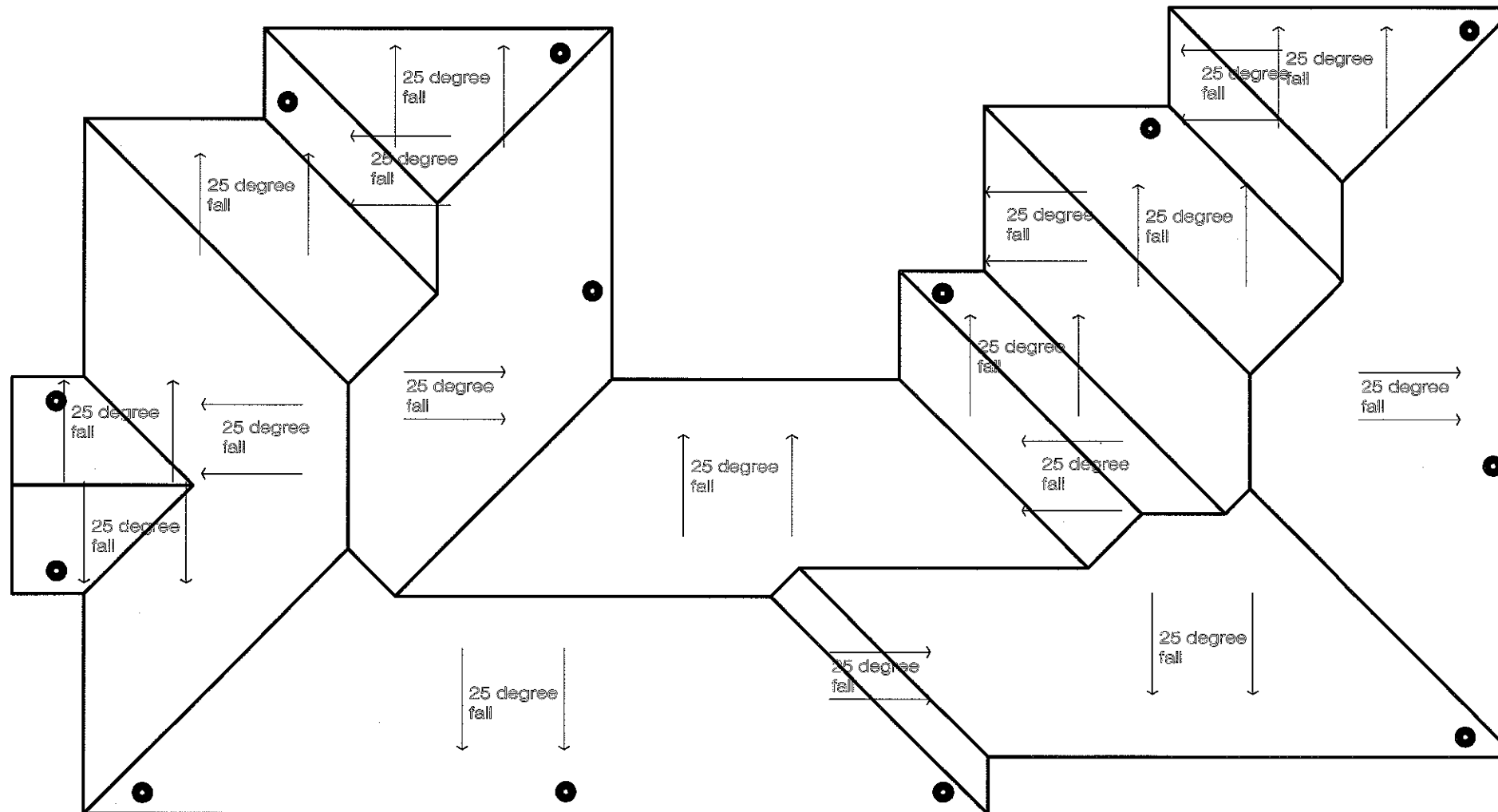


UNIT 1	
Residence	85.052m ²
Carport	18.000m ²
Porch	2.890m ²
TOTAL	105.942m²
UNIT 2	
Residence	86.097m ²
Carport	18.000m ²
Porch	2.502m ²
TOTAL	106.599m²
Total Residence / Carport	207.149m ²
Block Area	847.000m ²
Plot Ratio	24.45%



ROOF LAYOUT

scale 1:100

designs by mahony
28 halloran drive jerrabomberra 2619

p 82558744
f 82558745
m 0412827023
e gmahony@bigpond.net.au



notes

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client Classic
Constructions

title Roof Plan

location
Block 16
Section 5
51 Campbell St
AINSLIE

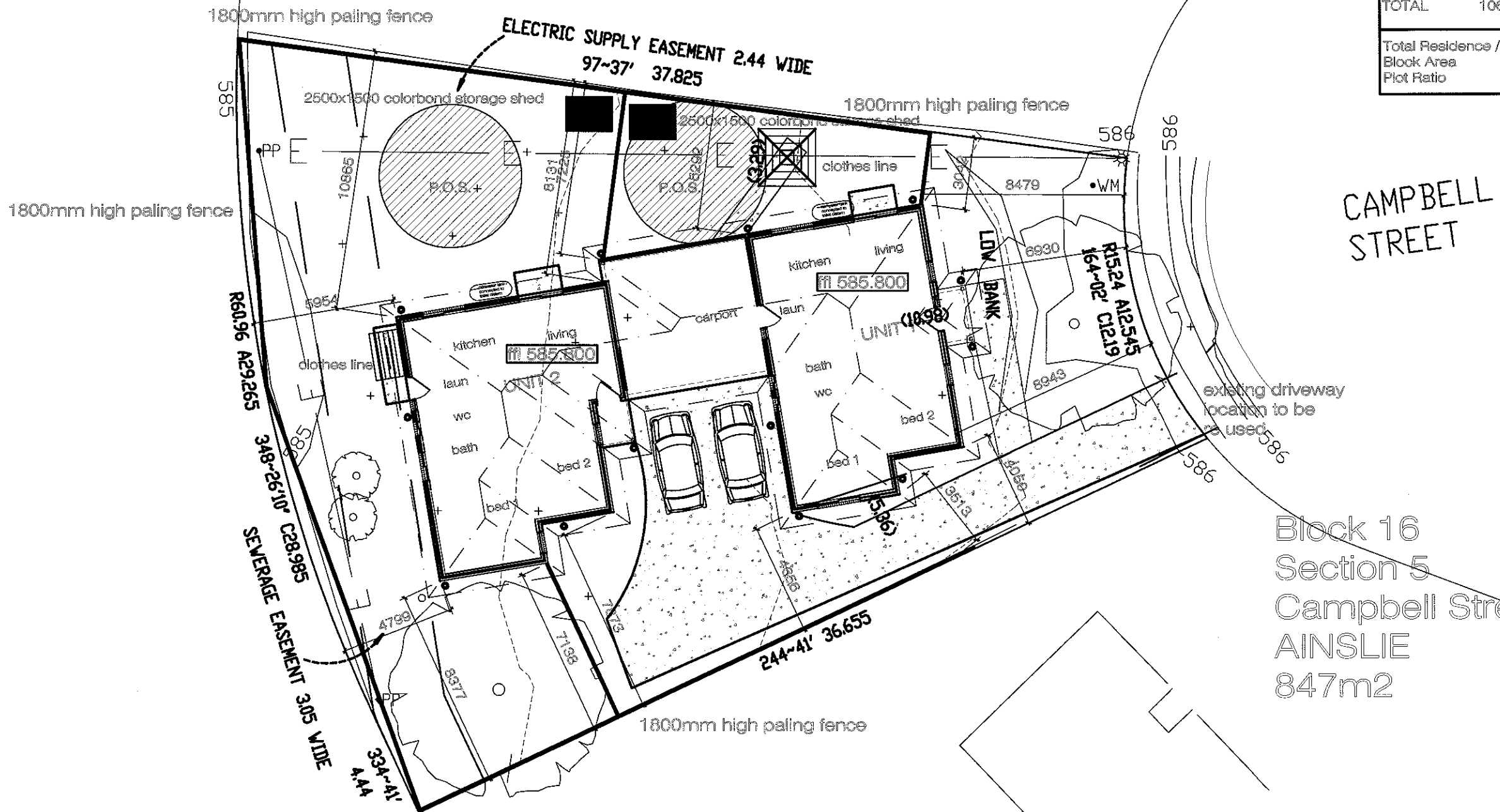
date
30/6/2009

scale
1:100

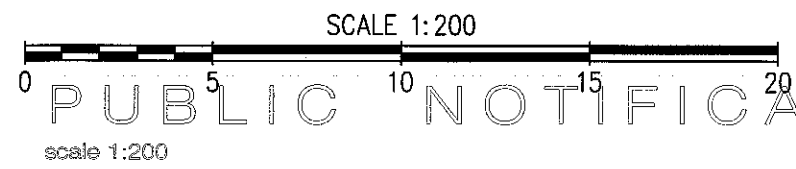
dwg no

amendments

UNIT 1	
Residence	85.052m2
Carport	18.000m2
Porch	2.890m2
TOTAL	105.942m2
UNIT 2	
Residence	86.097m2
Carport	18.000m2
Porch	2.502m2
TOTAL	106.599m2
Total Residence / Carport	207.149m2
Block Area	847.000m2
Plot Ratio	24.45%



Block 16
Section 5
Campbell Street
AINSLIE
847m2



NO SIGNIFICANT TREES ON BLOCK 16
NOTE: UNDERGROUND SERVICES HAVE NOT BEEN LOCATED

PUBLIC NOTIFICATION SITE PLAN

designs by mahony
28 halloran drive Jerrabomberra 2619

p 62558744
f 62558745
m 0412627023
e gmahony@bigpond.net.au



notes
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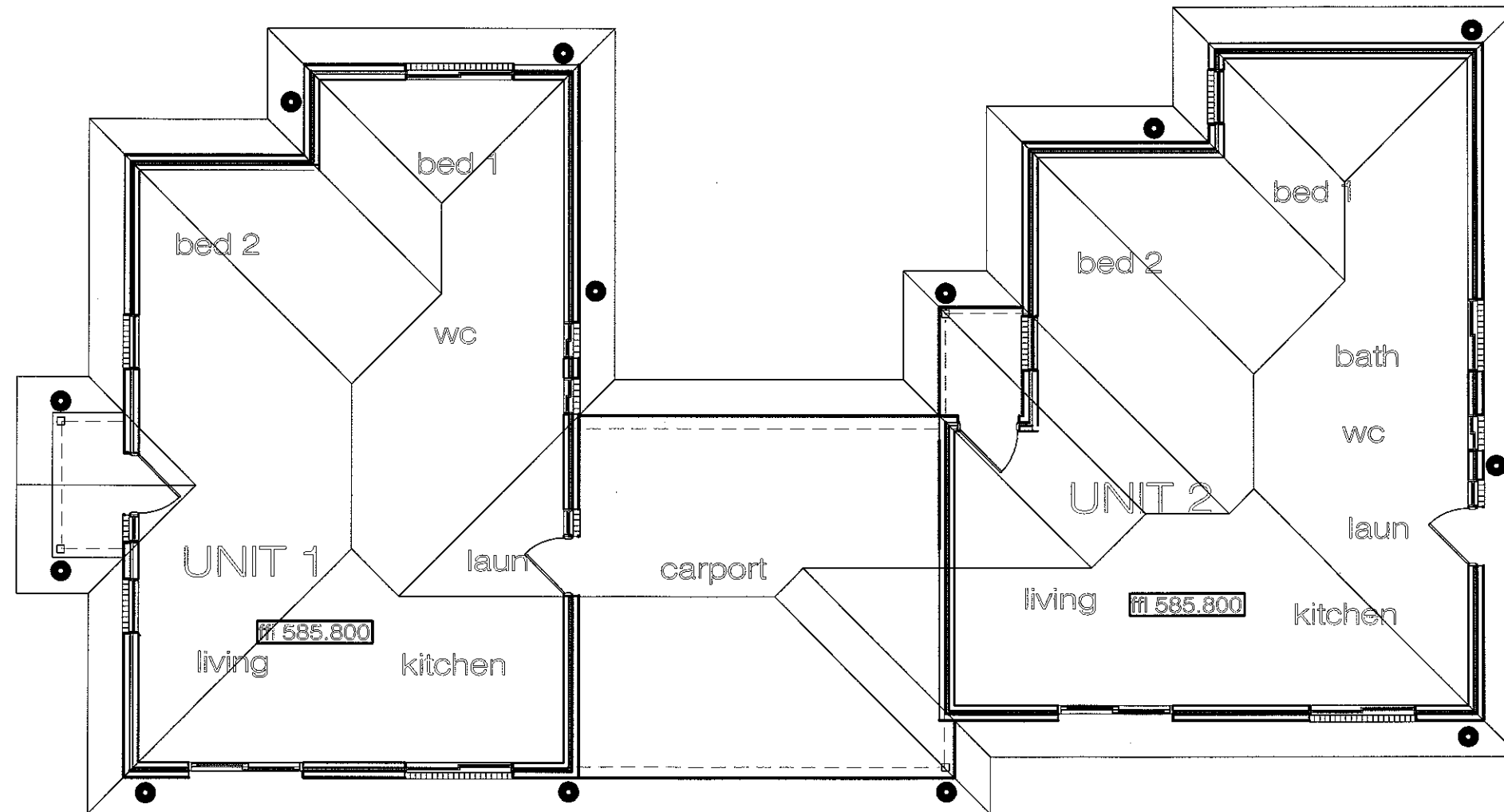
client Classic Constructions
title Public Notification Plan

location Block 16 Section 5 51 Campbell St AINSLIE

date 30/6/2009
scale 1:200
dwg no

amendments

UNIT 1	
Residence	85.052m ²
Carport	18.000m ²
Porch	2.890m ²
TOTAL	105.942m²
UNIT 2	
Residence	86.097m ²
Carport	18.000m ²
Porch	2.502m ²
TOTAL	106.599m²
Total Residence / Carport	207.149m ²
Block Area	847.000m ²
Plot Ratio	24.45%



PUBLIC NOTIFICATION PLAN

scale 1:100

designs by mahony
26 halloran drive jerrabomberra 2619

p 62558744
f 62558745
m 0412627023
e gmahony@bigpond.net.au

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ACT & Region Branch.

notes

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trading as designs by mahony acn 0006 649 992 abn 23 441 765 623

client Classic
Constructions

title Public
Notification Plan

location
Block 16
Section 5
51 Campbell St
AINSLIE

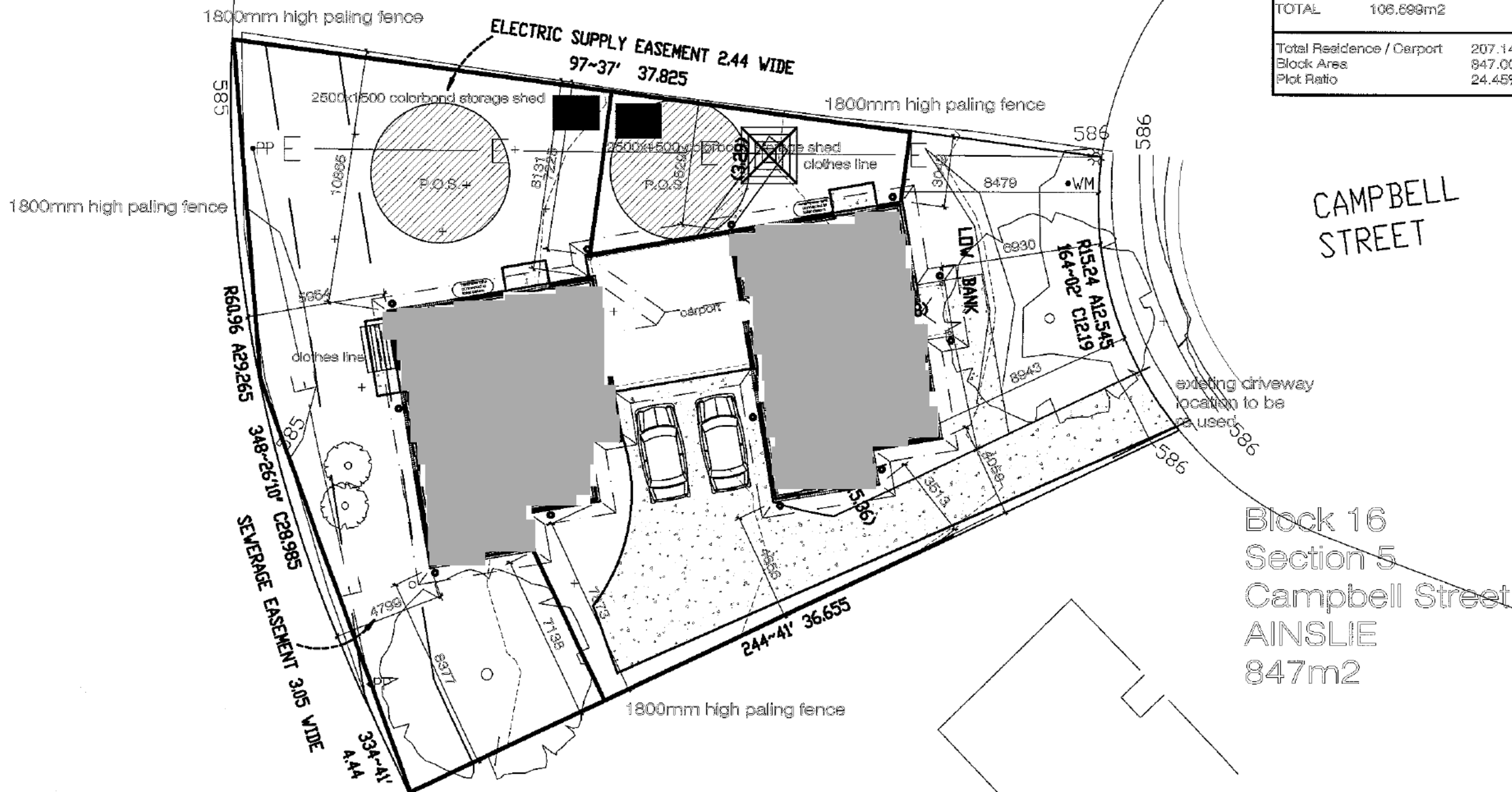
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30/6/2009

scale
1:100

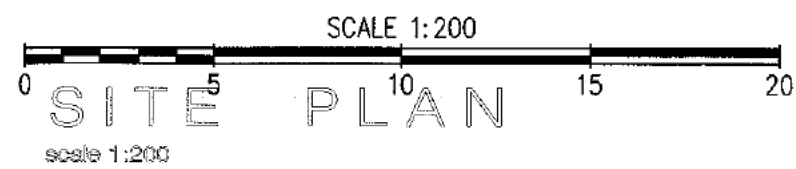
dwg no

amendments

UNIT 1	
Residence	85.052m ²
Carport	18.000m ²
Porch	2.890m ²
TOTAL	105.942m ²
UNIT 2	
Residence	86.097m ²
Carport	18.000m ²
Porch	2.502m ²
TOTAL	106.599m ²
Total Residence / Carport	207.149m ²
Block Area	847.000m ²
Plot Ratio	24.45%

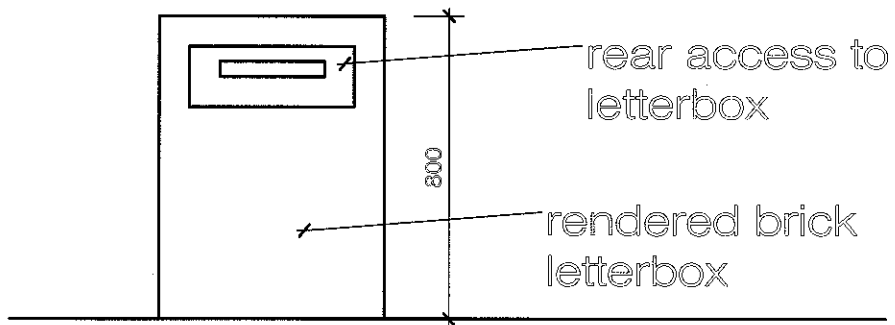
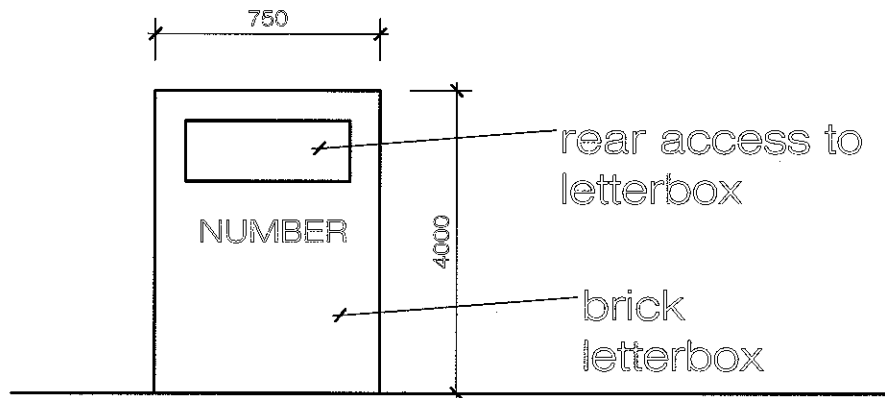
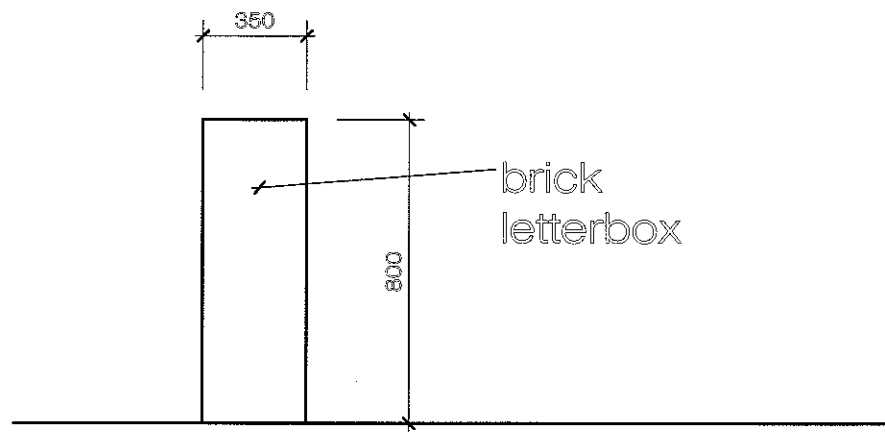


Block 16
Section 5
Campbell Street
AINSLIE
847m²



NO SIGNIFICANT TREES ON BLOCK 16
NOTE: UNDERGROUND SERVICES HAVE NOT BEEN LOCATED

designs by mahony 28 halloran drive jerrabomberra 2819 p 62558744 f 62558745 m 0412627023 e gmahony@bigpond.net.au	notes do not scale drawings written dimensions take precedence check all dimensions levels site conditions prior to construction all work shall be in accordance with n.s.w. and australian standards copyright for design illustrated here is held by felebe pty ltd trading as designs by mahony acn 0008 649 992 abn 23 441 765 523	client Classic Constructions	location Block 16 Section 5 51 Campbell St AINSLIE	date 30/6/2008	amendments
		title Site Plan	scale 1:200	dwg no	



LETTERBOX DETAIL

scale 1:20

L.B Letter Box

designs by mahony
26 halloran drive jerrabomberra 2619

p 62558744
f 62558745
m 0412627023
e gmahony@bigpond.net.au



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ACT & Region Branch.

notes

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trading as designs by mahony ecn 0008 849 992 abn 23 441 765 528

client
**CLASSIC
CONSTRUCTIONS**

title
**LETTERBOX / FENCE
PLAN**

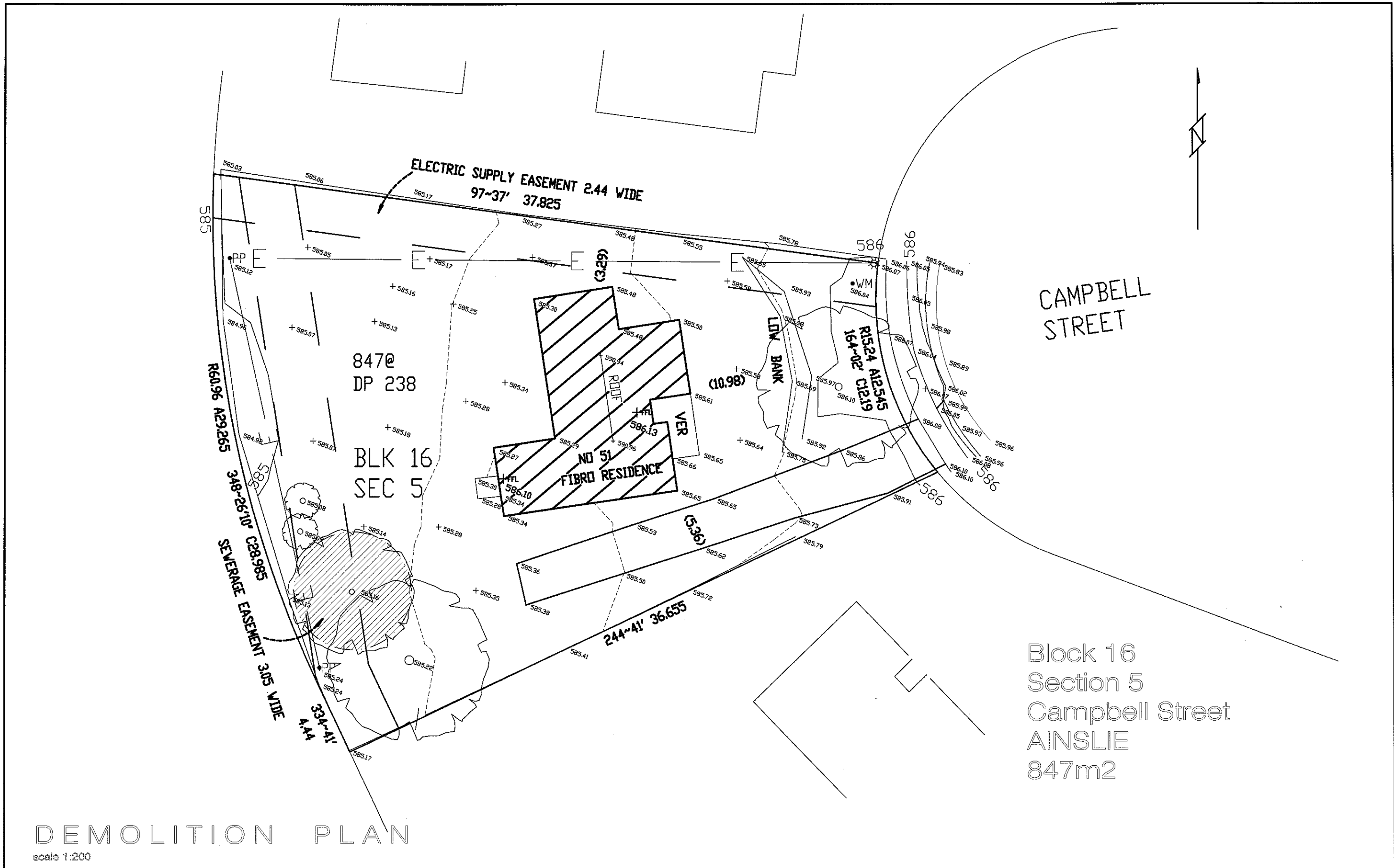
location
**Block 16
Section 5
51 Campbell St
AINSLIE**

date
30/6/2009

scale
1:100

dwg no

amendments



Block 16
Section 5
Campbell Street
AINSLIE
847m²

DEMOLITION PLAN

scale 1:200

designs by mahony 26 halloran drive jerrabomberra 2619 p 62558744 f 62558745 m 0412627023 e gmahony@bigpond.net.au	notes do not scale drawings written dimensions take precedence check all dimensions-levels-site conditions prior to construction all work shall be in accordance with b.c.a. and rel. aust standards copyright for design illustrated here is held by febulie pty ltd trading as designs by mahony eon 0008 649 992 abn 23 441 765 523	client Classic Constructions	location Block 16 Section 5 51 Campbell St AINSLIE	date 30/6/2009	amendments
		title Demolition Plan	scale 1:200	dwg no	



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ACT & Region Branch.

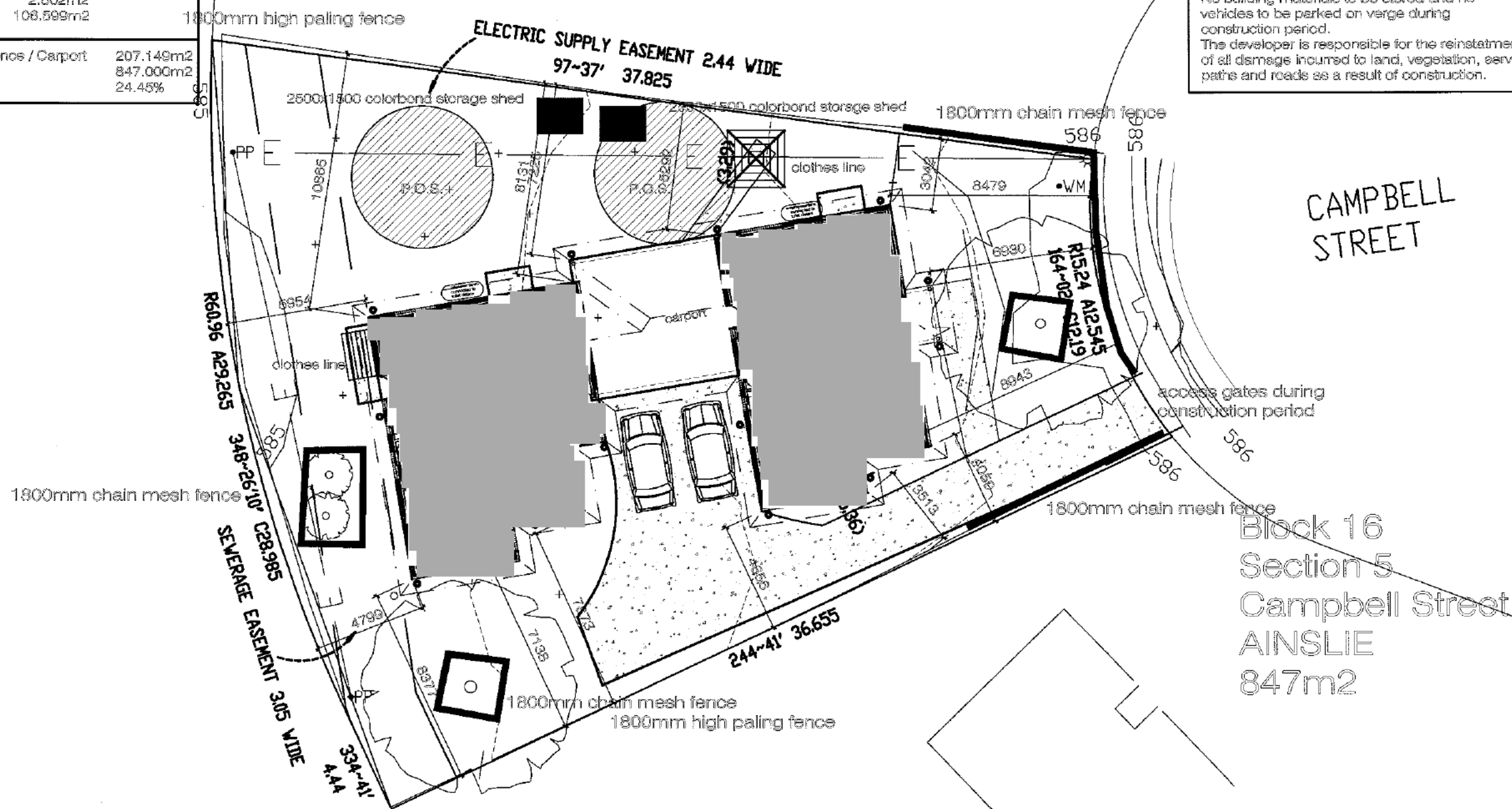
UNIT 1
 Residence 85.052m²
 Carport 18.000m²
 Porch 2.890m²
 TOTAL 105.942m²

UNIT 2
 Residence 86.097m²
 Carport 18.000m²
 Porch 2.602m²
 TOTAL 106.599m²

Total Residence / Carport 207.149m²
 Block Area 847.000m²
 Plot Ratio 24.45%

VERGE MANAGEMENT
 1800mm high chain mesh fence supported by 2400mm tall star pickets
 Fence to be removed on completion of project. Area to be sealed on completion

NOTE
 No building materials to be stored and no vehicles to be parked on verge during construction period.
 The developer is responsible for the reinstatement of all damage incurred to land, vegetation, services paths and roads as a result of construction.



Block 16
 Section 5
 Campbell Street
 AINSLIE
 847m²

SCALE 1:200
 0 5 10 15 20
LANDSCAPE MANAGEMENT PLAN
 scale 1:200

NO SIGNIFICANT TREES ON BLOCK 16
NOTE: UNDERGROUND SERVICES HAVE NOT BEEN LOCATED!

designs by mahony
 26 halloran drive jarrahomberra 2619

p 62558744
 f 62558748
 m 0412827023
 e gmahony@bigpond.net.au

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 trading as designs by mahony son 0006 649 982 abn 23 441 785 523

client Classic
 Constructions
 title Landscape
 Management Plan

location
 Block 16
 Section 5
 51 Campbell St
 AINSLIE

date
 30/6/2009
 scale
 1:200
 dwg no

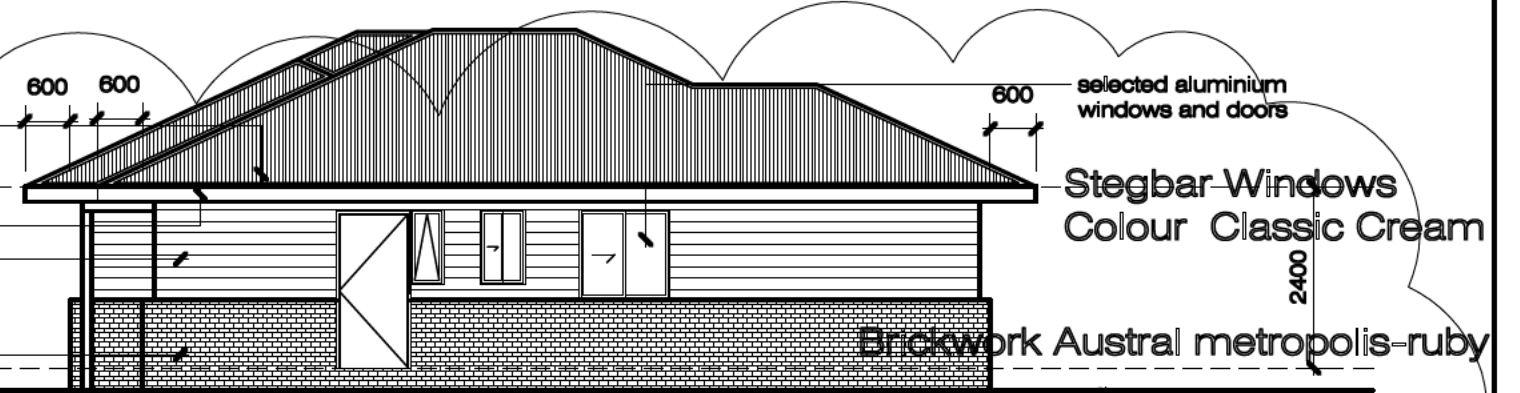
amendments

UNIT 1	
Residence	85.052m ²
Carport	18.000m ²
Porch	2.890m ²
TOTAL	105.942m ²
UNIT 2	
Residence	86.097m ²
Carport	18.000m ²
Porch	2.502m ²
TOTAL	106.599m ²
Total Residence / Carport	207.149m ²
Block Area	847.000m ²
Plot Ratio	24.45%

Colorbond roof Colour Bushland
 Colorbond Gutter Colour Bushland
 Colorbond Fascia Colour Bushland
 Colorbond Eave Colour Bushland

WESTERN ELEVATION
 scale 1:100
 fl 585.800

selected colorbond fascia and gutter
 weatherboard cladding
 selected face brickwork



selected aluminium windows and doors
 Stegbar Windows
 Colour Classic Cream
 Brickwork Austral metropolis-ruby

EASTERN ELEVATION
 scale 1:100
 fl 585.800

Colorbond roof Colour Bushland
 Colorbond Gutter Colour Bushland
 Colorbond Fascia Colour Bushland
 Colorbond Eave Colour Bushland

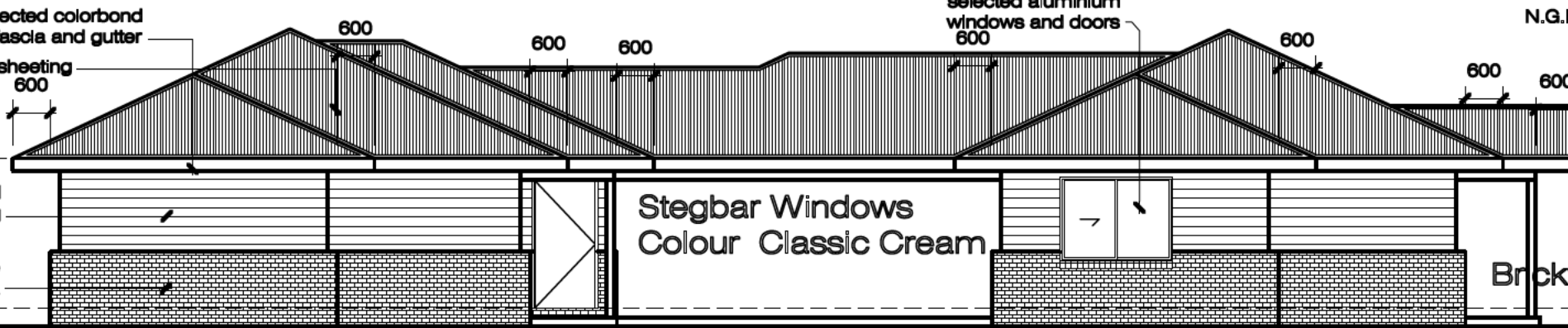
selected colorbond fascia and gutter
 selected colorbond roof sheeting
 selected weatherboard cladding
 selected face brickwork



selected aluminium windows and doors
 Stegbar Windows
 Colour Classic Cream
 front door to owners selection
 Brickwork Austral metropolis-ruby

SOUTHERN ELEVATION
 scale 1:100
 fl 585.800

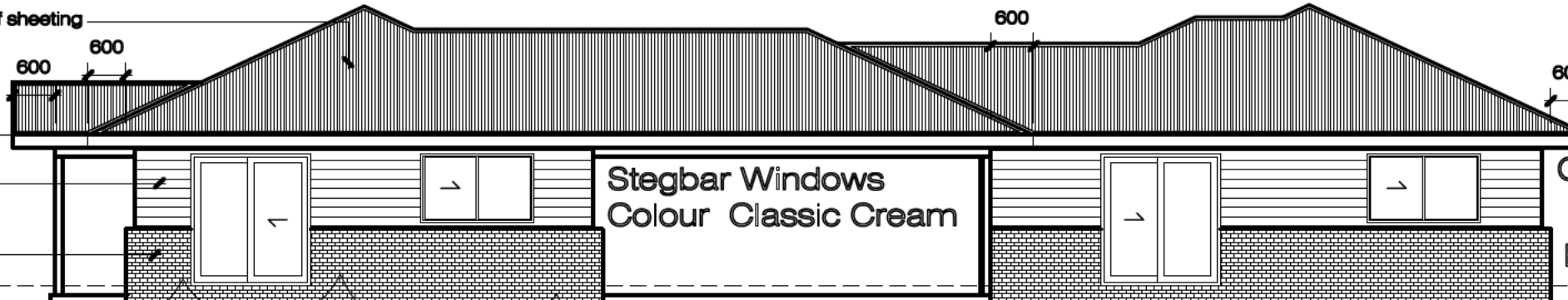
selected colorbond fascia and gutter
 selected colorbond roof sheeting
 selected weatherboard cladding
 selected face brickwork



selected aluminium windows and doors
 Stegbar Windows
 Colour Classic Cream
 Brickwork Austral metropolis-ruby

NORTHERN ELEVATION
 scale 1:100
 fl 585.800

selected colorbond roof sheeting
 selected weatherboard cladding
 selected face brickwork



Colorbond roof Colour Bushland
 Colorbond Gutter Colour Bushland
 Colorbond Fascia Colour Bushland
 Colorbond Eave Colour Bushland
 Cladding colour Haymes - old linen
 Brickwork Austral metropolis-ruby

designs by mahony
 26 halloran drive jerrabomberra 2619



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 ACT & Region Branch.

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client Classic
 Constructions

title Elevations

location
 Block 16
 Section 5
 51 Campbell St
 AINSLIE

date
 5/9/2009

scale
 1:100

dwg no

amendments
 Sept 2009
 Roof pitch 25 degrees
 Cladding / Brickwork spit
 Colorbond roof
 Colour schedule

p 62558744
 f 62558745
 m 0412627023
 e gmahony@bigpond.net.au

UNIT 1	
Residence	85.052m2
Carport	18.000m2
Porch	2.890m2
TOTAL	105.942m2
UNIT 2	
Residence	86.097m2
Carport	18.000m2
Porch	2.502m2
TOTAL	106.599m2
Total Residence / Carport	207.149m2
Block Area	847.000m2
Plot Ratio	24.45%

BUILDING NOTES

- Hot water service to be natural gas
All hot water systems must be installed to regulations and include a tempering valve, not a thermostatic mixing valve
- Heating
Gas heating system is to be used. Confirmation of type and style to be advised by HCS
- Eaves
Minimum width of eaves 600mm
- Telephone Service
Provide one Telstra telephone outlet to each dwelling Location to be advised by HCS
- Smoke Detectors
All dwellings should be fitted with the appropriate number of hard-wired smoke detectors. Brooks hard wired, hush function, 10 year lithium battery, interlinked, or similar. HACS to approve the final number and location before installation. Where 2 or more detectors are required under the relevant standard, these detectors should be linked such that when one alarm sounds, all will sound.
- Windows
Windows to be powdercoated aluminium with keyed locks.
Windows must be able to be locked in a partially open position for ventilation and security purpose
Flyscreens shall be metal framed and aluminium meshed and be fitted to all opening windows
- Doors
All external doors are to be 970mm wide
External doors to be solid core
Front and rear door are to be fitted with meshed security screen doors, keyed alike with closers and perspex plate.
Door handles at 1000mm above floor level
Hardware on external doors must accommodate the interchangeable 'Falcon' locking system. 'Eye spy' type viewer to be provided to all front doors without glazed side panels
- Tiling
Floor tiles shall be selected for high slip resistance and ease of cleaning
- Carpet
Carpet is to be 100% wool in hard wearing, dense pile with high stain resistant characteristics on a suitable quality underlay

Sept 2009
Roof pitch 25 degrees
Cladding / Brickwork split
Colorbond roof
Colour schedule

Colorbond roof Colour Bushland
Colorbond Gutter Colour Bushland
Colorbond Fascia Colour Bushland
Colorbond Eave Colour Bushland

Cladding colour Haymes - old linen
Brickwork Austral metropolis-ruby



TYPICAL SECTION
scale 1:100

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Our Ref: AT 09/ 63

5 August 2009

ACT Planning and Land Authority
c/- AAT Secretariat
GPO Box 1908
CANBERRA CITY ACT 2601

Dear Sir/Madam,

Application for Review

Applicant:

Respondent: ACT Planning and Land Authority



This matter is listed as outlined below:

DIRECTIONS HEARING:


Date: 14 August 2009

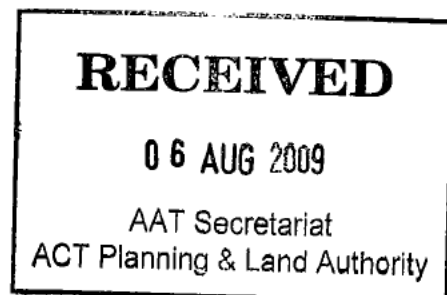
Time: 10:00 am

Location: Magistrates Court Building
Knowles Place
CANBERRA ACT 2601

Please confirm the room number of your hearing in the foyer of the Magistrates Court Building.

Yours faithfully,


Michael Thornton
Deputy Registrar
ACT Civil and Administrative Tribunal



Our Ref: AT 09/63

25 August 2009

ACT Planning and Land Authority
c/- AAT Secretariat
GPO Box 1908
CANBERRA CITY ACT 2601

Dear Sir/Madam,

Application for Review

Applicant: [REDACTED]
Respondent: ACT Planning and Land Authority
Party Joined: [REDACTED]

This matter is listed as outlined below:

MEDIATION:

Date: 3 September 2009 **Time:** 9:30 am

Location: Magistrates Court Building
Knowles Place
CANBERRA ACT 2601

Please confirm the room number of your hearing in the foyer of the Magistrates Court Building.

Yours faithfully,

[REDACTED]
Michael Thornton
Deputy Registrar
ACT Civil and Administrative Tribunal

RECEIVED

26 AUG 2009

AAT Secretariat
ACT Planning & Land Authority

From: [Johns, Peter](#)
To: [REDACTED]
Cc: [Brown, Ray](#); [REDACTED]; [Tomlins, Lisa](#)
Subject: FW: Colours
Date: Wednesday, 26 August 2009 1:31:50 PM
Attachments: [image004.jpg](#)
[image005.jpg](#)
[image006.jpg](#)
[image010.jpg](#)
[image014.jpg](#)
[Draft Condition to put in concert order 200914463.doc](#)

[REDACTED]

Apologies for the delay in getting back to you with details about the colour scheme for 51 Campbell Street. Rather than carry round a colourboard I thought if I could get some information to you electronically it might be easier for you to send it round.

I asked the builder to have a look at the colour scheme after changing the colour of the bricks. He has come back with a revised colour scheme- as below.

I would be grateful if you could circulate this amongst the other parties and provide me with some advice on the proposed colour scheme.

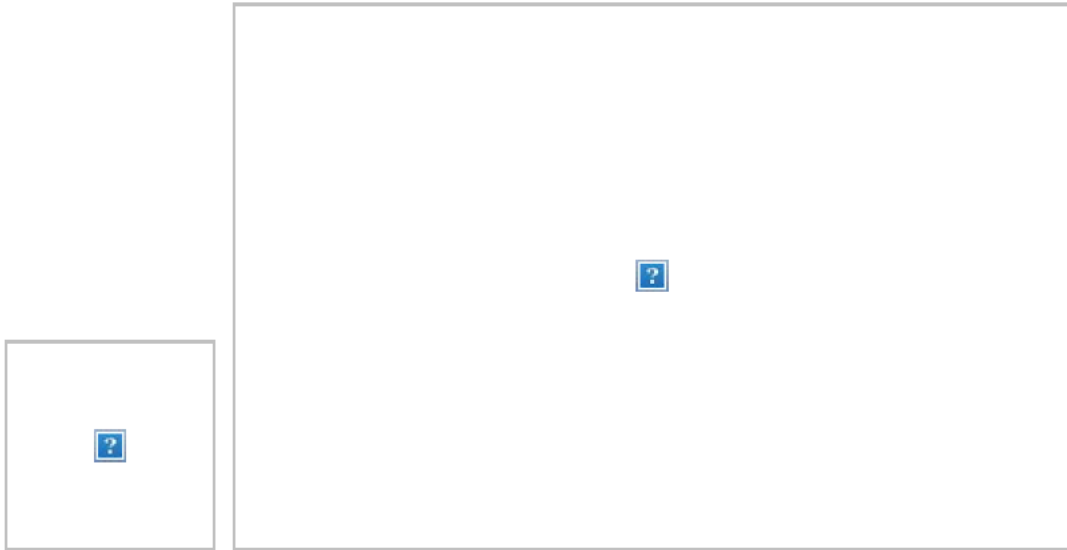
[REDACTED]

Can you confirm that the plans I gave you incorporate the changes to the house that are acceptable to you.

Look forward to hearing from you soon.

Peter Johns
Project Management
ph: 62078170
fax: 62071403
e-mail: peter.johns@act.gov.au

Color Scheme 2 : 51 Campbell Street Ainslie & 41 Campbell Street
Ainslie
Roof, Fascia, Gutter & Eave – Colorbond ‘Manor Red’



<http://www.colorbondcolours.com/go/bsl-colour-centre-swatch/headland>

Cladding – Colorbond ‘Classic Cream’



<http://www.colorbondcolours.com/go/bsl-colour-centre-swatch/classic-cream>

Bricks – Austral ‘Metropolis – Ruby’



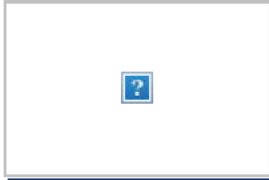
<http://www.australbrick.com.au/nsw/product.php?ID=8692>

Window Frames – Stegbar ‘Classic Cream’



http://www.stegbar.com.au/products/windows_and_doors/aluminium/colour_chart/

Kind regards,
Milan Kraljevic



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quality is Classic

www.classicconstructions.com.au
PH 02 6299 8467 FX 02 6299 8461

From: [REDACTED]
To: [Johns, Peter](#)
Cc: [Brown, Ray](#); [REDACTED]; [Tomlins, Lisa](#)
Subject: RE: Colours
Date: Wednesday, 26 August 2009 10:22:58 PM
Attachments: [image001.jpg](#)
[image002.jpg](#)
[image003.jpg](#)
[image004.jpg](#)
[image005.jpg](#)

Peter,

Thanks again for your efforts in progressing this – we appreciate it.

I will discuss with the other parties and get back to you ASAP.

Cheers,

[REDACTED]

From: [REDACTED]
Sent: Wednesday, 26 August 2009 1:32 PM
To: [REDACTED]
Cc: Brown, Ray; [REDACTED]; Tomlins, Lisa
Subject: FW: Colours

[REDACTED]

Apologies for the delay in getting back to you with details about the colour scheme for 51 Campbell Street. Rather than carry round a colourboard I thought if I could get some information to you electronically it might be easier for you to send it round.

I asked the builder to have a look at the colour scheme after changing the colour of the bricks. He has come back with a revised colour scheme- as below.

I would be grateful if you could circulate this amongst the other parties and provide me with some advice on the proposed colour scheme.



Can you confirm that the plans I gave you incorporate the changes to the house that are acceptable to you.

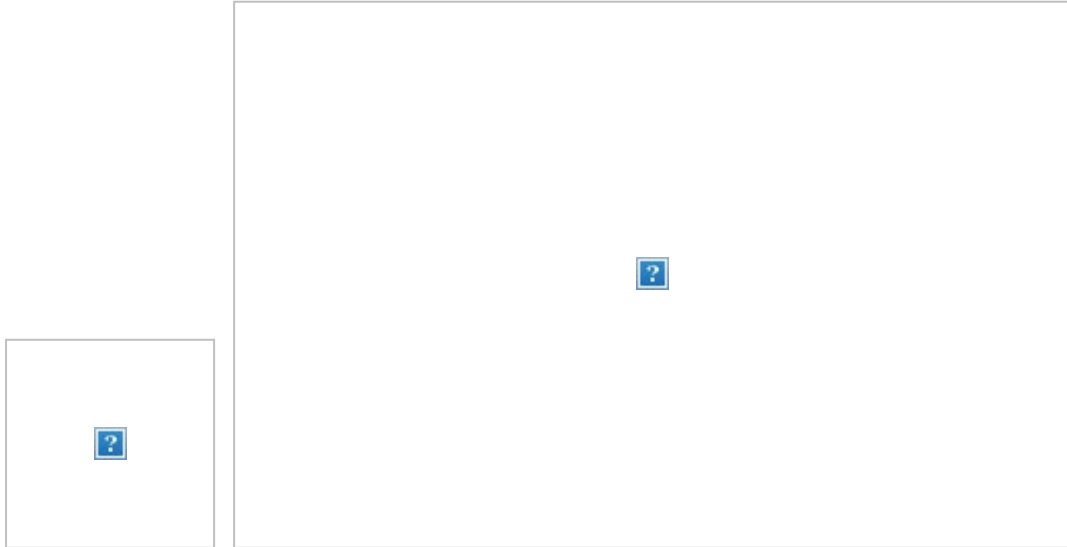
Look forward to hearing from you soon.

Peter Johns
Project Management
ph: 62078170
fax: 62071403
e-mail: peter.johns@act.gov.au

Color Scheme 2 : 51 Campbell Street Ainslie & 41 Campbell Street

Ainslie

Roof, Fascia, Gutter & Eave – Colorbond ‘Manor Red’



<http://www.colorbondcolours.com/go/bsl-colour-centre-swatch/headland>

Cladding – Colorbond ‘Classic Cream’



<http://www.colorbondcolours.com/go/bsl-colour-centre-swatch/classic-cream>

Bricks – Austral ‘Metropolis – Ruby’



<http://www.australbrick.com.au/nsw/product.php?ID=8692>

Window Frames – Stegbar ‘Classic Cream’



http://www.stegbar.com.au/products/windows_and_doors/aluminium/colour_chart/

Kind regards,

Milan Kraljevic



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quality is Classic

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PH 02 6299 8467 FX 02 6299 8461

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to any other person.

From: [Johns, Peter](#)
To: [Brown, Ray](#)
Cc: [Tomlins, Lisa](#); [Jason Tanchevski](#) [REDACTED]
Subject: FW: 51 Campbell Street Ainslie DA200914463
Date: Wednesday, 9 September 2009 2:23:39 PM
Attachments: [Sections amended.pdf](#)
[Elevations-amended.pdf](#)
Importance: High

Ray

See the attached documents and e-mail to [REDACTED].

I would be grateful if ACTPLA could issue the approved plans so that we can start work on the site.

Many thanks.

Peter Johns
Project Management
ph: 62078170
fax: 62071403
e-mail: peter.johns@act.gov.au

From: Johns, Peter
Sent: Wednesday, 9 September 2009 2:21 PM
To: [REDACTED]
Subject: FW: 51 Campbell Street Ainslie DA200914463
Importance: High

[REDACTED]

Please find amended drawings with materials and colours noted - as per agreement.

[REDACTED] will now approach ACTPLA to obtain the approved plans so that we can commence work on the site.

Many thanks for your co-operation in this matter.

Should you have any other questions please do not hesitate to give me a call.

Peter Johns
Project Management
ph: 62078170
fax: 62071403
e-mail: peter.johns@act.gov.au

UNIT 1	
Residence	85.052m ²
Carport	18.000m ²
Porch	2.890m ²
TOTAL	105.942m²
UNIT 2	
Residence	86.097m ²
Carport	18.000m ²
Porch	2.502m ²
TOTAL	106.599m²
Total Residence / Carport	207.149m ²
Block Area	847.000m ²
Plot Ratio	24.45%

BUILDING NOTES

- Hot water service to be natural gas
All hot water systems must be installed to regulations and include a tempering valve, not a thermostatic mixing valve
- Heating
Gas heating system is to be used. Confirmation of type and style to be advised by HCS
- Eaves
Minimum width of eaves 600mm
- Telephone Service
Provide one Telstra telephone outlet to each dwelling Location to be advised by HCS
- Smoke Detectors
All dwellings should be fitted with the appropriate number of hard-wired smoke detectors. Brooks hard wired, hush function, 10 year lithium battery, interlinked, or similar. HACS to approve the final number and location before installation. Where 2 or more detectors are required under the relevant standard, these detectors should be linked such that when one alarm sounds, all will sound.
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Windows to be powdercoated aluminium with keyed locks.
Windows must be able to be locked in a partially open position for ventilation and security purpose
Flyscreens shall be metal framed and aluminium meshed and be fitted to all opening windows
- Doors
All external doors are to be 970mm wide
External doors to be solid core
Front and rear door are to be fitted with meshed security screen doors, keyed alike with closers and perspex plate.
Door handles at 1000mm above floor level
Hardware on external doors must accommodate the interchangeable 'Falcon' locking system. 'Eye spy' type viewer to be provided to all front doors without glazed side panels
- Tiling
Floor tiles shall be selected for high slip resistance and ease of cleaning
- Carpet
Carpet is to be 100% wool in hard wearing, dense pile with high stain resistant characteristics on a suitable quality underlay

Sept 2009
Roof pitch 25 degrees
Cladding / Brickwork split
Colorbond roof
Colour schedule

Colorbond roof Colour Bushland
Colorbond Gutter Colour Bushland
Colorbond Fascia Colour Bushland
Colorbond Eave Colour Bushland

Cladding colour Haymes - old linen
Brickwork Austral metropolis-ruby



TYPICAL SECTION
scale 1:100

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26 halloran drive jerrabomberra 2619
p 62558744
f 62558745
m 0412627023
e gmahony@bigpond.net.au



notes
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client Classic Constructions
title Sections

location Block 16 Section 5 51 Campbell St AINSLIE

date 5/9/2009
scale 1:100
dwg no

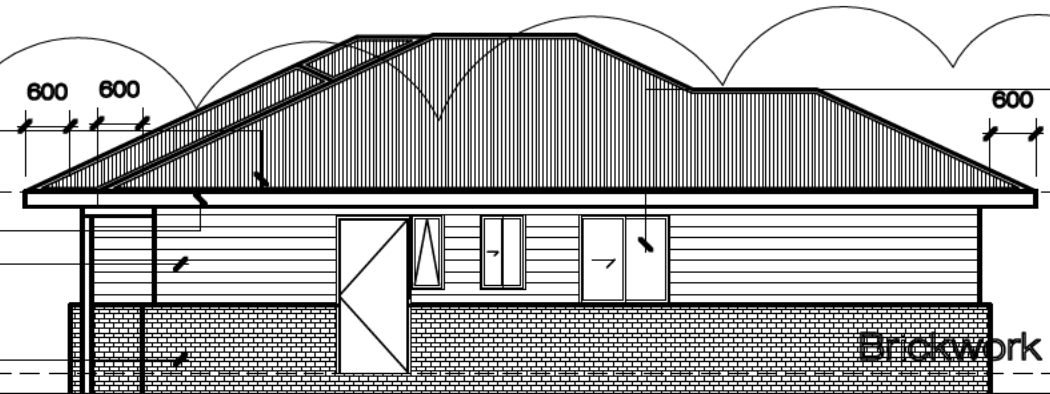
amendments
Sept 2009
Roof pitch 25 degrees
Cladding / Brickwork split
Colorbond roof
Colour schedule

UNIT 1	
Residence	85.052m ²
Carport	18.000m ²
Porch	2.890m ²
TOTAL	105.942m ²
UNIT 2	
Residence	86.097m ²
Carport	18.000m ²
Porch	2.502m ²
TOTAL	106.599m ²
Total Residence / Carport	207.149m ²
Block Area	847.000m ²
Plot Ratio	24.45%

Colorbond roof Colour Bushland
 Colorbond Gutter Colour Bushland
 Colorbond Fascia Colour Bushland
 Colorbond Eave Colour Bushland

WESTERN ELEVATION
 scale 1:100
 fl 585.800

selected colorbond roof sheeting
 selected colorbond fascia and gutter
 weatherboard cladding
 selected face brickwork

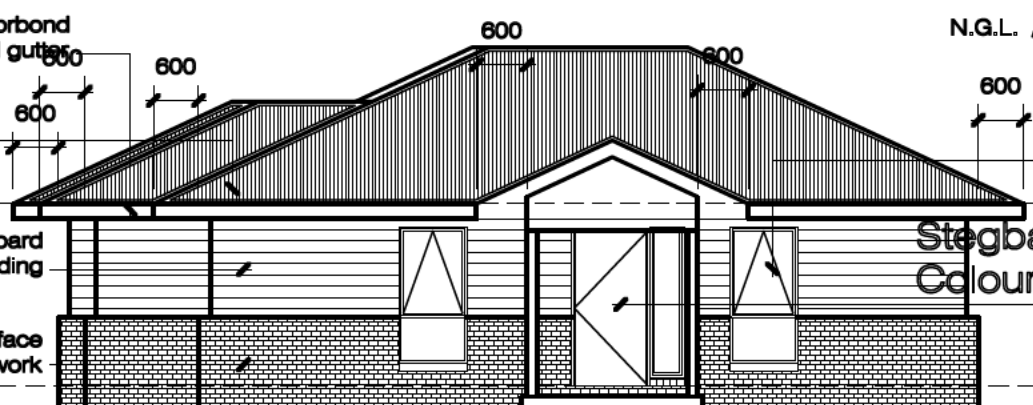


selected aluminium windows and doors
 Stegbar Windows
 Colour Classic Cream
 Brickwork Austral metropolis-ruby
 2400
 N.G.L. / F.G.L.

Colorbond roof Colour Bushland
 Colorbond Gutter Colour Bushland
 Colorbond Fascia Colour Bushland
 Colorbond Eave Colour Bushland

EASTERN ELEVATION
 scale 1:100
 fl 585.800

selected colorbond roof sheeting
 selected weatherboard cladding
 selected face brickwork

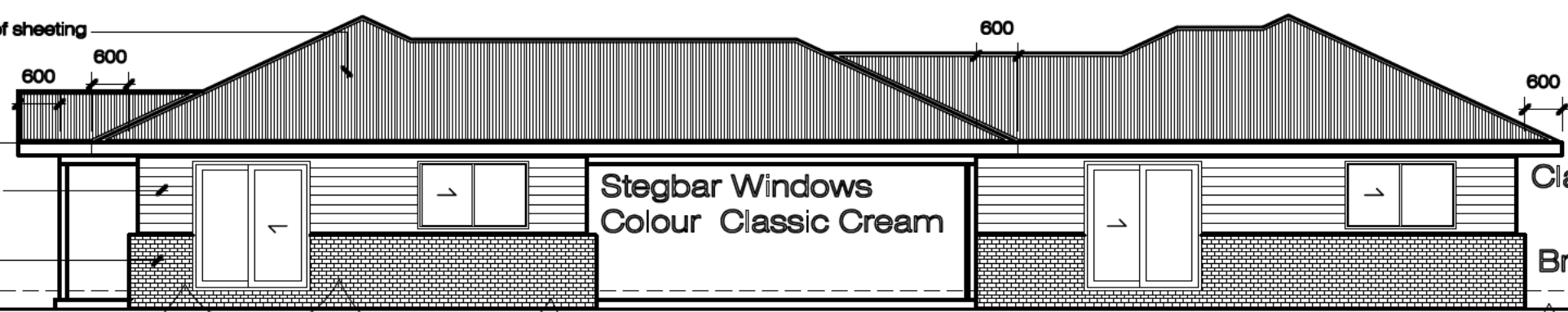


selected aluminium windows and doors
 Stegbar Windows
 Colour Classic Cream
 front door to owners selection
 Brickwork Austral metropolis-ruby
 2400
 N.G.L. / F.G.L.

selected colorbond fascia and gutter
 selected colorbond roof sheeting
 selected weatherboard cladding
 selected face brickwork

SOUTHERN ELEVATION
 scale 1:100
 fl 585.800

Stegbar Windows
 Colour Classic Cream



selected aluminium windows and doors
 Stegbar Windows
 Colour Classic Cream
 Cladding colour Haymes - old linen
 Brickwork Austral metropolis-ruby
 2400
 N.G.L. / F.G.L.

NORTHERN ELEVATION
 scale 1:100
 fl 585.800

N.G.L. / F.G.L.

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notes
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client Classic Constructions
 title Elevations

location Block 16 Section 5 51 Campbell St AINSLIE

date 5/9/2009
 scale 1:100
 dwg no

amendments
 Sept 2009
 Roof pitch 25 degrees
 Cladding / Brickwork spit
 Colorbond roof
 Colour schedule

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 e gmahony@bigpond.net.au

From: [REDACTED]
To: [Buddhadasa, Ajith](#)
Cc: [Johns, Peter](#)
Subject: 51 Campbell Street Ainslie 16/5 - Amended Plans
Date: Monday, 20 July 2009 4:25:37 PM
Attachments: [image003.jpg](#)
[16_5 Ainslie - plans NEW.pdf](#)

Ajith,

Would you please confirm if a new DA application is required for the attached plans, amended as follows?

- Roofing - Selected colour bond roof sheeting
- Facade - half selected face bricks & half weatherboard cladding (refer Elevations)
- Roof Pitch - Steepened (refer Typical Section)
- Fences - 1800 high boundary fencing (refer Site Plan)



From: Jason Tanchevski [REDACTED]@classicconstructions.com.au]
Sent: Wednesday, 1 July 2009 10:49 AM
To: [REDACTED]
Cc: Johns, Peter; George Tanchevski; Milan Kraljevic
Subject: 16/5 Ainslie - new plans



Please find attached for your records the up to date plans for 51 Campbell St, including the changes to the facade and roof layout.

These are the plans that we will eventually submit for a DA amendment.

Let me know if you have any queries.

Cheers

Kind regards,

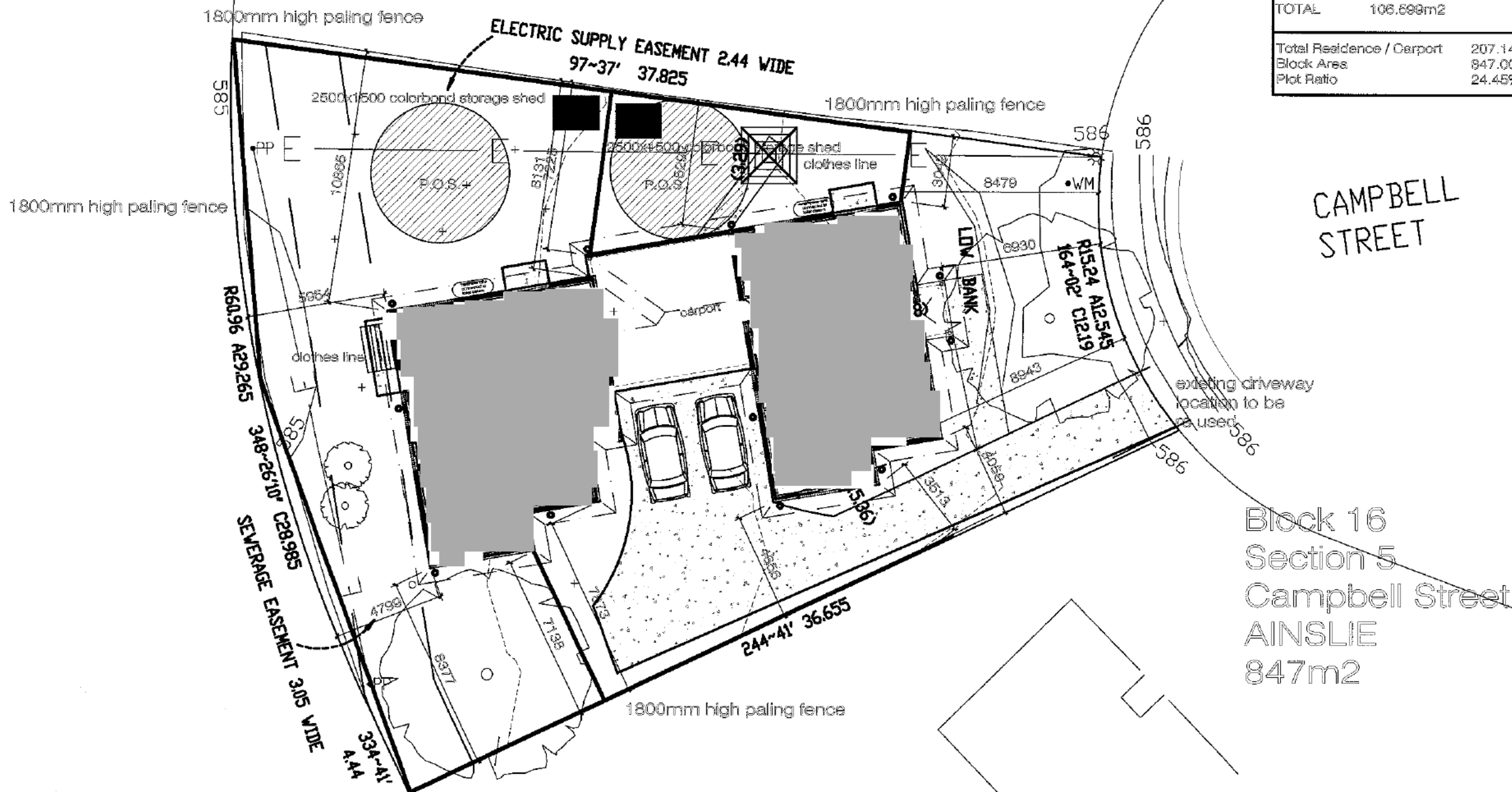
Jason Tanchevski



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UNIT 1	
Residence	85.052m ²
Carport	18.000m ²
Porch	2.890m ²
TOTAL	105.942m ²
UNIT 2	
Residence	86.097m ²
Carport	18.000m ²
Porch	2.502m ²
TOTAL	106.599m ²
Total Residence / Carport	207.149m ²
Block Area	847.000m ²
Plot Ratio	24.45%



Block 16
Section 5
Campbell Street
AINSLIE
847m²

NO SIGNIFICANT TREES ON BLOCK 16
NOTE: UNDERGROUND SERVICES HAVE NOT BEEN LOCATED

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client Classic Constructions
title Site Plan

location Block 16 Section 5 51 Campbell St AINSLIE

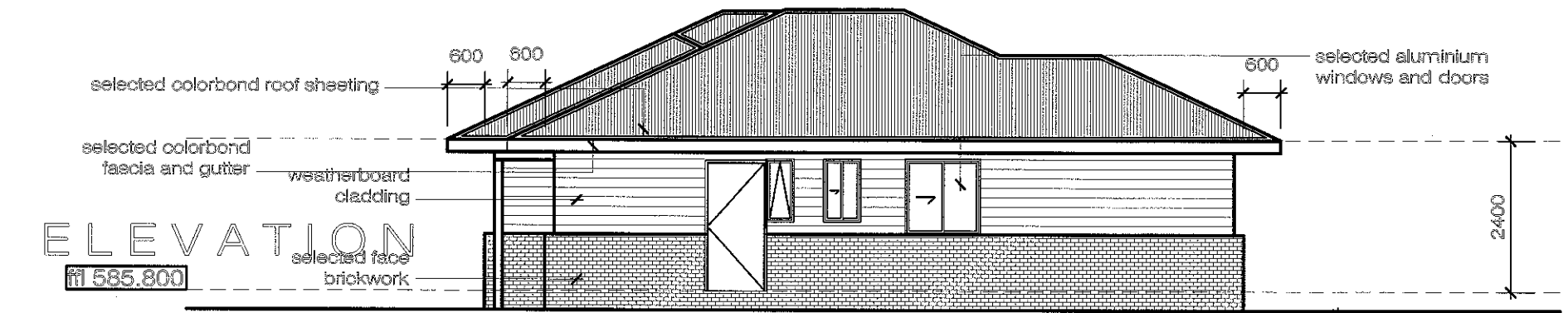
date 30/6/2008
scale 1:200
dwg no

amendments

UNIT 1	
Residence	85.052m ²
Carport	18.000m ²
Porch	2.890m ²
TOTAL	105.942m ²
UNIT 2	
Residence	86.097m ²
Carport	18.000m ²
Porch	2.502m ²
TOTAL	106.599m ²
Total Residence / Carport	207.149m ²
Block Area	847.000m ²
Plot Ratio	24.45%

WESTERN ELEVATION

scale 1:100



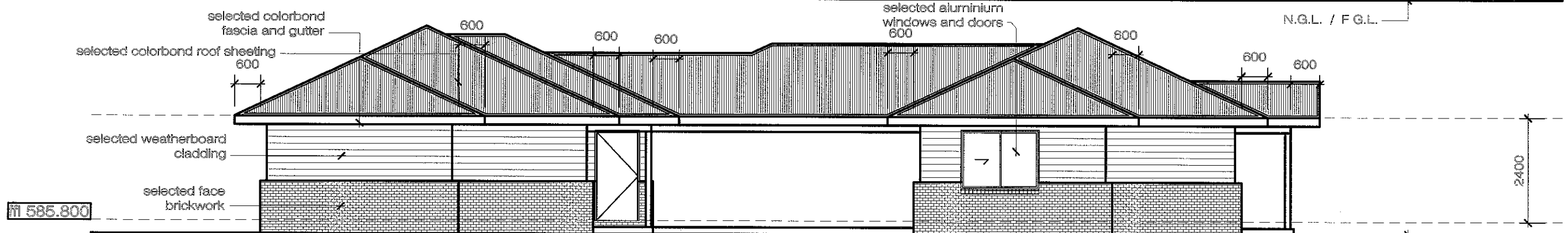
EASTERN ELEVATION

scale 1:100



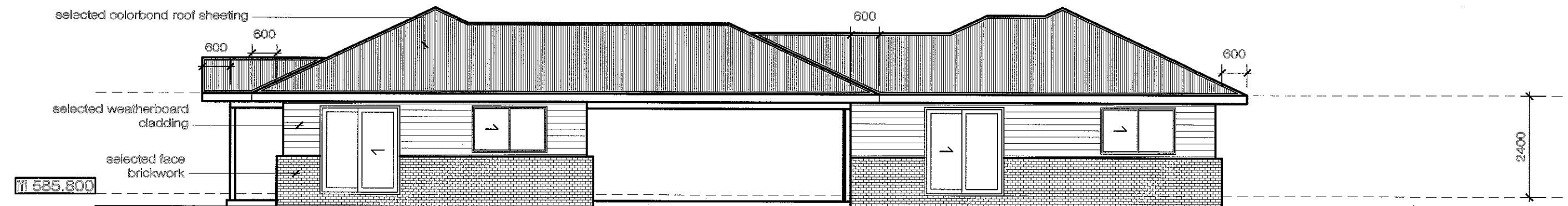
SOUTHERN ELEVATION

scale 1:100



NORTHERN ELEVATION

scale 1:100



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client Classic
Constructions

title Elevations

location
Block 16
Section 5
51 Campbell St
ANSLIE

date
30/8/2009

scale
1:100

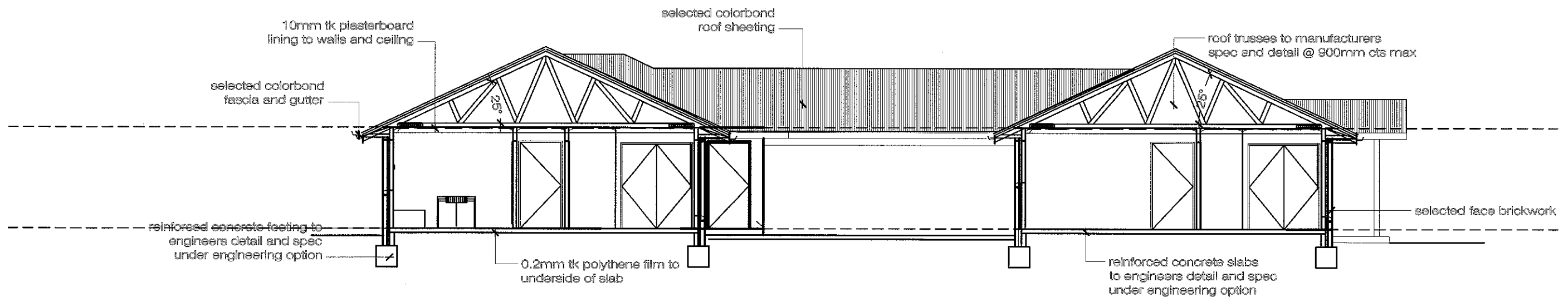
dwg no

amendments

UNIT 1	
Residence	85.052m ²
Carport	18.000m ²
Porch	2.890m ²
TOTAL	105.942m²
UNIT 2	
Residence	86.087m ²
Carport	18.000m ²
Porch	2.502m ²
TOTAL	106.589m²
Total Residence / Carport	207.149m ²
Block Area	847.000m ²
Plot Ratio	24.45%

BUILDING NOTES

- Hot water service to be natural gas
All hot water systems must be installed to regulations and include a tempering valve, not a thermostatic mixing valve
- Heating
Gas heating system is to be used. Confirmation of type and style to be advised by HCS
- Eaves
Minimum width of eaves 600mm
- Telephone Service
Provide one Telstra telephone outlet to each dwelling Location to be advised by HCS
- Smoke Detectors
All dwellings should be fitted with the appropriate number of hard-wired smoke detectors. Brooks hard wired, hush function, 10 year lithium battery, interlinked, or similar. HACS to approve the final number and location before installation. Where 2 or more detectors are required under the relevant standard, these detectors should be linked such that when one alarm sounds, all will sound.
- Windows
Windows to be powdercoated aluminium with keyed locks.
Windows must be able to be locked in a partially open position for ventilation and security purpose
Flyscreens shall be metal framed and aluminium meshed and be fitted to all opening windows
- Doors
All external doors are to be 970mm wide
External doors to be solid core
Front and rear door are to be fitted with meshed security screen doors, keyed alike with closers and perspex plate.
Door handles at 1000mm above floor level
Hardware on external doors must accommodate the interchangeable "Falcon" locking system. "Eye spy" type viewer to be provided to all front doors without glazed side panels
- Tiling
Floor tiles shall be selected for high slip resistance and ease of cleaning
- Carpet
Carpet is to be 100% wool in hard wearing, dense pile with high stain resistant characteristics on a suitable quality underlay



TYPICAL SECTION

scale 1:100

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e gmahony@bigpond.net.au



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client **Classic
Constructions**

title **Sections**

location
**Block 16
Section 5
51 Campbell St
AINSLIE**

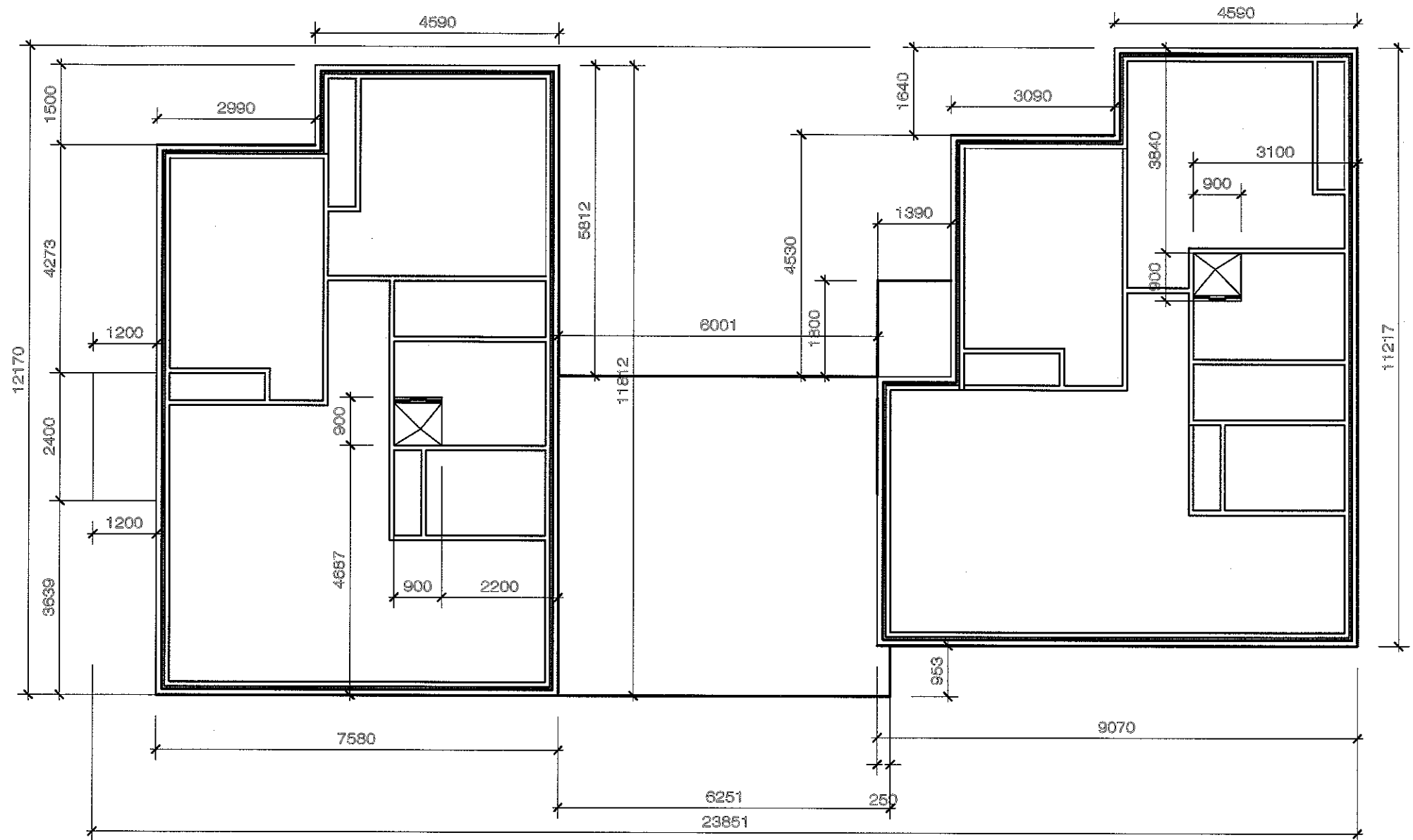
date
30/6/2009

scale
1:100

dwg no

amendments

UNIT 1	
Residence	85.052m ²
Carport	18.000m ²
Porch	2.890m ²
TOTAL	105.942m²
UNIT 2	
Residence	86.087m ²
Carport	18.000m ²
Porch	2.502m ²
TOTAL	106.599m²
Total Residence / Carport	207.149m ²
Block Area	847.000m ²
Plot Ratio	24.45%

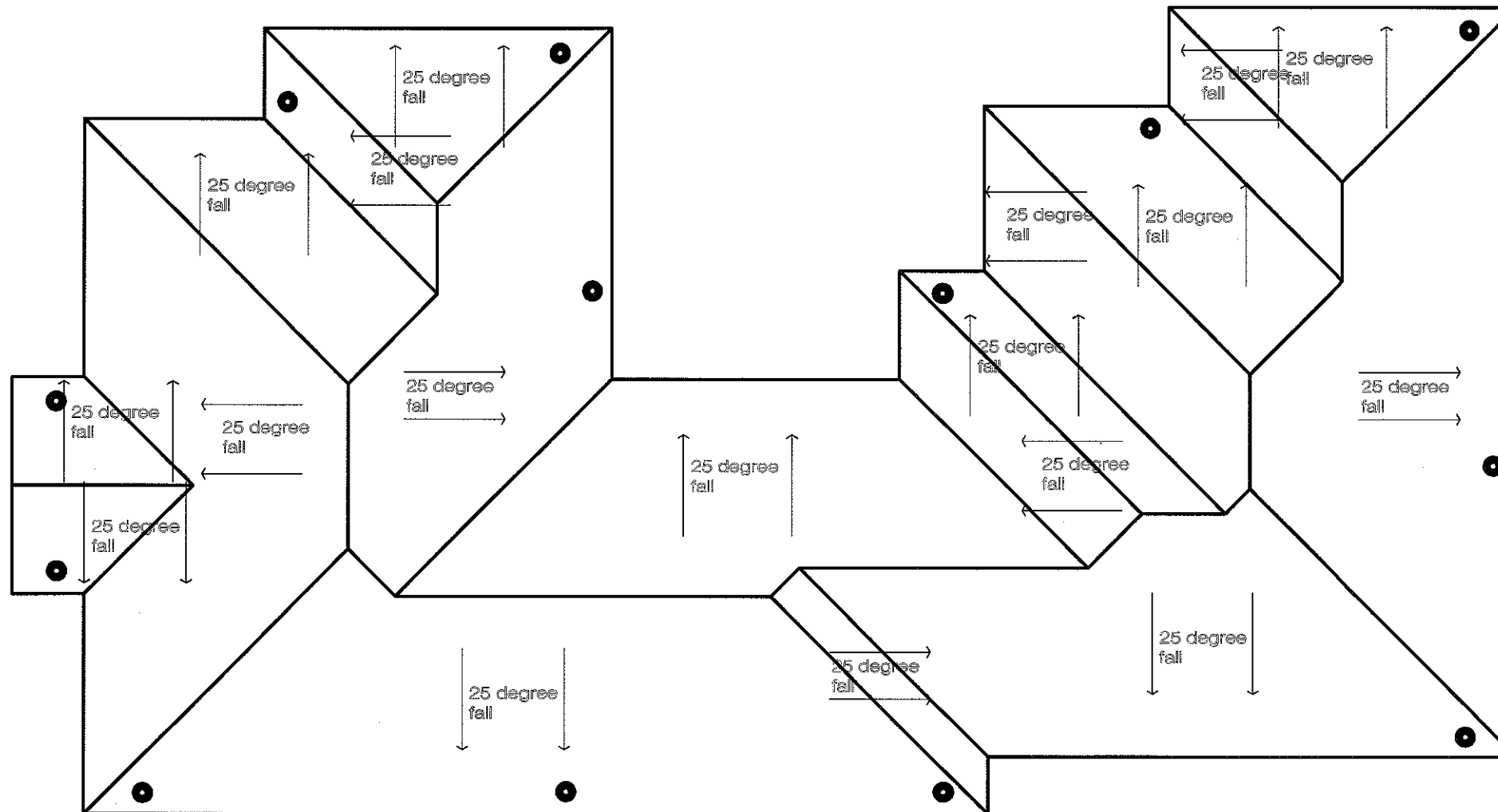


CONCRETE LAYOUT

scale 1:100

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		<small>do not scale drawings written dimensions take precedence check all dimensions-levels-site conditions prior to construction all work shall be in accordance with b.c.a. and rel. aust standards copyright for design illustrated here is held by febule ply ltd trading as designs by mahony aon 0008 649 992 abn 23 441 765 523</small>	title Concrete Plan		scale 1:100	

UNIT 1	
Residence	85.052m ²
Carport	18.000m ²
Porch	2.890m ²
TOTAL	105.942m²
UNIT 2	
Residence	86.097m ²
Carport	18.000m ²
Porch	2.502m ²
TOTAL	106.599m²
Total Residence / Carport	207.149m ²
Block Area	847.000m ²
Plot Ratio	24.45%



ROOF LAYOUT

scale 1:100

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e gmahony@bigpond.net.au



notes

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trading as designs by mahony eon 0008 649 552 abn 23 441 785 523

client Classic
Constructions

title Roof Plan

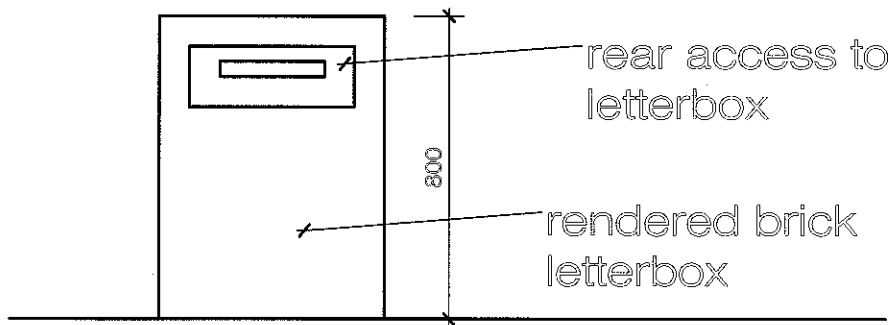
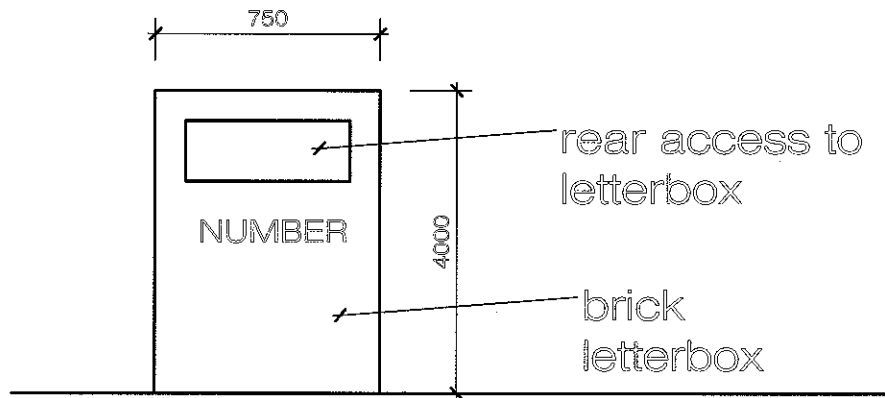
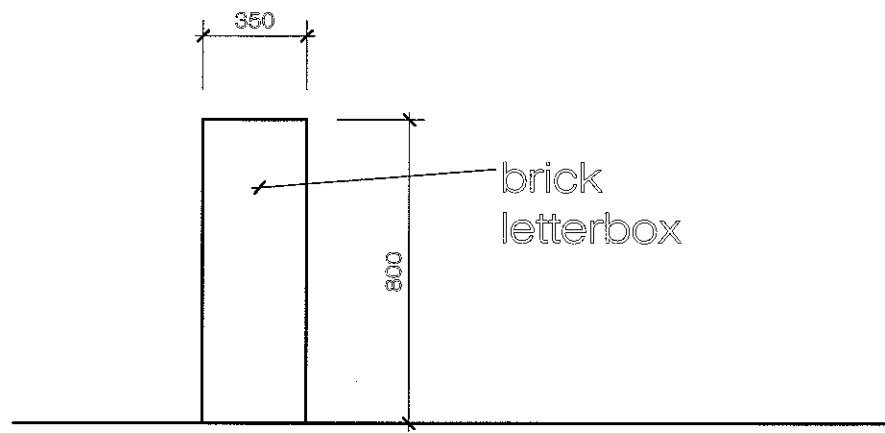
location
Block 16
Section 5
51 Campbell St
AINSLIE

date
30/6/2009

scale
1:100

dwg no

amendments



LETTERBOX DETAIL

scale 1:20

L.B Letter Box

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client
**CLASSIC
CONSTRUCTIONS**

title
**LETTERBOX / FENCE
PLAN**

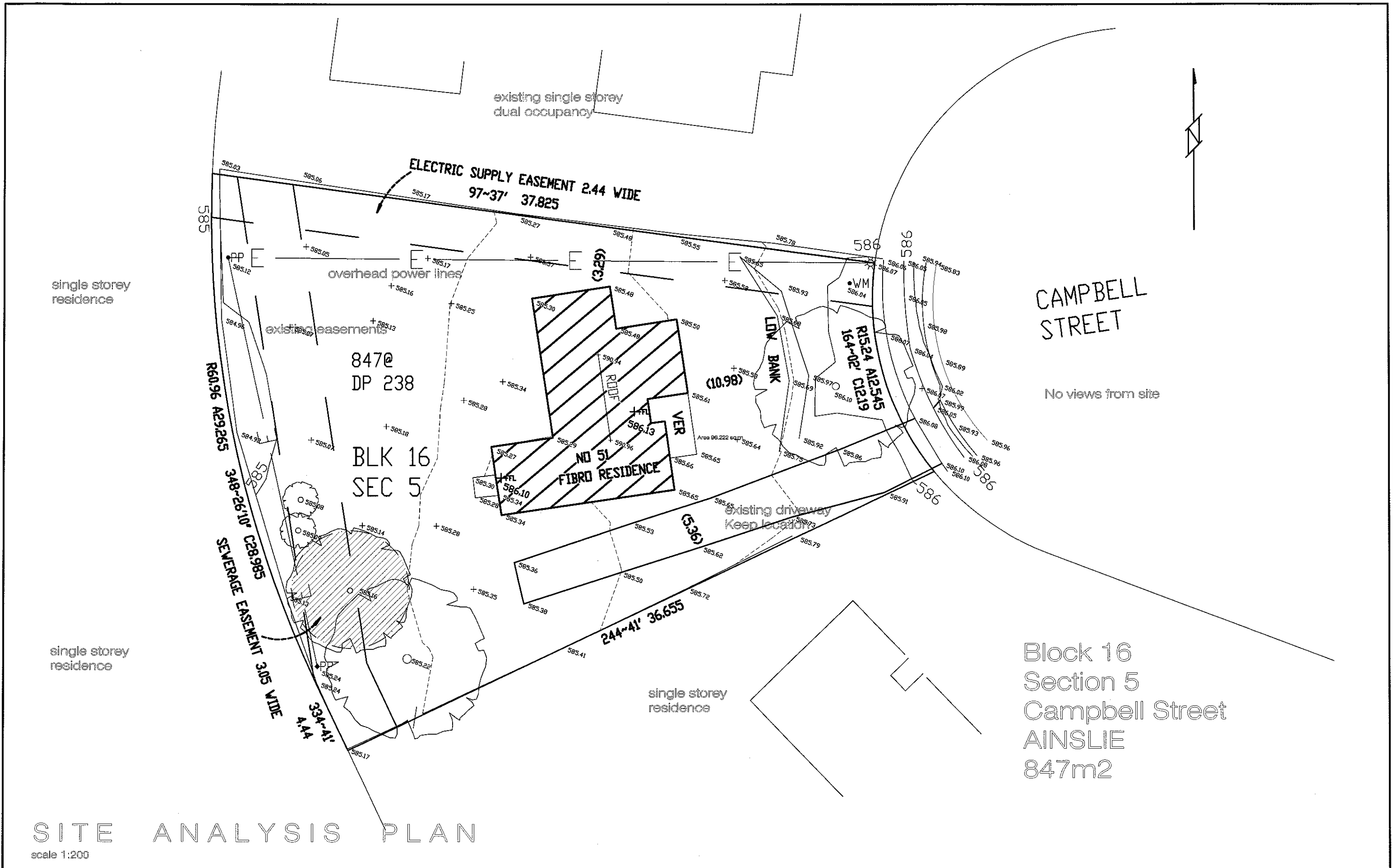
location
**Block 16
Section 5
51 Campbell St
AINSLIE**

date
30/6/2009

scale
1:100

dwg no

amendments

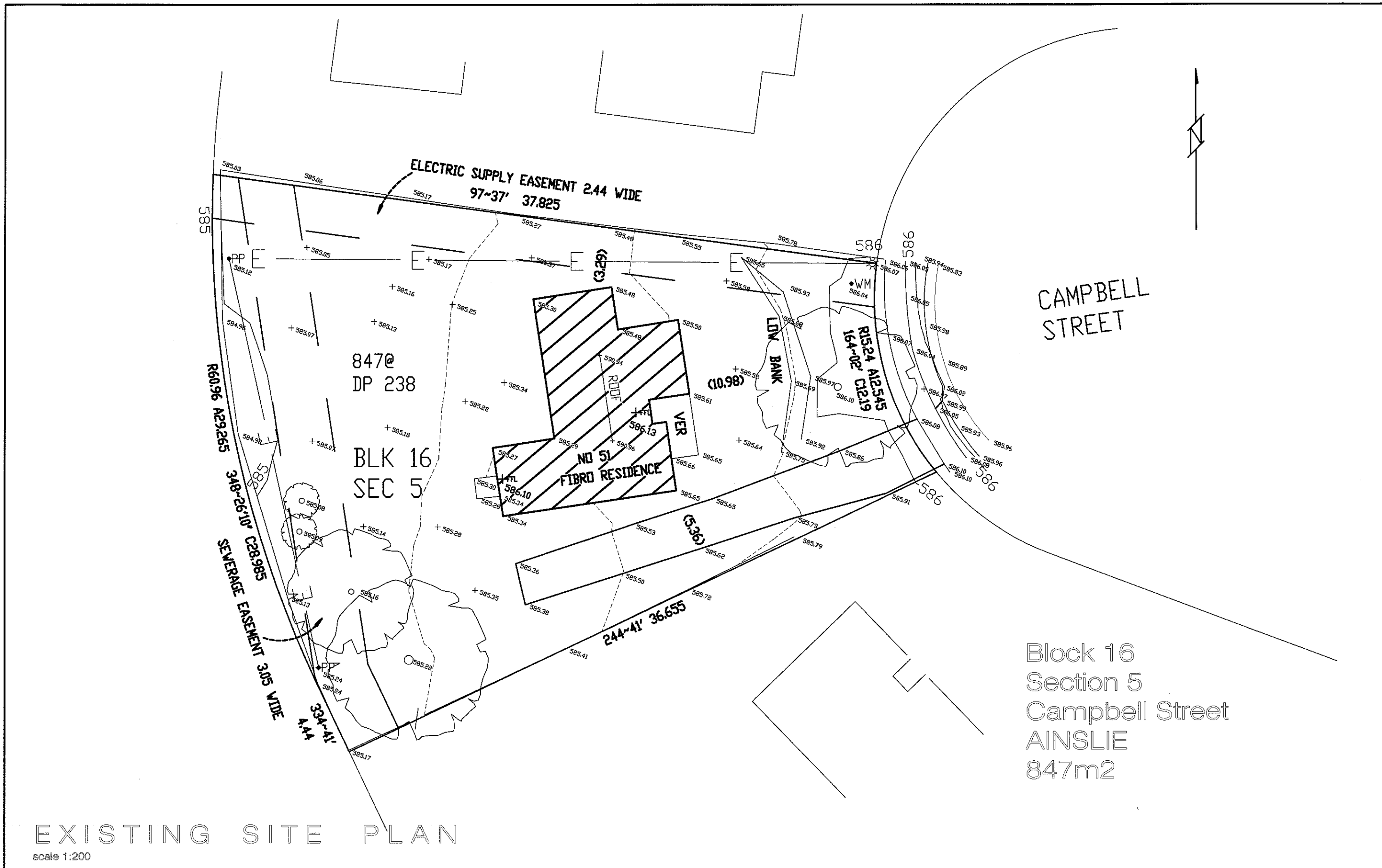


SITE ANALYSIS PLAN

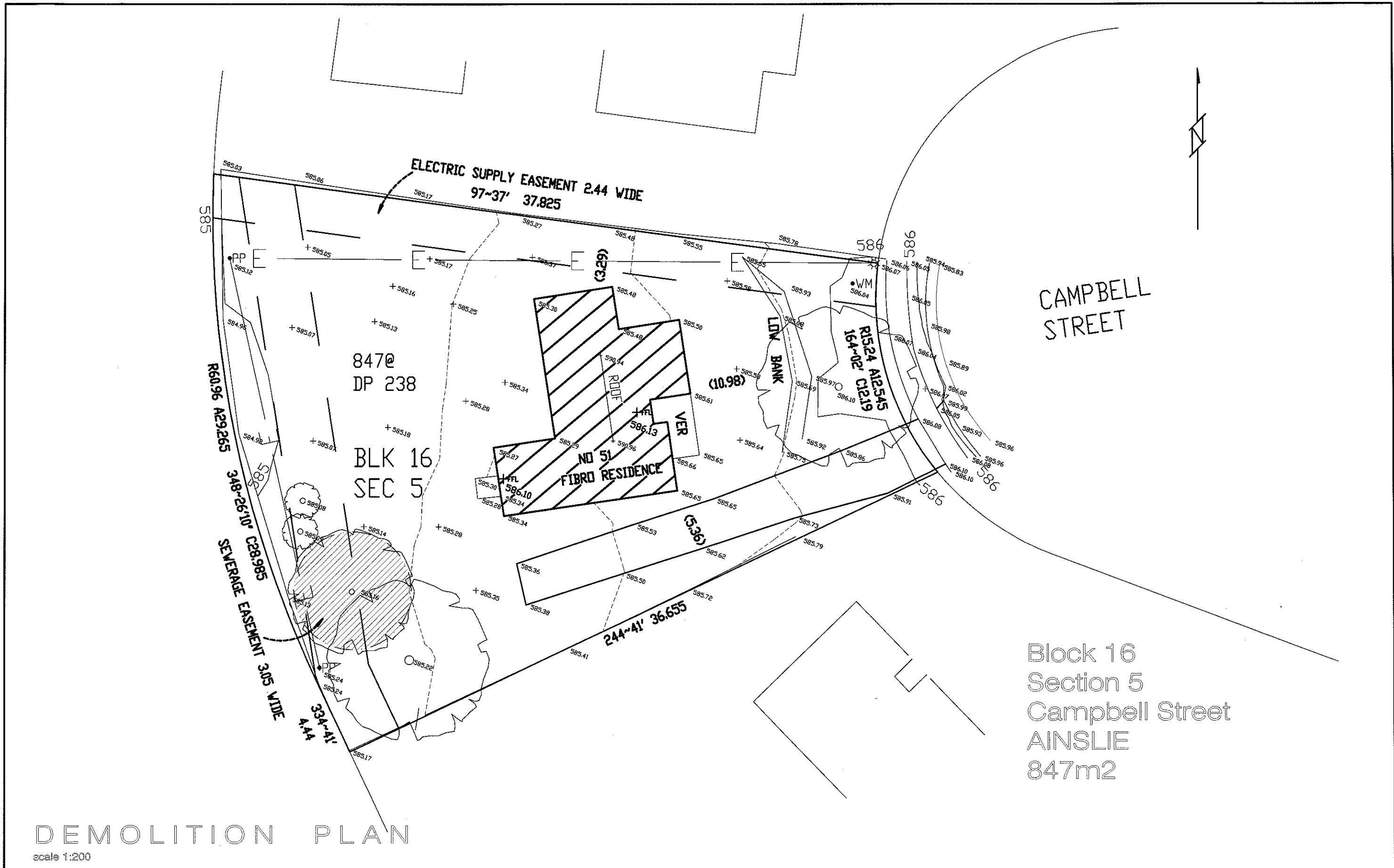
scale 1:200

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		title Site Analysis Plan	scale 1:200	dwg no	





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			title		scale	
			Existing Site Plan		1:200	
					dwg no	



DEMOLITION PLAN

scale 1:200

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f 62558745
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client Classic
Constructions

title Demolition
Plan

location

Block 16
Section 5
51 Campbell St
AINSLIE

date

30/6/2009

scale

1:200

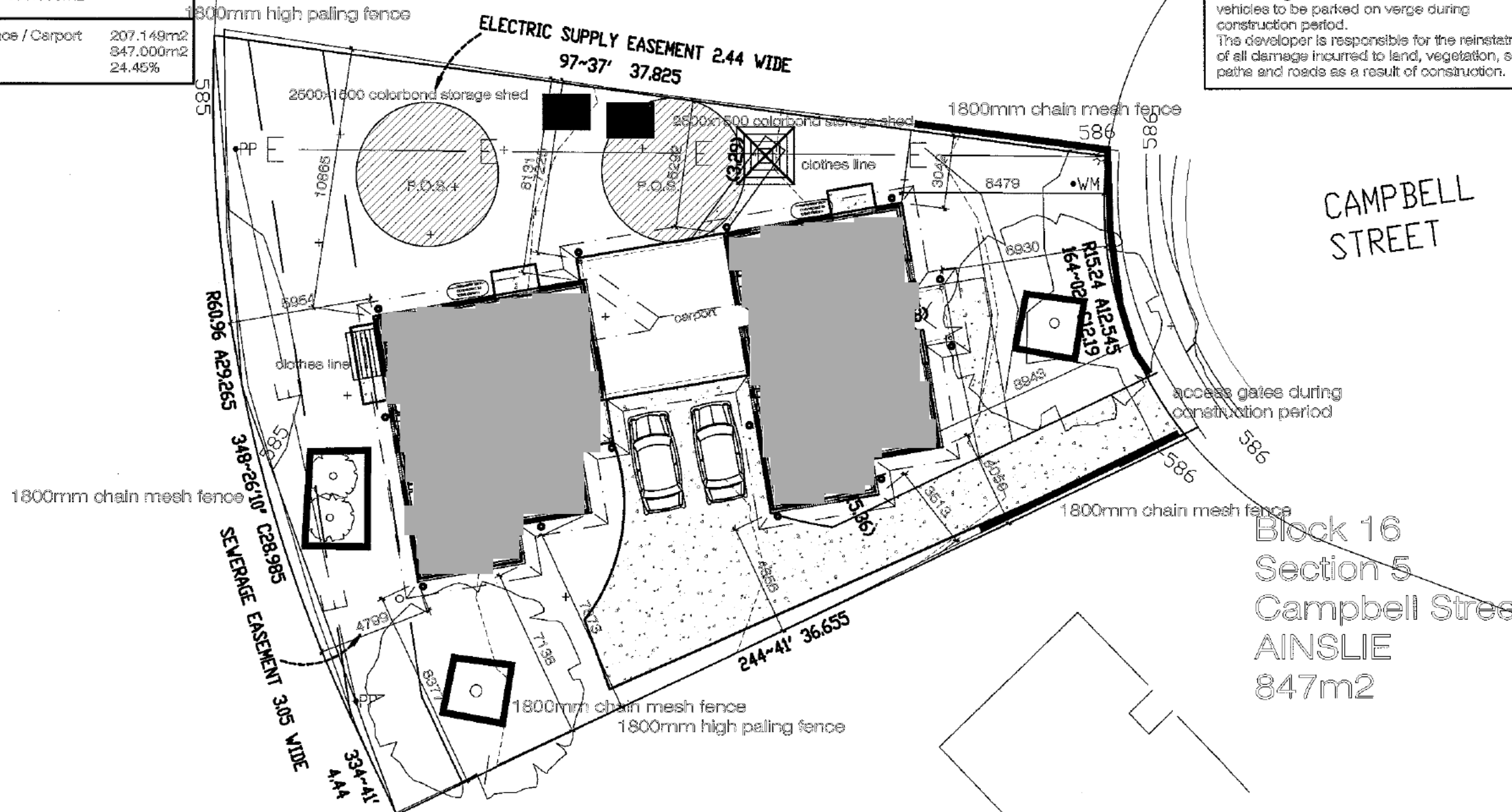
dwg no

amendments

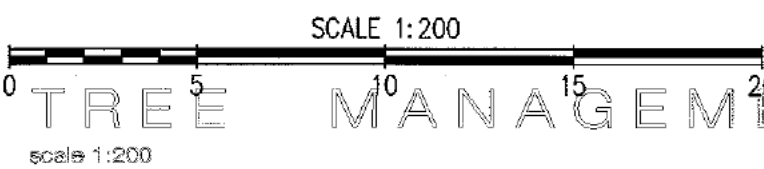
UNIT 1	
Residence	85.052m ²
Carport	18.000m ²
Porch	2.890m ²
TOTAL	105.942m²
UNIT 2	
Residence	86.097m ²
Carport	18.000m ²
Porch	2.802m ²
TOTAL	106.899m²
Total Residence / Carport	207.149m ²
Block Area	847.000m ²
Plot Ratio	24.45%

VERGE MANAGEMENT
 1800mm high chain mesh fence supported by 2400mm tall star pickets
 Fence to be removed on completion of project. Area to be sealed on completion

NOTE
 No building materials to be stored and no vehicles to be parked on verge during construction period.
 The developer is responsible for the reinstatement of all damage incurred to land, vegetation, services paths and roads as a result of construction.



Block 16
 Section 5
 Campbell Street
 AINSLIE
 847m²



NO SIGNIFICANT TREES ON BLOCK 16
NOTE: UNDERGROUND SERVICES HAVE NOT BEEN LOCATED!

TREE MANAGEMENT PLAN

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 m 0412627023
 e gmahony@bigpond.net.au



notes

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client Classic
 Constructions

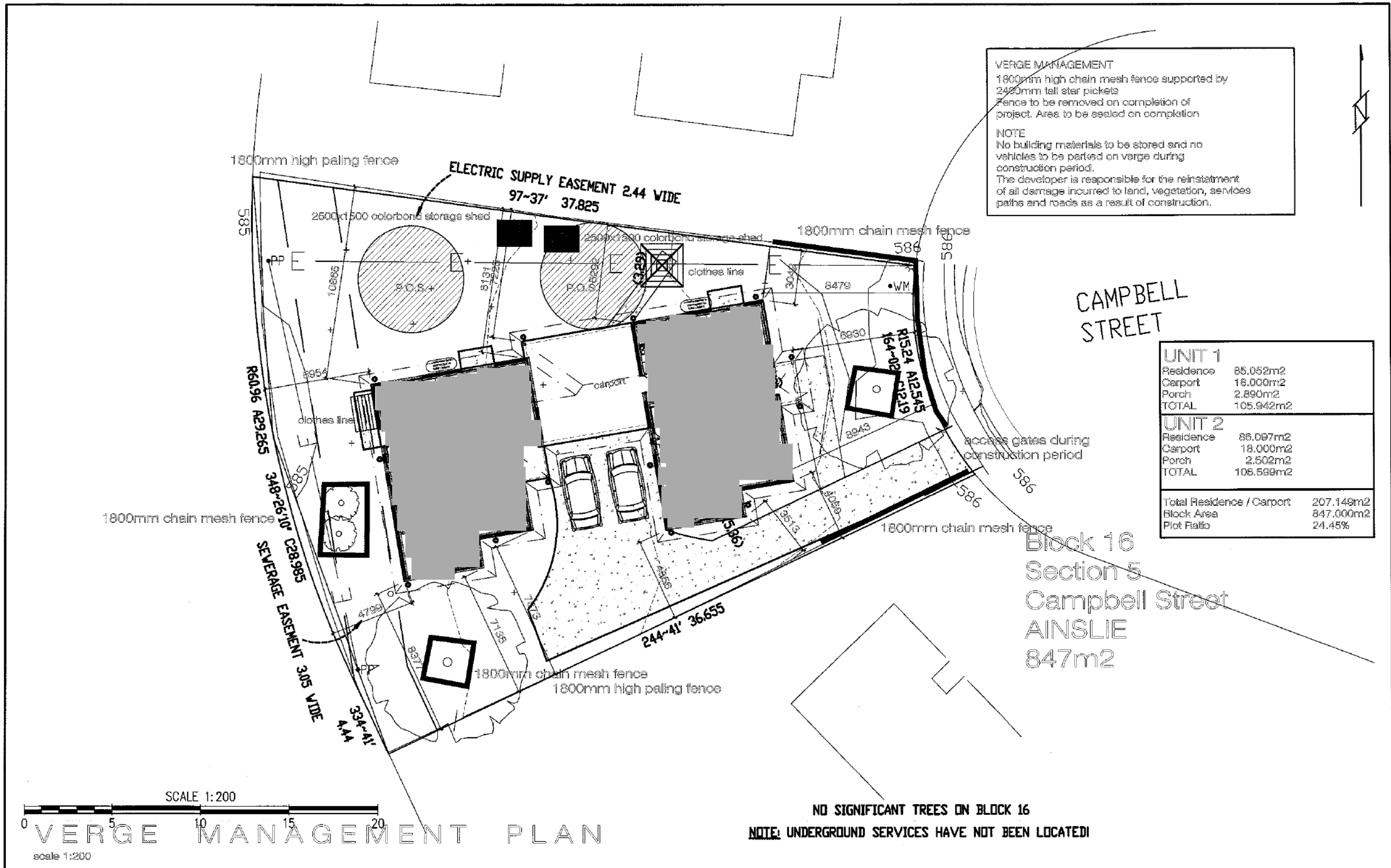
location Block 16
 Section 5
 51 Campbell St
 AINSLIE

date 30/6/2008

scale 1:200

dwg no

title Tree Management
 Plan



VERGE MANAGEMENT
 1800mm high chain mesh fence supported by 2400mm tall star pickets
 Fence to be removed on completion of project. Area to be sealed on completion

NOTE
 No building materials to be stored and no vehicles to be parked on verge during construction period.
 The developer is responsible for the reinstatement of all damage incurred to land, vegetation, services paths and roads as a result of construction.

UNIT 1	
Residence	85.052m ²
Carport	18.000m ²
Porch	2.890m ²
TOTAL	105.942m²
UNIT 2	
Residence	86.087m ²
Carport	18.000m ²
Porch	2.502m ²
TOTAL	106.589m²

Total Residence / Carport	207.149m ²
Block Area	847.000m ²
Plot Ratio	24.45%

Block 16
 Section 5
 Campbell Street
 AINSLIE
 847m²

NO SIGNIFICANT TREES ON BLOCK 16
NOTE: UNDERGROUND SERVICES HAVE NOT BEEN LOCATED!

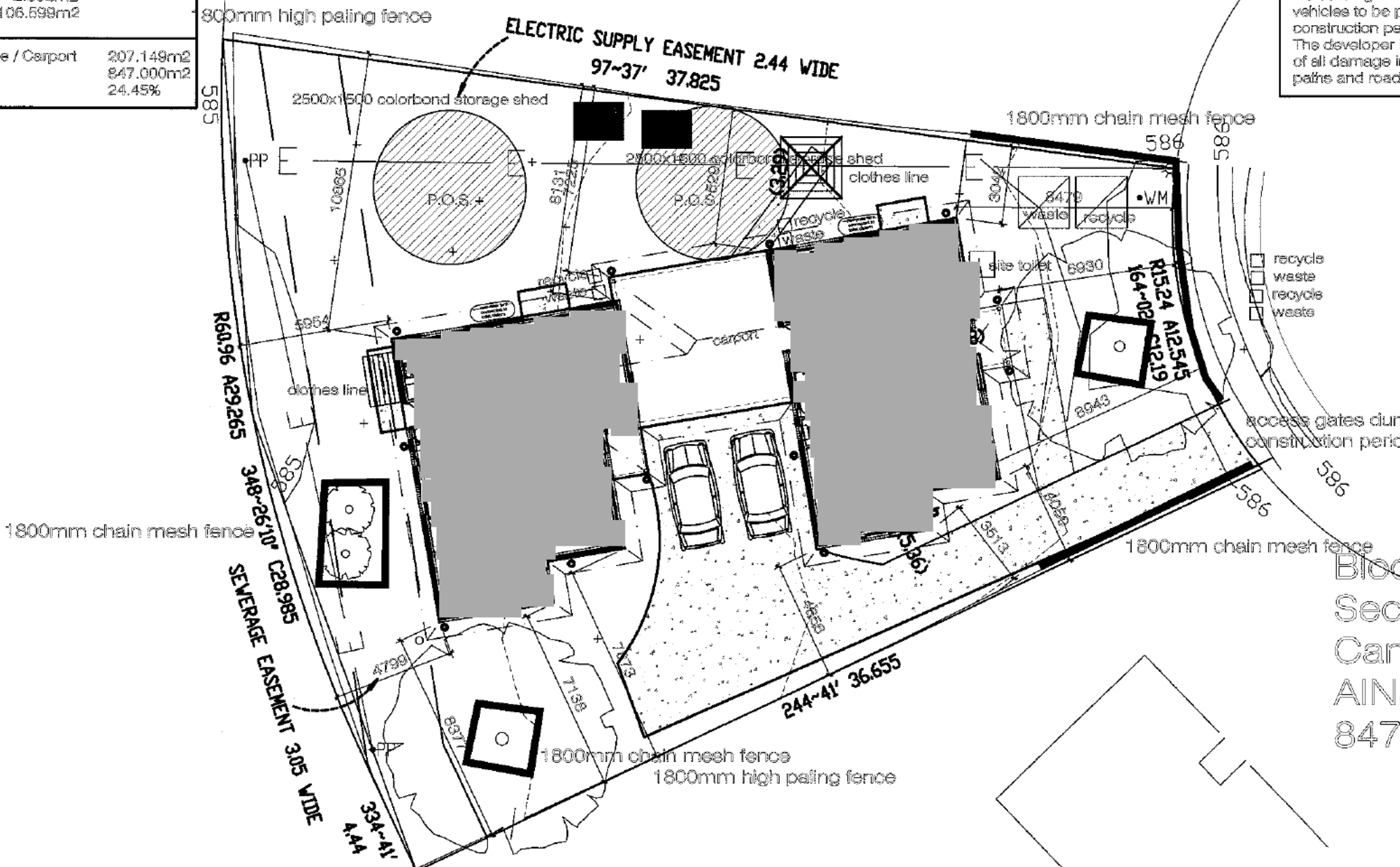
SCALE 1:200
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VERGE MANAGEMENT PLAN
 scale 1:200

designs by mahony 28 halloran drive jerrabomberra 2619 p 62558744 f 62558748 m 0412627023 e gmahony@bigpond.net.au	notes do not scale drawings written dimensions take precedence check all dimensions-levels-site conditions prior to construction all work shall be in accordance with n.s.w. and n.s.w. standards copyright for design illustrated here is held by fabule Pty Ltd trading as designs by mahony acn 0008 649 992 abn 23 441 765 523	client Classic Constructions	location Block 16 Section 5 51 Campbell St AINSLIE	date 30/8/2009	amendments
		title Verge Management Plan		scale 1:200	

UNIT 1	
Residence	85.052m ²
Carport	18.000m ²
Porch	2.890m ²
TOTAL	105.942m²
UNIT 2	
Residence	86.097m ²
Carport	18.000m ²
Porch	2.502m ²
TOTAL	106.599m²
Total Residence / Carport	207.149m ²
Block Area	847.000m ²
Plot Ratio	24.45%

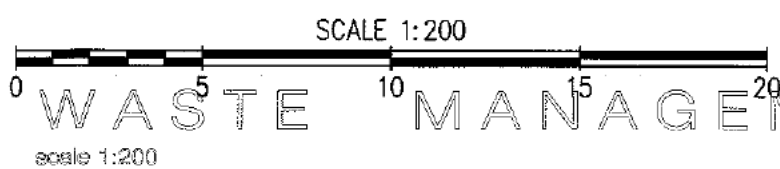
VERGE MANAGEMENT
 1800mm high chain mesh fence supported by 2400mm tall star pickets
 Fence to be removed on completion of project. Area to be sealed on completion

NOTE
 No building materials to be stored and no vehicles to be parked on verge during construction period.
 The developer is responsible for the reinstatement of all damage incurred to land, vegetation, services paths and roads as a result of construction.



CAMPBELL STREET

Block 16
 Section 5
 Campbell Street
 AINSLIE
 847m²



WASTE MANAGEMENT PLAN

NO SIGNIFICANT TREES ON BLOCK 16
NOTE: UNDERGROUND SERVICES HAVE NOT BEEN LOCATED!

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 f 62558745
 m 0412827023
 e gmahony@bigpond.net.au



notes
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client Classic Constructions
 title Waste Management Plan

location Block 16 Section 5 51 Campbell St AINSLIE

date 30/6/2009
 scale 1:200
 dwg no

amendments

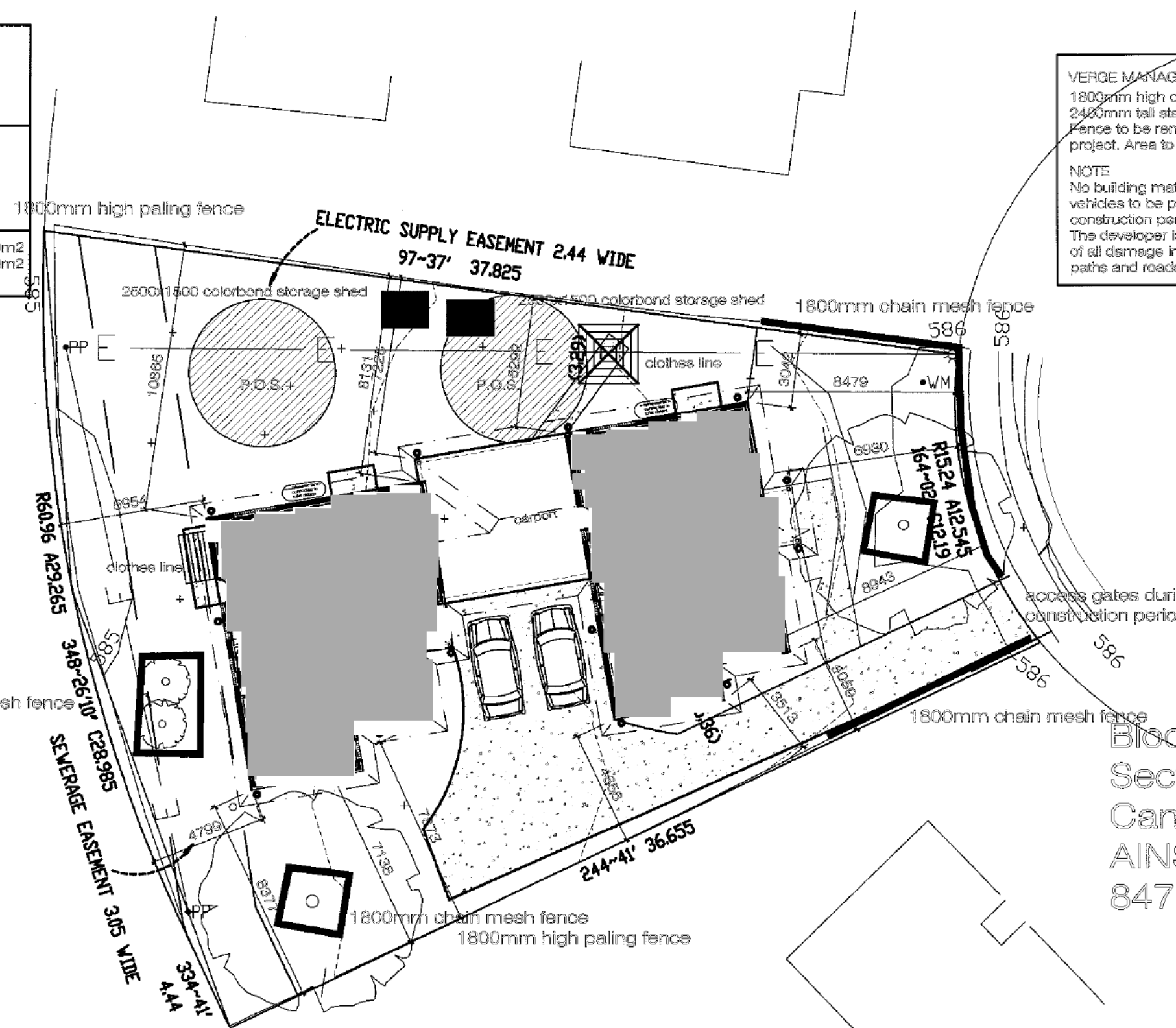
UNIT 1
 Residence 85.052m²
 Carport 18.000m²
 Porch 2.890m²
 TOTAL 105.942m²

UNIT 2
 Residence 86.097m²
 Carport 18.000m²
 Porch 2.602m²
 TOTAL 106.599m²

Total Residence / Carport 207.149m²
 Block Area 847.000m²
 Plot Ratio 24.45%

VERGE MANAGEMENT
 1800mm high chain mesh fence supported by 2400mm tall star pickets
 Fence to be removed on completion of project. Area to be sealed on completion

NOTE
 No building materials to be stored and no vehicles to be parked on verge during construction period.
 The developer is responsible for the reinstatement of all damage incurred to land, vegetation, services paths and roads as a result of construction.



CAMPBELL STREET

Block 16
 Section 5
 Campbell Street
 AINSLIE
 847m²



LANDSCAPE MANAGEMENT PLAN

NO SIGNIFICANT TREES ON BLOCK 16

NOTE: UNDERGROUND SERVICES HAVE NOT BEEN LOCATED

designs by mahony
 26 halloran drive jarrahomberra 2619

p 62558744
 f 62558748
 m 0412827023
 e gmahony@bigpond.net.au



notes

do not scale drawings
 written dimensions take precedence
 check all dimensions-levels-site conditions prior to construction
 all work shall be in accordance with b.c.s. and rel. Aust standards
 copyright for design illustrated here is held by febulis pty ltd
 trading as designs by mahony son 0006 649 982 abn 23 441 785 523

client Classic
 Constructions

title Landscape
 Management Plan

location
 Block 16
 Section 5
 51 Campbell St
 AINSLIE

date
 30/6/2009

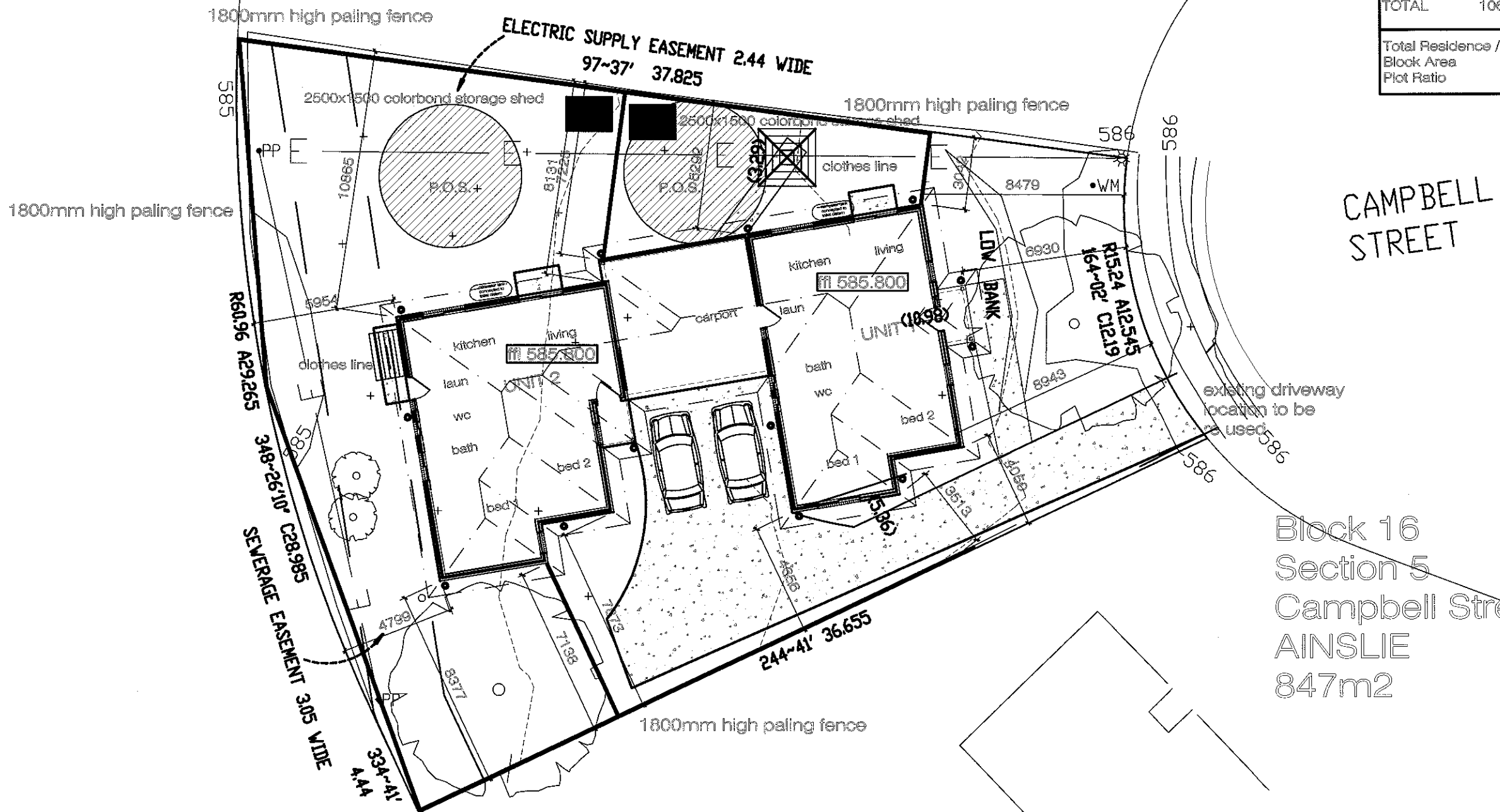
scale
 1:200

dwg no

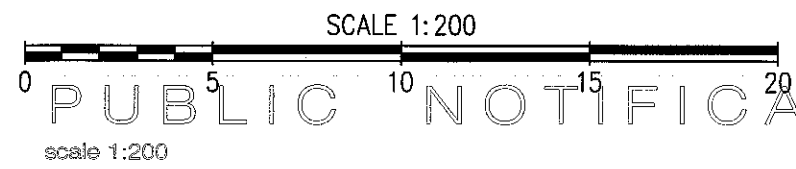
amendments



UNIT 1	
Residence	85.052m ²
Carport	18.000m ²
Porch	2.890m ²
TOTAL	105.942m²
UNIT 2	
Residence	86.097m ²
Carport	18.000m ²
Porch	2.502m ²
TOTAL	106.599m²
Total Residence / Carport	207.149m ²
Block Area	847.000m ²
Plot Ratio	24.45%



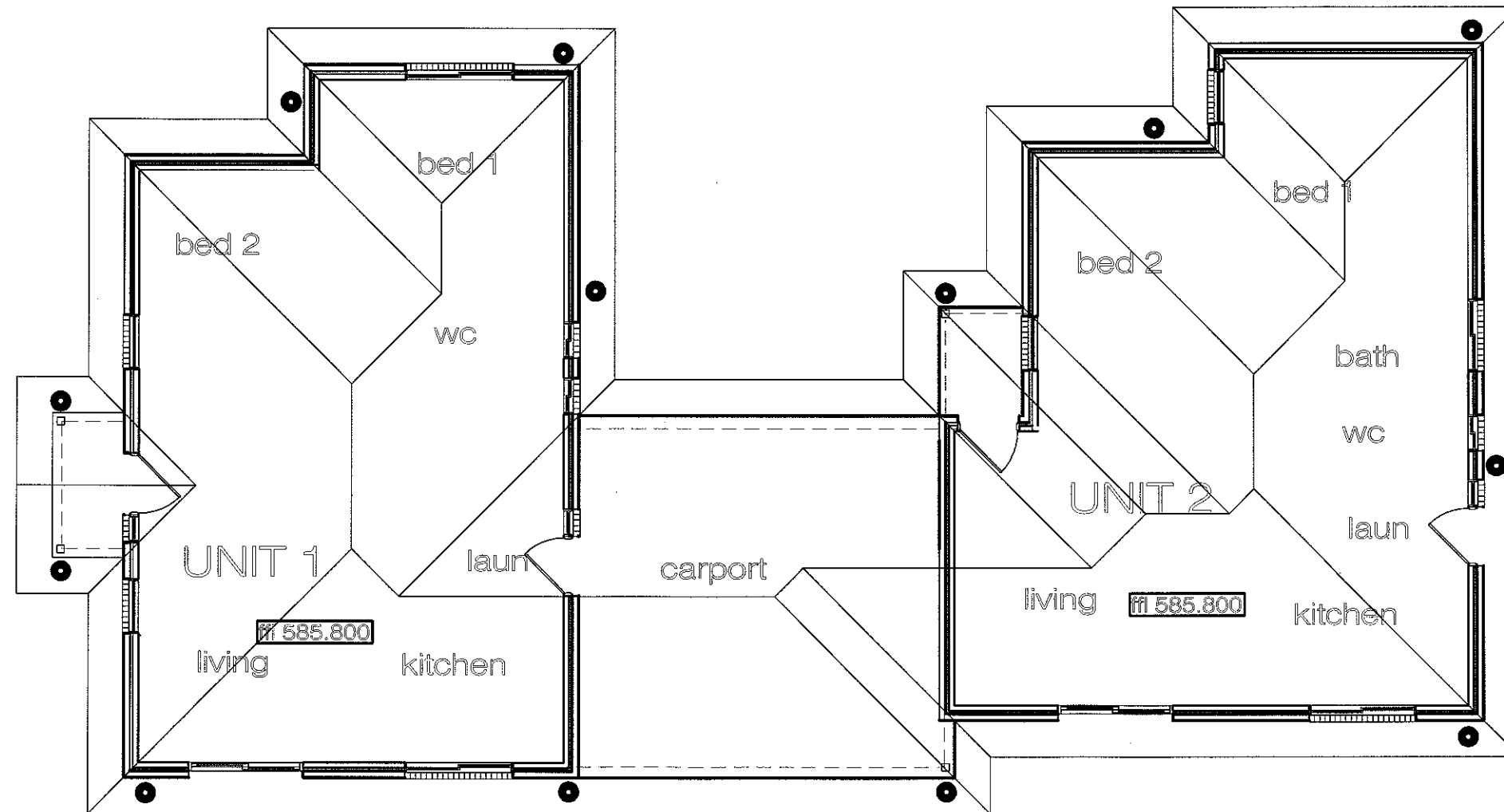
Block 16
Section 5
Campbell Street
AINSLIE
847m²



NO SIGNIFICANT TREES ON BLOCK 16
NOTE: UNDERGROUND SERVICES HAVE NOT BEEN LOCATED!

designs by mahony 28 halloran drive Jerrabomberra 2619 p 62558744 f 62558745 m 0412627023 e gmahony@bigpond.net.au	BDA Building Designers Association of New South Wales inc. ACT & Region Branch.	notes	client	location	date	amendments
		do not scale drawings written dimensions take precedence check all dimensions-levels-site conditions prior to construction all work shall be in accordance with n.s.w. and rel. aust standards copyright for design illustrated here is held by fcbulc ply ltd trading as designs by mahony acn 0008 649 992 abn 23 441 765 523	Classic Constructions	Block 16 Section 5 51 Campbell St AINSLIE	30/6/2009 scale 1:200 dwg no	

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TOTAL	106.599m²
Total Residence / Carport	207.149m ²
Block Area	847.000m ²
Plot Ratio	24.45%



PUBLIC NOTIFICATION PLAN

scale 1:100

designs by mahony
26 halloran drive jerrabomberra 2619

p 62558744
f 62558745
m 0412627023
e gmahony@bigpond.net.au

BDA
Building Designers Association
of New South Wales Inc.
ACT & Region Branch.

notes

do not scale drawings
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copyright for design illustrated here is held by febule Pty Ltd
trading as designs by mahony acn 0006 649 992 abn 23 441 765 623

client Classic
Constructions

title Public
Notification Plan

location
Block 16
Section 5
51 Campbell St
AINSLIE

date
30/6/2009

scale
1:100

dwg no

amendments

ACAT Appeal Checklist – After Appeal Finalised

Block	Section	Suburb		
ACAT Number		DA Number		
Name of Applicant(s)		Application:		
Authority Case Officer				
D A Y 1	Decision received from ACAT (either via mail (hard copy) or e-mail (electronic))		Date	
	If only hard copy received (usually consent decisions) scan (File name AT0X-XX AAT applicant (eg AT08-12 Smith)) and save into decision folder in Objective: ACAT COORDINATION team\ACAT COORD DECISIONS\ATXX Decisions			—
	Create alias of decision and save alias into relevant appeal folder in DA or TL file			<input type="checkbox"/>
	"Send reference" via Objective of decision to:			
	Case Officer			<input type="checkbox"/>
	Supervisor			<input type="checkbox"/>
	Section Head			<input type="checkbox"/>
	Branch Head			<input type="checkbox"/>
	ACTPLA DA Leasing (if a DA/Leasing appeal)			<input type="checkbox"/>
	If the appeal has a decision with reasons, send reference of decision to the ACAT Decision Review Committee – Tony Thew, Ben Ponton, Bruce Frazer, Maggie Chapman, David Dunstan, Sherridan Steele, Karen Wilden, Aaron Oshyer, Jim Corrigan			<input type="checkbox"/>
	Update ACAT decision details on Excel Database and Monthly Exec report: (Objective:\ACAT COORDINATION team\ACAT COORD Databases\ACAT Appeals current DATABASE)			<input type="checkbox"/>
	(Objective:\ACAT COORDINATION team\ACAT COORD Reports Current\ACAT COORD Monthly Exec Reports\Monthly Exec Rpt on Appeals)			<input type="checkbox"/>
	Update note on DA file, 6 - Decision folder with result of appeal. (DA appeals only)			<input type="checkbox"/>
	Finalise Appeal details on DARTS – update status for appeal activity only! (Do not update any other activity)			<input type="checkbox"/>
	If appeal finalised prior to hearing delete any Tasks/Hearing dates in case officers electronic diaries (only the officer who made the electronic bookings can delete it)			<input type="checkbox"/>
Delete any Hearing dates from 'Current Appeal Dates' listing			<input type="checkbox"/>	
ACAT Decision Review form – complete top section then send to Case Officer (ACAT COORDINATION team\ACAT COORD Decision Review Committee\ACAT Summary Sheets\Decision Summary proforma)			<input type="checkbox"/>	
File the signed hard copy of Decision in Decision's Folder			<input type="checkbox"/>	
Destroy any surplus copies of the T-doc			<input type="checkbox"/>	
Media? (Check media over next week to see if any articles on the appeal and save into (ACAT COORDINATION team\ACAT COORD Media) with alias to relevant appeal folder)			<input type="checkbox"/>	

From: [Johnson, MichaelR \(ACTPLA\)](#) on behalf of [aatSecretariat](#)
To: [REDACTED]
Subject: Amended date for ACAT appeal AT09/63
Date: Thursday, 16 July 2009 12:23:14 PM

Dear [REDACTED]

I have emailed you a notice of ACAT appeal AT09/63. Please disregard the first cover letter as it contains an incorrect due date of 14 July 2009. The second email has the correct due date of 24 July 2009 to be a party joined to this appeal.

Should you have any queries regarding this, please do not hesitate to contact me.

Regards

Michael Johnson
ACAT Coordination Unit
ACT Planning and Land Authority
GPO Box 1908
CANBERRA ACT 2601
T - 02 6207 5639
F - 02 6207 7288
E - michaelr.johnson@act.gov.au

From: [Johnson, MichaelR \(ACTPLA\)](#) on behalf of [aatSecretariat](#)
To: [@designsbymahony.net.au"](#)
Subject: Notice of ACAT appeal AT09/63 - 16/5 Ainslie (DA200914463)
Date: Thursday, 16 July 2009 11:35:07 AM

Dear Guy Mahony

ADVICE OF APPLICATION FOR A REVIEW OF A DECISION
ACT CIVIL AND ADMINISTRATIVE TRIBUNAL APPLICATION NO: AT09/63
ACAT APPLICANTS: [REDACTED]
Block 16 Section 5 AINSLIE
Development Application Number: 200914463

You are advised that the above ACAT Applicants have made an application to the ACT Civil and Administrative Tribunal (the Tribunal) for a review of the decision to approve with conditions the above development application.

As the Applicant for the above development application you may apply to the Tribunal, by 24 July 2009, to be made a party to the proceedings before the Tribunal. I enclose a copy of the direction made by the Tribunal and a copy of the application for review of a decision in respect of this matter.

For further information on the review process the Tribunal may be contacted on 02 6207 1740 or you can access information from their web site www.courts.act.gov.au.

The address of the ACAT is:

ACT Civil and Administrative Tribunal
ACT Magistrates Court Building
Knowles Place
CANBERRA ACT 2601

ACT Civil and Administrative Tribunal
ACT Magistrates Court
OR
GPO Box 370
CANBERRA ACT 2601

If you would like to discuss the Development Application in question, please contact the Assessing Officer, Ajith Buddhadasa, on 6205 1550.

Yours sincerely

Michael Johnson
ACAT Co-ordination Unit
ACT Planning and Land Authority

16 July 2009

enc

From: [Johnson, MichaelR \(ACTPLA\)](#) on behalf of [aatSecretariat](#)
To: [REDACTED]
Subject: Notice of ACAT appeal AT09/63 - 16/5 Ainslie (DA200914463)
Date: Thursday, 16 July 2009 11:43:18 AM

Dear Don Tucker

ADVICE OF APPLICATION FOR A REVIEW OF A DECISION
ACT CIVIL AND ADMINISTRATIVE TRIBUNAL APPLICATION NO: AT09/63
ACAT APPLICANTS: [REDACTED]
Block 16 Section 5 AINSLIE
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Yours sincerely

Michael Johnson
ACAT Co-ordination Unit
ACT Planning and Land Authority

16 July 2009

enc

From: [Johnson, MichaelR \(ACTPLA\)](#) on behalf of [aatSecretariat](#)
To: [REDACTED]
Subject: Notice of ACAT appeal AT09/63 - 16/5 Ainslie (DA200914463)
Date: Thursday, 16 July 2009 11:47:13 AM

Dear [REDACTED]

ADVICE OF APPLICATION FOR A REVIEW OF A DECISION
ACT CIVIL AND ADMINISTRATIVE TRIBUNAL APPLICATION NO: AT09/63
ACAT APPLICANTS: [REDACTED]
Block 16 Section 5 AINSLIE
Development Application Number: 200914463

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Yours sincerely

Michael Johnson
ACAT Co-ordination Unit
ACT Planning and Land Authority

16 July 2009

enc

From: [Johnson, MichaelR \(ACTPLA\)](#) on behalf of [aatSecretariat](#)
To: [REDACTED]
Subject: Advice of ACAT appeal AT09/63 - 16/5 Ainslie (DA200914463) with amended due date
Date: Thursday, 16 July 2009 11:57:50 AM

Dear [REDACTED]

ADVICE OF APPLICATION FOR A REVIEW OF A DECISION
ACT CIVIL AND ADMINISTRATIVE TRIBUNAL APPLICATION NO: AT09/63
ACAT APPLICANTS: [REDACTED]
Block 16 Section 5 AINSLIE
Development Application Number: 200914463

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GPO Box 370
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Yours sincerely

Michael Johnson
ACAT Co-ordination Unit
ACT Planning and Land Authority

16 July 2009

enc

From: [Johnson, MichaelR \(ACTPLA\)](#) on behalf of [aatSecretariat](#)
To: [REDACTED]
Subject: Notice of ACAT appeal AT09/63 - 16/5 Ainslie (DA200914463)
Date: Thursday, 16 July 2009 11:52:16 AM

Dear [REDACTED]

ADVICE OF APPLICATION FOR A REVIEW OF A DECISION
ACT CIVIL AND ADMINISTRATIVE TRIBUNAL APPLICATION NO: AT09/63
ACAT APPLICANTS: [REDACTED]
Block 16 Section 5 AINSLIE
Development Application Number: 200914463

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Yours sincerely

Michael Johnson
ACAT Co-ordination Unit
ACT Planning and Land Authority

16 July 2009

enc



Guy Mahony
Designs By Mahony
23 Murrnba Place
Jerrabomberra NSW 2619

Dear Guy Mahony

**ADVICE OF APPLICATION FOR A REVIEW OF A DECISION
ACT CIVIL AND ADMINISTRATIVE TRIBUNAL APPLICATION NO: AT09/63**

ACAT APPLICANTS: [REDACTED]

Block 16 Section 5 AINSLIE

Development Application Number: 200914463

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Yours sincerely

Michael Johnson
ACAT Co-ordination Unit
ACT Planning and Land Authority

16 July 2009

enc