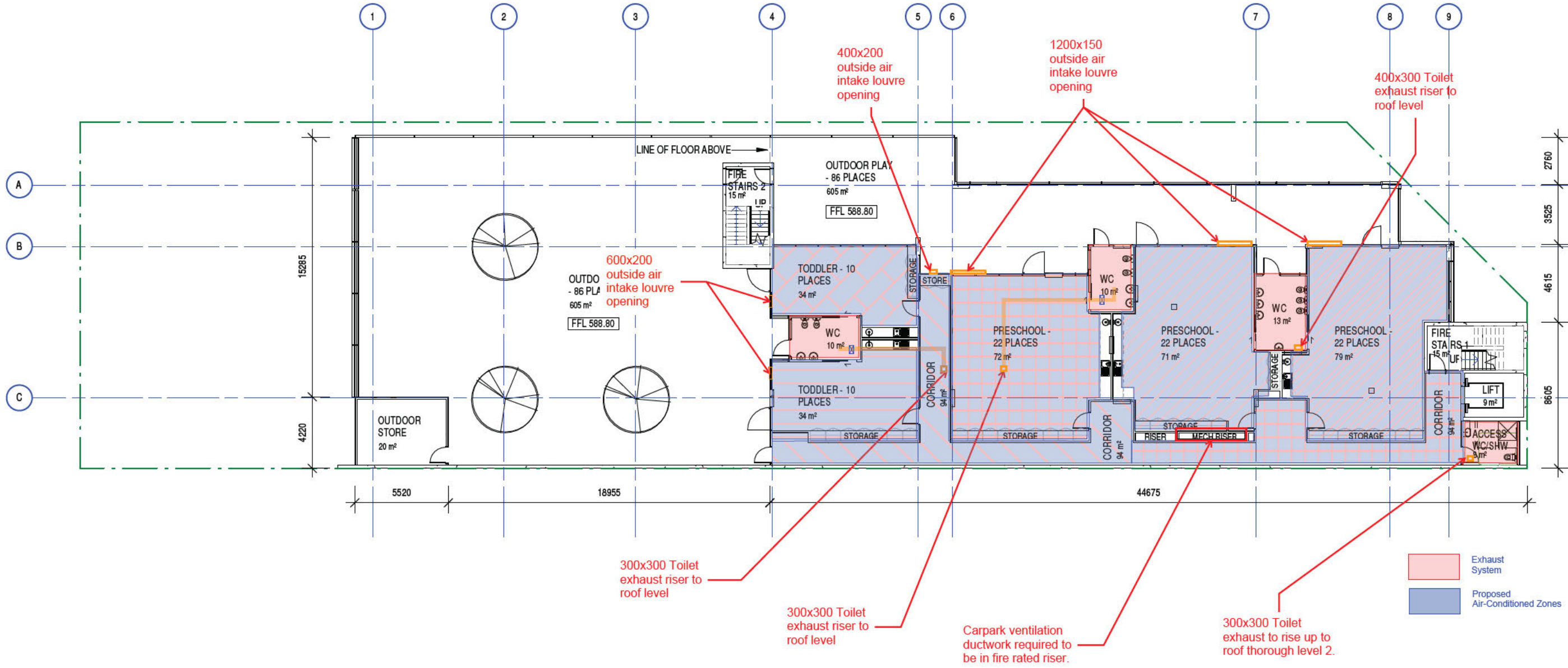
Architectural Drawings
 Issued 30-01-18

Rudds Consulting Engineers
 Comments 12/02/2018



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Particle size table

Substance	approximate range of particle diameters (microns)
Rain drops	500 - 5000
Natural mist	60 - 500
Natural fog	2 - 60
Pollens	10 - 100
Ground talc	0.5 - 50
Bacteria	0.3 - 35
Plant spores	10 - 35
Insecticide dusts	0.5 - 10
Stoker fly ash	10 - 8000
Pulverized coal, fly ash	1 - 50
Foundry dusts	1 - 1000
Cement dust	3 - 100
Metallurgical dust	0.5 - 100
Dust damaging to lungs	0.5 - 5
Oil smoke	0.1 - 1.0
Resin smoke	0.01 - 1.0
Tobacco smoke	0.01 - 1.0
Carbon black	0.01 - 0.3
Pigments (paints)	0.1 - 5
Viruses	0.003 - 0.05
Human hair	35 - 200

Rating performance	10 micron	5 micron	1 micron	0.5 micron	0.1 - 0.3 micron	Filter type
G1	90%	60%	20%	0%	0%	pre-filter
G2	96%	75%	30%	10%	0%	pre-filter
G3	97%	85%	45%	25%	0%	pre-filter
G4	98%	92%	58%	35%	5%	pre-filter
F5	98%	97%	70%	45%	20%	secondary
F6	99%	98%	82%	62%	40%	secondary
F7	99.9%	99%	88%	72%	55%	secondary
F8	99.9%	99.9%	97%	88%	78%	secondary
F9	99.99%	99.99%	98%	95%	93%	secondary
H10-H14	100%	100%	100%	100%	99.99%	HEPA
U15-U17	100%	100%	100%	100%	99.9975%	ULPA

For more information on HEPA or ULPA grades please contact your local distributor

Minimum requirement by the ventilation code 1668.2-2012

Proposed filter to all outside air intakes.

Architectural Drawings
Issued 30-01-18

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Consulting Engineers
Comments 12/02/2018



Rudds
Consulting Engineers
PTY LIMITED
5 Bodalla Place
FYSHWICK, ACT 2609
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Fax: (02) 6280 9951
Email: first.name.surname@rudds.com.au
Website: www.rudds.com.au
ABN 16 054 211 192

Rev	Amendment	Date	Int



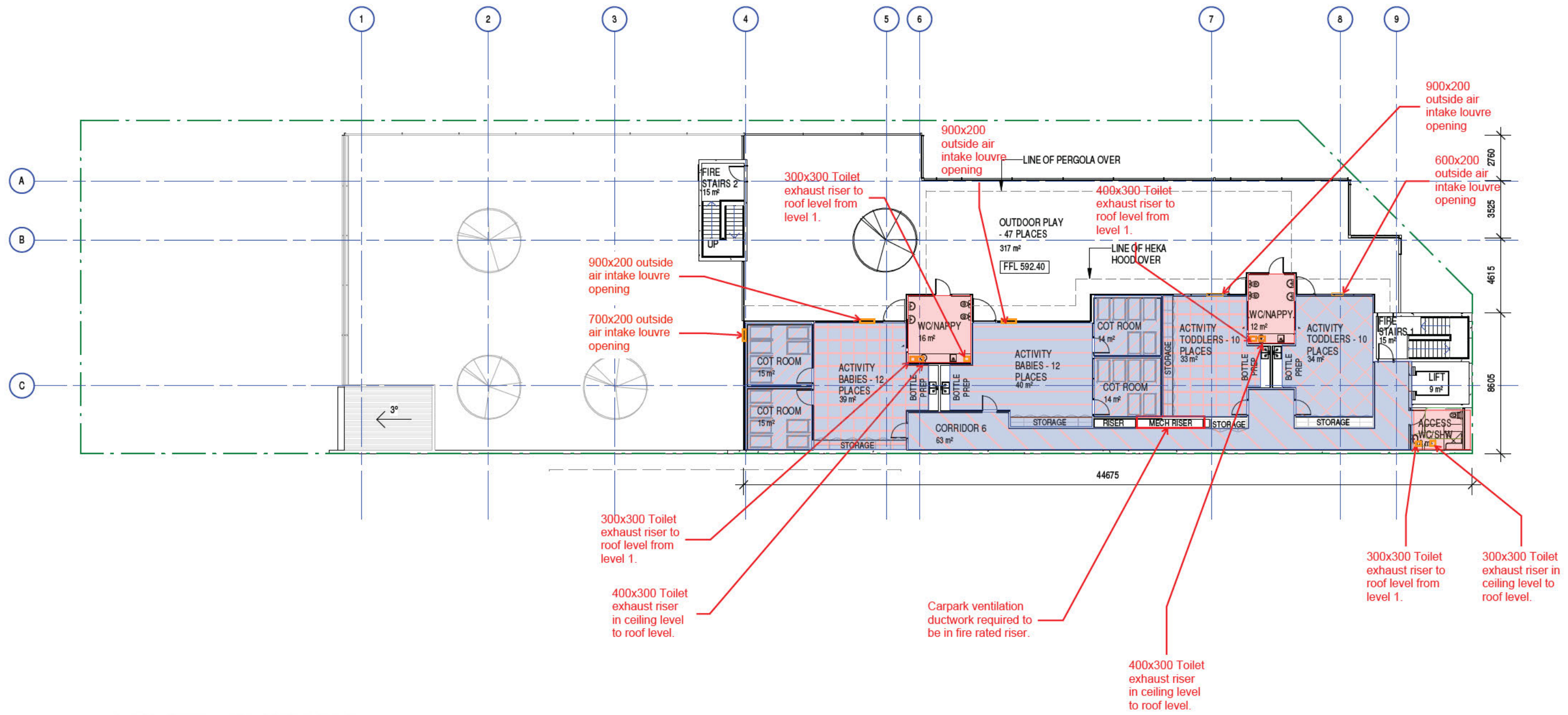
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MITCHELL CHILDCARE CENTRE
BLOCK 18, SECTION 11 CORNER DARLING &
HEFFERNAN STREET, MITCHELL, ACT

FIRST FLOOR PLAN

Drawn	Date	Scale	Project Number
Author		1 : 250	A3
Review	Date	Project Leader	Date
Checker		Designer	
PRELIMINARY			Drawing Number
			SK 103
			Area

Contractor shall check and verify all levels and dimensions on site and report any discrepancies to the Superintendent before undertaking any work or shop drawings



Particle size table

Substance	approximate range of particle diameters (microns)
Rain drops	500 - 5000
Natural mist	60 - 500
Natural fog	2 - 60
Pollens	10 - 100
Ground talc	0.5 - 50
Bacteria	0.3 - 35
Plant spores	10 - 35
Insecticide dusts	0.5 - 10
Stoker fly ash	10 - 8000
Pulverized coal, fly ash	1 - 50
Foundry dusts	1 - 1000
Cement dust	3 - 100
Metallurgical dust	0.5 - 100
Dust damaging to lungs	0.5 - 5
Oil smoke	0.1 - 1.0
Resin smoke	0.01 - 1.0
Tobacco smoke	0.01 - 1.0
Carbon black	0.01 - 0.3
Pigments (paints)	0.1 - 5
Viruses	0.003 - 0.05
Human hair	35 - 200

Rating performance	10 micron	5 micron	1 micron	0.5 micron	0.1 - 0.3 micron	Filter type
G1	90%	60%	20%	0%	0%	pre-filter
G2	96%	75%	30%	10%	0%	pre-filter
G3	97%	85%	45%	25%	0%	pre-filter
G4	98%	92%	58%	35%	5%	pre-filter
F5	98%	97%	70%	45%	20%	secondary
F6	99%	98%	82%	62%	40%	secondary
F7	99.9%	99%	88%	72%	55%	secondary
F8	99.9%	99.9%	97%	88%	78%	secondary
F9	99.99%	99.99%	98%	95%	93%	secondary
H10-H14	100%	100%	100%	100%	99.99%	HEPA
U15-U17	100%	100%	100%	100%	99.9975%	ULPA

For more information on HEPA or ULPA grades please contact your local distributor

Minimum requirement by the ventilation code 1668.2-2012

Proposed filter to all outside air intakes.

Architectural Drawings
Issued 30-01-18

Rudds
Consulting Engineers
Comments 12/02/2018



Rudds
Consulting Engineers
PTY.LIMITED
5 Bodalla Place
FYSHWICK, ACT 2609
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Email: first.name.surname@rudds.com.au
Website: www.rudds.com.au
ABN 16 054 211 192

Rev	Amendment	Date	Int

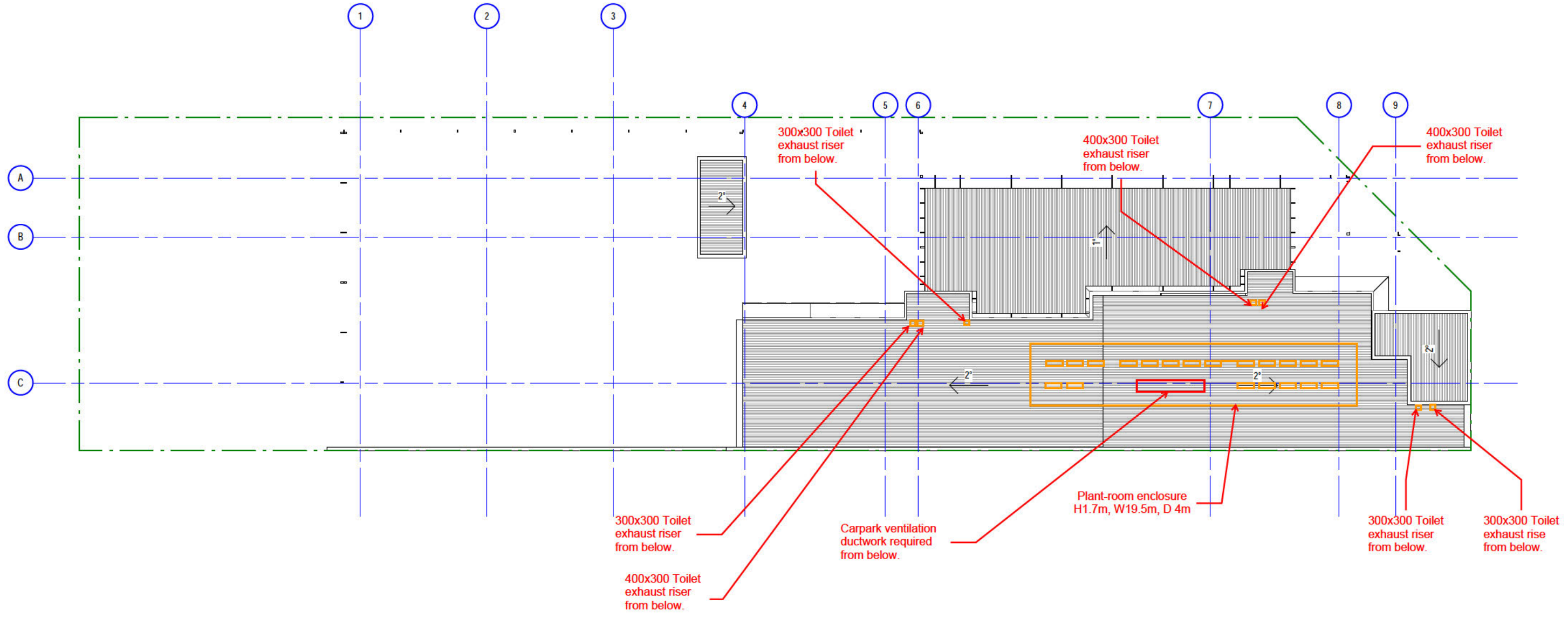


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MITCHELL CHILDCARE CENTRE
BLOCK 18, SECTION 11 CORNER DARLING &
HEFFERNAN STREET, MITCHELL, ACT

SECOND FLOOR PLAN			
Drawn	Date	Scale	Project Number
Author		As indicated	A3
Review	Date	Project Leader	Date
Checker		Designer	
PRELIMINARY			Drawing Number
			SK 104
			Area

Contractor shall check and verify all levels and dimensions on site and report any discrepancies to the Superintendent before undertaking any work or shop drawings



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Consulting Engineers
PTY LIMITED
5 Bodalla Place
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Website: www.rudds.com.au
ABN 16 04 271 102

Rev	Amendment	Date	Init



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MITCHELL CHILDCARE CENTRE
BLOCK 18, SECTION 11 CORNER DARLING &
HEFFERNAN STREET, MITCHELL, ACT

ROOF PLAN

Drawn	Date	Scale	Project Number
Author		1 : 250	A3 A17041
Review	Date	Project Leader	Date
Checker		Designer	
PRELIMINARY			Drawing Number SK 105

Contractor shall check and verify all levels and dimensions on site and report any discrepancies to the Superintendent before undertaking any work or shop drawings

Architectural Drawings
Issued 30-01-18

Rudds
Consulting Engineers
Comments 12/02/2018



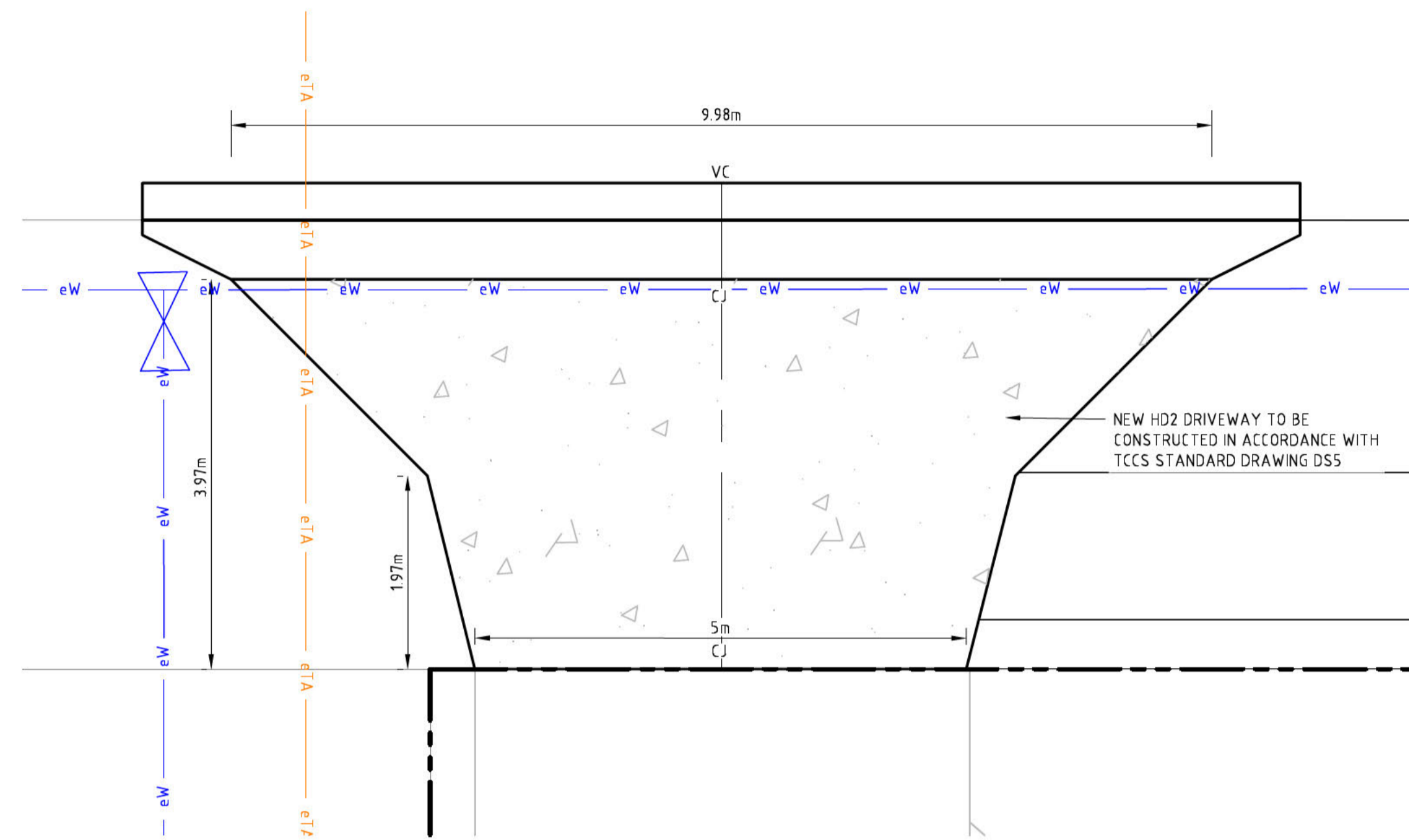
PAVEMENT LEGEND

-  **HEAVY DUTY DRIVEWAY**
HD2 TYPE DRIVEWAY -
150mm N32 CONCRETE - BROOM FINISH
SL 82 REINFORCEMENT - 50mm TOP COVER
100mm DGB20 COMPACTED TO 95% MMDD
SUBGRADE COMPACTED TO 90% MMDD
-  **FOOTPATH**
FINISH TO LANDSCAPE ARCHITECT'S SPECIFICATIONS
CONSTRUCTED IN ACCORDANCE WITH TCCS STANDARD DRAWING (DS-13)
-  **GRASSED AREA**
TO LANDSCAPE ARCHITECT'S SPECIFICATIONS

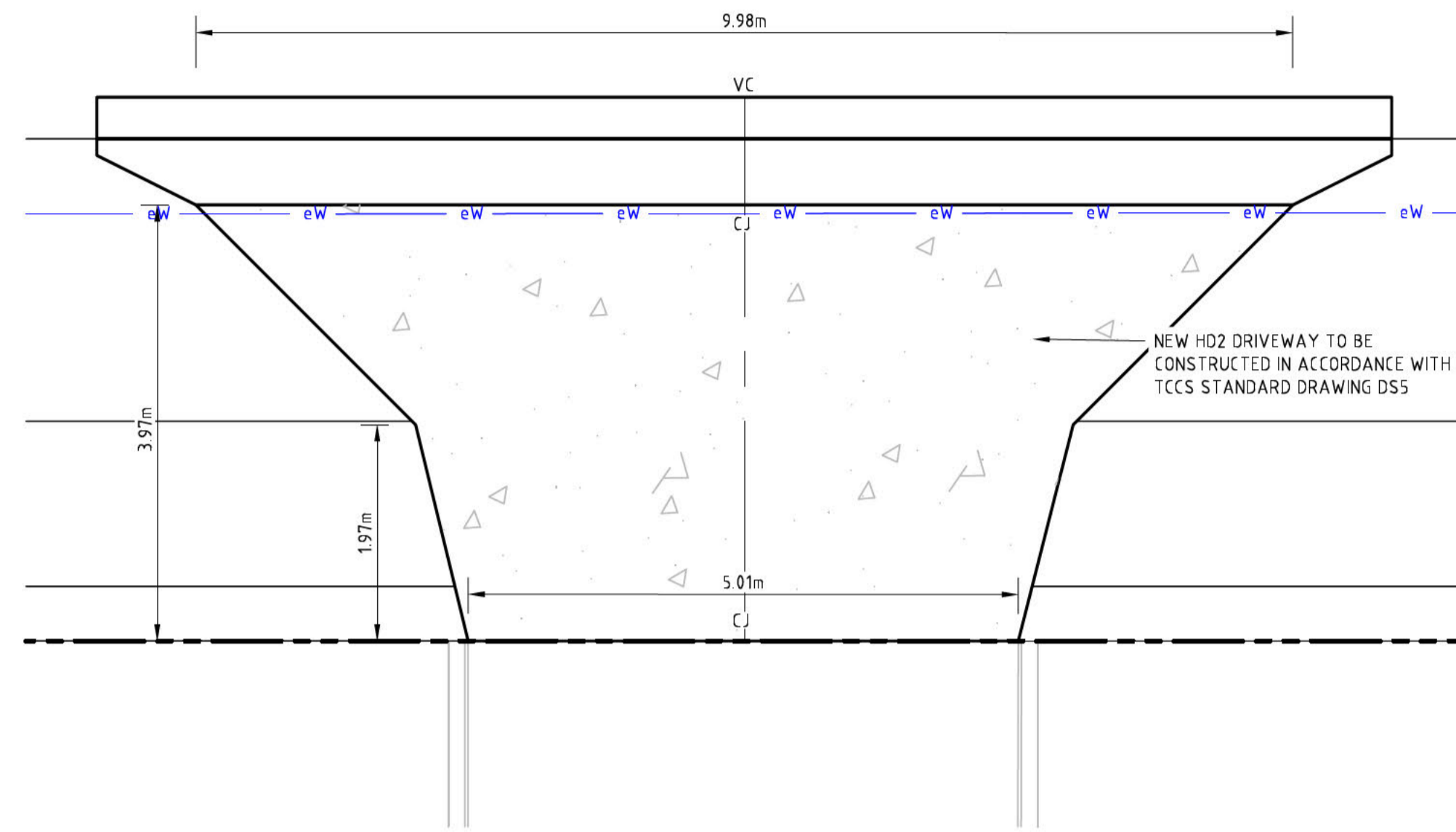
LEGEND

- PROPOSED PAVEMENT STRUCTURES**
- VC - REINFORCED VEHICLE CROSSING CONSTRUCTED TO DETAIL ON TCCS STANDARD DRAWING DS3-02
 - CJ - CONSTRUCTION JOINT AS PER DETAIL ON TCCS STANDARD DRAWING DS5-01
- EXISTING SERVICES**
- eSW - STORMWATER MAIN
 - eS - SEWER MAIN
 - eW - WATER MAIN
 - eT - TELSTRA
 - eG - GAS
 - eE - ELECTRICITY
 - eHV - HIGH VOLTAGE ELECTRICITY
 - X X X X X X - ABANDONED SERVICE
 - - SEWER MANHOLE
 - - STORMWATER MANHOLE
 - - STORMWATER SUMP
 - - FIRE HYDRANT
 - ⊘ - STOP VALVE
 - ⊞ - TELSTRA PIT
 - ⊙ - LIGHT POLE
 - ⊙ - EXISTING TREE

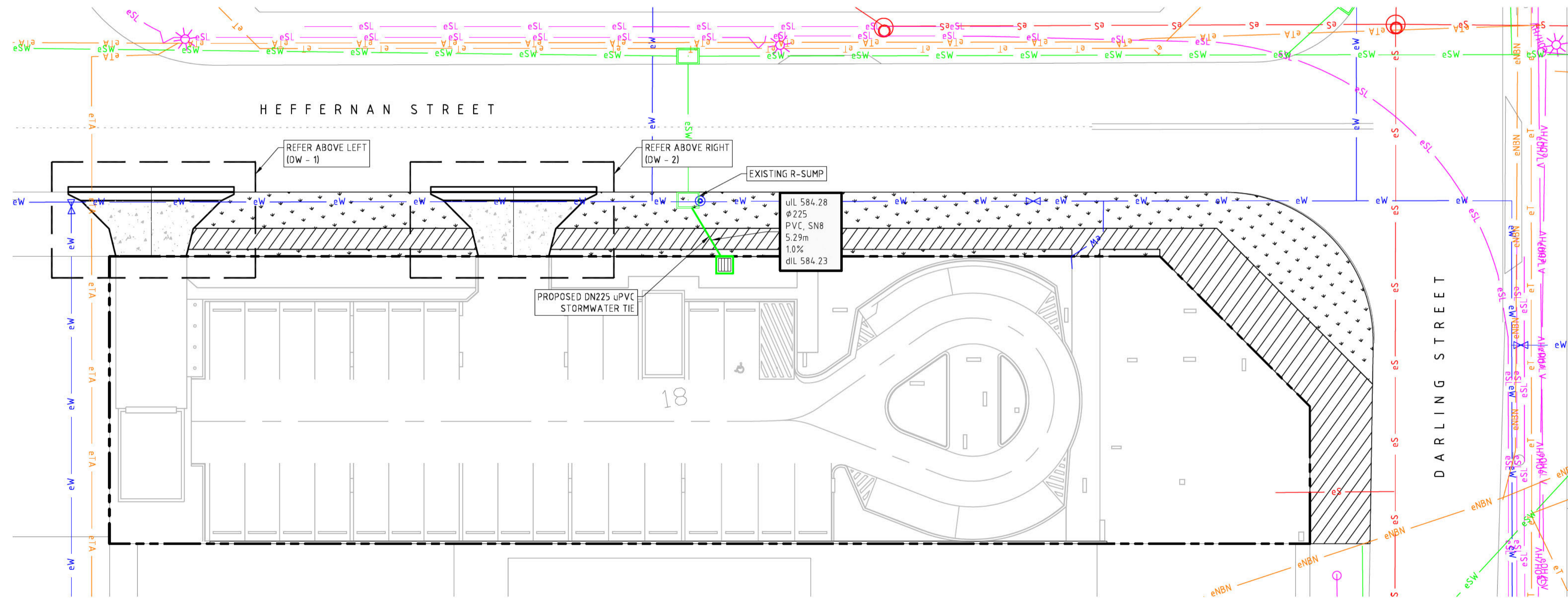
WARNING:
EXISTING SERVICES SHOWN ARE BASED ON INFORMATION PROVIDED BY SERVICE AUTHORITIES AND ARE ESTIMATES ONLY. UNDER NO CIRCUMSTANCES SHOULD THE LOCATIONS OF SERVICES SHOWN ON THIS PLAN BE RELIED UPON FOR ON SITE WORK. ALL INFORMATION MUST BE CONFIRMED IN THE FIELD.



WASTE TRUCK DRIVEWAY - (DW - 1) - HD2 - TYPE
SCALE 1:50



MAIN USERS DRIVEWAY - (DW - 2) - HD2 TYPE
SCALE 1:50



SITE PLAN
SCALE 1:200

NOT FOR CONSTRUCTION


DRAWN: A. HOWARD, DESIGNED: A. HOWARD, JOB MANAGER: D. FIELD, VERIFIER: J. WILTSHIRE

REVISION	DESCRIPTION	ISSUED	VER'D	APP'D	DATE
1	DRAFT D.A.		AH	JW	22.11.17
2	D.A.		AH	JW	30.11.17

CLIENT: [Blank]
ARCHITECT: ARPM ARCHITECTURE PROJECT CONSULTING INTERIOR DESIGN
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0 5 10 15 20 25m PLAN SCALE 1500 @ A1

NORTHROP
Canberra
Unit 2, 2-6 Shea Street, Phillip ACT 2606
Ph (02) 6285 1822 Fax (02) 6285 1863
Email canberra@northrop.com.au ABN 81 094 433 100

PROJECT: **CHILDCARE CENTRE BLOCK 18 SECTION 11 MITCHELL**

DRAWING TITLE: **CIVIL WORKS EXTERNAL SITE WORKS PLAN**

JOB NUMBER: CR171360	
DRAWING NUMBER: C121	REVISION: 2
DRAWING SHEET SIZE = A1	



STREET TREES REMOVED FOR CLARITY

Rev	Amendment	Date	Init



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**MITCHELL CHILDCARE CENTRE
 BLOCK 18, SECTION 11 CORNER DARLING &
 HEFFERNAN STREET, MITCHELL, ACT**

PERSPECTIVES

Drawn	Date	Scale	A3	Project Number
Author				A17041
Review	Date	Project Leader	Date	Drawing Number
Checker		Designer		SK 800
PRELIMINARY				Archt

Contractor shall check and verify all levels and dimensions on site and report any discrepancies to the Superintendent before undertaking any work or shop drawings



Rev	Amendment	Date	Init
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**MITCHELL CHILDCARE CENTRE
 BLOCK 18, SECTION 11 CORNER DARLING &
 HEFFERNAN STREET, MITCHELL, ACT**

PERSPECTIVES

Drawn	Date	Scale	A3	Project Number
Author				A17041
Review	Date	Project Leader	Date	Drawing Number
Checker		Designer		SK 801
PRELIMINARY				Asmt

Contractor shall check and verify all levels and dimensions on site and report any discrepancies to the Superintendent before undertaking any work or shop drawings

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13/02/2018 9:31:42 AM



Rev	Amendment	Date	Init
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MITCHELL CHILDCARE CENTRE
 BLOCK 18, SECTION 11 CORNER DARLING &
 HEFFERNAN STREET, MITCHELL, ACT

PERSPECTIVES

Drawn	Date	Scale	A3	Project Number
Author				A17041
Review	Date	Project Leader	Date	Drawing Number
Checker		Designer		SK 802
PRELIMINARY				Amk

Contractor shall check and verify all levels and dimensions on site and report any discrepancies to the Superintendent before undertaking any work or shop drawings

LEGEND

PROPOSED PAVEMENT STRUCTURES

K&G - KERB & GUTTER

KO - KERB ONLY

WS - WHEEL STOP

MK - MOUNTABLE KERB

FK - FLUSH KERB




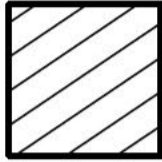
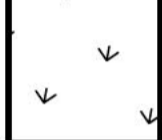
ALL KERBING TO BE CONSTRUCTED TO TCCS STANDARD DRAWING DS3-01

B - BOLLARD

PROPOSED SERVICES

-  SW - STORMWATER MAIN
-  - STORMWATER MANHOLE
-  - STORMWATER SUMP
-  - 24 KL RETENTION TANK

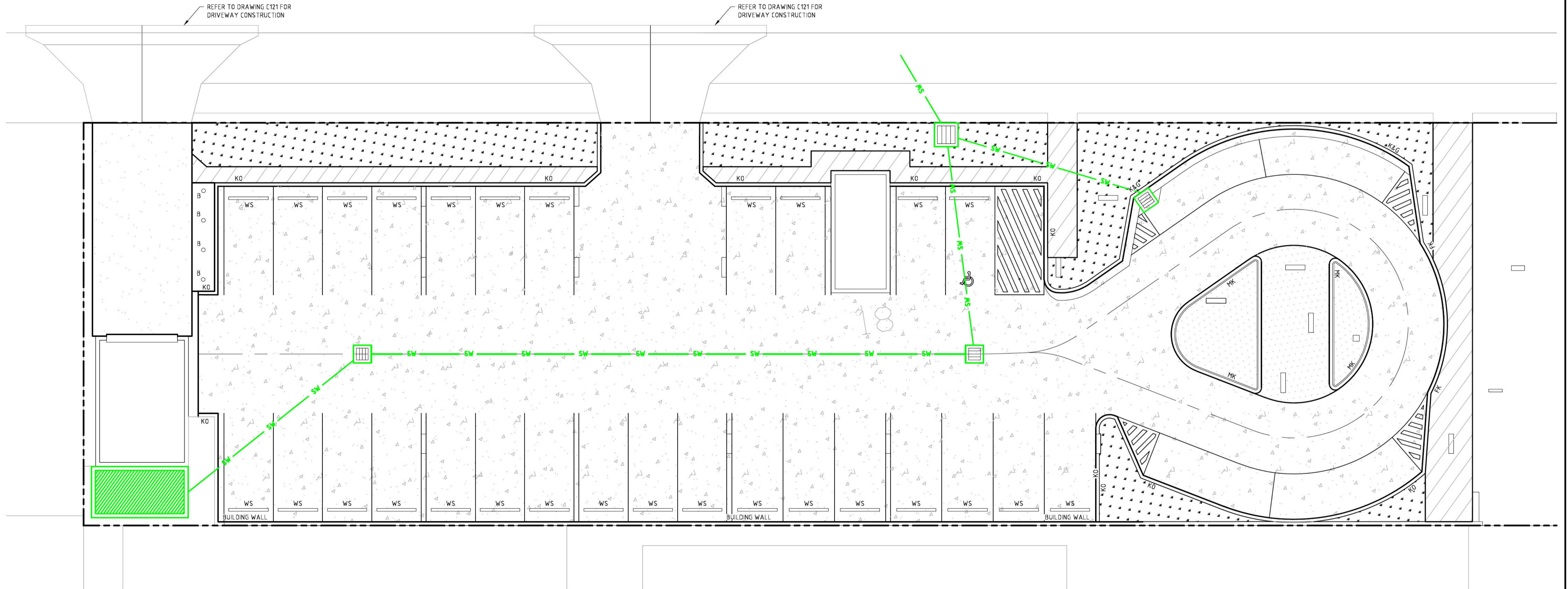
PAVEMENT LEGEND

-  **CONCRETE CIRCULATION ROAD**
120mm N32 CONCRETE - BROOM FINISH
SL82 REINFORCEMENT - CENTRALLY PLACED
100mm DGB20 COMPACTED TO 98% MMDD
SUBGRADE COMPACTED TO 95% MMDD
-  **HEAVY DUTY PAVEMENT FOR WASTE COLLECTION**
150mm N32 CONCRETE - BROOM FINISH
SL82 REINFORCEMENT - 50mm TOP COVER
100mm DGB20 COMPACTED TO 98% MMDD
SUBGRADE COMPACTED TO 95% MMDD
-  **INFILL CONCRETE PAVEMENT**
100mm N25 CONCRETE - FINISH TO ARCHITECT'S SPECIFICATIONS
SL72 REINFORCEMENT - 50mm TOP COVER
75mm DGB20 COMPACTED TO 95% MMDD
SUBGRADE COMPACTED TO 90% MMDD
-  **FOOTPATH**
TO LANDSCAPE ARCHITECT'S SPECIFICATIONS
CONSTRUCTED IN ACCORDANCE WITH TCCS STANDARD DRAWING (DS-13)
-  **GRASSED AREA**
TO LANDSCAPE ARCHITECT'S SPECIFICATIONS

HEFFERNAN STREET

REFER TO DRAWING C121 FOR DRIVEWAY CONSTRUCTION

REFER TO DRAWING C121 FOR DRIVEWAY CONSTRUCTION



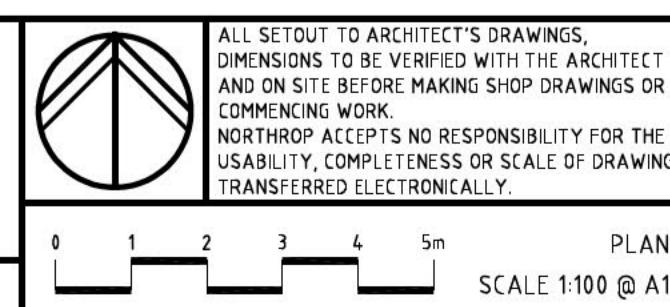
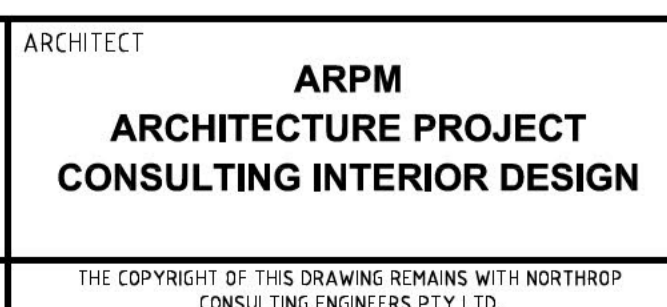
DRAWN: A. HOWARD
DESIGNED: A. HOWARD
JOB MANAGER: D. FIELD
VERIFIER: J. WILTSHIRE

NOT FOR CONSTRUCTION

REVISION	DESCRIPTION	ISSUED	VER'D	APP'D	DATE	CLIENT
1	DRAFT D.A.	AH		JW	22.11.17	<p>DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS VERIFICATION SIGNATURE HAS BEEN ADDED</p>
2	D.A.	AH		JW	30.11.17	

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ARPM
ARCHITECTURE PROJECT
CONSULTING INTERIOR DESIGN

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PROJECT
CHILD CARE CENTRE
BLOCK 18 SECTION 11 MITCHELL

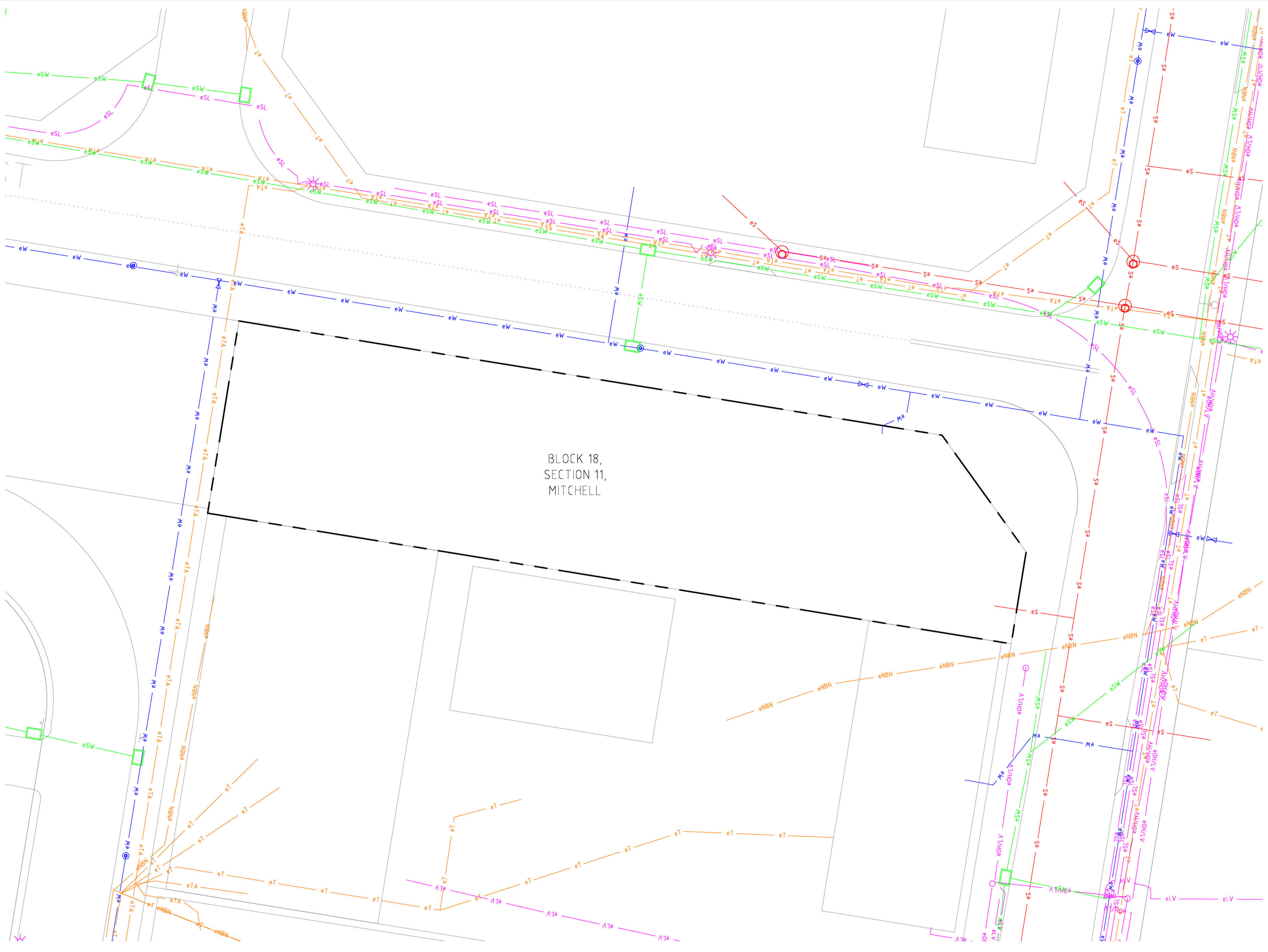
DRAWING TITLE
CIVIL WORKS
SITE WORKS AND
PAVEMENT PLAN

JOB NUMBER
CR171360

DRAWING NUMBER
C120

REVISION
2

DRAWING SHEET SIZE = A1



EXISTING SERVICES LEGEND

	STORMWATER PIPE / MAINTENANCE HOLE / SIDE ENTRY PIT
	SEWER PIPE / MAINTENANCE HOLE / VERTICAL DROP
	SEWER RISING MAIN / MAINTENANCE HOLE
	EXISTING WATER PIPE / HIGH CAPACITY HYDRANT - STANDARD
	EXISTING WATER PIPE / SLUICE VALVE / METER PIT
	EXISTING FIRE SERVICE / SLUICE VALVE / HYDRANT
	EFFLUENT PIPE / SLUICE VALVE
	ELECTRICAL SERVICE / POWER POLE / PIT
	STREETLIGHT SERVICE / LIGHT POLE
	GAS SERVICE / VALVE / MARKER
	TELSTRA SERVICE / PIT / MINI PILLAR
	OPTUS SERVICE / PIT
	ICON SERVICE / PIT / MARKER
	TRANSACT SERVICE / PIT
	OPTIC FIBRE

- ### GENERAL NOTES
- REFER SPECIFICATIONS NOTES DRAWING FOR EXISTING SERVICES GENERAL REQUIREMENTS.
 - ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH LOCAL, RELEVANT AUTHORITY SPECIFICATIONS AND DETAILS.
 - ALL EXISTING SERVICES INDICATED ON THE DRAWINGS ORIGINATE FROM SUPPLIED DATA OR DIAL BEFORE YOU DIG SEARCHES, THEREFORE THEIR ACCURACY AND COMPLETENESS IS NOT GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE AND CONFIRM THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY. NOTE SERVICE AUTHORITY REQUIREMENTS FOR LOCATING OF SERVICES PRIOR TO COMMENCEMENT OF WORKS.
 - CONTRACTOR TO ALLOW TO ADJUST AND LIAISE WITH RELEVANT SERVICE AUTHORITIES IN RELATION TO EXISTING SERVICE ADJUSTMENT AND MODIFICATION.
 - ANY EXISTING COVER DEPTHS SHOWN ARE ASSUMPTIONS BASED ON AUTHORITY MINIMUM DESIGN REQUIREMENTS ONLY. ACCURATE CONFIRMATION BY SAFE POT HOLING OF THE EXISTING SERVICES AND CHECKING DEPTHS IS REQUIRED PRIOR TO CONSTRUCTION AT THE CONTRACTOR'S EXPENSE.
 - COVER DEPTHS THAT DIFFER FROM THAT SPECIFIED ARE TO BE REPORTED TO THE SUPERINTENDENT FOR ADVICE ON CONSTRUCTION REQUIREMENTS.

BLOCK 18,
SECTION 11,
MITCHELL

DRAWN: A. HOWARD DESIGNED: A. HOWARD JOB MANAGER: J. WILTSHIRE VERIFIER: J. WILTSHIRE

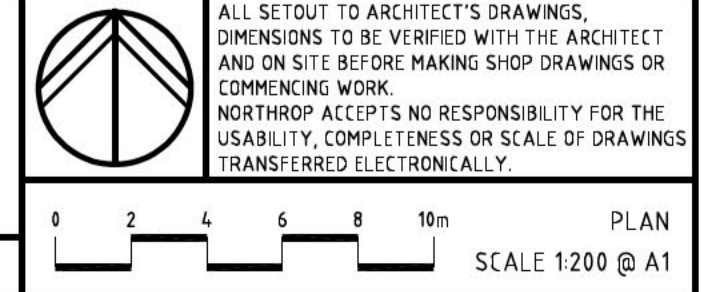


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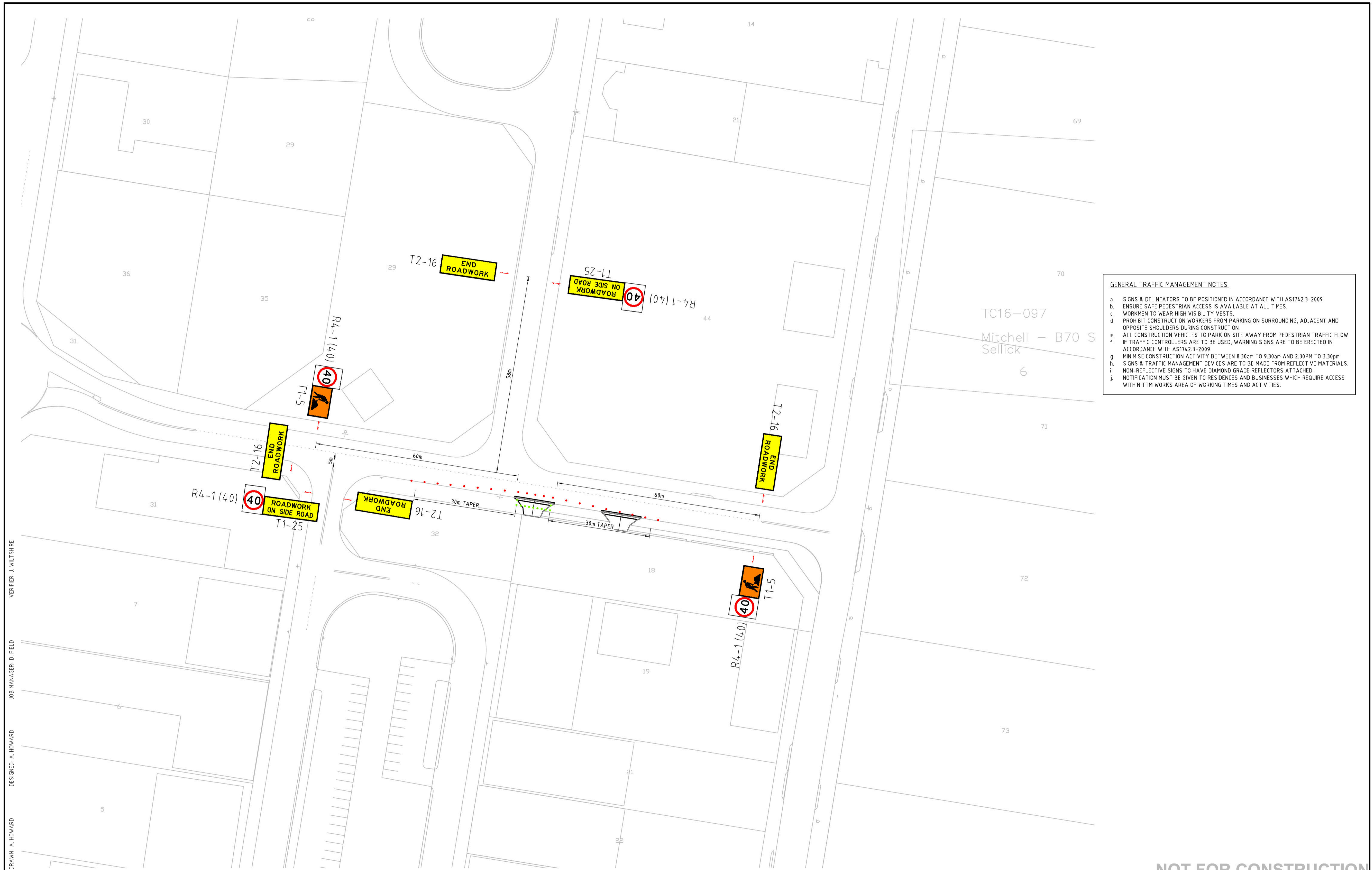
<table border="1"> <thead> <tr> <th>REVISION</th> <th>DESCRIPTION</th> <th>ISSUED</th> <th>VER'D</th> <th>APP'D</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>DRAFT D.A.</td> <td></td> <td>AH</td> <td>JW</td> <td>22.11.17</td> </tr> <tr> <td>2</td> <td>D.A.</td> <td></td> <td>AH</td> <td>JW</td> <td>30.11.17</td> </tr> </tbody> </table>	REVISION	DESCRIPTION	ISSUED	VER'D	APP'D	DATE	1	DRAFT D.A.		AH	JW	22.11.17	2	D.A.		AH	JW	30.11.17	<p>CLIENT</p>	<p>ARCHITECT</p> <p>ARPM ARCHITECTURE PROJECT CONSULTING INTERIOR DESIGN</p>	<p>NORTHROP Canberra Unit 2, 2-6 Shear Street, Phillip ACT 2606 Ph (02) 6285 1822 Fax (02) 6285 1863 Email canberra@northrop.com.au ABN 81 094 433 100</p>	<p>PROJECT</p> <p>CHILD CARE CENTRE BLOCK 18 SECTION 11 MITCHELL</p>	<p>DRAWING TITLE</p> <p>CIVIL WORKS EXISTING SERVICES PLAN</p>	<p>JOB NUMBER</p> <p>CR171360</p> <table border="1"> <tr> <td>DRAWING NUMBER</td> <td>REVISION</td> </tr> <tr> <td>C070</td> <td>2</td> </tr> </table> <p>DRAWING SHEET SIZE = A1</p>	DRAWING NUMBER	REVISION	C070	2
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PLAN



- GENERAL TRAFFIC MANAGEMENT NOTES:**
- a. SIGNS & DELINEATORS TO BE POSITIONED IN ACCORDANCE WITH AS1742.3-2009.
 - b. ENSURE SAFE PEDESTRIAN ACCESS IS AVAILABLE AT ALL TIMES.
 - c. WORKMEN TO WEAR HIGH VISIBILITY VESTS.
 - d. PROHIBIT CONSTRUCTION WORKERS FROM PARKING ON SURROUNDING, ADJACENT AND OPPOSITE SHOULDERS DURING CONSTRUCTION.
 - e. ALL CONSTRUCTION VEHICLES TO PARK ON SITE AWAY FROM PEDESTRIAN TRAFFIC FLOW.
 - f. IF TRAFFIC CONTROLLERS ARE TO BE USED, WARNING SIGNS ARE TO BE ERECTED IN ACCORDANCE WITH AS1742.3-2009.
 - g. MINIMISE CONSTRUCTION ACTIVITY BETWEEN 8.30am TO 9.30am AND 2.30PM TO 3.30pm.
 - h. SIGNS & TRAFFIC MANAGEMENT DEVICES ARE TO BE MADE FROM REFLECTIVE MATERIALS.
 - i. NON-REFLECTIVE SIGNS TO HAVE DIAMOND GRADE REFLECTORS ATTACHED.
 - j. NOTIFICATION MUST BE GIVEN TO RESIDENCES AND BUSINESSES WHICH REQUIRE ACCESS WITHIN TTM WORKS AREA OF WORKING TIMES AND ACTIVITIES.

DRAWN: A. HOWARD
 DESIGNED: A. HOWARD
 JOB MANAGER: D. FIELD
 VERIFIER: J. WILTSHIRE

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REVISION	DESCRIPTION	ISSUED	VER'D	APP'D	DATE
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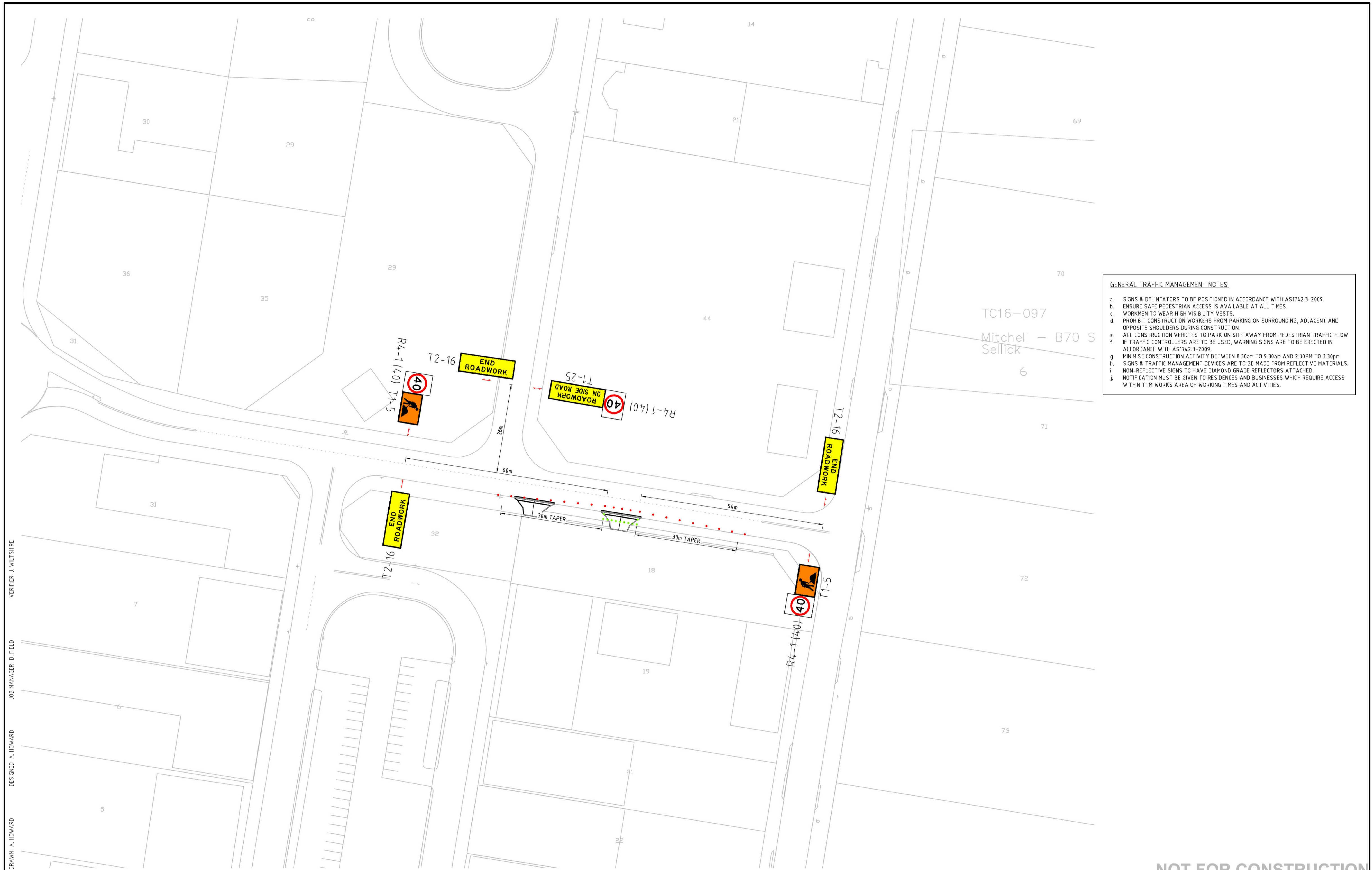
0 5 10 15 20 25m PLAN
 SCALE 1:500 @ A1

NORTHROP
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 Ph (02) 6285 1822 Fax (02) 6285 1863
 Email canberra@northrop.com.au ABN 81 094 433 100

PROJECT
CHILD CARE CENTRE
BLOCK 18 SECTION 11 MITCHELL

DRAWING TITLE
CIVIL WORKS
CONCEPT TEMPORARY TRAFFIC
MANAGEMENT PLAN
WESTERN DRIVEWAY

JOB NUMBER CR171360	
DRAWING NUMBER C012	REVISION 2
DRAWING SHEET SIZE = A1	



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PROJECT
CHILDCARE CENTRE
BLOCK 18 SECTION 11 MITCHELL

DRAWING TITLE
CIVIL WORKS
CONCEPT TEMPORARY TRAFFIC
MANAGEMENT PLAN
EASTERN DRIVEWAY

JOB NUMBER CR171360	
DRAWING NUMBER C013	REVISION 2
DRAWING SHEET SIZE = A1	