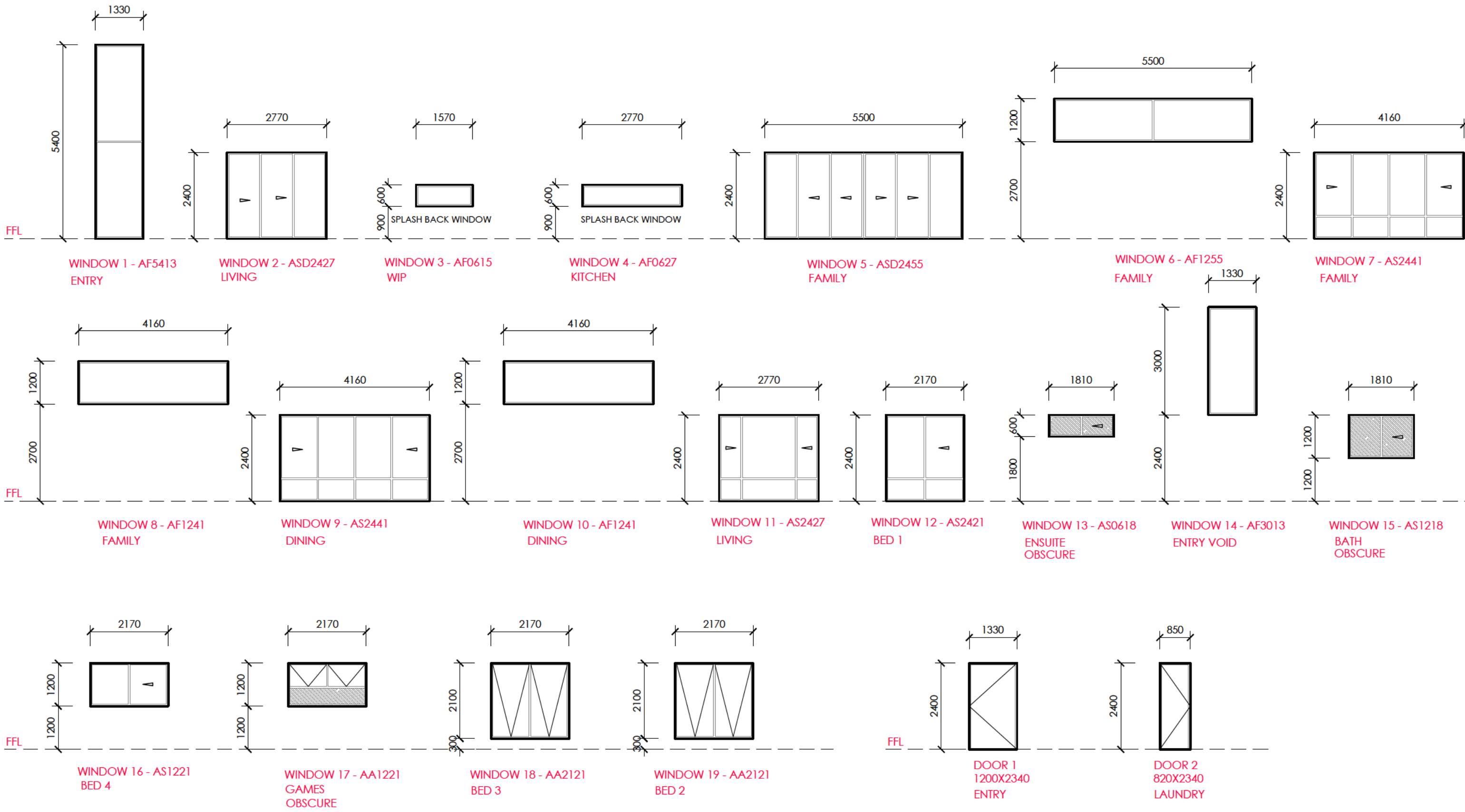


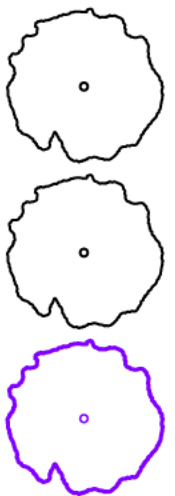
ALL WINDOWS TO BE DOUBLE GLAZED

RESIDENCE 1

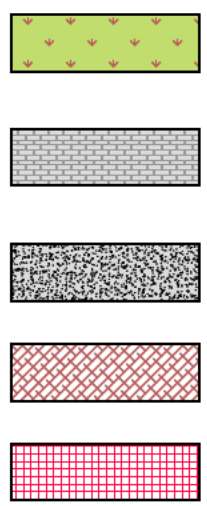


RESIDENCE 2

LEGEND



EXISTING TREE  
 PROPOSED STREET TREE  
 PROPOSED TREE



GRASS, HYDROSEEDED MINIMUM OR CANTURF, REFER TO BUILDER  
 COLOURED COVED CONCRETE  
 PLAIN COVED CONCRETE  
 MULCHED SURFACE  
 CONCRETE/PAVING/TILE DIFFERENT COLOUR TO DRIVEWAY TO BE LABELLED VISITOR PARKING

PLANT SCHEDULE

TREES

ATPS	ACER TRUNCATUM X PLAT PACIFIC SUNSET	100L
AJV	ACER JAPONICUM VITIFOLIUM	75L
AP	ACER PALMATUM	75L
MSRC	MAGNOLIA SOULANGEANA ROYAL CROWN	75L
PCGC	PYRUS CALLERYANA GLENS FORM CHANTICLEER	75L
SJA	SOPHORA JAPONICA	100L

SHRUBS

ABG	ABELIA GRANDIFLORA	200MM	130
AKW	AZALEA KARUME WHITE	200MM	
DO	DAPHNE ODORA	200MM	
EPP	ESCALLONIA PINK PIXIE	200MM	
OHS	OSMANTHUS DELAVAYI HEAVEN SCENT	200MM	
VT	VIBURNUM TINUS	200MM	39
VO	VIBURNUM ODORASSIUM	200MM	

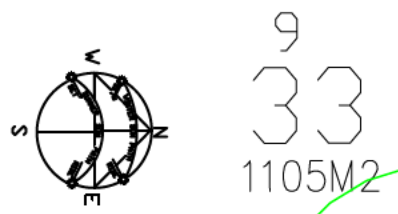
ACCENT PLANTING

ND	NANDINA DOMESTICA	140MM
LIT	LOMNDRA LONGIFOLIA TANIKA	140MM

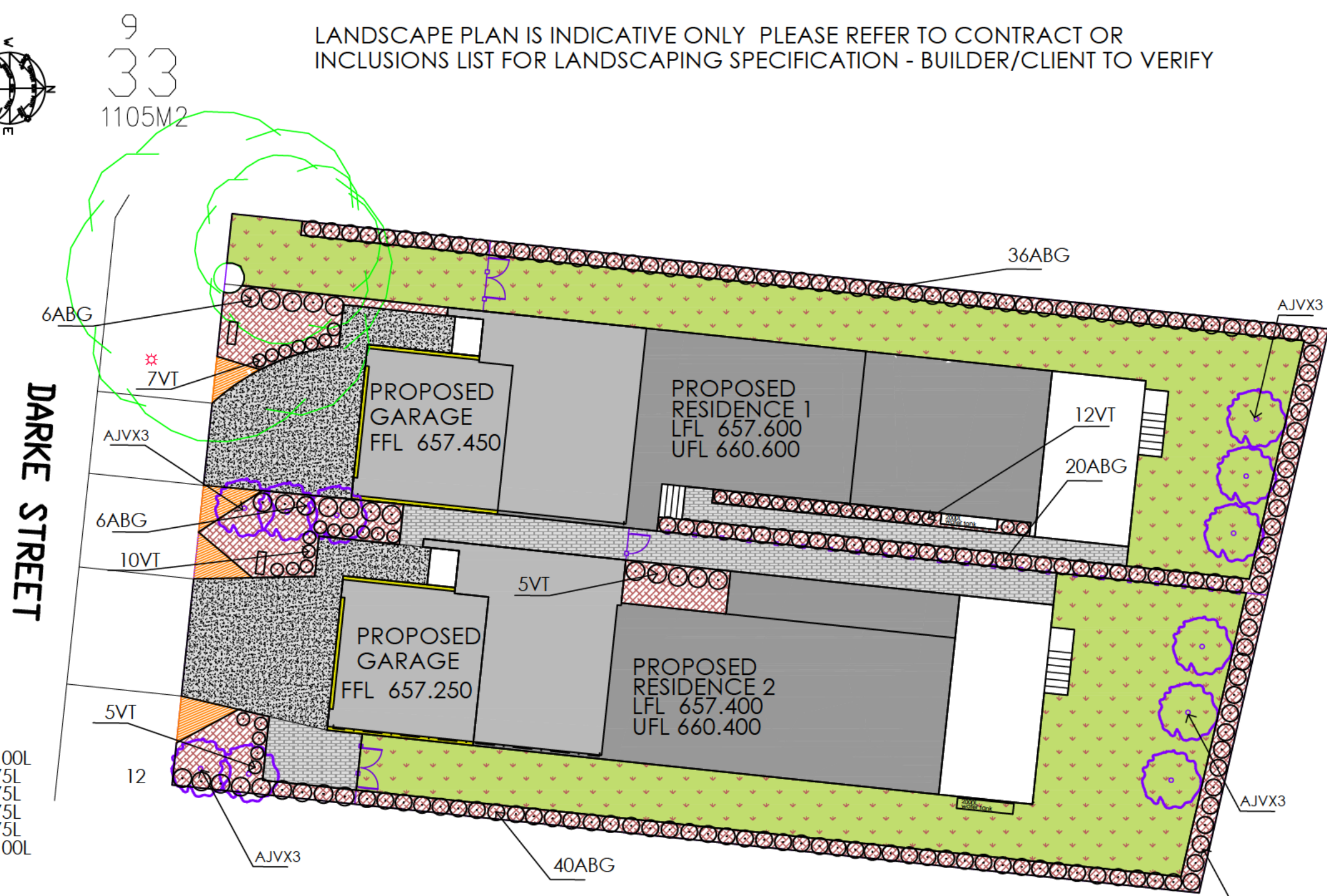
CLIMBERS

TJ	TRACHELOSPERMUM JASMINOIDES	200MM
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TOTAL NUMBER 181



LANDSCAPE PLAN IS INDICATIVE ONLY PLEASE REFER TO CONTRACT OR INCLUSIONS LIST FOR LANDSCAPING SPECIFICATION - BUILDER/CLIENT TO VERIFY





File Ref : 2021-DS-20722  
HACS Ref: 8058  
Contact: Peter Havelka  
Tel: 6180 6015

12 July 2021

Plumb Design Pty Ltd  
Tony Valeri  
Unit 6, Lvl 1, Bld 7, 1 Dairy Road  
Fyshwick, ACT 2609

Dear Tony

**Torrens Section 33 Block 9 – Certificate of Design Acceptance**

Your design submission consisting of Drawing number: *210610-ESP01, Rev B* is accepted on the condition that all design and works are in accordance with Icon Water's current Water Supply and Sewerage Standards (WSSS).

The Design Acceptance refers to the above drawing only and will expire one year from the above date unless construction is commenced beforehand.

Please ensure that you, the Developer and the contractors used on the project are familiar with Icon Water requirements. Failure to meet the obligations set out in the Icon Water Standards may result in Icon Water refusing to accept handover of the works.

The obligations include an accurate Work As Executed Survey to be carried out as the work proceeds and certification of Work as Executed Drawings by you or the Developer.

You are also advised:

All documentation is to be submitted in a timely manner including ACAP: *Advice of Commencement of Hydraulic Works* and *Inspection and Test Plan* before commencing field work; and marked up "As Constructed" drawings, Work as Executed Drawings, Connection/ Tie information and Costed Bills of Quantities during handover.

The Inspection and Test Plan must show *mandatory Hold and Inspection Points* to the requirements of Icon Water. You or the Developer are to undertake tests and inspections as per the Inspection and Test Plan and submit records to this office.

The Defects Liability period is 1 year from the date of Icon Water's *Provisional Certificate of Operation* issued on handover of the works.

This Design Acceptance includes approval of 2 x 20mm water meters to be installed by you before handover.

Please pass a copy of this Certificate to the Developer and the contractor on site.

Yours faithfully



**Mohammad Rushaidat**  
Team Leader, Developer Services

**DA ASSESSMENT – Merit Track**

Block/s:	9	DA number:	202037990
Section:	33	Date lodged:	27-Nov-20
Suburb:	Torrens	Due date:	13/01/2021
Zone/s:	<b>Territory Plan - Land Use Zone:</b> RZ1: SUBURBAN	Unit Number (if applicable)	
Proposal:	PROPOSAL FOR DUAL OCCUPANCY - Construction of 2 new dwellings, garages, tree removal, verge alterations and associated works.		
Proposed Use:	Residential – Dual Occupancy		
Is the proposed use permissible under the zone development table or Crown Lease	<input checked="" type="checkbox"/> Yes - under development table <input type="checkbox"/> No - under development table <input checked="" type="checkbox"/> Yes - in Crown Lease <input type="checkbox"/> No - in Crown Lease <input checked="" type="checkbox"/> <b>Other – specify:</b> <b>Stage 4 – Check DA Leasing comment</b>		

**STAGE 1 – APPRAISAL AND PRELIMINARY ASSESSMENT**

Did the proposal have a <b>pre-application</b> meeting:	No
Is the <b>notification</b> wording appropriate:	Yes
Have all <b>Entities</b> been referred to?	Yes
NOD outline saved into Objective	Yes
<b>AAP Triggers:</b> Click to view Triggers	<b>Does the proposal trigger referral to the Assessment Advisory Panel (AAP):</b> No <input type="text"/>
Has a conflict of interest been declared?	No
Do representors have the right to review in ACAT? <b>(See Schedule 1 of the Act and Schedule 3 of the Regulation)</b>	Yes

Is a <b>public land</b> management plan in force over the land, (s.120(f))	NO
Is an environmental significance opinion in force & relevant: (s.120(c))	<input checked="" type="checkbox"/> No known ESO applies

**Notes for the assessment officers / Key issues identified:**

Stage 4 – check GFA calculations, DA Leasing comment, the front garage without any living space at the front might not be consistent with desired character of the neighbourhood.

Have any issues been identified that would result in a refusal:	Yes, discuss further action with a Senior Officer or Manager Stage 4 – the overall appearance of the proposed development must be discussed with Senior Manager.
Conditions required from initial review of application or Territory Plan assessment:	No special conditions required <input type="text"/>





<p>Initial appraisal – likely assessment task:</p> <p><b>NOTE: Categories (Green, Amber, Red) should reflect potential complexities. This is a guide only based on the initial check and can change throughout assessment if required.</b></p>	<p><input type="checkbox"/> GREEN</p> <p><input checked="" type="checkbox"/> AMBER</p> <div style="border: 1px solid #ccc; padding: 2px; margin-bottom: 5px;">Streetscape appearance</div> <p><input type="checkbox"/> RED – Note: Further Information should not be requested at this stage if the DA is to be refused</p> <div style="border: 1px solid #ccc; height: 20px; margin-top: 5px;"></div>
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**Completion**

<b>Stage 1 assessment has been completed.</b>		
<p><input checked="" type="radio"/> The application is suitable for advancement (to the next assessment Stage).</p> <p><input type="radio"/> The DA is recommended for refusal – Reasons for refusal has been added to the Draft NoD.</p> <p><input type="radio"/> Other. To discuss</p>		
<b>Assessment officer:</b>	Name – Walid Elhassan	02/12/2020

## STAGE 2 – INFORMATION COLLECTION (ENTITIES – including EPSDD DA Leasing)

The DA was referred to the following Entities (or internal Sections) with the following response(s):

Entity	Did the entity support the application?	Assessment comments / Conditions required
The Conservator of Flora & Fauna	Yes - with conditions	<p><b>Conditions:</b></p> <p>All works subject of this development application shall proceed in accordance with the plans and conditions stated in the approval.</p> <p><b>Plans:</b></p> <ul style="list-style-type: none"> <li>Drawing Title: Tree Management Plan, Project: Proposed Dual Occupancy, Job No:1699, Sheet No:A04, Dated 13.11.2020.</li> <li>As stated in the Tree Management Plan "All works being undertaken within the TPZ will be monitored and overseen by a suitable qualified arborist and with using the hydro excavation methods to demonstrate what roots are within the area requiring excavation.</li> </ul> <p>            COMM-TREE PROTECTION-202037</p>
Evo Energy - Electricity	Yes - with conditions	<p>Standard condition to be added to NOD</p> <p>            %COMM-EVOENERG Y ELECTRICITY-20203</p>
Evo Energy - Gas	Yes - with conditions	<p>Standard condition to be added to NOD</p> <p>            %COMM-EVOENERG Y GAS-202037990-9.</p>
ICON Water	No	<p><b>Recommend condition that Icon Water requirements are addressed to the satisfaction of Icon Water prior to commencement of works.</b></p> <div style="border: 1px solid black; padding: 5px;"> <p><b>Reasons for Failure to Comply</b></p> <p>Design Acceptance for External Services or off site works must be in principle design approved by Icon Water Hydraulic Assets. Phone Icon Water Asset Acceptance on ph.: 02 6248 3111 or email to hydraulicassetacceptance@iconwater.com.au. This needs to be referred back to Icon Water Building Approvals area for approval prior to any DA/BA Approval by ACTPLA or certifiers.</p> <p>Please complete attached Icon Water Design Form Pack, Hydraulic servicing plans and email to hydraulicassetacceptance@iconwater.com.au. Icon Water will then identify whether your development falls into the capital contribution code scheme, and will write you a letter to confirm.</p> <p>On confirmation, please resubmit Development Application to Icon Water for Building Approval prior to any DA/BA approval by ACTPLA or certifiers.</p> </div> <p>            %COMM-ICON WATER-202037990-5</p>

TCCS	Yes - with conditions	 <p>COMM-TCCS-20203 7990-9_33 TORRENS</p> <p><b>Conditions</b></p> <p><b>DRIVEWAY / VERGE CROSSING</b></p> <ol style="list-style-type: none"> <li>1. The both Verge crossings must be constructed in accordance with TCCS MIS Design Standards.</li> <li>2. The both verge crossings must be inspected at the formwork stage by an officer of TCCS Development Planning. This verge crossing inspection can be organised by completing a smart form available on the TCCS website.</li> <li>3. The existing verge crossing must be removed and the verge, kerb and gutter must be reinstated back to original condition and constructed in accordance with TCCS Standard.</li> <li>4. Any infrastructure assets such as street lighting, mini-pillars, signage, etc, must be a minimum of 1.5m away from the closest edge of the driveway. In the case of stormwater sumps this minimum distance is 1.2m.</li> </ol> <p><b>LMPP / STREET TREES</b></p> <ol style="list-style-type: none"> <li>5. A Landscape Management and Protection Plan and a dilapidation report for all Govt. Assets adjacent to the site must be submitted to the TCCS Development Planning prior to commencement and on completion of the work.</li> </ol> <p><b>TREESCAPE</b></p> <p>Urban Treescapes support the proposed new verge crossing with the following conditions:</p> <ol style="list-style-type: none"> <li>6. The new verge crossing is no closer than 5 metres from the edge of the street trees trunk.</li> <li>7. Hand dug or Hydro-vac excavation of a narrow trench, no deeper than required along the edge of the proposed driveway is essential to locate any tree roots.</li> <li>8. Where tree roots are uncovered, they must be cut cleanly with equipment specifically designed for this purpose and not pulled, ripped or torn, prior to any mechanical excavation for the driveway.</li> <li>9. The verge is protected in accordance with Tree Management Plan, Job No: 1699, Sheet No – A04, Revision – B, Date: 13.11.2020.</li> </ol> <p><b>STORMWATER</b></p> <ol style="list-style-type: none"> <li>10. Only one stormwater tie must be used with enough capacity for the developments.</li> </ol> <p><b>WASTE</b></p> <ol style="list-style-type: none"> <li>11. The waste can be collected along the kerbs in accordance with TCCS requirements.</li> </ol>
General Leasing	Choose an item.	– referred on 1/12/2020, comments pending.
Other: DA LEASING	Yes - with conditions	<ol style="list-style-type: none"> <li>1. APPROVAL DOES NOT TAKE EFFECT - GRANT OF CROWN LEASE This approval does not take effect until a Crown lease that permits the approved development is granted over Block 9 Section 33 Division of Torrens and registered at Access Canberra (Land Titles and Rental Bonds).</li> </ol>

		<p><b>2. COMPLIANCE WITH CONDITION – APPROVAL NOT TO TAKE EFFECT</b>          In accordance with Section 184(2)(a) of the Planning and Development Act 2007, this approval will end if the lessee has not complied with Condition 1 and commenced the approved construction and/or demolition on the site within 36 months of the date of this decision.</p>
EPSDD DA Leasing	Yes	<input type="radio"/> DA leasing advice entered in Draft NoD <input type="radio"/> Additional info required <input type="radio"/> DA Amendment required for Leasing matters <input checked="" type="radio"/> Leasing manager requests further referral at stage 6

**LRP/MPRG**

Does any Entity advice received trigger referral to either the LRP or AAP:	No
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Does any entity advice received mean the application must be refused:	No
Conditions required from entity advice:	Refer to conditions and comments added above.

**Final**

Has the entity advice received on this application been considered: (s.120(e))	Yes, see summary above.
An <i>alias</i> of advice from the Utility service providers and other relevant entities has been moved into the approved plans folder.	Yes

### STAGE 3 – ISSUES CONSIDERATION (REPRESENTATIONS)

- Representation/s were made in respect of the application under section 156 of the Planning and Development Act 2007. All Representation have been read and considered, and a summary of key concerns / issues can be found below:

Specify number of Representation/s received:	NOTE: If 30 or more Reprs – refer to AAP		
Area of concern / issue		Representation comment - Territory Plan response	
Doubt is raised whether the tree protection measures of the tree management plan will be implemented by building contractors in the absence of monitoring or supervision.		<p>The Conservator has imposed a condition stating that</p> <ul style="list-style-type: none"> <li>“All works being undertaken within the TPZ will be monitored and overseen by a suitable qualified arborist and with using the hydro excavation methods to demonstrate what roots are within the area requiring excavation.</li> </ul>	
External appearance of the buildings are out of character with other houses on the street - double garages and rectilinear geometry of the front elevations, use of glass and concrete. The external elevations are ‘ugly’ to look and will impact property values in the area		<p>Design of the street facing elevations are not non-compliant with Territory Plan provisions. For example widths of the garage doors are compliant with R79 of the MUHDC.</p> <p><b>However the materiality palette for the front elevation is limited. Recommend a condition for the elevation to incorporate additional materials, such as timber or timber like cladding or bricks, to soften the appearance of the front elevation.</b></p>	
The proposal leaves ‘virtually no area’ for gardens/vegetation		The proposal provides minimum 40% of the site area as site open space and 20% of the site as planting area (approx. 410 sqm). 11 new trees are proposed on the block and hence considered to meet the Territory Plan provisions.	
Propose that the two dwellings could be modified as attached duplex development to increase side building setbacks to provide additional planting area and to increase building separation from adjoining properties		<p>The proposed building setbacks are considered to be satisfactory, with the upper level area being limited to the primary building zone and windows facing side boundaries being located over voids.</p> <p>Consider that the paved areas between the two dwellings will be necessary to fulfil some of the functions of principal private open spaces and their central positions afford more privacy rendering the area more functional for the residents of the dwellings.</p>	
Driveways dominate the design and siting on the block which is contrary to government policy of encouraging use of alternative modes of transport.		The dual verge crossings proposed for the block were approved by TCCS. The proposal complies with the minimum parking provision rate required by PVAGC	
Sustainability concern with no eaves resulting in the large street facing windows having the sun and heat belting in on summer afternoons. Air conditioners will have to be going flat out to enable the front rooms to be comfortable at such times.		Territory Plan does not mandate the minimum widths of eaves. However the proposal will be required to satisfy sustainability criteria of the National Construction Code during the building approval stage.	
Insufficient eaves adds to the inappropriate aesthetics of the buildings.		The design language for this proposal requires eaves to be hidden behind parapet walls.	

<p>The wood-burning fire place proposed in Unit 2 is a health risk for the elderly/ asthma suffers in the street. Removal of the wood fire place is requested</p>	<p>Concerns over health impacts of proposed wood-burning fire place is valid. There are restrictions in the Environment Protection Act 1997 regarding materials which must not be burnt in a fire place due to release of harmful chemicals.</p> <p><b>Recommend imposition of condition that the proposed wood-burning fireplace be replaced with a more modern alternative such as a gas fire place.</b></p>
<p>Concern is raised regarding privacy impact to adjoining block 8 section 33 Torrens due to the dwelling being two-storeys. The representor requests the dwelling be revised to single-storey</p>	<p><b>To mitigate privacy impact onto adjoining properties, condition is recommended in Stage 4 for the upper level windows for both unit 1 and 2 facing the side boundaries are to be provided with opaque glazing to minimum height of 1700mm above the finished floor level (R59/C59 &amp; R60/C60 of the MUHDC).</b> Also considered that the proposed building setbacks are largely satisfactory to meet the Territory plan provisions regarding building setbacks and privacy impacts especially with the above recommended condition.</p> <p>The proposal does not need to be revised to single-storey to address privacy impact.</p>
<p>Do any issues raised in representations require a further information request: (s.141 or 144)</p>	<p>No</p> <div style="border: 1px solid black; height: 40px; width: 100%;"></div>
<p>Was a site inspection undertaken in this stage:</p>	<p>No - Aerial imagery on ACTMapi deemed sufficient</p>

**Additional information requests:**

<p>Is further information required as a result of stages 2 and 3?: (s.141 or s.144)</p>	<p>No</p> <div style="border: 1px solid black; height: 40px; width: 100%;"></div>	<p><b>NOTE: send out Further Information unless agreed with Manager</b></p>
<p>All representations made about this application been considered in the assessment of this proposal: (s.120(d))</p>	<p>Yes, see assessment above</p>	
<p>Does the STAGE 3 assessment require further assessment from STAGE 4?</p>	<p>No</p>	

**Completion**

Stages 2 and 3 has been completed with the following issues noted:

Other discussions about representations/Draft NoD

Stages 2 and 3 has identified issues that prevent further assessment, specifically (insert below)

**Recommend addition of a condition of approval for front and side elevations to incorporate additional material palette and/or articulation elements such as timber or timber like cladding or bricks or other material to soften the appearance of the front elevation to the satisfaction of the Planning and Land Authority.;**

**Recommend imposition of condition that the proposed wood-burning fire place be replaced with a more modern alternative such as a gas fire place;**

**To mitigate privacy impact onto adjoining properties, condition is recommended in Stage 4 for the upper level windows for both unit 1 and 2 facing the side boundaries are to be provided with opaque glazing to minimum height of 1700mm above the finished floor level (R59/C59 & R60/C60 of the MUHDC).**

<b>Assessment officer:</b>	Name Susan Kim	<b>Date:</b> 13/01/2021
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## STAGE 4 – TERRITORY PLAN ASSESSMENT

Proposed Use	<p>Q1. Is the proposed use allowable in the applicable zone/s? Yes</p> <p>Q2. Is the proposal permitted under the Crown Lease? Yes</p>	
<b>Territory Plan assessment</b>		
Select relevant code: (click box) (Select more than one if required)	<p><input checked="" type="checkbox"/> Multi-unit Housing Development code</p> <p><input type="checkbox"/> Single Dwelling Housing Development code</p> <p><input checked="" type="checkbox"/> Residential Zone Development code</p> <p><input type="checkbox"/> Non-Urban Zones Development code</p> <p><input checked="" type="checkbox"/> Parking and Vehicular Access General code</p> <p><input type="checkbox"/> Crime Prevention through Environmental Design General code</p> <p><input type="checkbox"/> Estate Development code</p> <p><input checked="" type="checkbox"/> Waterways Water Sensitive Urban Design General code</p> <p><input checked="" type="checkbox"/> Access and Mobility General code</p> <p><input type="checkbox"/> Signs General code</p> <p><input type="checkbox"/> Lease variation General code</p> <p>Specify relevant Development Code/s:</p> <p>Multi Unit Housing Development Code, Residential Housing Development Code</p> <p>Specify relevant Precinct Code/s: Torrens Precinct Map and Code</p>	
<p>The assessing officer undertook an assessment of the proposal and found that the following KEY rules and criteria warrant further discussion. Note: Further issues may have been identified in a plan based assessment that have not necessarily been included in this or is of a significance that did not warrant particular discussion.</p> <p><b>NOTE: Assessment Officers to pay particular attention to all mandatory rules</b></p>		
Code	Rule / Criteria	Assessment/Discussion
Torrens Precinct Map and Code		No additional provision
Multi Unit Housing Development Code	R25/C25	<p>Minor building envelope encroachment for units 1 and 2 which will not have significant perceptible impact on adjoining residential properties in terms of solar access or privacy compared with a compliant building design.</p> <p><b>Recommend addition of a condition of approval for front and side elevations to incorporate additional material palette and/or articulation elements such as timber or timber like cladding or bricks or other material to soften the appearance of the front elevation to the satisfaction of the Planning and Land Authority</b></p>
	R49/C49	<p>Building design – Wall articulation and materiality could be improved to reduce the severity of the front and side elevations, which also responds to concerns raised in the representation.</p>
	R59/C59; R60/C60	<p>Windows with sill heights less than 1800mm are proposed for upper level elevations of Units 1 and 2, and they are setback 3m from respective side boundaries, which may lead to direct overlooking into primary windows of adjoining dwellings and their principal private open space.</p> <p><b>Recommend condition:</b> <b>To mitigate privacy impact onto adjoining properties, upper level windows facing the side boundaries are to be provided with opaque glazing to minimum height of 1700mm above the finished floor level.</b></p> <p>Rule 59 applies to dwelling on the same block – AY 30/3/2021 R60 – window 23 and 24 won't have direct line of sight into the PPOS of Block 10.</p>

		Block 8 is garage/driveway.
	General	The proposal is consistent with the provisions of the MUHDC.
Waterways: Water Sensitive Urban Design General Code		Not fully addressed, as only mains water consumption spreadsheet was provided with the DA.  <b>Recommend condition:</b> Provide a report prepared by a suitably qualified person which addresses all relevant provisions of the Waterways: Water Sensitive Urban Design General Code including R2 and R3.

Further assessment documents, if any, can be found in the assessment file in Objective Choose an item.

**Additional Information**

Is further information required at this phase: (s.141 or s.144)	No
	<div style="border: 1px solid black; height: 40px; width: 100%;"></div>
	<b>Note: Further Information should not be requested at this stage if the DA is to be refused</b>
List items if required	

Has the further information request been reviewed by the stage leader and/or manager? No

Is the proposal consistent with the relevant zone objectives: (s.120(a))	Yes
Is the proposal considered suitable for the land on which it is to take place: (s.120(b))  Note: The assessment officer may also have regard to any DRP and Pre-DA community consultation	Yes - Based on relevant legislation and the TP assessment, the proposal is considered suitable for the land
What is the probable impact of the proposed development (including nature, extent and significance of probable environmental impacts): (s.120(g))	<input checked="" type="radio"/> No probable impacts identified that require amendment or refusal of the proposed development OR <input type="radio"/> Condition(s) of approval have been imposed to address probable impacts OR <input type="radio"/> Impacts identified require amendment of the proposal OR <input type="radio"/> Impacts identified require refusal of the proposal <b>Comments:</b> <div style="border: 1px solid black; height: 40px; width: 100%;"></div>
Was a site inspection undertaken in the assessment stage:	No - Aerial imagery on ACTMapi deemed sufficient
Have any issues been identified that would result in a refusal:	No
Conditions required from initial review of application Stage 1 or Territory Plan Stage 4 assessment:	Other/Discuss/Advice: Please specify below Recommend condition that  <b>Recommend conditions:</b>  Provide revised elevations for both units 1 and 2 which incorporate additional material/finishes and/or articulation elements to enhance and soften the appearance of the building elevations to the satisfaction of the Planning and Land Authority. <a href="#">Improvement on elevations?</a>

	<p>To mitigate privacy impact onto adjoining properties, upper-level windows for both unit 1 and 2 facing the side boundaries are to be provided with opaque glazing to minimum height of 1700mm above the finished floor level (R59/C59 &amp; R60/C60 of the MUHDC)</p> <p>As shown on the drawings upper-level windows on side boundaries is W23 and W24 (Unit 1) are windows to void area. Gigantic windows shown on the West Elevation of Unit 1. Residence 2 upper level window W17 (games room) is 1.2m from ffl.</p> <p>Recommend imposition of condition that the proposed wood-burning fire place be replaced with a more modern alternative such as a gas fire place to address concern raised in a representation.</p> <p>ESA endorsement condition since it is close to bush fire prone areas. No issues with EPA.</p> <p>Provide a report prepared by a suitably qualified person which addresses all relevant provisions of the Waterways: Water Sensitive Urban Design General Code including R2 and R3 of this General Code</p> <p>Include condition.</p>

**Completion**

<b>Stage 4 assessment has been completed.</b>		
<input type="radio"/> The application is suitable for advancement (to the next assessment Stage). Any recommended conditions and/or advisory notes have been added to the Draft NoD		
<b>Assessment officer:</b>	Name Susan Kim	15/01/2021

**STAGE 5 – PRELIMINARY DECISION MAKING Including AAP / LRP**

Have all previous Stages (1-4) been completed?	Yes	
Is a site inspection required to make a decision?	No If yes; photos and details have been put in the objective folder: Choose an item.	
Are there any Stage 1-4 reasons for referral to LRP, AAP, Other?	No - Delete all cells below in this stage other than sign off If yes, what date is the proposal booked into AAP/LRP: Click or tap to enter a date.	
Comments/Addition issues	Approved with conditions	
The findings of Stages 1-4 have been reviewed and the application should be:	<input type="radio"/> Approved <input type="radio"/> Approved with Conditions <input type="radio"/> Partially approved/refused (provide details below): <div style="border: 1px solid black; height: 40px; width: 100%;"></div> <input type="radio"/> Refused	
<b>Assessment officer:</b>	Name: Anita Yusoff	Date: 30/03/2021

**STAGE 6 – RECOMMENDED DETERMINATION OF PROPOSAL**

Was the DA referred to LRP or MPRG	No	
Has the leasing manager requested to be referred during the decision stage (see stage 2 assessment)	No If yes, an email was sent to the DA Coordinator for DA Leasing referral: Date: Click or tap to enter a date.	
Has leasing advice been incorporated into the decision:	Yes	
Has the Notice of Decision been finalised:	Recommended reasons for decision:	Yes
	Recommended conditions:	Yes
	Entity advice:	Yes
	Representations:	Yes
	Do third party appeal rights apply:	Yes
Has a conflict of interest been declared? - If Yes, the proposal must be Peer Reviewed by Stage 6 officer (without potential conflict) and Signed/determined by a Senior manager	No	
Does the determining officer have the correct classification to make the decision? Refer to Classification Matrix	Yes	

<b>Peer review</b> To be completed ONLY IF the delegate (determining officer) undertook another stage in the assessment.					
Reviewing officer name:		Classification:		Date:	Click or tap to enter a date.

**Sign Off**

Determination:	In my findings, I have considered the advice and recommendations stages 1-5 in this assessment document and determine that the application is to be:  <input type="radio"/> Approved  <input type="radio"/> Approved subject to conditions consistent with the above assessment  <input checked="" type="radio"/> Partially Approved/Refused. Details below:  <div style="border: 1px solid black; height: 30px; width: 100%;"></div>	Date: 30/03/2021
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	<input checked="" type="radio"/> Refused consistent with the above assessment OTHER/COMMENTS:	
<b>Determining officer</b>	Name: Anita Yusoff	Date 30/03/2021
<b>Delegate:</b>	Name: Anita Yusoff	<b>Date: 30/03/2021</b>

**Post Determination**

Can stamped plans be released with decision?

Yes - Stage 6 officer to Stamp Plans and email Customer Services to Dispatch

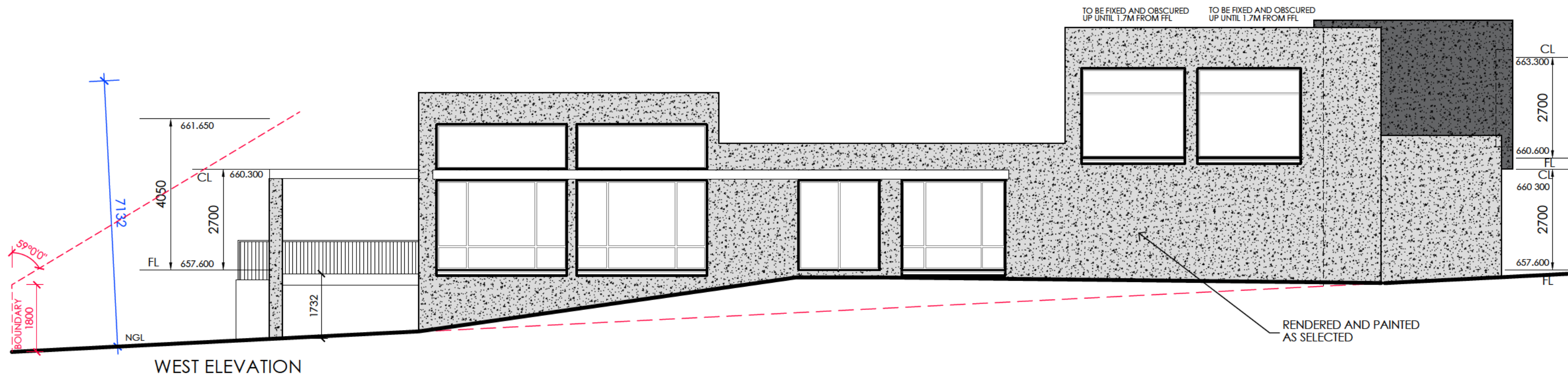
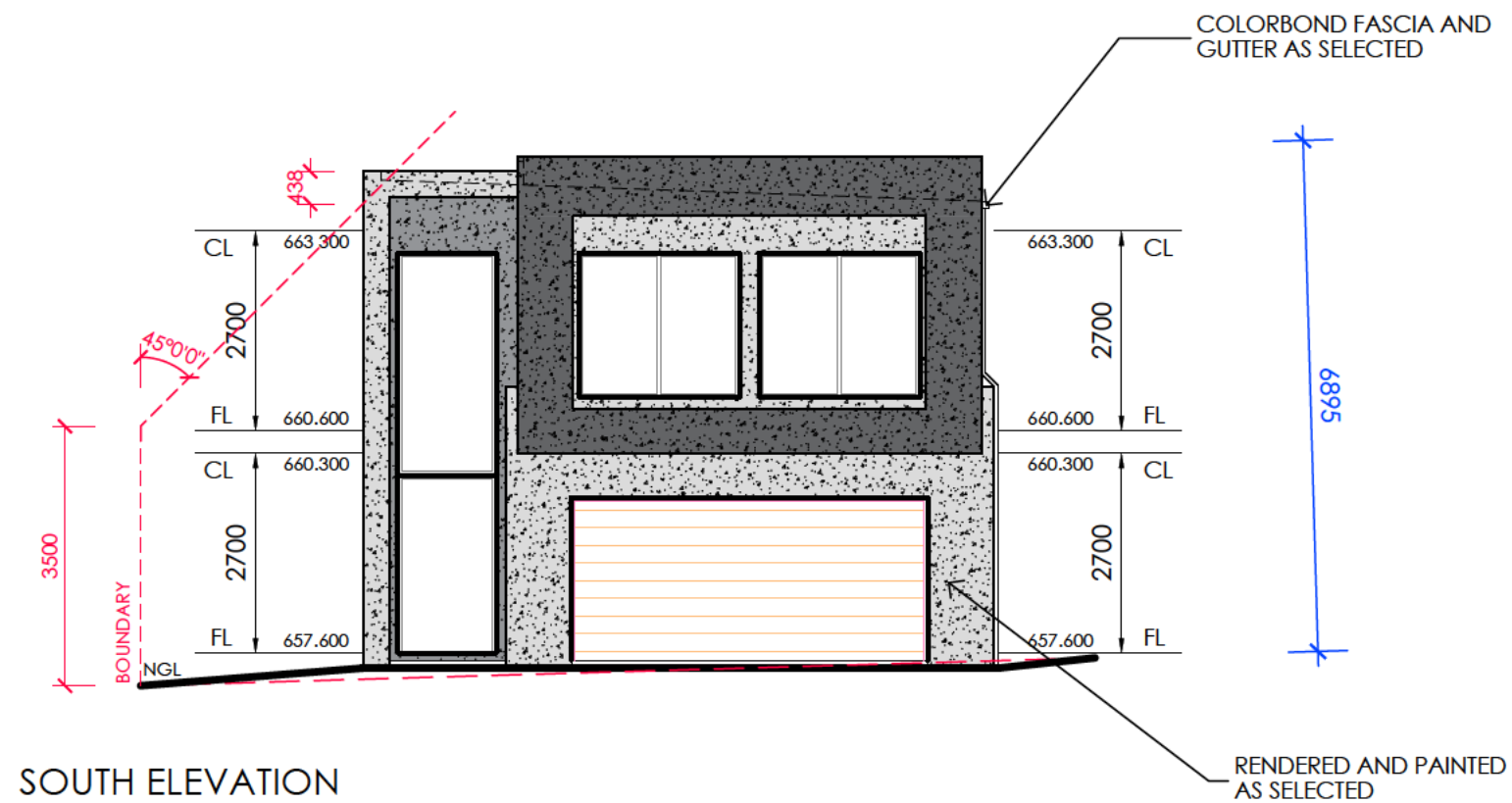
**No - select below:**

S165 Conditions required to be satisfied - Stage 6 to organise Stamped Plans once endorsed

Leasing conditions to be satisfied - Once satisfied Plans to be Stamped and dispatched by Stage 6

3rd party appeals - Set reminder date in calendar when plans can be Stamped and promptly dispatched

Other (specify below)



RESIDENCE 1

**ARKITEX**

ALESSANDRO D'AMBROSIO

B.A.P.P.S.C. ENVIRONMENTAL DESIGN ARCHITECTURE

m 0413 570 599  
e alex@arkitex.com.au  
w www.arkitex.com.au

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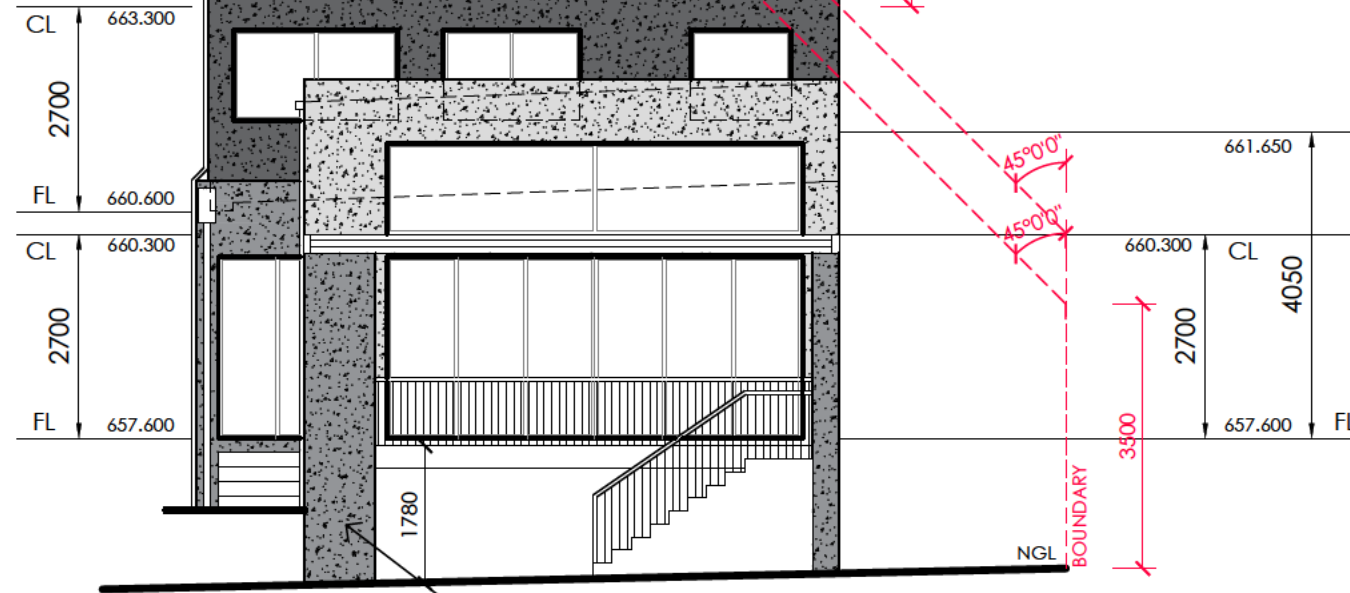
DRAWING TITLE - ELEVATIONS RESIDENCE 1  
CLIENT - FORTIFIED BUILDING GROUP

PROJECT - PROPOSED DUAL OCCUPANCY  
BLOCK - 9  
SECTION - 33  
SUBURB - TORRENS

FOR DA - BA  
DATE: 6.11.2020  
REVISION - A

JOB No: 1699  
SCALE: 1:100@A3  
SHEET No - A16

COLORBOND FASCIA AND GUTTER AS SELECTED



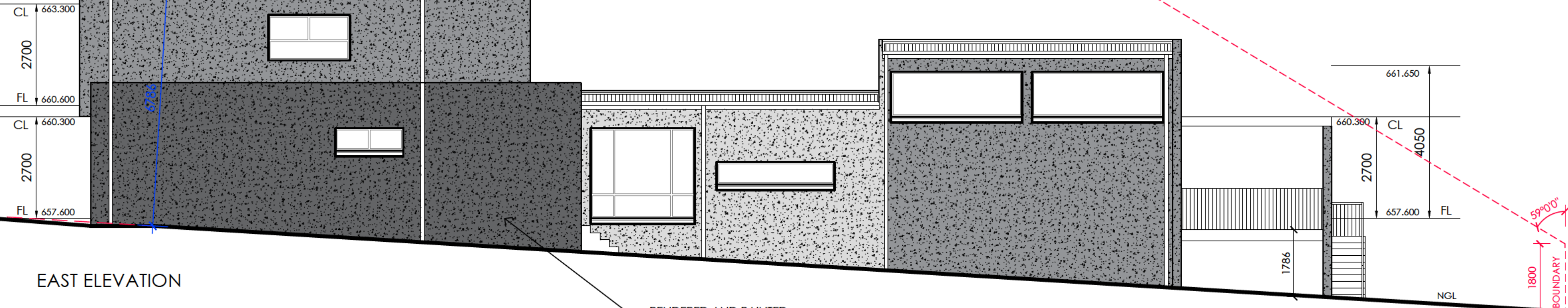
NORTH ELEVATION

RENDERED AND PAINTED AS SELECTED

COLORBOND FASCIA AND GUTTER AS SELECTED

TO BE FIXED AND OBSCURED UP UNTIL 1.7M FROM FFL

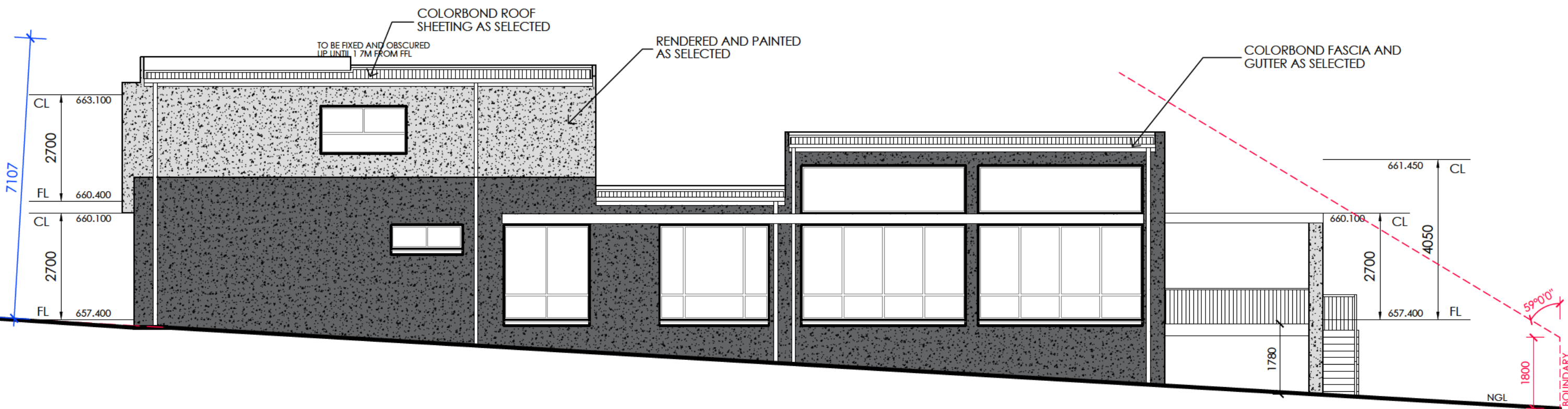
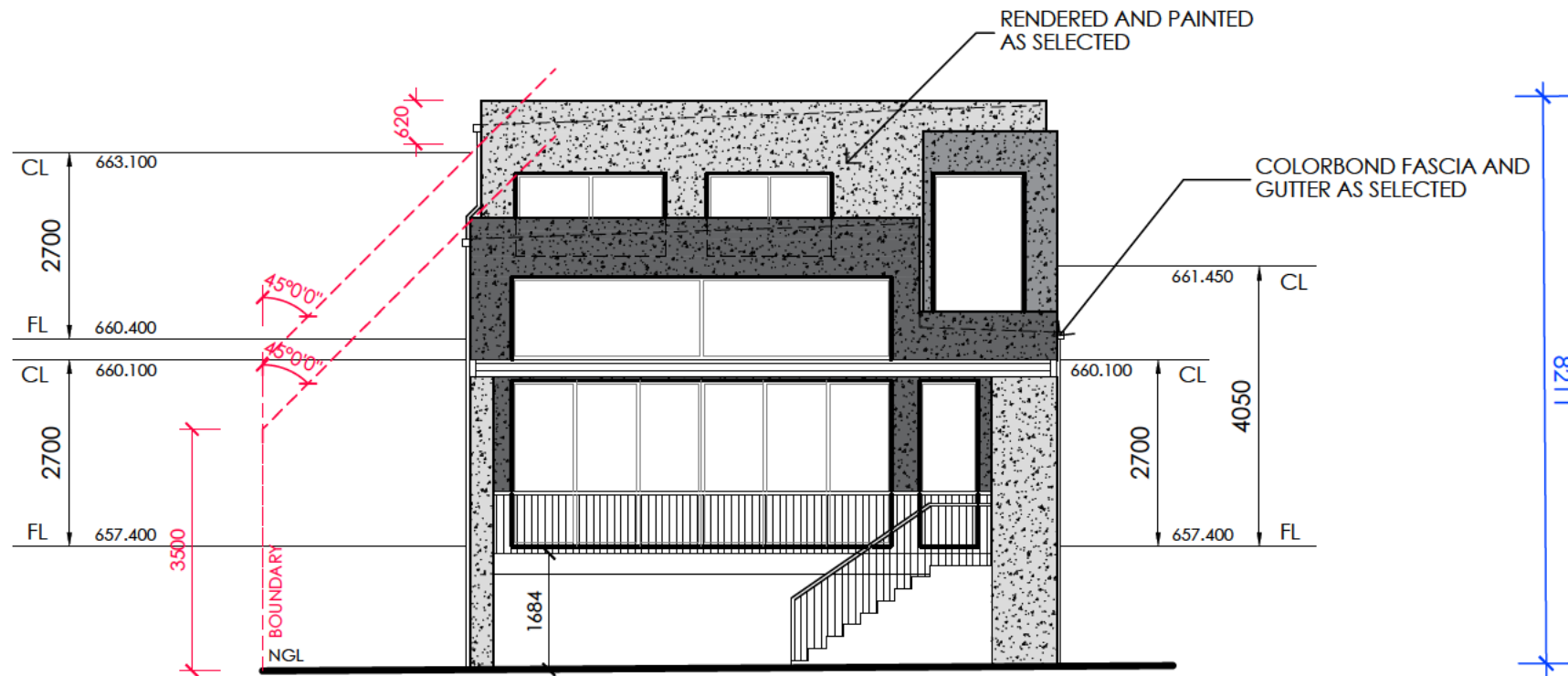
COLORBOND ROOF SHEETING AS SELECTED



EAST ELEVATION

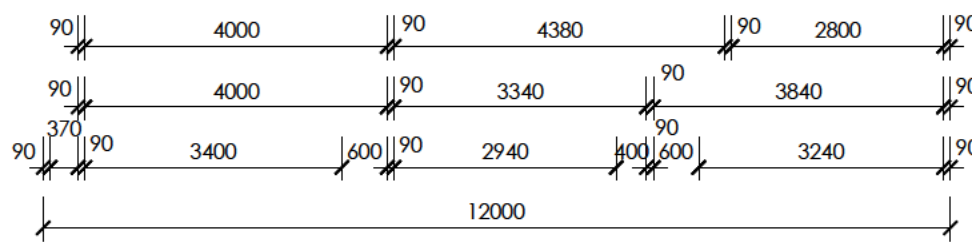
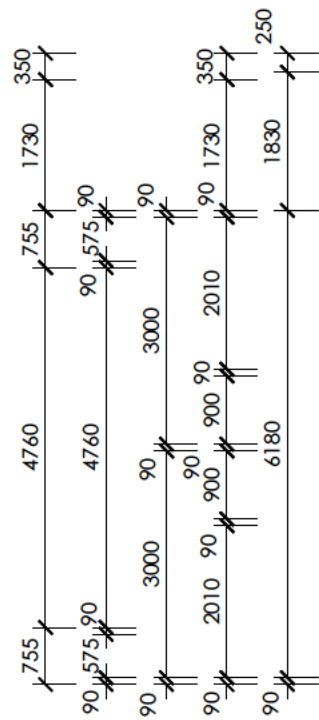
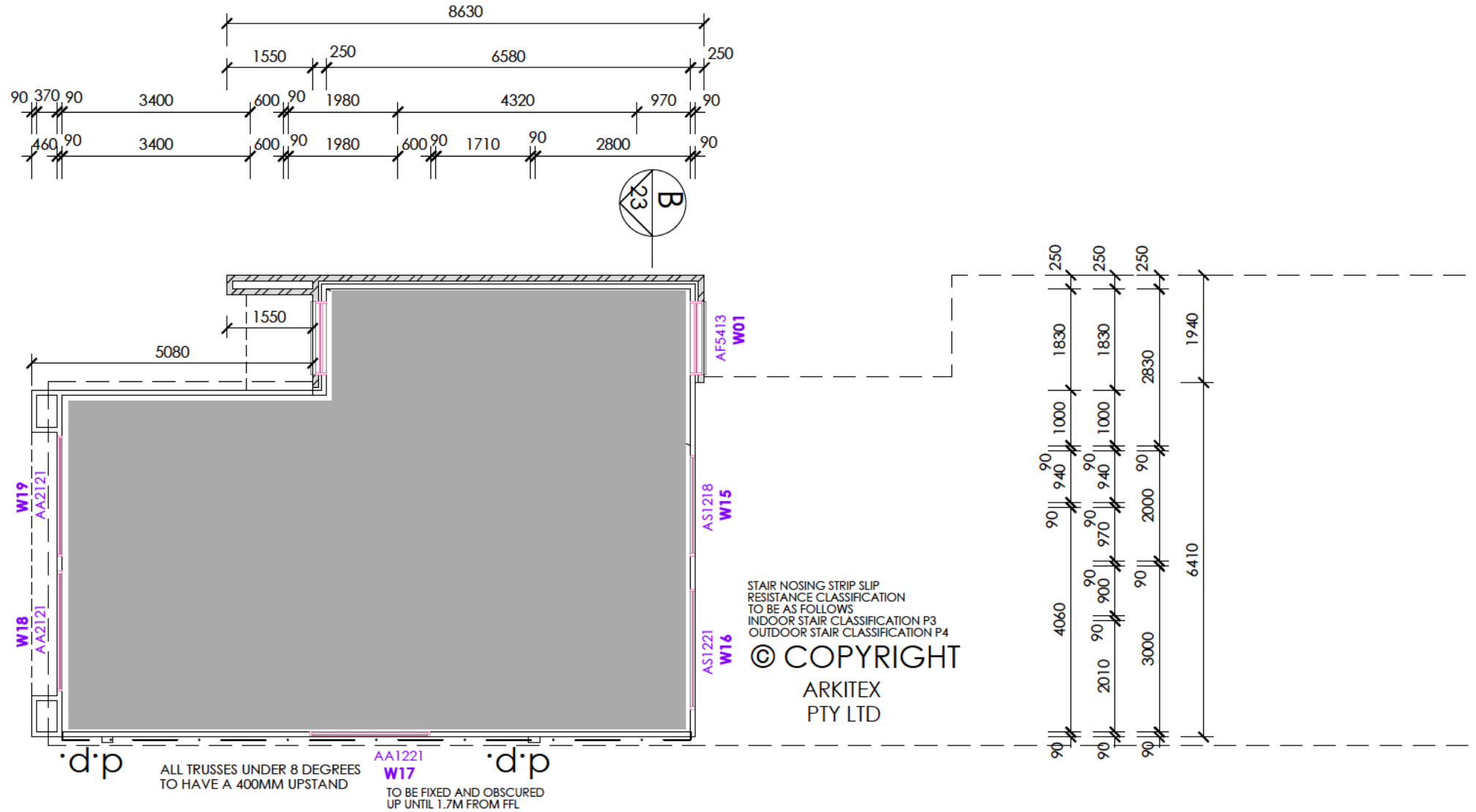
RENDERED AND PAINTED AS SELECTED

RESIDENCE 1



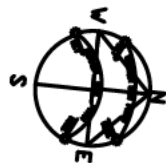
RESIDENCE 2





AREAS UNIT 2

Residence UPP	69.72 sqm
Residence LOW	164.14sqm
Garage	40.69 sqm
Porch	2.42 sqm
Alfresco	34.034 sqm
<b>TOTAL AREA</b>	<b>311.00 sqm</b>



ALL WINDOWS TO BE DOUBLE GLAZED

UPPER RESIDENCE 2

the ffl's are subject to change and are up to builders discretion to be verified on site, maximum change to be under 340mm

location of cuts are indicative only and to be verified on site confirm all levels and contours on site prior to commencement of construction. builder is responsible to ensure all information shown here regarding levels is accurate and represents existing on site levels

development to comply with best practice guidelines - prevent pollution from residential building sites march 2006

block boundaries, contours, services and easements to be verified on site prior to construction

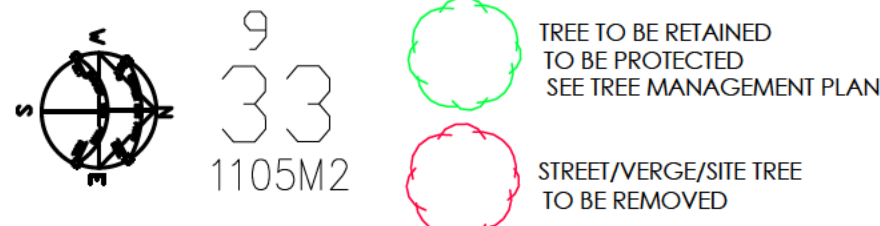
retaining wall heights and all levels to suit site conditions. final heights to be confirmed by builder on site

builder to provide all labour, materials, fittings, paint, tools, permits, insurances etc necessary for the proper completion of the works and ensure that all labour and materials in all trades are the best of the respective kinds. see inclusions list for exclusions

all contractors to inform themselves of the scope of work prior to commencing their relevant duties

follow figured dimensions only. check and verify dimensions before starting and report any discrepancies to the designer

building setbacks, easements and dimensions to be verified by surveyor and certifier prior to commencement of any work materials and workmanship to be in accordance with the building code of australia, and all other relevant codes and australian standards



BLOCK AREA 1105 SQM

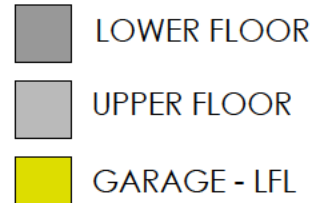
RESIDENCE 1	
LOWER FLOOR	164.98 SQM
UPPER FLOOR	69.72 SQM
GARAGE	40.69 SQM
AL FRESCO	28.45 SQM
PORCH	2.42 SQM

GFA	275.39 SQM
TOTAL AREAS	306.26 SQM

RESIDENCE 2	
LOWER FLOOR	164.14 SQM
UPPER FLOOR	69.72 SQM
GARAGE	40.69 SQM
AL FRESCO	34.03 SQM
PORCH	2.42 SQM

GFA	274.55 SQM
TOTAL AREAS	311.00 SQM

TOTAL GFA 549.94 SQM  
 TOTAL FLOOR AREA 617.26 SQM  
 PLOT RATIO 49.76%



ensure no encroachments, no steps and no eaves, ensure vehicle access is maintained with a vehicular gradient of 1:6 max fall to access easement if applicable  
 fencing over easement to be installed for ease of removal by actew if required if applicable  
 no excavation, cut/fill permissible in the easement/pipe protection envelope  
 no services to be placed in easement sewer, stormwater, gas, telephone and electrical underground services to remain clear of the sewer easement  
 no landscaping to impede across sewer or stormwater easement access route  
 GATES TO BE MINIMUM 2.5 METRES WIDE TO ALLOW FOR ACTEW/TCCS ACCESS sewer/stormwater easement access route

all cuts and ffl's to be verified on site by a certified surveyor where retaining walls are required and included in contract, structural engineer to provide detailed construction details OWNERS RESPONSIBLE FOR ALL RETAINING WALLS

all downpipes and sumps to be in accordance with building code of australia all altered groundlevels to be graded away from residence to eliminate water ponding

Driveway to comply with GW/SD/DC.02 & finish to comply with driveway grade to be verified on site prior to commencement of construction as amended if required DRIVEWAY SHAPE AND MATERIAL TO REFLECT EXISTING DRIVEWAYS IN THE IMMEDIATE AREA IN TERMS OF SHAPE AND LAYOUT AND MATERIAL

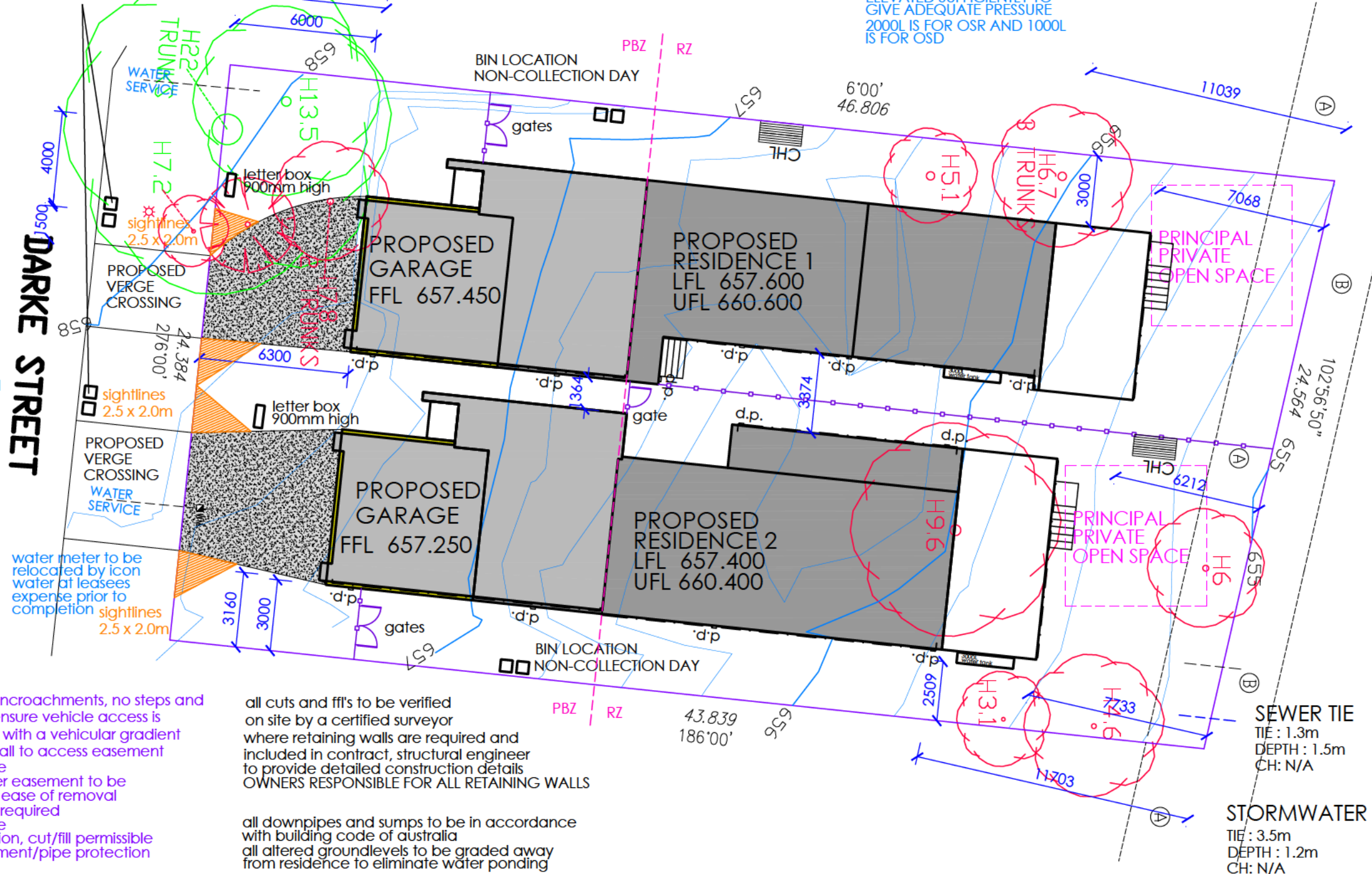
minimum 3000 litres rainwater tank to comply with wsud and housing development guide to be connected to 50% or 100 sqm of roof and connected to toilets, laundry and all external taps must comply with rule 6.1.15.1b no reliance on landscaping measures to reduce consumption THE CONNECTION WILL REQUIRE A PUMP WHERE IT CANNOT BE ELEVATED SUFFICIENTLY TO GIVE ADEQUATE PRESSURE 2000L IS FOR OSR AND 1000L IS FOR OSD

BIN LOCATIONS COLLECTION DAY TRAVEL VIA D/WAY TO POSITION SHOWN

RETAINING WALLS WITHIN SIGHTLINES TO BE UNDER 800MM IN HEIGHT

1.8m high standard paling fence between residence 1 & 2

ALL FENCING TO COMPLY WITH TERRITORY PLAN AND RELEVANT GUIDELINES all boundary fencing to be 1.8m high all internal fencing to be 1.8m high



SEWER TIE TIE: 1.3m DEPTH: 1.5m CH: N/A

STORMWATER TIE: 3.5m DEPTH: 1.2m CH: N/A

- (A) SEWERAGE & ELECTRIC SUPPLY EASEMENT 2.438 WIDE
- (B) DRAINAGE & ELECTRIC SUPPLY EASEMENT 2.438 WIDE

A MINIMUM OF 50% OF THE PRIVATE OPEN SPACE IS TO BE RETAINED AS PLANTING AREA AS SET OUT IN RULE 39 IN THE SINGLE DWELLING HOUSING DEVELOPMENT CODE

**ARKITEX**

ALESSANDRO D'AMBROSIO

BAPPSC.ENVDESIGN BARCHITECTURE

m 0413 570 599  
 e alex@arkitex.com.au  
 w www.arkitex.com.au

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DRAWING TITLE - SITE PLAN  
 CLIENT - FORTIFIED BUILDING GROUP

PROJECT - PROPOSED DUAL OCCUPANCY  
 BLOCK - 9  
 SECTION - 33  
 SUBURB - TORRENS

FOR DA-BA  
 DATE: 13.11.2020  
 REVISION - B

JOB No: 1699  
 SCALE: 1:200@A3  
 SHEET No - A01