

From: [Exemptdec](#)
To: [Exemptdec](#)
Subject: APPROVED BY DELEGATE:EXEMPTION DECLARATION-6-57-GRIFFITH [SEC=UNCLASSIFIED]
Date: Friday, 22 November 2019 1:06:37 PM
Attachments: [EXEMPTION DECLARATION.obr](#)

UNCLASSIFIED

Approved by delegate (Matt Davis).

Kind Regards

Anna Musgrove

Assessment Officer | Gateway Team

Development Assessment | Planning Delivery Division

Environment, Planning and Sustainable Development | ACT Government

Phone 02 6205 0179 | Email anna.musgrove@act.gov.au

Dame Pattie Menzies House, Challis Street, Dickson | GPO Box 158 Canberra ACT

From: EPD, Customer Services <EPDCustomerServices@act.gov.au>

Sent: Monday, 11 November 2019 2:25 PM

To: Exemptdec <Exemptdec@act.gov.au>

Subject: READY FOR ASSESSMENT:EXEMPTION DECLARATION-6-57-GRIFFITH
[SEC=UNCLASSIFIED]

Exempt Declaration Form 1N - Submission confirmation

Your submission has been successful. Please keep a copy of this receipt for your records.

Date and time

11 Nov 2019 10:10:11 AM

Reference code

SJ5NTS

Environment, Planning and Sustainable
Development Directorate

GPO Box 158
Canberra City ACT 2601

Telephone: (02) 6207 1923

Lease/site details

Suburb/District *

GRIFFITH

Section *

57

Block *

6

If you require help with suburb/district, section or block details, visit [ACTMAPI](#).

Address line 1 *

6 landsborough street

Address line 2

Suburb *

GRIFFITH

State

ACT

Postcode *

2603

Applicant/certifier details

Is the applicant a *

Company

Individual

Contact details

Title

Mr

Given name *

jefferson

Family name *

godfrey

Please enter at least one phone number: *

Home phone number

Work phone number

Mobile number

Email address *

jgarchitects@optusnet.com.au

Decision and Plans - Your decision and plans will be returned via email. Please ensure your email address provided is correct.

Lessee (Property owners) details

All lessees must be included in this form and **must** sign the Letter of Authority authorising the lodgement of this application. In doing so the lessee gives authority to the applicant to negotiate any dealings in relation to the application through to its determination.

Item Number 1

Same as applicant

Lessee

Is this lessee a *

Company

Individual

Contact details

Title

Given name *

Family name *

Please enter at least one phone number: *

Home phone number

Work phone number

Mobile number

Email address *

Item Number 2

Lessee

Is this lessee a *

Company

Individual

Contact details

Title	Given name *	Family name *
<input type="text"/>	<input type="text"/>	<input type="text"/>

Please enter at least one phone number: *

Home phone number	Work phone number	Mobile number
<input type="text"/>	<input type="text"/>	<input type="text"/>

Email address *

Please attach a letter of authority signed by all lessee's. *

File: letter of authorisation.pdf

Rule departure/s

This application seeks approval for the following minor departure/s from the Single Residential Housing Development Code.

Item Number 1

Rule number *

Description of departure *

270 x 804 x 172H encroachment into rear solar envelope of corner of roof and gutter at bed 3

Shadow diagrams indicating the extent of the departure will assist in assessing this rule and if not initially provided may be requested during the assessment, or a decision will be made based on the information provided.

Relevant plans and supporting documentation that clearly identify the rule departure/s must be uploaded as a single PDF. *

File: 6 57 GRIFFITH WDS 11 nov 2019 1n.pdf

Is the work detailed in this application currently under construction? *

Yes No

Is this application for an existing structure? *

Yes No

Is the application being considered subject to a current Building Approval? *

Yes No

Is the application subject to a completed Building Approval? *

Yes No

Is this application currently subject to compliance action? *

Yes

No

Applicant declaration

I, jefferson godfrey

- declare that all the information given on this form and its attachments is true and complete. ***
- declare that the attached plans clearly show the departure (for example, through using colour), and any other relevant information. ***
- I understand an assessment is only conducted once an application is lodged, and incorrect documentation may result in a refusal. ***



Drawing List

Sheet Number	Sheet Name
A00	COVER SHEET
A01	SITE PLAN
A02	FLOOR PLAN
A03	ROOF PLAN
A04	ELEVATIONS
A05	ELEVATIONS & SECTIONS
A06	SECTIONS
A07	REFLECTED CEILING PLAN
A08	INTERNAL VIEWS
A09	EXTERNAL VIEWS
A10	DEMOLITION AND SEDIMENT CONTROL PLAN
A11	LANDSCAPE MANAGEMENT AND PROTECTION PLAN
A12	SAFE DESIGN OF STRUCTURES

1 FRONT VIEW
1:1

			PROJECT TITLE PROPOSED NEW RESIDENCE	TITLE COVER SHEET	SCALES 1 : 1	PROJECT No. 6 57 GRIFFITH
			BLOCK 6 SECTION 57, 6 LANDBOROUGH STREET, GRIFFITH	CL ENT [REDACTED]	DRAWN JLG	DRAWING No A00
					CHECKED JLG	REVISION
					DATE 11/7/19	APPROVALS
ISSUE	DATE	AMENDMENT	<small>ALL DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE DRAWING. ALL DIMENSIONS AND LEVELS MUST BE VERIFIED ON SITE BY CONTRACTOR BEFORE THE COMMENCEMENT OF WORK</small>			

SITE AREA = 1073M2
 MAX PLOT RATIO = 50%
 536.5M2

MINIMUM POS = 60% OF BLOCK AREA - 50M2
 = 1073M2 X 60% - 50m2
 = 593.8M2
 ACHIEVED POS = BLOCK - GFA FOOTPRINT
 = 1073M2 - 333.1M2
 = 739.9M2

GROSS FLOOR AREA

Name	Area
LIVING	289.3 m ²
GARAGE	43.8 m ²
	333.1 m ²

TOTAL BUILT AREA

Name	Area
LIVING	289.3 m ²
GARAGE	43.8 m ²
REAR DECK	21.1 m ²
PORCH	5.2 m ²
	359.4 m ²

Rating document number: **4IQK64AQAH**
 Completed by: **jefferson godfrey**
 Completion date: **3 Aug 2019**
 Dwelling address: **6 LANDBOROUGH STREET GRIFFITH ACT 2603**

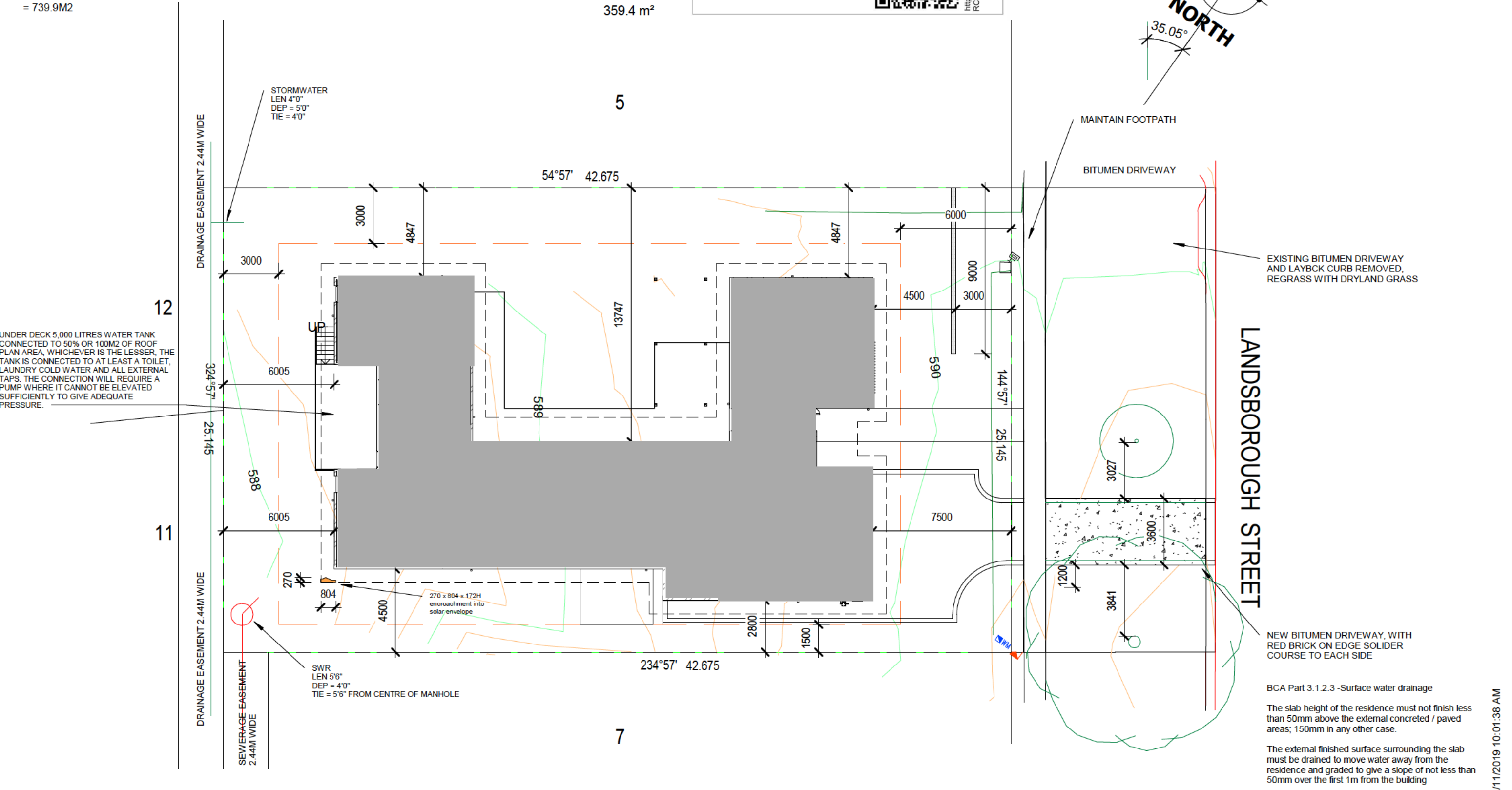
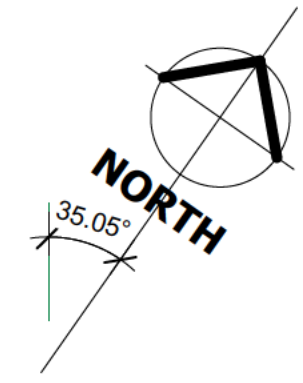
6.1 STARS

This rating completed by a non-accredited rater.



<https://www.f15.com.au/QRCodes/landing?publicid=4IQK64AQAH>

ACT HOUSE ENERGY RATING SCHEME
 6.0 STARS
 11 JULY 2019
 JEFFERSON LEE GODFREY 01-0135



UNDER DECK 5,000 LITRES WATER TANK CONNECTED TO 50% OR 100M2 OF ROOF PLAN AREA, WHICHEVER IS THE LESSER, THE TANK IS CONNECTED TO AT LEAST A TOILET, LAUNDRY COLD WATER AND ALL EXTERNAL TAPS. THE CONNECTION WILL REQUIRE A PUMP WHERE IT CANNOT BE ELEVATED SUFFICIENTLY TO GIVE ADEQUATE PRESSURE.

EXISTING BITUMEN DRIVEWAY AND LAYBACK CURB REMOVED, REGRASS WITH DRYLAND GRASS

NEW BITUMEN DRIVEWAY, WITH RED BRICK ON EDGE SOLIDER COURSE TO EACH SIDE

BCA Part 3.1.2.3 -Surface water drainage

The slab height of the residence must not finish less than 50mm above the external concreted / paved areas; 150mm in any other case.

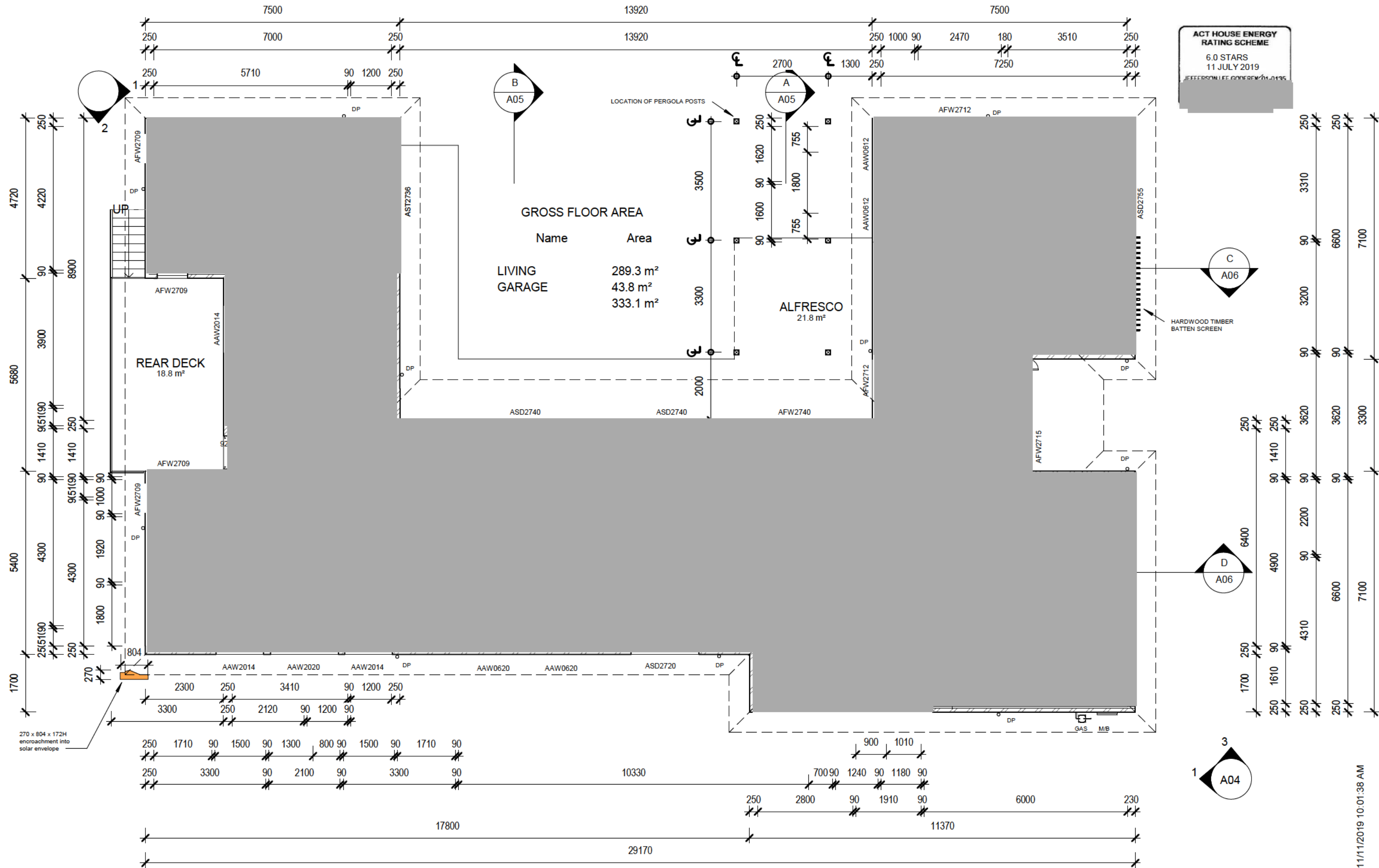
The external finished surface surrounding the slab must be drained to move water away from the residence and graded to give a slope of not less than 50mm over the first 1m from the building

11/11/2019 10:01:38 AM

JEFFERSON GODFREY ARCHITECTS PTY LTD
 131 BRIGALOW STREET
 LYNEHAM, ACT 2602
 MOBILE: [REDACTED]
 EMAIL: jgarchitects@optusnet.com.au

PROJECT TITLE PROPOSED NEW RESIDENCE			TITLE SITE PLAN		SCALES 1 : 200	PROJECT No. 6 57 GRIFFITH
BLOCK 6 SECTION 57, 6 LANDBOROUGH STREET, GRIFFITH			CLIENT [REDACTED]		DRAWN JLG	DRAWING No REVISION A01
ISSUE			DATE		CHECKED JLG	APPROVALS
AMENDMENT			DATE		ALL DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE DRAWING. ALL DIMENSIONS AND LEVELS MUST BE VERIFIED ON SITE BY CONTRACTOR BEFORE THE COMMENCEMENT OF WORK	

ACT HOUSE ENERGY RATING SCHEME
 6.0 STARS
 11 JULY 2019
 JEFFERSON LEE GODFREY/01-0135



270 x 804 x 172H encroachment into solar envelope

11/11/2019 10:01:38 AM

JEFFERSON GODFREY ARCHITECTS PTY LTD
 131 BRIGALOW STREET
 LYNEHAM, ACT 2602
 MOBILE: [REDACTED]
 EMAIL: jgarchitects@optusnet.com.au

ISSUE	DATE	AMENDMENT

PROJECT TITLE
PROPOSED NEW RESIDENCE

TITLE
FLOOR PLAN

CLIENT
 [REDACTED]

BLOCK 6 SECTION 57,
 6 LANDBOROUGH STREET,
 GRIFFITH

SCALES
 1 : 100

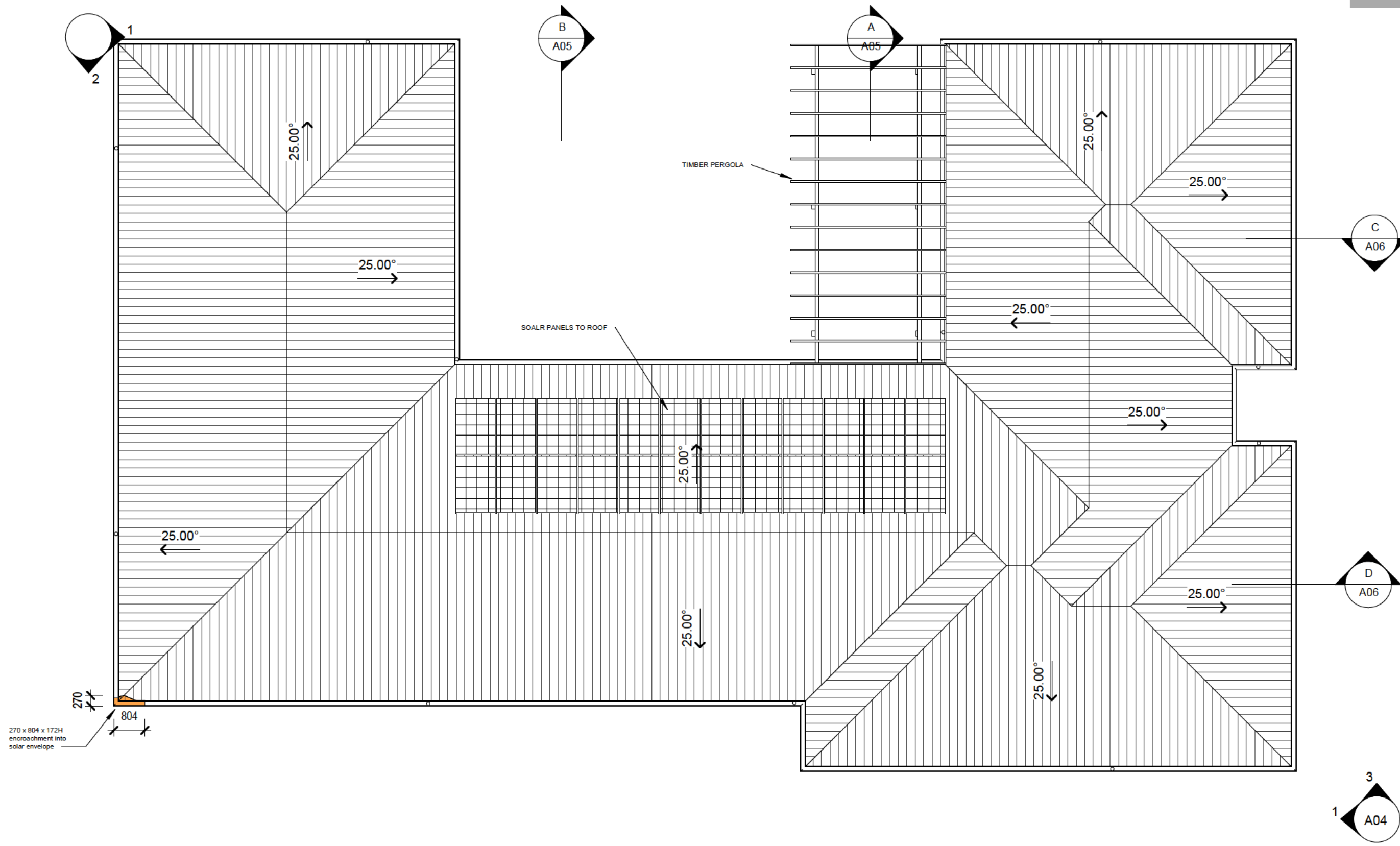
DRAWN JLJG
 CHECKED JLJG
 DATE 11/7/19

PROJECT No.
6 57 GRIFFITH

DRAWING No
A02

REVISION
 APPROVALS

ALL DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE DRAWING.
 ALL DIMENSIONS AND LEVELS MUST BE VERIFIED ON SITE BY CONTRACTOR BEFORE THE COMMENCEMENT OF WORK



ISSUE	DATE	AMENDMENT

PROJECT TITLE
PROPOSED NEW RESIDENCE

BLOCK 6 SECTION 57,
 6 LANDBOROUGH STREET,
 GRIFFITH

TITLE
ROOF PLAN

CLIENT
 [REDACTED]

SCALES
 1 : 100

DRAWN JLG
 CHECKED JLG
 DATE 11/7/19

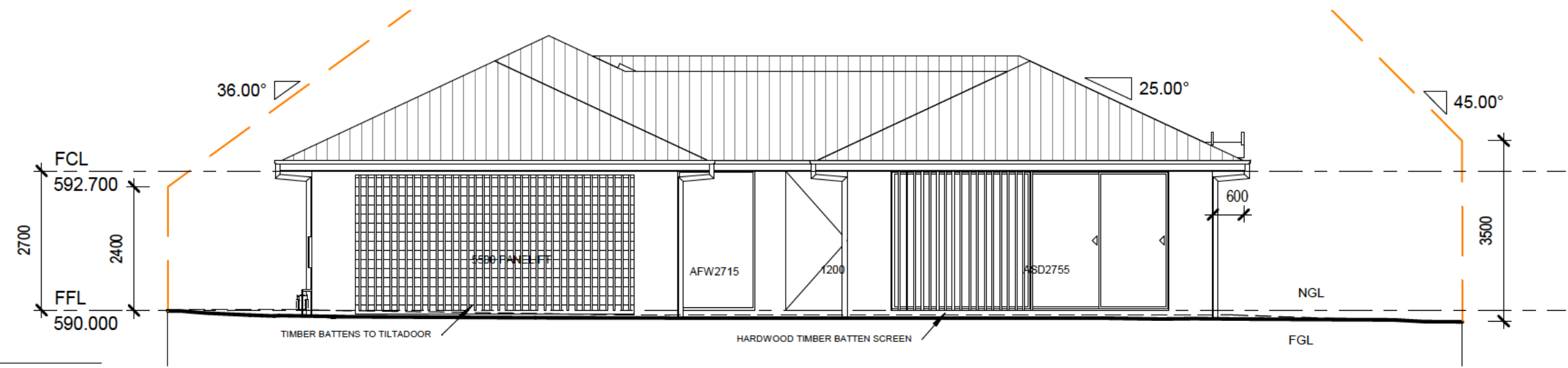
PROJECT No.
6 57 GRIFFITH

DRAWING No. REVISION
A03

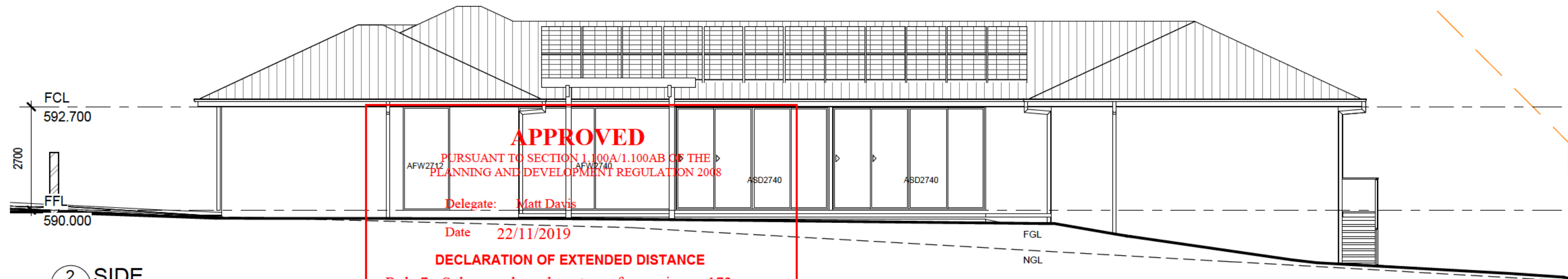
APPROVALS

ALL DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE DRAWING.
 ALL DIMENSIONS AND LEVELS MUST BE VERIFIED ON SITE BY CONTRACTOR BEFORE THE COMMENCEMENT OF WORK.

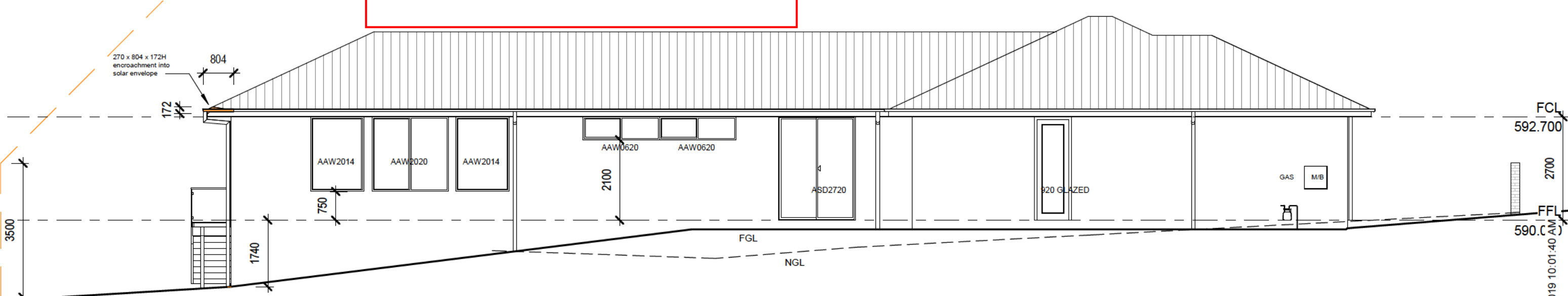
ACT HOUSE ENERGY RATING SCHEME
 6.0 STARS
 11 JULY 2019
 [REDACTED]



1 FRONT (NORTHEAST)
A02



2 SIDE (NORTHWEST)
A02

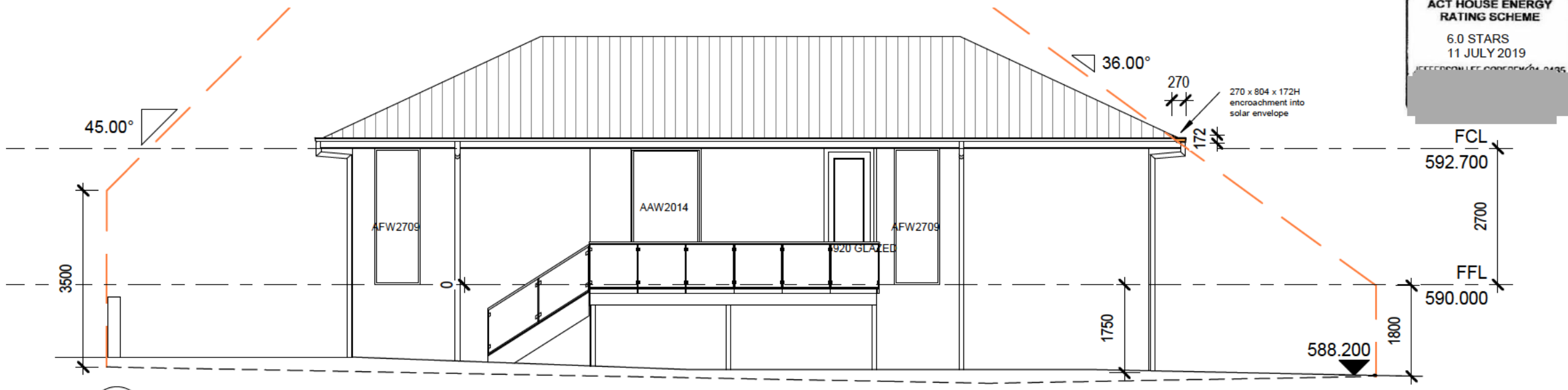


3 SIDE (SOUTHEAST)
A02

JEFFERSON GODFREY ARCHITECTS PTY LTD
 131 BRIGALOW STREET
 LYNEHAM, ACT 2602
 MOBILE: [REDACTED]
 EMAIL: jgarchitects@optusnet.com.au

PROJECT TITLE PROPOSED NEW RESIDENCE			TITLE ELEVATIONS		SCALES 1 : 100	PROJECT No. 6 57 GRIFFITH
BLOCK 6 SECTION 57, 6 LANDSBOROUGH STREET, GRIFFITH			CLIENT [REDACTED]		DRAWN JLG	DRAWING No A04
ISSUE			DATE		CHECKED JLG	REVISION
AMENDMENT			DATE 11/7/19		APPROVALS	
ALL DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE DRAWING. ALL DIMENSIONS AND LEVELS MUST BE VERIFIED ON SITE BY CONTRACTOR BEFORE THE COMMENCEMENT OF WORK						

11/11/2019 10:01:40 AM



ACT HOUSE ENERGY RATING SCHEME
 6.0 STARS
 11 JULY 2019
 JEFFERSON GODFREY ARCHITECTS

INSULATION
 CEILING: R5 BATTS AND R1.3 BLANKET
 WALLS :R2.0 BATTS AND SISALATION
 FLOOR :R1 UNSDER SLAB /
 SLAB EDGE INSULATION

WINDOWS AND SLIDING DOORS
 DOUBLE GLAZED ALUMINIUM FRAMED

CONSTRUCTION NOTES:

ALL WORK MUST BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND THE RELEVANT AUTHORITIES REQUIREMENTS.

ALL TIMBER FRAMING AND CONSTRUCTION MUST COMPLY WITH THE CURRENT VERSION OF THE TIMBER FRAMING CODE AS1684.4 AND THE BCA

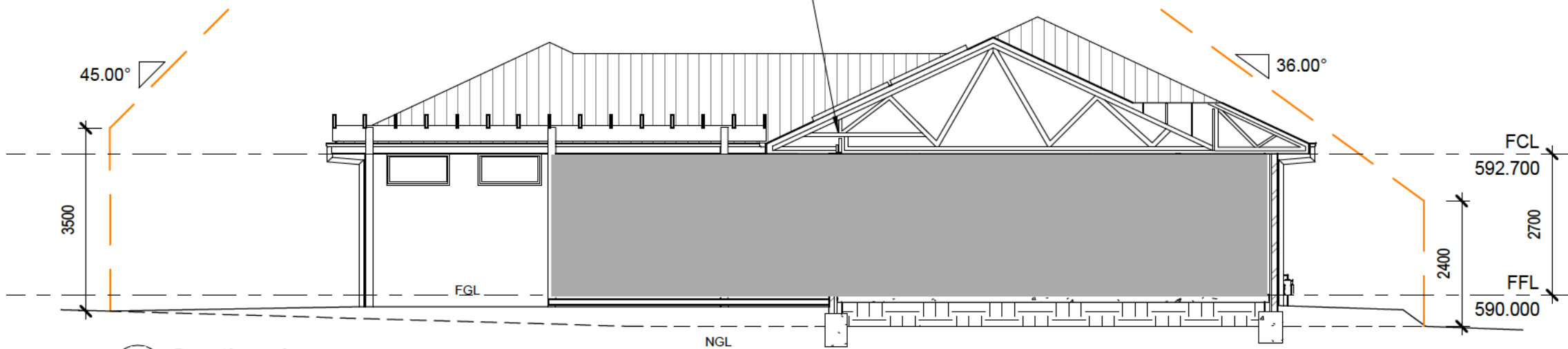
PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS23660-2000 PARTS 1,2,3

ALL CONCRETE SLABS AND FOOTINGS SHALL BE DETERMINED BY SITE CLASSIFICATION AND AS2870

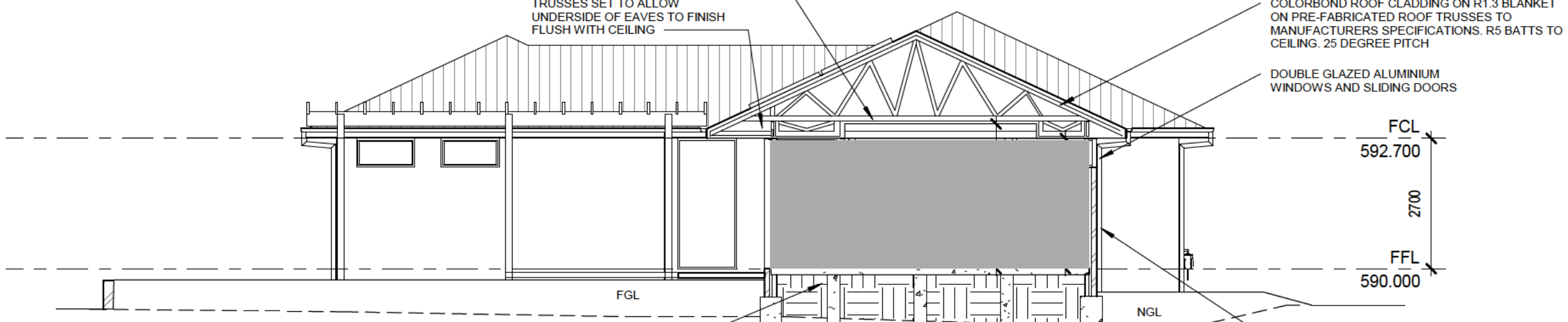
SMOKE ALARMS IN ACCORDANCE WITH PART 3.7.2 OF THE BCA AND AS3786.
 WIRING TO AS3000

PROVIDE SEPARATE PIPEWORK FOR RAINWATER SUPPLY TO WC'S AND W/M AND EXTERNAL TAPS. SWITCH OVER FACILITY FROM TANK WATER TO TOWN WATER.

1 REAR (SOUTHWEST)
 A02



A Section A
 A02 1:100



B Section B
 A02 1:100

CONCRETE SLAB WITH R1 SLAB INSULATION UNDER AND SIDES.
 ALL CONCRETE SLABS AND FOOTINGS SHALL BE DETERMINED BY SITE CLASSIFICATION AND AS2870. PEIRS TO ENGINEERING DETAIL

MASONRY TO BCA PART 3.3

WEATHER PROOFING AND WATERPROOFING TO BCA 3.3.4

MASONRY STRUCTURES TO AS3700
 MASONRY IN SMALL BUILDINGS TO AS4773
 MASONRY UNITS TO AS4455
 WALL TIES TO AS2699
 FLASHING AND DAMP PROOF COURSE TO AS2904
 ARTICULATION, EXPANSION AND CONTRACTION JOINTS TO AS4773.2 UNLESS OTHERWISE NOTED
 WEEP HOLES GUARDS REQUIRED TO BAL RATED BLOCKS

PROVIDE ARTICULATION/CONTROL JOINTS TO BRICK WALLS IN ACCORDANCE WITH AS4773.2-2010-MASONRY FOR SMALL BUILDINGS.

EXTERNAL WALL CLADDING TO BCA PART 3.5.3
 CLADDING AS SELECTED TO MANUFACTURER'S DETAILS AND SPECIFICATIONS INCLUDING BATTEN / FIXING SPACING, SIZES AND BAL REQUIREMENTS

METAL ROOFING COMPONENTS: NON COMPATIBLE METALS ARE NOT TO BE USED FOR ROOF CLADDINGS. FLASHING GUTTERS ETC DUE TO CHEMICALLY INDUCED CORROSION. EG: LEAD NOT TO BE USED UPSTREAM OF COLORBOND OR ZINCALUME

ROOF CLADDING TO COMPLY WITH:
 AS2049 ROOF TILES, BCA VOL2 PARTS 3.5.1 ROOF CLADDING & PART 3.5.2 GUTTERS AND DOWNPIPES

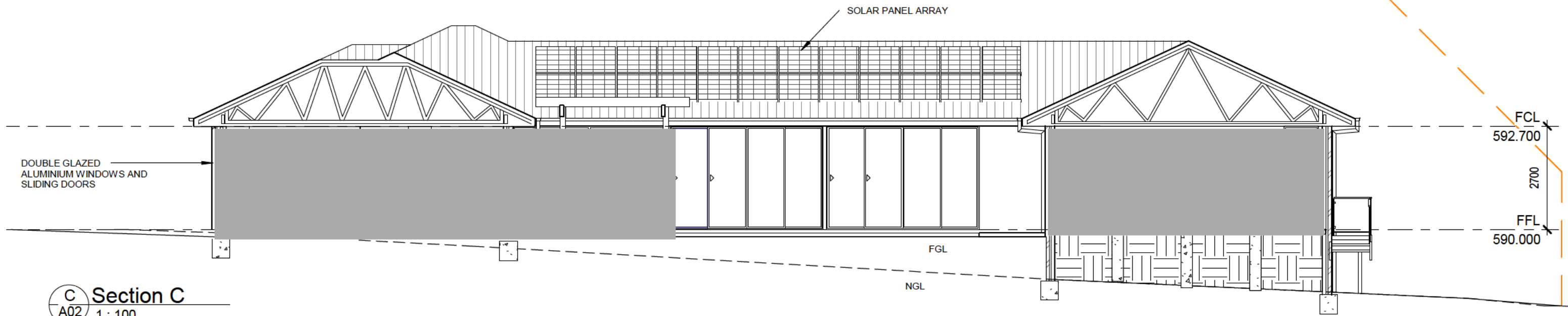
JEFFERSON GODFREY ARCHITECTS PTY LTD
 131 BRIGALOW STREET
 LYNEHAM, ACT 2602
 MOBILE: [REDACTED]
 EMAIL: jgarchitects@optusnet.com.au

PROJECT TITLE PROPOSED NEW RESIDENCE			TITLE ELEVATIONS & SECTIONS		SCALES 1 : 100	PROJECT No. 6 57 GRIFFITH
BLOCK 6 SECTION 57, 6 LANDSBOROUGH STREET, GRIFFITH			CLIENT [REDACTED]		DRAWN JLG	DRAWING No A05
ISSUE			DATE		CHECKED JLG	REVISION
AMENDMENT			DATE 11/7/19		APPROVALS	

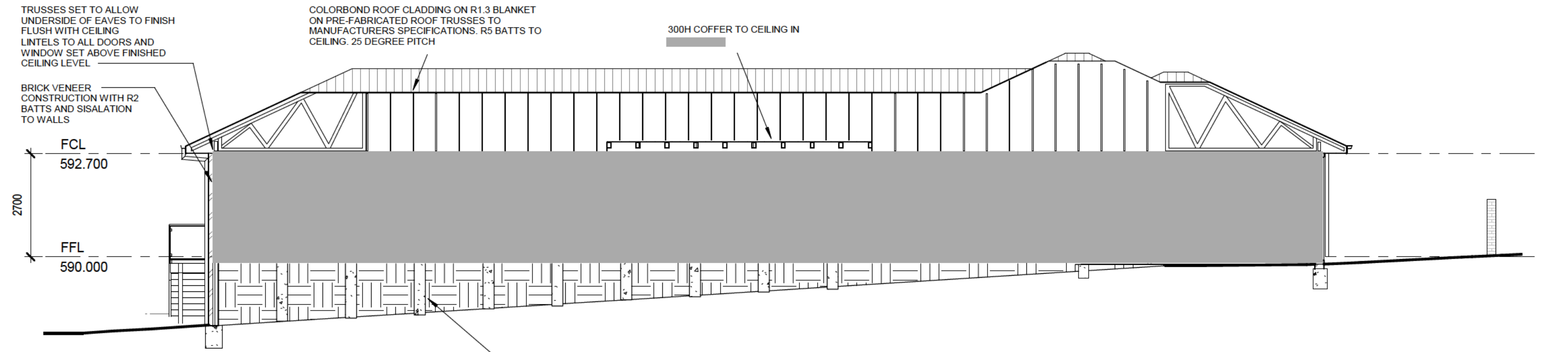
ALL DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE DRAWING.
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11/11/2019 10:01:41 AM

ACT HOUSE ENERGY RATING SCHEME
 6.0 STARS
 11 JULY 2019
 JEFFERSON LEE GODFREY 01-0135



C Section C
 A02 1 : 100



D Section D
 A02 1 : 100

JEFFERSON GODFREY ARCHITECTS PTY LTD
 131 BRIGALOW STREET
 LYNEHAM, ACT 2602
 MOBILE: [REDACTED]
 EMAIL: jgarchitects@optusnet.com.au

ISSUE	DATE	AMENDMENT

PROJECT TITLE
PROPOSED NEW RESIDENCE

CLIENT
 [REDACTED]

**BLOCK 6 SECTION 57,
 6 LANDBOROUGH STREET,
 GRIFFITH**

TITLE
SECTIONS

SCALES
 1 : 100

DRAWN JLG
 CHECKED JLG
 DATE 11/7/19

PROJECT No.
6 57 GRIFFITH

DRAWING No
A06

REVISION
 APPROVALS

ALL DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE DRAWING.
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11/11/2019 10:01:42 AM

**ASSESSMENT OF PROPOSAL
DETERMINATION UNDER SECTION 1.100A OF THE
PLANNING AND DEVELOPMENT REGULATION 2008**

Description of extended distance:

Rule 7 - Solar envelope departure of a maximum 172mm for a length of 804mm

Assessment:

PASS

FAIL

Is the non-compliance minor?

Yes

No

Will building the dwelling other than in accordance with the relevant rules:

- Adversely affect someone other than the applicant?

No

Yes

- Increase the environmental impact of the dwelling more than minimally?

No

Yes

Plans provided adequately identify departures?

Yes

No

Comments:

Considered to be minor in context

Plans stamped:

Approved

Refused

Delegate of

Environment, Planning and Sustainable Development Directorate: Matt Davis 22/11/2019

From: [EPD, Customer Services](#)
To: jgarchitects@optusnet.com.au
Subject: EXEMPTION DECLARATION AND APPROVED PLANS - 6-57-GRIFFITH [SEC=UNCLASSIFIED]
Date: Tuesday, 26 November 2019 9:58:00 AM
Attachments: [EXEMPTION-DECLARATION-6-57-GRIFFITH-APPLICATION-01.pdf](#)
[EXEMPTION-DECLARATION-6-57-GRIFFITH-PLANS-01.pdf](#)
[EXEMPTION DECLARATION-S057-B0006-GRIFFITH-ASSESSMENT CHECKLIST.pdf](#)

Good morning,

Please see attached Exemption Declaration Application & Approved Plans for 6/57 Griffith.

For further information please contact the DA Gateway Team on 6205 2888 or email exemptdec@act.gov.au

Regards,

Emily | Customer Coordination

Phone: 02 6207 1923 | Email: epdcustomerservices@act.gov.au

Access Canberra | Chief Minister Treasury and Economic Development Directorate | ACT Government

16 Challis St, Dickson | GPO BOX 158, Canberra City ACT 2601 | www.act.gov.au/accessCBR

Exempt Declaration Form 1N - Submission confirmation

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Reference code

SJ5NTS

Environment, Planning and Sustainable
Development Directorate

GPO Box 158
Canberra City ACT 2601

Telephone: (02) 6207 1923

Lease/site details

Suburb/District *

GRIFFITH

Section *

57

Block *

6

If you require help with suburb/district, section or block details, visit [ACTMAPI](#).

Address line 1 *

6 landsborough street

Address line 2

Suburb *

GRIFFITH

State

ACT

Postcode *

2603

Applicant/certifier details

Is the applicant a *

Company

Individual

Contact details

Title

Mr

Given name *

jefferson

Family name *

godfrey

Please enter at least one phone number: *

Home phone number

Work phone number

Mobile number

Email address *

jgarchitects@optusnet.com.au

Decision and Plans - Your decision and plans will be returned via email. Please ensure your email address provided is correct.

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Item Number 1

Same as applicant

Lessee

Is this lessee a *

Company

Individual

Contact details

Title

Given name *

Family name *

Please enter at least one phone number: *

Home phone number

Work phone number

Mobile number

Email address *

Item Number 2

Lessee

Is this lessee a *

Company

Individual

Contact details

Title	Given name *	Family name *
<input type="text"/>	<input type="text"/>	<input type="text"/>

Please enter at least one phone number: *

Home phone number	Work phone number	Mobile number
<input type="text"/>	<input type="text"/>	<input type="text"/>

Email address *

Please attach a letter of authority signed by all lessee's. *

File: letter of authorisation.pdf

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Is the application subject to a completed Building Approval? *

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A12	SAFE DESIGN OF STRUCTURES

1 FRONT VIEW
1:1

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			BLOCK 6 SECTION 57, 6 LANDBOROUGH STREET, GRIFFITH	CL ENT [REDACTED]	DRAWN JLG	DRAWING No A00
					CHECKED JLG	REVISION
					DATE 11/7/19	APPROVALS
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 536.5M2

MINIMUM POS = 60% OF BLOCK AREA - 50M2
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 = 593.8M2
 ACHIEVED POS = BLOCK - GFA FOOTPRINT
 = 1073M2 - 333.1M2
 = 739.9M2

GROSS FLOOR AREA

Name	Area
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GARAGE	43.8 m ²
	333.1 m ²

TOTAL BUILT AREA

Name	Area
LIVING	289.3 m ²
GARAGE	43.8 m ²
REAR DECK	21.1 m ²
PORCH	5.2 m ²
	359.4 m ²

Rating document number: 4IQK64AQAH
 Completed by: jefferson godfrey
 Completion date: 3 Aug 2019
 Dwelling address: 6 LANDBOROUGH STREET GRIFFITH ACT 2603

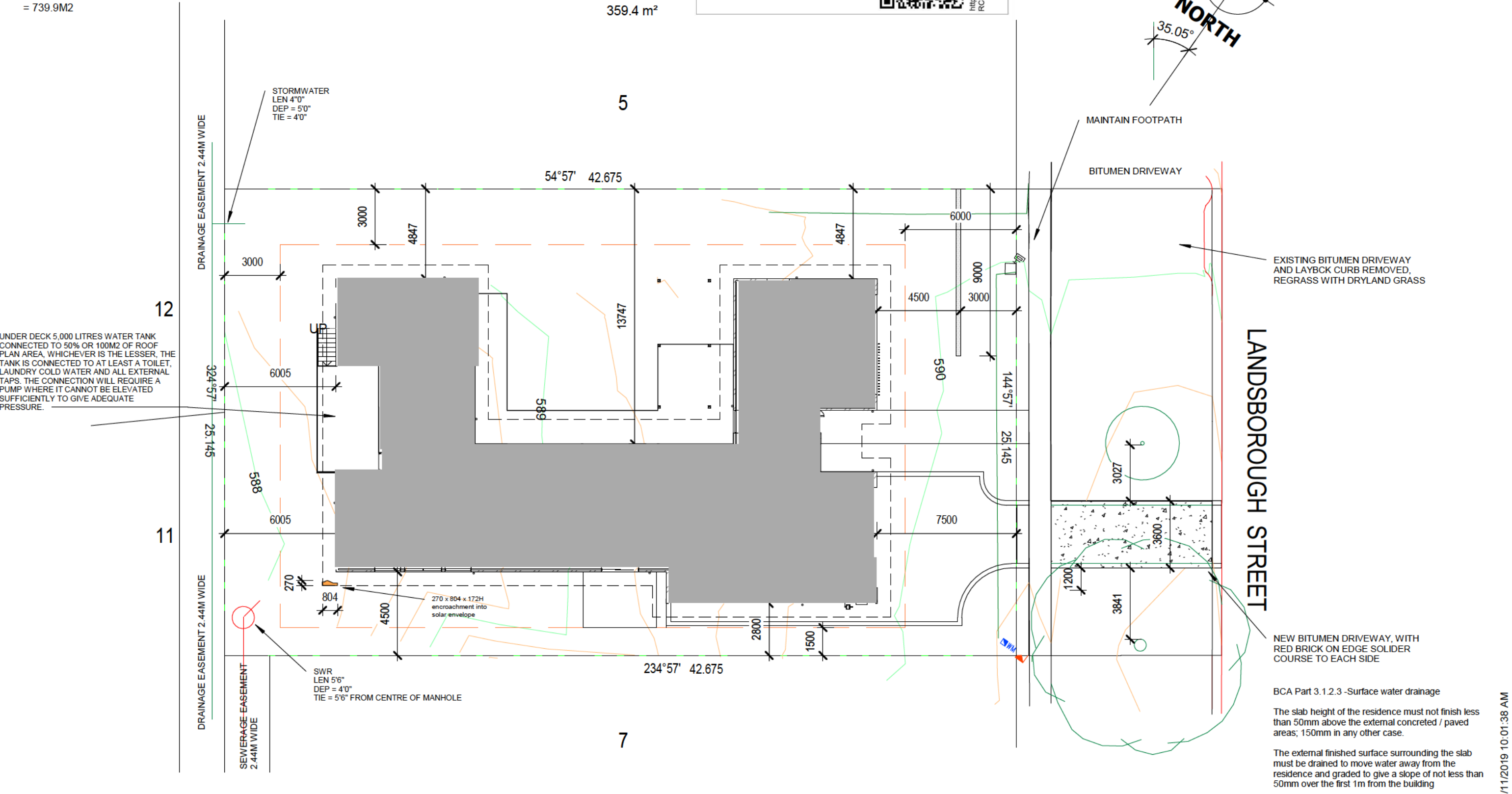
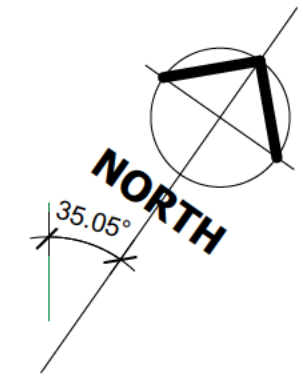
6.1 STARS

This rating completed by a non-accredited rater.



<https://www.f15.com.au/QRCodes/landing?publicid=4IQK64AQAH>

ACT HOUSE ENERGY RATING SCHEME
 6.0 STARS
 11 JULY 2019
 JEFFERSON LEE GODFREY 01-0135



UNDER DECK 5,000 LITRES WATER TANK CONNECTED TO 50% OR 100M2 OF ROOF PLAN AREA, WHICHEVER IS THE LESSER, THE TANK IS CONNECTED TO AT LEAST A TOILET, LAUNDRY COLD WATER AND ALL EXTERNAL TAPS. THE CONNECTION WILL REQUIRE A PUMP WHERE IT CANNOT BE ELEVATED SUFFICIENTLY TO GIVE ADEQUATE PRESSURE.

EXISTING BITUMEN DRIVEWAY AND LAYBACK CURB REMOVED, REGRASS WITH DRYLAND GRASS

NEW BITUMEN DRIVEWAY, WITH RED BRICK ON EDGE SOLIDER COURSE TO EACH SIDE

BCA Part 3.1.2.3 -Surface water drainage

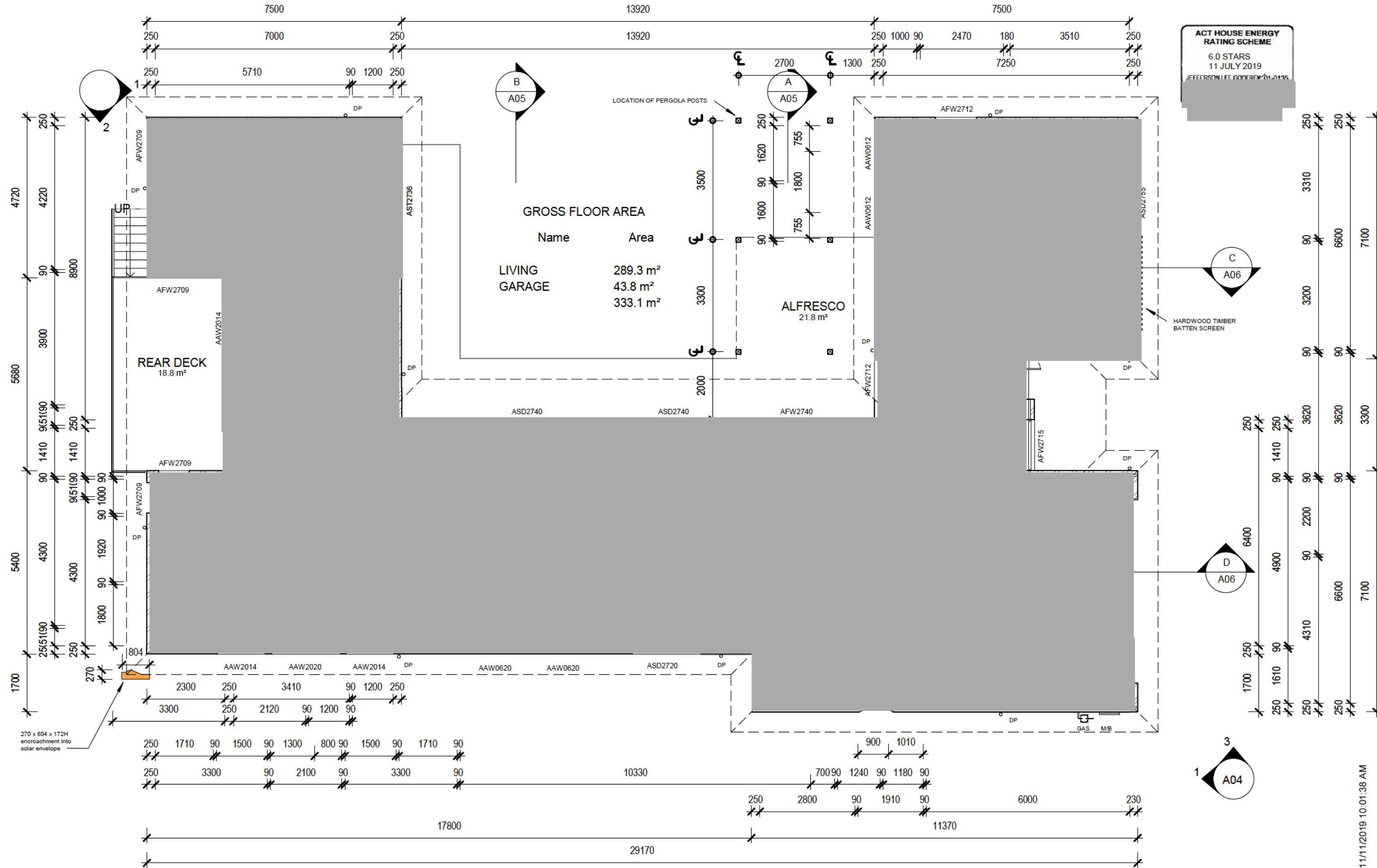
The slab height of the residence must not finish less than 50mm above the external concreted / paved areas; 150mm in any other case.

The external finished surface surrounding the slab must be drained to move water away from the residence and graded to give a slope of not less than 50mm over the first 1m from the building

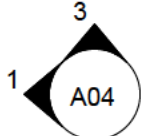
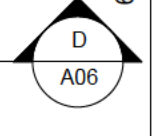
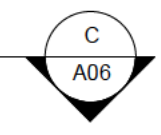
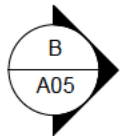
11/11/2019 10:01:38 AM

JEFFERSON GODFREY ARCHITECTS PTY LTD
 131 BRIGALOW STREET
 LYNEHAM, ACT 2602
 MOBILE: [REDACTED]
 EMAIL: jgarchitects@optusnet.com.au

PROJECT TITLE PROPOSED NEW RESIDENCE			TITLE SITE PLAN		SCALES 1 : 200	PROJECT No. 6 57 GRIFFITH
BLOCK 6 SECTION 57, 6 LANDBOROUGH STREET, GRIFFITH			CLIENT [REDACTED]		DRAWN JLG	DRAWING No A01
ISSUE			DATE		CHECKED JLG	REVISION
AMENDMENT			DATE 11/7/19		APPROVALS	
ALL DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE DRAWING. ALL DIMENSIONS AND LEVELS MUST BE VERIFIED ON SITE BY CONTRACTOR BEFORE THE COMMENCEMENT OF WORK						



ACT HOUSE ENERGY RATING SCHEME
 6.0 STARS
 11 JULY 2019
 JEFFERSON GODFREY ARCHITECTS



270 x 804 x 172H
 encroachment into
 solar envelope

11/11/2019 10:01:38 AM

JEFFERSON GODFREY ARCHITECTS PTY LTD
 131 BRIGALOW STREET
 LYNEHAM, ACT 2602
 MOBILE: [REDACTED]
 EMAIL: jgarchitects@optusnet.com.au

ISSUE	DATE	AMENDMENT

PROJECT TITLE
PROPOSED NEW RESIDENCE

CLIENT
 [REDACTED]

TITLE
FLOOR PLAN

BLOCK 6 SECTION 57,
 6 LANDBOROUGH STREET,
 GRIFFITH

SCALES	1 : 100
DRAWN	JLG
CHECKED	JLG
DATE	11/7/19

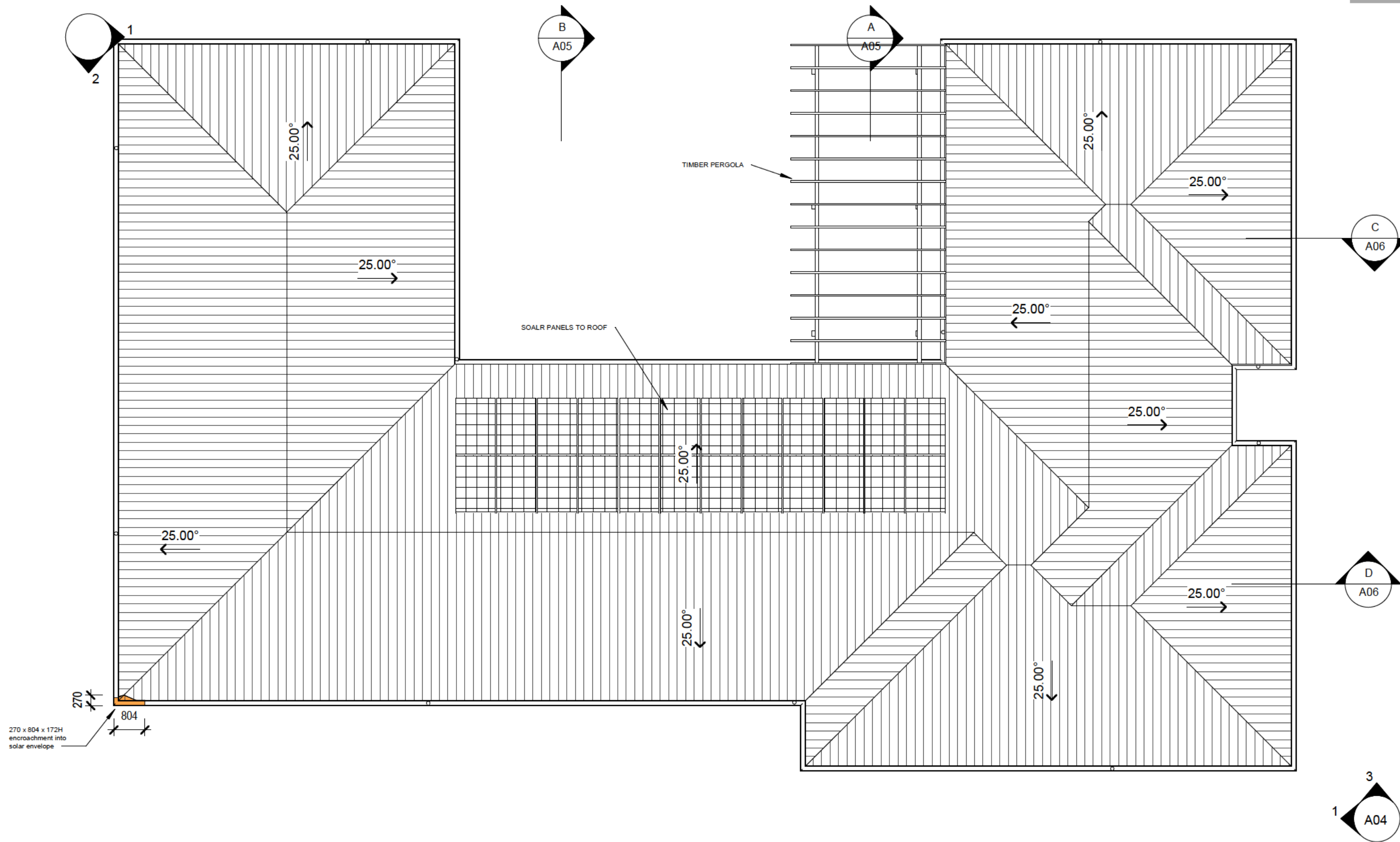
PROJECT No.
6 57 GRIFFITH

DRAWING No
A02

REVISION

APPROVALS

ALL DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE DRAWING.
 ALL DIMENSIONS AND LEVELS MUST BE VERIFIED ON SITE BY CONTRACTOR BEFORE THE COMMENCEMENT OF WORK



ISSUE	DATE	AMENDMENT

PROJECT TITLE
PROPOSED NEW RESIDENCE

BLOCK 6 SECTION 57,
 6 LANDBOROUGH STREET,
 GRIFFITH

TITLE
ROOF PLAN

CLIENT
 [REDACTED]

SCALES
 1 : 100

DRAWN JLG
 CHECKED JLG
 DATE 11/7/19

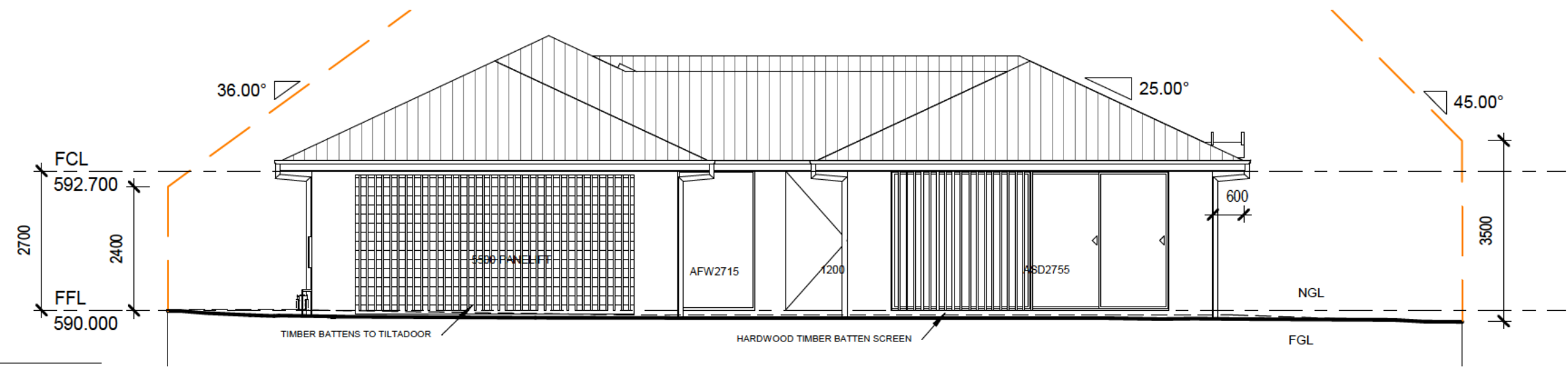
PROJECT No.
6 57 GRIFFITH

DRAWING No. REVISION
A03

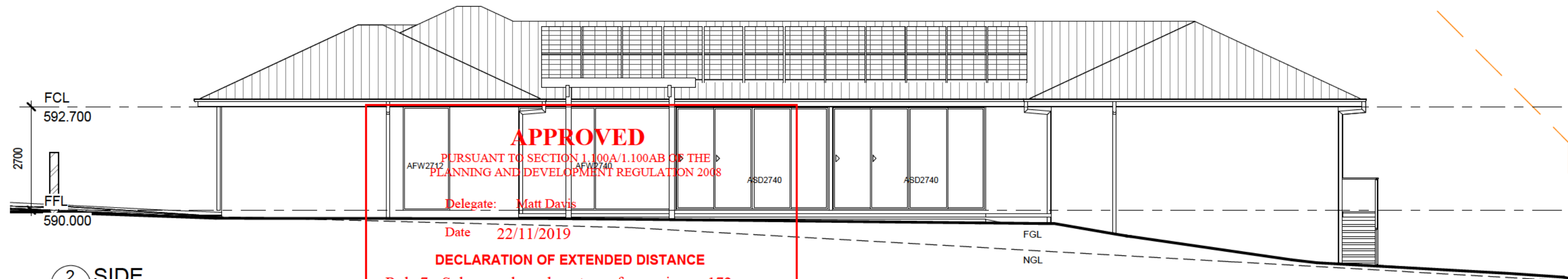
APPROVALS

ALL DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE DRAWING.
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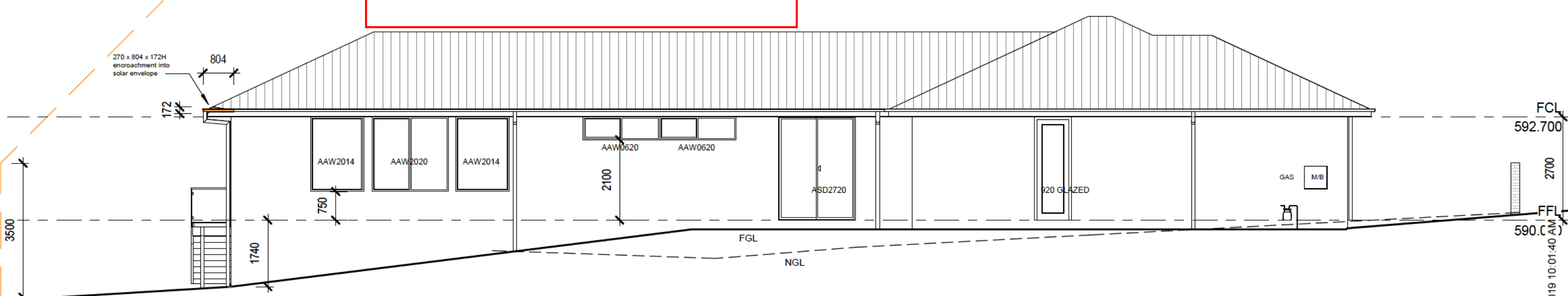
ACT HOUSE ENERGY RATING SCHEME
 6.0 STARS
 11 JULY 2019
 JEFFERSON GODFREY ARCHITECTS



1 FRONT (NORTHEAST)
A02



2 SIDE (NORTHWEST)
A02

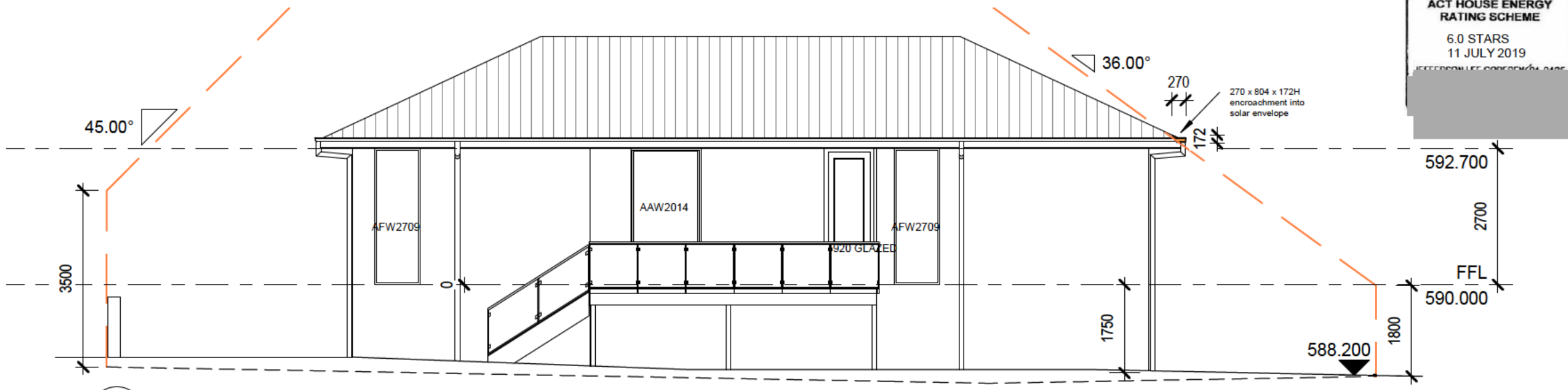


3 SIDE (SOUTHEAST)
A02

JEFFERSON GODFREY ARCHITECTS PTY LTD
 131 BRIGALOW STREET
 LYNEHAM, ACT 2602
 MOBILE: [REDACTED]
 EMAIL: jgarchitects@optusnet.com.au

PROJECT TITLE PROPOSED NEW RESIDENCE			TITLE ELEVATIONS		SCALES 1 : 100	PROJECT No. 6 57 GRIFFITH
BLOCK 6 SECTION 57, 6 LANDSBOROUGH STREET, GRIFFITH			CLIENT [REDACTED]		DRAWN JLG	DRAWING No A04
ISSUE			DATE		CHECKED JLG	REVISION
AMENDMENT			DATE 11/7/19		APPROVALS	
ALL DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE DRAWING. ALL DIMENSIONS AND LEVELS MUST BE VERIFIED ON SITE BY CONTRACTOR BEFORE THE COMMENCEMENT OF WORK						

11/11/2019 10:01:40 AM



ACT HOUSE ENERGY RATING SCHEME
 6.0 STARS
 11 JULY 2019
 JEFFERSON GODFREY ARCHITECTS

INSULATION
 CEILING: R5 BATTS AND R1.3 BLANKET
 WALLS :R2.0 BATTS AND SISALATION
 FLOOR :R1 UNSDER SLAB /
 SLAB EDGE INSULATION

WINDOWS AND SLIDING DOORS
 DOUBLE GLAZED ALUMINIUM FRAMED

CONSTRUCTION NOTES:

ALL WORK MUST BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND THE RELEVANT AUTHORITIES REQUIREMENTS.

ALL TIMBER FRAMING AND CONSTRUCTION MUST COMPLY WITH THE CURRENT VERSION OF THE TIMBER FRAMING CODE AS1684.4 AND THE BCA

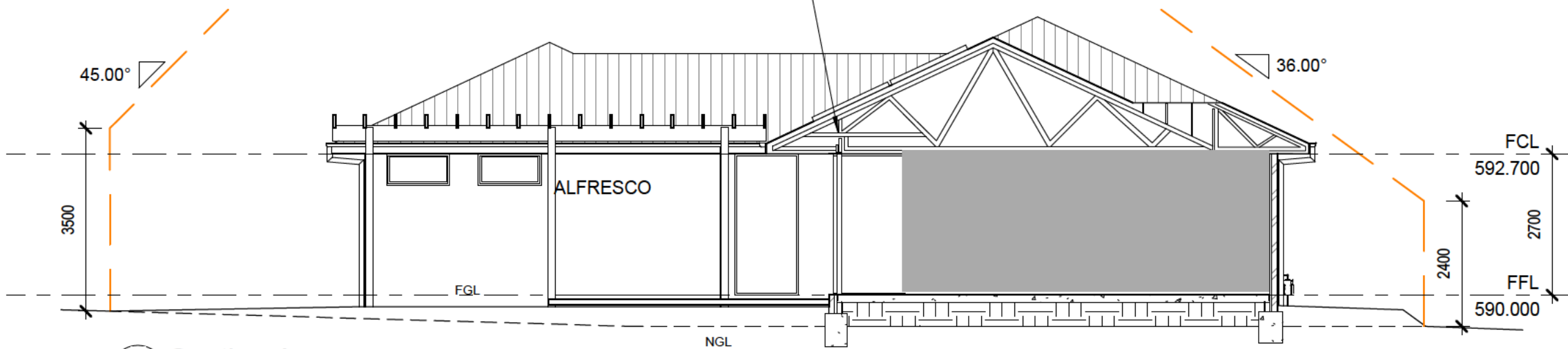
PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS23660-2000 PARTS 1,2,3

ALL CONCRETE SLABS AND FOOTINGS SHALL BE DETERMINED BY SITE CLASSIFICATION AND AS2870

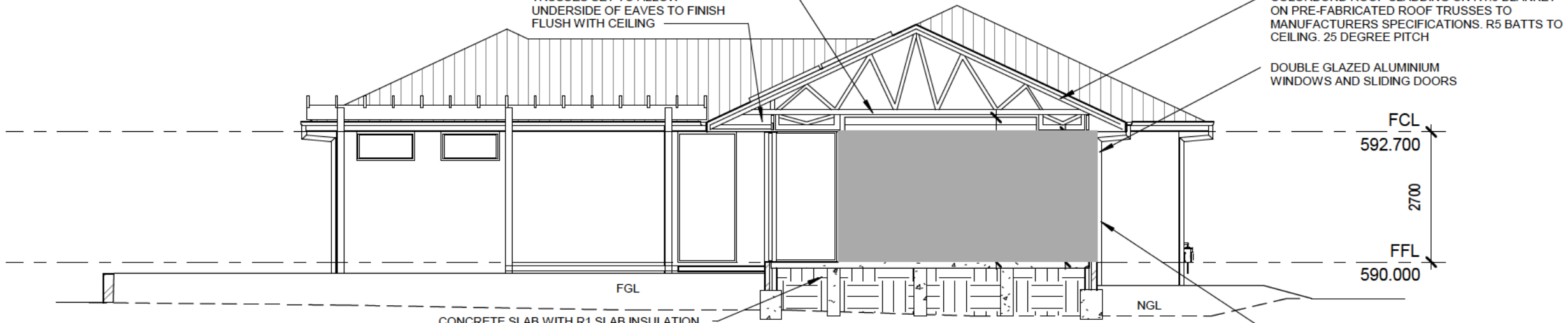
SMOKE ALARMS IN ACCORDANCE WITH PART 3.7.2 OF THE BCA AND AS3786.
 WIRING TO AS3000

PROVIDE SEPARATE PIPEWORK FOR RAINWATER SUPPLY TO WC'S AND W/M AND EXTERNAL TAPS. SWITCH OVER FACILITY FROM TANK WATER TO TOWN WATER.

1 REAR (SOUTHWEST)
 A02



A Section A
 A02 1:100



B Section B
 A02 1:100

CONCRETE SLAB WITH R1 SLAB INSULATION UNDER AND SIDES.
 ALL CONCRETE SLABS AND FOOTINGS SHALL BE DETERMINED BY SITE CLASSIFICATION AND AS2870. PEIRS TO ENGINEERING DETAIL

BRICK VENEER CONSTRUCTION WITH R2 BATTS AND SISALATION TO WALLS

JEFFERSON GODFREY ARCHITECTS PTY LTD
 131 BRIGALOW STREET
 LYNEHAM, ACT 2602
 MOBILE: [REDACTED]
 EMAIL: jgarchitects@optusnet.com.au

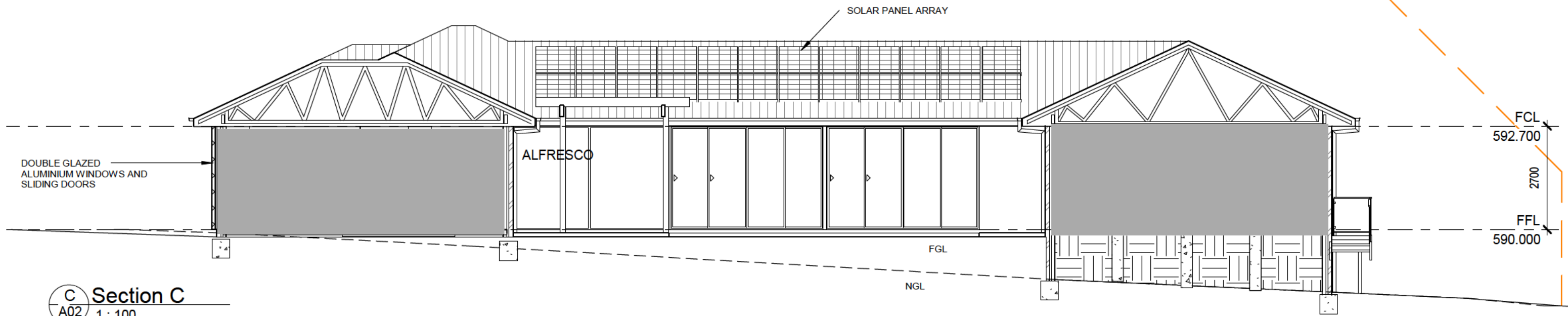
PROJECT TITLE PROPOSED NEW RESIDENCE		
BLOCK 6 SECTION 57, 6 LANDSBOROUGH STREET, GRIFFITH		
ISSUE	DATE	AMENDMENT

TITLE ELEVATIONS & SECTIONS	
CLIENT	[REDACTED]

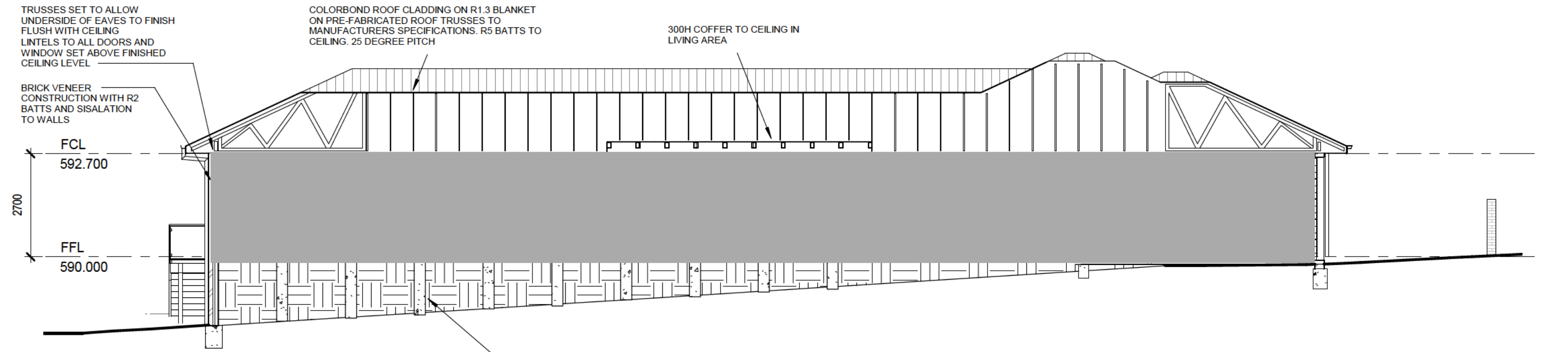
SCALES 1 : 100	PROJECT No. 6 57 GRIFFITH
DRAWN JLG	DRAWING No A05
CHECKED JLG	REVISION
DATE 11/7/19	APPROVALS
ALL DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE DRAWING. ALL DIMENSIONS AND LEVELS MUST BE VERIFIED ON SITE BY CONTRACTOR BEFORE THE COMMENCEMENT OF WORK	

11/11/2019 10:01:41 AM

ACT HOUSE ENERGY RATING SCHEME
 6.0 STARS
 11 JULY 2019
 JEFFERSON LEE GODFREY 01-0135



C Section C
 A02 1 : 100



D Section D
 A02 1 : 100

JEFFERSON GODFREY ARCHITECTS PTY LTD
 131 BRIGALOW STREET
 LYNEHAM, ACT 2602
 MOBILE: [REDACTED]
 EMAIL: jgarchitects@optusnet.com.au

ISSUE	DATE	AMENDMENT

PROJECT TITLE
PROPOSED NEW RESIDENCE

BLOCK 6 SECTION 57,
6 LANDSBOROUGH STREET,
GRIFFITH

TITLE
SECTIONS

 CLIENT
 [REDACTED]

SCALES
 1 : 100
 DRAWN JLG
 CHECKED JLG
 DATE 11/7/19
 PROJECT No.
6 57 GRIFFITH
 DRAWING No
A06
 REVISION
 APPROVALS
ALL DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE DRAWING. ALL DIMENSIONS AND LEVELS MUST BE VERIFIED ON SITE BY CONTRACTOR BEFORE THE COMMENCEMENT OF WORK.

11/11/2019 10:01:42 AM

**ASSESSMENT OF PROPOSAL
DETERMINATION UNDER SECTION 1.100A OF THE
PLANNING AND DEVELOPMENT REGULATION 2008**

Description of extended distance:

Rule 7 - Solar envelope departure of a maximum 172mm for a length of 804mm

Assessment:

PASS

FAIL

Is the non-compliance minor?

Yes

No

Will building the dwelling other than in accordance with the relevant rules:

- Adversely affect someone other than the applicant?

No

Yes

- Increase the environmental impact of the dwelling more than minimally?

No

Yes

Plans provided adequately identify departures?

Yes

No

Comments:

Considered to be minor in context

Plans stamped:

Approved

Refused

Delegate of

Environment, Planning and Sustainable Development Directorate: Matt Davis 22/11/2019



**LETTER OF AUTHORISATION
FOR APPLICANTS TO OBTAIN PERMISSION FROM
LESSEE/S TO LODGE AN APPLICATION WITH THE
ACT GOVERNMENT ON THEIR BEHALF**

LEASE/SITE DETAILS (Please Print)

If more than one lease/site please attach the following details for each additional lease/site on a separate sheet

Block Section Suburb
 Unit No. Street Address

LESSEE(S) DECLARATION if more than two lessees please provide details of each additional lessee on a separate sheet

- I/we declare that I am/we are the lessee(s) of the land described above;
- I/we have been made aware of the declaration clauses; and
- I/we declare that all the information given on this form is true and complete.

Print Name Signature Date
 Print Name Signature Date

Please tick the applicable box below

This authorisation relates to:

- Certificate of Compliance Extension of Time Exempt Declaration Application
 Land Rent Payout Further Crown Lease Other _____

APPLICANT DECLARATION

- I/we declare that all information given on this form and its attachment is true and correct.
If signing on behalf of an organisation:
- I/we the undersigned declare I/we have the appropriate delegation or authority to sign on behalf of the organisation.

Applicant Name Organisation Name
 Signature Date

Privacy Notice

The personal information on this form is provided to Access Canberra (AC) and Environment and Planning Directorate (EPD) to enable the processing of your application. The collection of personal information is authorised by the *Planning and Development Act 2007*. If all or some of the personal information is not collected AC or EPD cannot process your application. The *Planning and Development Act 2007* requires the details of applications, decisions and orders to be kept on a register and made available for public inspection. Information and documentation relevant to a development application may be made available via the Internet. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office, the Registrar General's Office, ACTEW Corporation, ActewAGL, Icon Water, Territory and Municipal Services Directorate and other Government agencies with a direct interest in the development assessment process. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Personal information may be used or disclosed in accordance with the Information Privacy Act 2014. For details on the collection of personal information in this form please refer to the [Access Canberra Information Collection Notice](#). If you have questions about how your information will be handled please see the [Access Canberra Privacy Policy](#). The EPD Information Privacy Policy can be found at www.planning.act.gov.au

Contact Information:

Online www.act.gov.au/accessCBR www.planning.act.gov.au	Phone (02) 62071923 TTY (02) 62072622	In Person Building Services Shopfront – Mitchell Environment, Planning and Land Shopfront - Dickson For opening hours and location details please visit www.act.gov.au/accessCBR or call Access Canberra 13 22 81.
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ADMIN CHECK LIST - EXEMPTION DECLARATION – FORM 1N

Block: 6 Section: 57 Suburb: GRIFFITH

Are the Lessee/s details correct (Use Tarquin) NO YES

- If the LDA is the land custodian, an authorisation letter must be provided, made attention to the applicant and give authority to lodge an Exemption Declaration Application
- Use PALM to perform the below checks:

Does the block and section match the street address? NO YES

Is it Heritage? (If yes, a letter from heritage is required, except Moncrieff/Throsby/Taylor/Lawson) NO YES

Is there Compliance action? (If yes add comment to the 'Ready for Assessment' email) NO YES

Save e-mail to objective under Development Application B/S/S Exemption Declaration YES

Comments:

Check Completed by: JASON

Date Processed: 11/11/2019

Fee Advice Sent by: JASON

Date Sent: 11/11/2019

PAYMENT

Receipt Attached:

Date Sent to Assessing Officer: 11/11/2019

Payment Method: smartform

Date Due (10 working days): 22/11/2019

Fee Advice Payments - EPSDD - Tax receipt

This transaction will appear on your credit card statement as ACCESS CBR INTERNET CANBERRA.

Date and time	Reference code	Payment receipt number	Total amount paid
11 Nov 2019 1:38:51 PM	TTBY3V	2562726118	\$600.00

Environment, Planning and Sustainable
Development Directorate
ABN 31 432 729 493

GPO Box 158
Canberra ACT 2601

Email: epdcustomerservices@act.gov.au
Phone: 02 6207 1923

Fee Advice Payments - EPSDD

This payment is for: *

Exempt declaration

Property 1

Suburb/District *

GRIFFITH

Section *

57

Block *

6

Unit

If you require help with suburb/district, section or block details, visit [ACTMAPI](#).

Reference

I declare that the payment is being made in accordance with the fee advice I have received by Environment, Planning and Sustainable Development Directorate. *

Payer name *

Phone number *

Email *

Payment amount

\$600.00

From: [EPD, Customer Services](#)
To: jgarchitects@optusnet.com.au
Subject: FEE ADVICE-EXEMPTION DECLARATION-6-57-GRIFFITH [SEC=UNCLASSIFIED]
Date: Monday, 11 November 2019 12:24:00 PM
Attachments: [image001.jpg](#)

Good afternoon,

We have received and completed our initial check of the Exemption Declaration Application for Block 6 Section 57 GRIFFITH, it is ready to proceed to assessment once payment is received.

Please click the link below and complete the online form for payment of **\$600.00**

<https://form.act.gov.au/smartforms/landing.htm?formCode=1215>

Alternatively, payment can be made via cash or cheque at the ACT Government shopfront, 16 Challis Street Dickson.

Regards,

Jason | Customer Coordination | Environment, Land and Planning shopfront

Phone: 02 6207 1923 | **Email:** epdcustomerservices@act.gov.au

Access Canberra | Chief Minister Treasury and Economic Development Directorate | ACT Government

16 Challis St, Dickson | GPO BOX 158, Canberra City ACT 2601 | www.act.gov.au/accessCBR

cid:image006.jpg@01D31C1B.E0820B30



From: [EPD, Customer Services](#)
To: [Exemptdec](#)
Subject: READY FOR ASSESSMENT:EXEMPTION DECLARATION-6-57-GRIFFITH [SEC=UNCLASSIFIED]
Date: Monday, 11 November 2019 2:25:00 PM
Attachments: [EXEMPTION DECLARATION.obr](#)

From: [Exemptdec](#)
To: [EPD, Customer Services](#)
Subject: FW: Exempt Declaration Form 1N, SJ5NTS, GRIFFITH-S57-B6 [SEC=UNCLASSIFIED, DLM=Sensitive: Personal]
Date: Monday, 11 November 2019 11:56:33 AM
Attachments: [EXEMPTION-DECLARATION-6-57-GRIFFITH-APPLICATION-01.xml](#)
[EXEMPTION-DECLARATION-6-57-GRIFFITH-APPLICATION-01.pdf](#)
[6 57 griffith wds 11 nov 2019 1n.pdf](#)
[letter of authorisation.pdf](#)

UNCLASSIFIED

Plans are sufficient

From: smartforms@act.gov.au <smartforms@act.gov.au>
Sent: Monday, 11 November 2019 10:11 AM
To: Exemptdec <Exemptdec@act.gov.au>
Subject: Exempt Declaration Form 1N, SJ5NTS, GRIFFITH-S57-B6 [SEC=UNCLASSIFIED, DLM=Sensitive: Personal]

Exempt Declaration Form 1N

Form data summary

Submission ID	99122920191111103938
Reference code	SJ5NTS

For issues or questions relating to SmartForms please contact the Payment Services Integration Team on *5 4607 or email smartforms.admin@act.gov.au.



Drawing List

Sheet Number	Sheet Name
A00	COVER SHEET
A01	SITE PLAN
A02	FLOOR PLAN
A03	ROOF PLAN
A04	ELEVATIONS
A05	ELEVATIONS & SECTIONS
A06	SECTIONS
A07	REFLECTED CEILING PLAN
A08	INTERNAL VIEWS
A09	EXTERNAL VIEWS
A10	DEMOLITION AND SEDIMENT CONTROL PLAN
A11	LANDSCAPE MANAGEMENT AND PROTECTION PLAN
A12	SAFE DESIGN OF STRUCTURES

1 FRONT VIEW
1:1

			PROJECT TITLE PROPOSED NEW RESIDENCE	TITLE COVER SHEET	SCALES 1 : 1	PROJECT No. 6 57 GRIFFITH
			BLOCK 6 SECTION 57, 6 LANDBOROUGH STREET, GRIFFITH	CL ENT [REDACTED]	DRAWN JLG	DRAWING No A00
					CHECKED JLG	REVISION
					DATE 11/7/19	APPROVALS
ISSUE	DATE	AMENDMENT	<small>ALL DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE DRAWING. ALL DIMENSIONS AND LEVELS MUST BE VERIFIED ON SITE BY CONTRACTOR BEFORE THE COMMENCEMENT OF WORK</small>			

SITE AREA = 1073M2
 MAX PLOT RATIO = 50%
 536.5M2

MINIMUM POS = 60% OF BLOCK AREA - 50M2
 = 1073M2 X 60% - 50m2
 = 593.8M2
 ACHIEVED POS = BLOCK - GFA FOOTPRINT
 = 1073M2 - 333.1M2
 = 739.9M2

GROSS FLOOR AREA TOTAL BUILT AREA

Name	Area	Name	Area
LIVING	289.3 m ²	LIVING	289.3 m ²
GARAGE	43.8 m ²	GARAGE	43.8 m ²
	333.1 m ²	REAR DECK	21.1 m ²
		PORCH	5.2 m ²
			359.4 m ²

Rating document number: 4IQK64AQAH
 Completed by: jefferson godfrey
 Completion date: 3 Aug 2019
 Dwelling address: 6 LANDBOROUGH STREET GRIFFITH ACT 2603

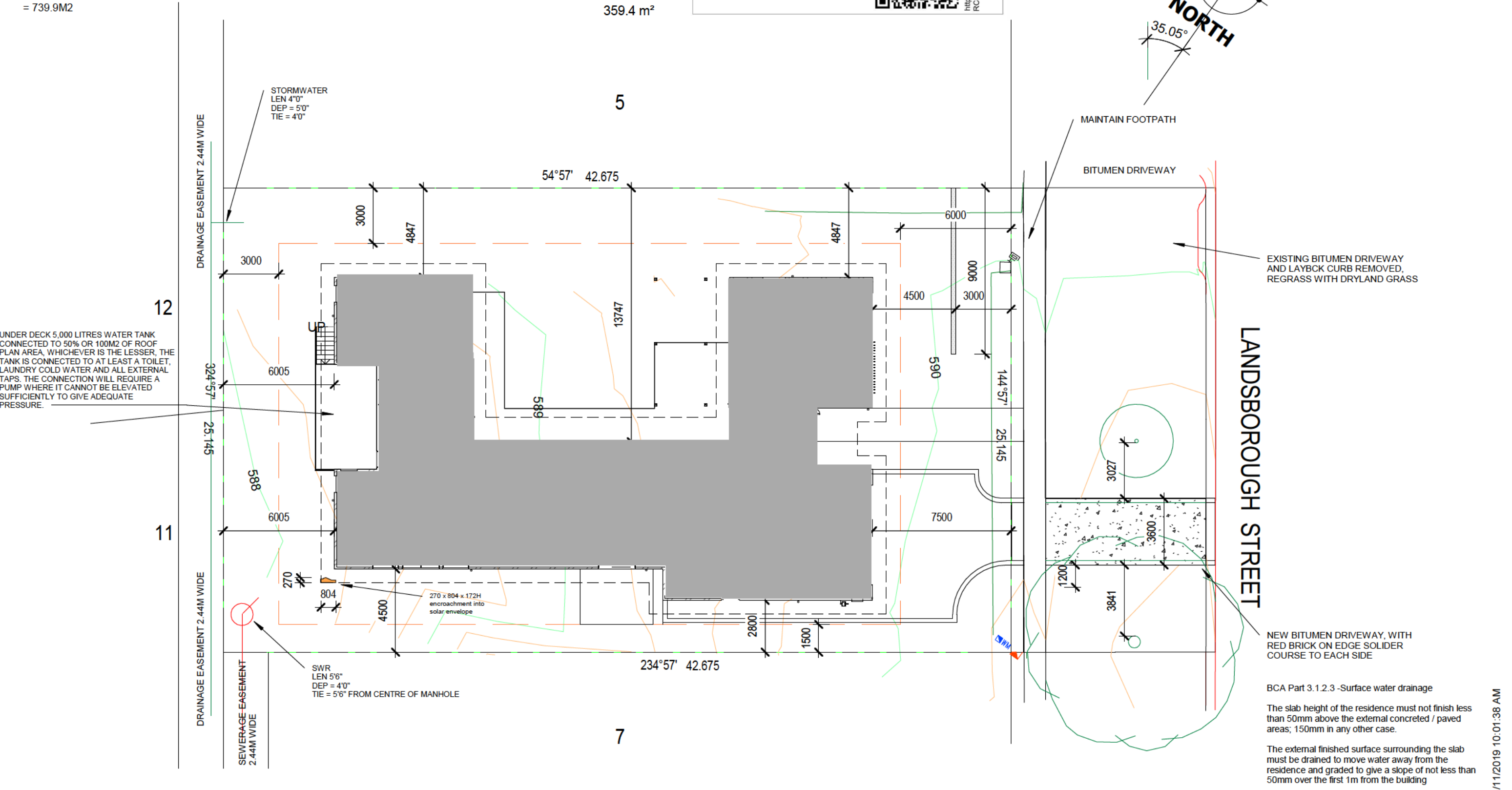
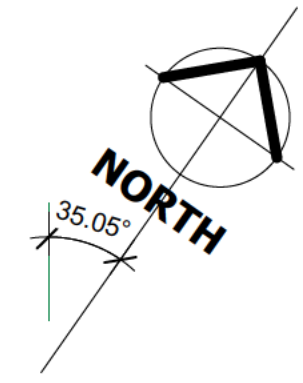
6.1 STARS

This rating completed by a non-accredited rater.



<https://www.f15.com.au/QRCodes/landing?publicid=4IQK64AQAH>

ACT HOUSE ENERGY RATING SCHEME
 6.0 STARS
 11 JULY 2019



UNDER DECK 5,000 LITRES WATER TANK CONNECTED TO 50% OR 100M2 OF ROOF PLAN AREA, WHICHEVER IS THE LESSER, THE TANK IS CONNECTED TO AT LEAST A TOILET, LAUNDRY COLD WATER AND ALL EXTERNAL TAPS. THE CONNECTION WILL REQUIRE A PUMP WHERE IT CANNOT BE ELEVATED SUFFICIENTLY TO GIVE ADEQUATE PRESSURE.

EXISTING BITUMEN DRIVEWAY AND LAYBACK CURB REMOVED, REGRASS WITH DRYLAND GRASS

NEW BITUMEN DRIVEWAY, WITH RED BRICK ON EDGE SOLIDER COURSE TO EACH SIDE

BCA Part 3.1.2.3 -Surface water drainage

The slab height of the residence must not finish less than 50mm above the external concreted / paved areas; 150mm in any other case.

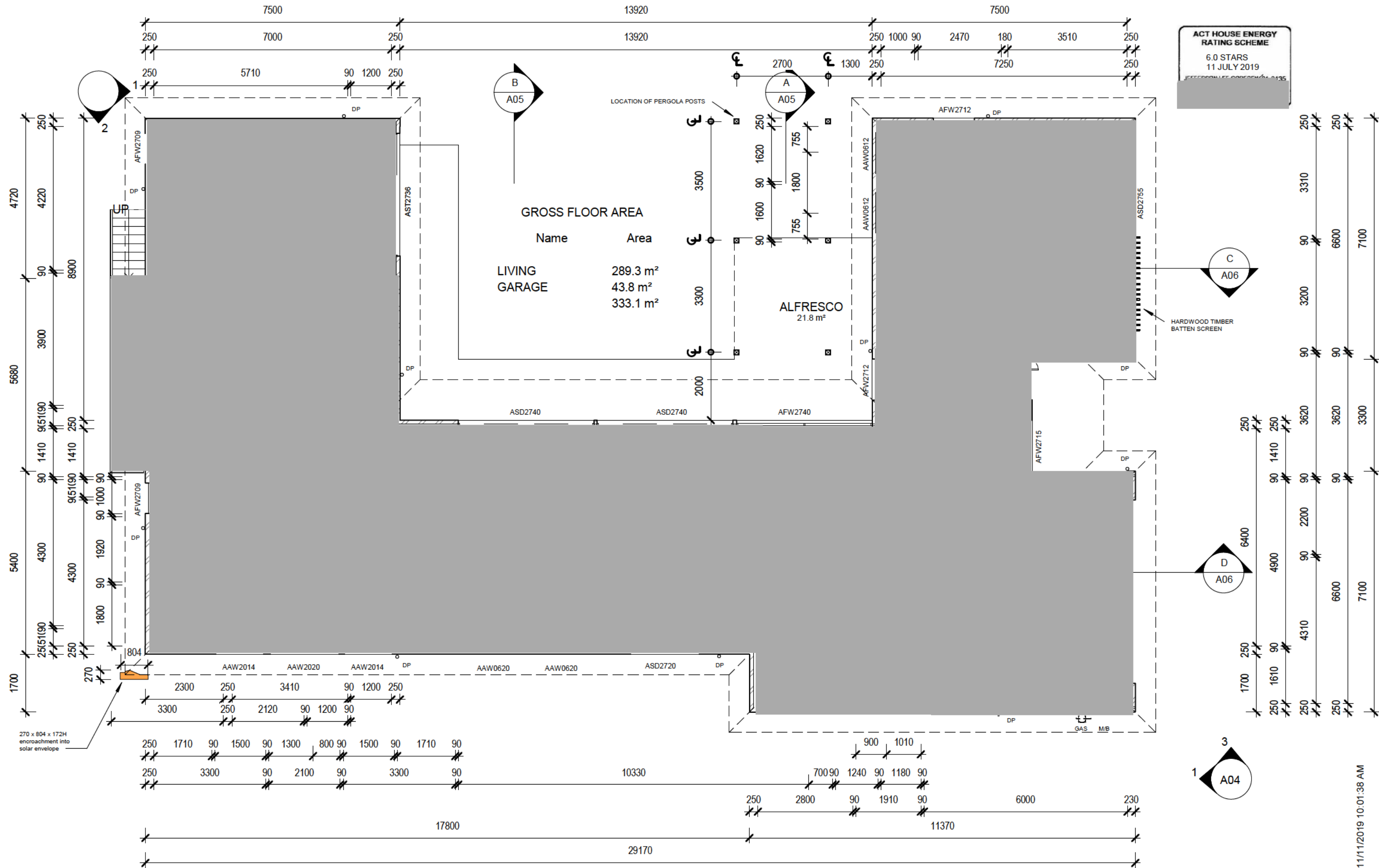
The external finished surface surrounding the slab must be drained to move water away from the residence and graded to give a slope of not less than 50mm over the first 1m from the building

11/11/2019 10:01:38 AM

JEFFERSON GODFREY ARCHITECTS PTY LTD
 131 BRIGALOW STREET
 LYNEHAM, ACT 2602
 MOBILE: [REDACTED]
 EMAIL: jgarchitects@optusnet.com.au

PROJECT TITLE PROPOSED NEW RESIDENCE			TITLE SITE PLAN		SCALES 1 : 200	PROJECT No. 6 57 GRIFFITH
BLOCK 6 SECTION 57, 6 LANDBOROUGH STREET, GRIFFITH			CLIENT [REDACTED]		DRAWN JLG	DRAWING No A01
ISSUE			DATE		CHECKED JLG	REVISION
AMENDMENT			DATE 11/7/19		APPROVALS	
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ACT HOUSE ENERGY RATING SCHEME
 6.0 STARS
 11 JULY 2019
 JEFFERSON GODFREY ARCHITECTS PTY LTD



270 x 804 x 172H encroachment into solar envelope

11/11/2019 10:01:38 AM

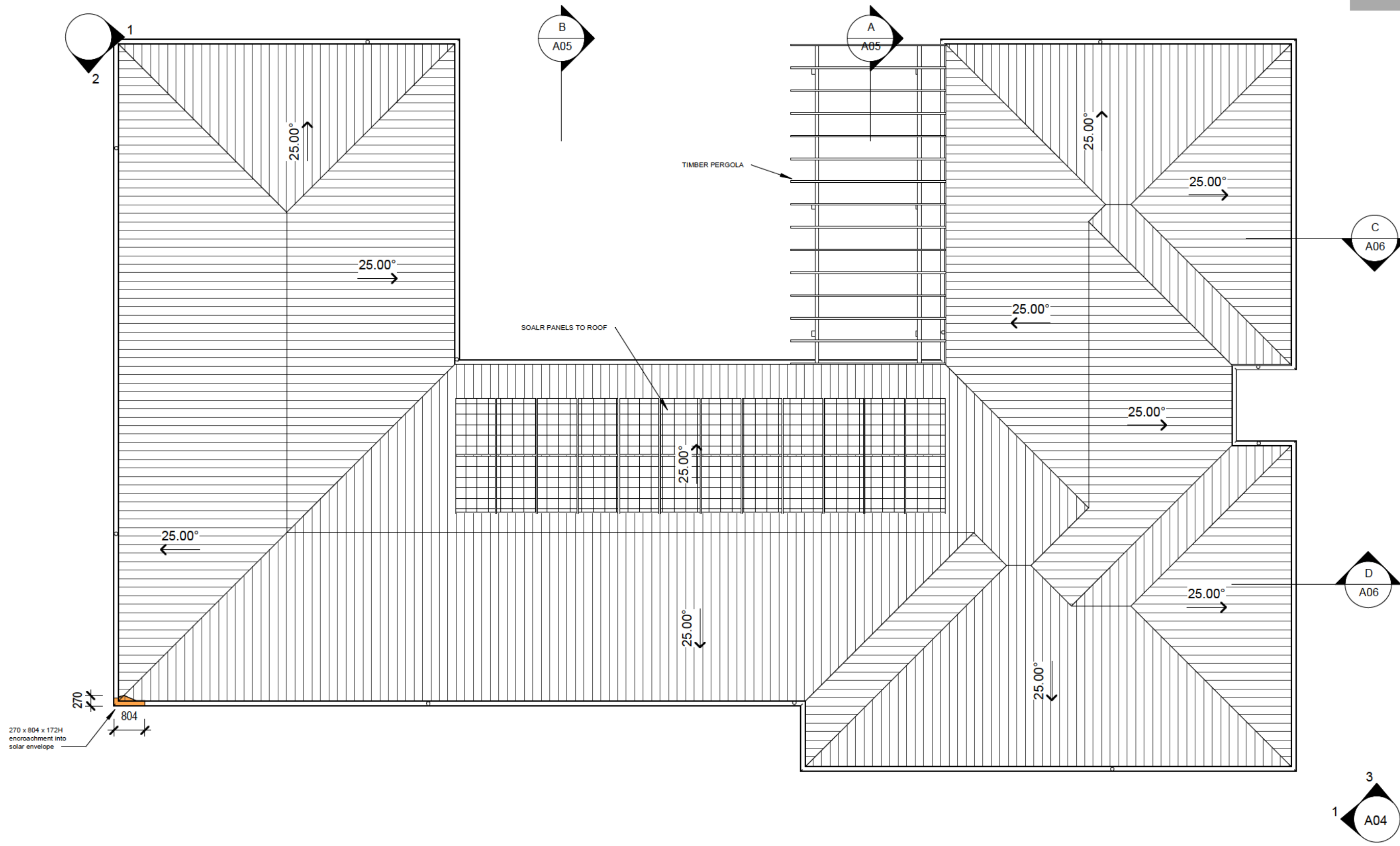
JEFFERSON GODFREY ARCHITECTS PTY LTD
 131 BRIGALOW STREET
 LYNEHAM, ACT 2602
 MOBILE: [REDACTED]
 EMAIL: jgarchitects@optusnet.com.au

ISSUE	DATE	AMENDMENT

PROJECT TITLE
PROPOSED NEW RESIDENCE
 BLOCK 6 SECTION 57,
 6 LANDBOROUGH STREET,
 GRIFFITH

TITLE
FLOOR PLAN
 CLIENT
 [REDACTED]

SCALES
 1 : 100
 DRAWN JLJG
 CHECKED JLJG
 DATE 11/7/19
 PROJECT No.
6 57 GRIFFITH
 DRAWING No
A02
 REVISION
 APPROVALS
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ISSUE	DATE	AMENDMENT

PROJECT TITLE
PROPOSED NEW RESIDENCE

BLOCK 6 SECTION 57,
 6 LANDBOROUGH STREET,
 GRIFFITH

TITLE
ROOF PLAN

CLIENT
 [REDACTED]

SCALES
1 : 100

DRAWN JLG
 CHECKED JLG
 DATE 11/7/19

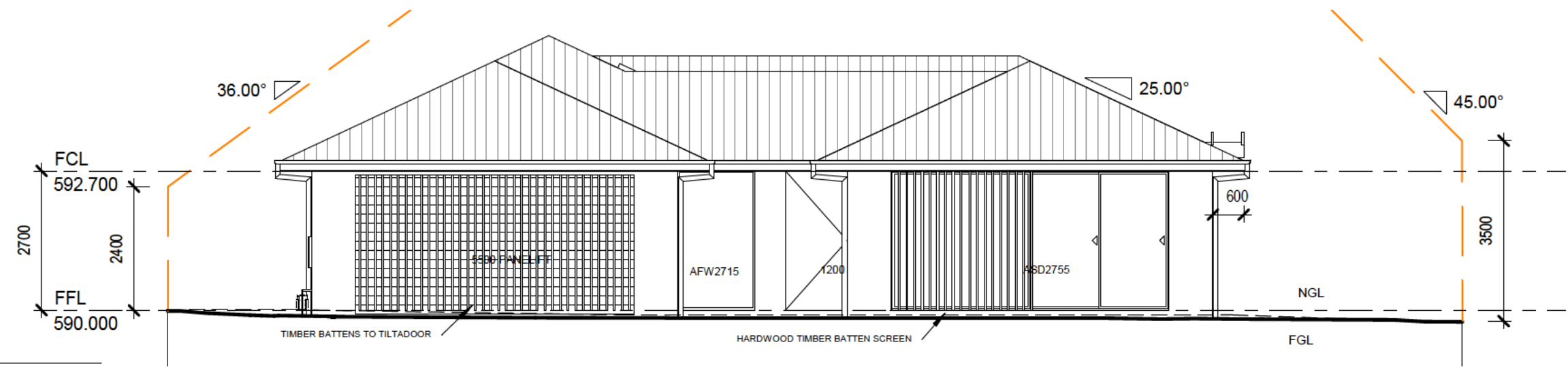
PROJECT No.
6 57 GRIFFITH

DRAWING No. REVISION
A03

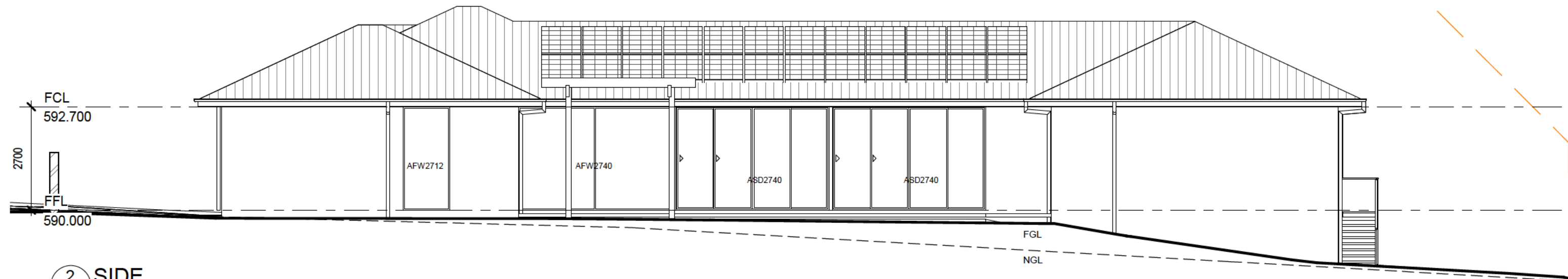
APPROVALS

ALL DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE DRAWING.
 ALL DIMENSIONS AND LEVELS MUST BE VERIFIED ON SITE BY CONTRACTOR BEFORE THE COMMENCEMENT OF WORK.

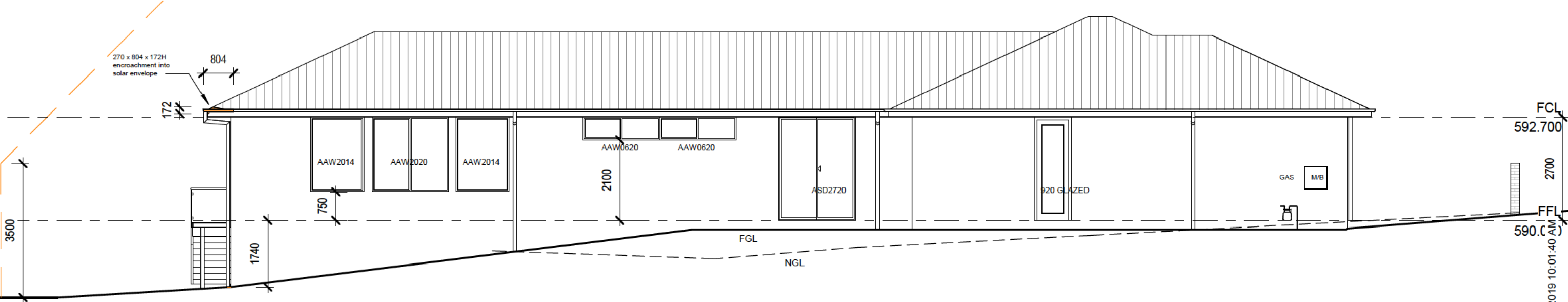
ACT HOUSE ENERGY RATING SCHEME
 6.0 STARS
 11 JULY 2019



1 FRONT (NORTHEAST)
A02



2 SIDE (NORTHWEST)
A02

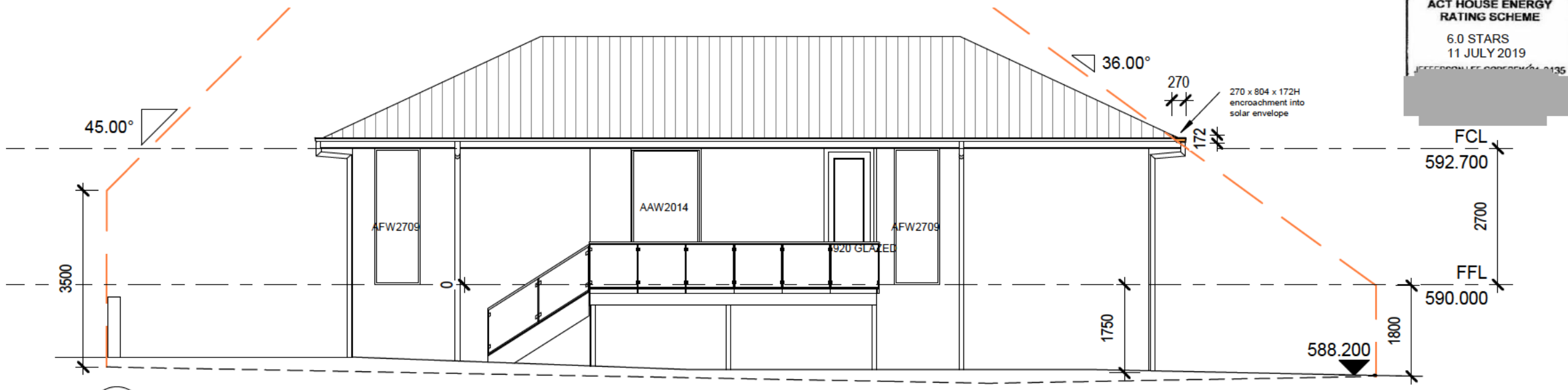


3 SIDE (SOUTHEAST)
A02

JEFFERSON GODFREY ARCHITECTS PTY LTD
 131 BRIGALOW STREET
 LYNEHAM, ACT 2602
 MOBILE: [REDACTED]
 EMAIL: jgarchitects@optusnet.com.au

PROJECT TITLE PROPOSED NEW RESIDENCE			TITLE ELEVATIONS		SCALES 1 : 100	PROJECT No. 6 57 GRIFFITH
BLOCK 6 SECTION 57, 6 LANDSBOROUGH STREET, GRIFFITH			CLIENT [REDACTED]		DRAWN JLG	DRAWING No A04
ISSUE			DATE		CHECKED JLG	REVISION
AMENDMENT			DATE 11/7/19		APPROVALS	
ALL DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE DRAWING. ALL DIMENSIONS AND LEVELS MUST BE VERIFIED ON SITE BY CONTRACTOR BEFORE THE COMMENCEMENT OF WORK						

11/11/2019 10:01:40 AM



ACT HOUSE ENERGY RATING SCHEME
 6.0 STARS
 11 JULY 2019
 [REDACTED]

INSULATION
 CEILING: R5 BATTS AND R1.3 BLANKET
 WALLS :R2.0 BATTS AND SISALATION
 FLOOR :R1 UNSDER SLAB /
 SLAB EDGE INSULATION

WINDOWS AND SLIDING DOORS
 DOUBLE GLAZED ALUMINIUM FRAMED

CONSTRUCTION NOTES:

ALL WORK MUST BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND THE RELEVANT AUTHORITIES REQUIREMENTS.

ALL TIMBER FRAMING AND CONSTRUCTION MUST COMPLY WITH THE CURRENT VERSION OF THE TIMBER FRAMING CODE AS1684.4 AND THE BCA

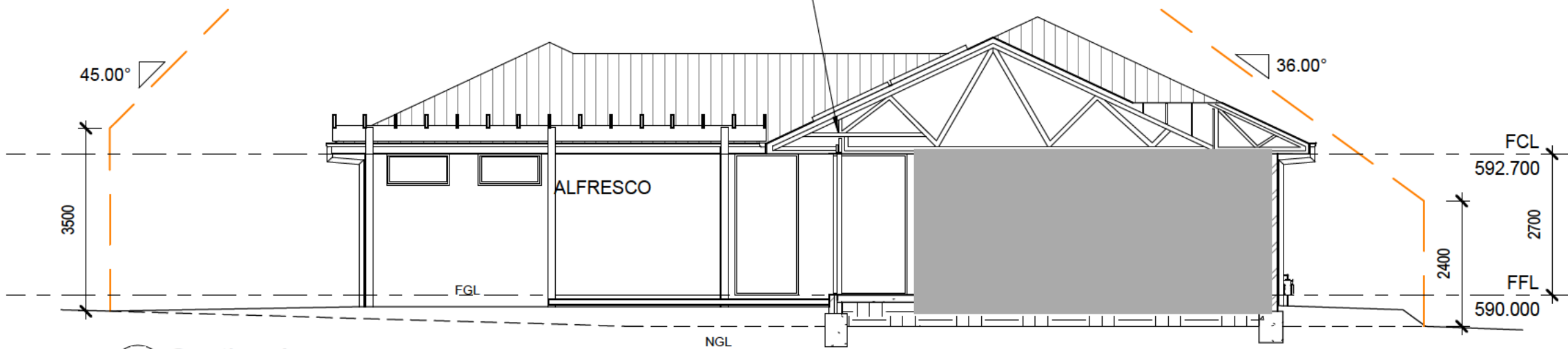
PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS23660-2000 PARTS 1,2,3

ALL CONCRETE SLABS AND FOOTINGS SHALL BE DETERMINED BY SITE CLASSIFICATION AND AS2870

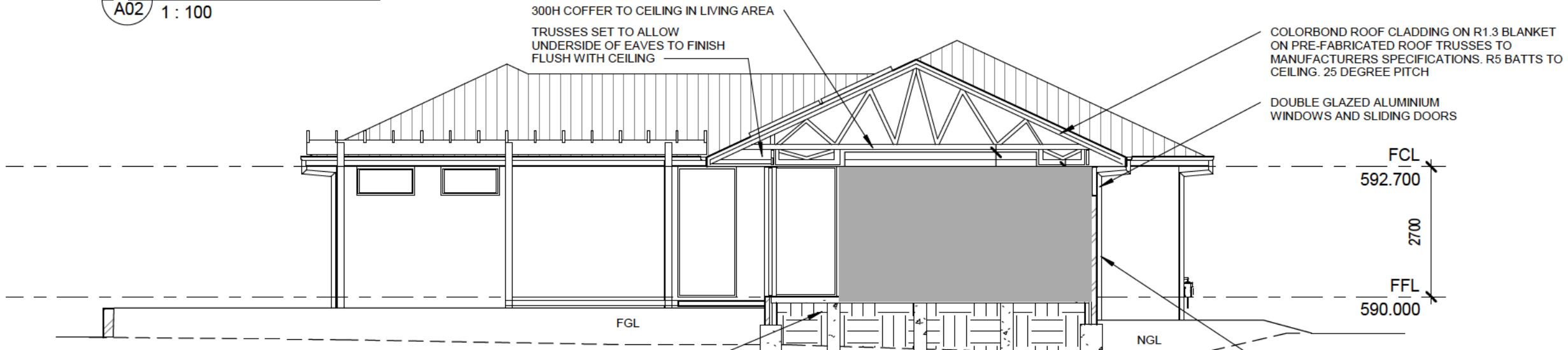
SMOKE ALARMS IN ACCORDANCE WITH PART 3.7.2 OF THE BCA AND AS3786.
 WIRING TO AS3000

PROVIDE SEPARATE PIPEWORK FOR RAINWATER SUPPLY TO WC'S AND W/M AND EXTERNAL TAPS. SWITCH OVER FACILITY FROM TANK WATER TO TOWN WATER.

1 REAR (SOUTHWEST)
 A02



A Section A
 A02 1:100



B Section B
 A02 1:100

CONCRETE SLAB WITH R1 SLAB INSULATION UNDER AND SIDES.
 ALL CONCRETE SLABS AND FOOTINGS SHALL BE DETERMINED BY SITE CLASSIFICATION AND AS2870. PEIRS TO ENGINEERING DETAIL

MASONRY TO BCA PART 3.3

WEATHER PROOFING AND WATERPROOFING TO BCA 3.3.4

MASONRY STRUCTURES TO AS3700
 MASONRY IN SMALL BUILDINGS TO AS4773
 MASONRY UNITS TO AS4455
 WALL TIES TO AS2699
 FLASHING AND DAMP PROOF COURSE TO AS2904
 ARTICULATION, EXPANSION AND CONTRACTION JOINTS TO AS4773.2 UNLESS OTHERWISE NOTED
 WEEP HOLES GUARDS REQUIRED TO BAL RATED BLOCKS

PROVIDE ARTICULATION/CONTROL JOINTS TO BRICK WALLS IN ACCORDANCE WITH AS4773.2-2010-MASONRY FOR SMALL BUILDINGS.

EXTERNAL WALL CLADDING TO BCA PART 3.5.3
 CLADDING AS SELECTED TO MANUFACTURER'S DETAILS AND SPECIFICATIONS INCLUDING BATTEN / FIXING SPACING, SIZES AND BAL REQUIREMENTS

METAL ROOFING COMPONENTS: NON COMPATIBLE METALS ARE NOT TO BE USED FOR ROOF CLADDINGS. FLASHING GUTTERS ETC DUE TO CHEMICALLY INDUCED CORROSION. EG: LEAD NOT TO BE USED UPSTREAM OF COLORBOND OR ZINCALUME

ROOF CLADDING TO COMPLY WITH:
 AS2049 ROOF TILES, BCA VOL2 PARTS 3.5.1 ROOF CLADDING & PART 3.5.2 GUTTERS AND DOWNPIPES

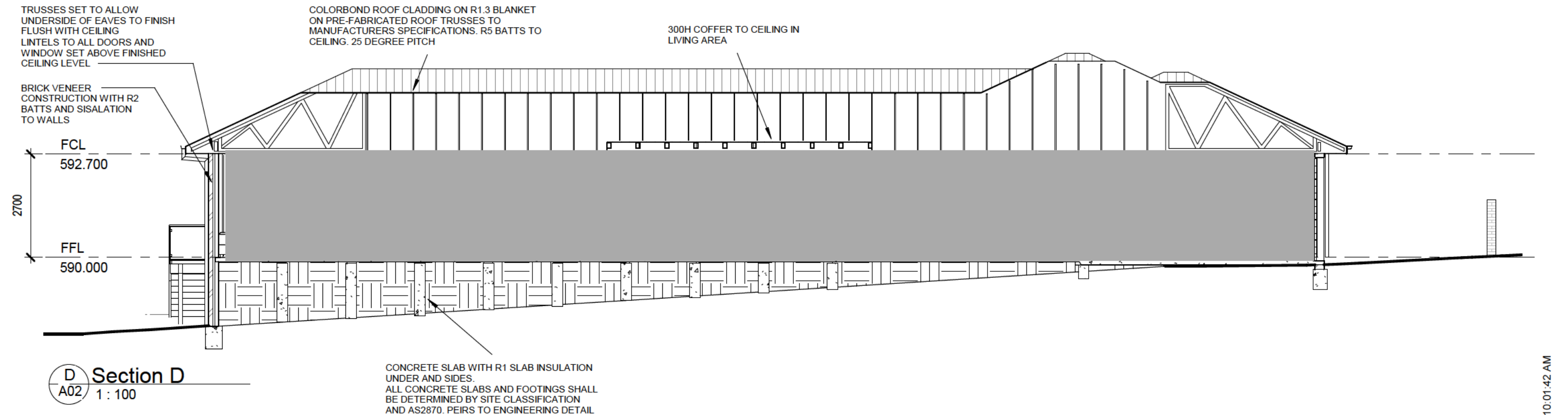
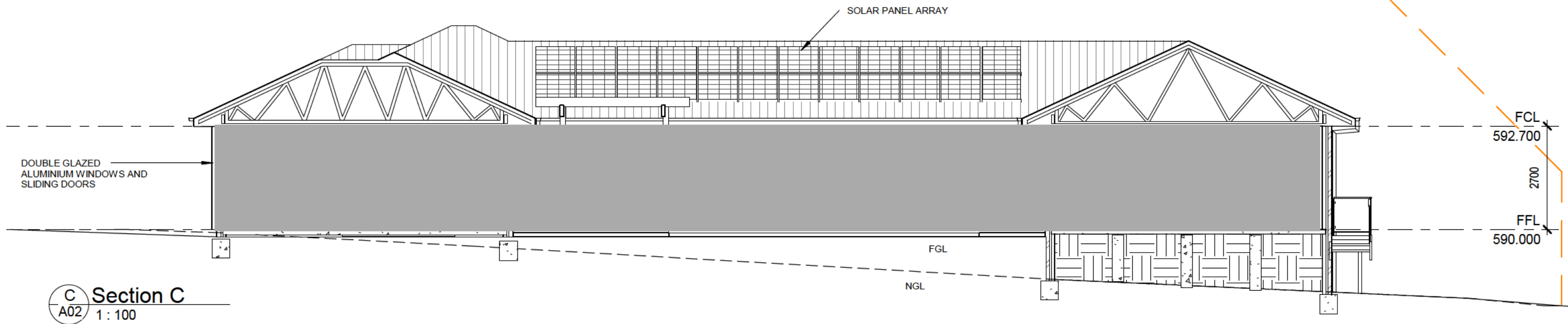
JEFFERSON GODFREY ARCHITECTS PTY LTD
 131 BRIGALOW STREET
 LYNEHAM, ACT 2602
 MOBILE: [REDACTED]
 EMAIL: jgarchitects@optusnet.com.au

PROJECT TITLE PROPOSED NEW RESIDENCE			TITLE ELEVATIONS & SECTIONS		SCALES 1 : 100	PROJECT No. 6 57 GRIFFITH
BLOCK 6 SECTION 57, 6 LANDSBOROUGH STREET, GRIFFITH			CLIENT [REDACTED]		DRAWN JLG	DRAWING No A05
ISSUE			DATE		CHECKED JLG	REVISION
AMENDMENT			DATE		DATE 11/7/19	APPROVALS

ALL DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE DRAWING.
 ALL DIMENSIONS AND LEVELS MUST BE VERIFIED ON SITE BY CONTRACTOR BEFORE THE COMMENCEMENT OF WORK

11/11/2019 10:01:41 AM

ACT HOUSE ENERGY RATING SCHEME
 6.0 STARS
 11 JULY 2019
 JEFFERSON GODFREY ARCHITECTS PTY LTD



JEFFERSON GODFREY ARCHITECTS PTY LTD
 131 BRIGALOW STREET
 LYNEHAM, ACT 2602
 MOBILE: [REDACTED]
 EMAIL: jgarchitects@optusnet.com.au

PROJECT TITLE PROPOSED NEW RESIDENCE			TITLE SECTIONS		SCALES 1 : 100	PROJECT No. 6 57 GRIFFITH
BLOCK 6 SECTION 57, 6 LANDBOROUGH STREET, GRIFFITH			CLIENT [REDACTED]		DRAWN JLG	DRAWING No A06
ISSUE			DATE		CHECKED JLG	REVISION
AMENDMENT			DATE 11/7/19		APPROVALS	
ALL DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE DRAWING. ALL DIMENSIONS AND LEVELS MUST BE VERIFIED ON SITE BY CONTRACTOR BEFORE THE COMMENCEMENT OF WORK						

11/11/2019 10:01:42 AM

Exempt Declaration Form 1N - Submission confirmation

Your submission has been successful. Please keep a copy of this receipt for your records.

Date and time

11 Nov 2019 10:10:11 AM

Reference code

SJ5NTS

Environment, Planning and Sustainable
Development Directorate

GPO Box 158
Canberra City ACT 2601

Telephone: (02) 6207 1923

Lease/site details

Suburb/District *

GRIFFITH

Section *

57

Block *

6

If you require help with suburb/district, section or block details, visit [ACTMAPI](#).

Address line 1 *

6 landsborough street

Address line 2

Suburb *

GRIFFITH

State

ACT

Postcode *

2603

Applicant/certifier details

Is the applicant a *

Company

Individual

Contact details

Title

Mr

Given name *

jefferson

Family name *

godfrey

Please enter at least one phone number: *

Home phone number

Work phone number

Mobile number

Email address *

jgarchitects@optusnet.com.au

Decision and Plans - Your decision and plans will be returned via email. Please ensure your email address provided is correct.

Lessee (Property owners) details

All lessees must be included in this form and **must** sign the Letter of Authority authorising the lodgement of this application. In doing so the lessee gives authority to the applicant to negotiate any dealings in relation to the application through to its determination.

Item Number 1

Same as applicant

Lessee

Is this lessee a *

Company

Individual

Contact details

Title

Given name *

Family name *

Please enter at least one phone number: *

Home phone number

Work phone number

Mobile number

Email address *

Item Number 2

Lessee

Is this lessee a *

Company

Individual

Contact details

Title	Given name *	Family name *
<input type="text"/>	<input type="text"/>	<input type="text"/>

Please enter at least one phone number: *

Home phone number	Work phone number	Mobile number
<input type="text"/>	<input type="text"/>	<input type="text"/>

Email address *

Please attach a letter of authority signed by all lessee's. *

File: letter of authorisation.pdf

Rule departure/s

This application seeks approval for the following minor departure/s from the Single Residential Housing Development Code.

Item Number 1

Rule number *

Description of departure *

270 x 804 x 172H encroachment into rear solar envelope of corner of roof and gutter at bed 3

Shadow diagrams indicating the extent of the departure will assist in assessing this rule and if not initially provided may be requested during the assessment, or a decision will be made based on the information provided.

Relevant plans and supporting documentation that clearly identify the rule departure/s must be uploaded as a single PDF. *

File: 6 57 GRIFFITH WDS 11 nov 2019 1n.pdf

Is the work detailed in this application currently under construction? *

Yes No

Is this application for an existing structure? *

Yes No

Is the application being considered subject to a current Building Approval? *

Yes No

Is the application subject to a completed Building Approval? *

Yes No

Is this application currently subject to compliance action? *

Yes

No

Applicant declaration

I, jefferson godfrey

- declare that all the information given on this form and its attachments is true and complete. ***
- declare that the attached plans clearly show the departure (for example, through using colour), and any other relevant information. ***
- I understand an assessment is only conducted once an application is lodged, and incorrect documentation may result in a refusal. ***



**LETTER OF AUTHORISATION
FOR APPLICANTS TO OBTAIN PERMISSION FROM
LESSEE/S TO LODGE AN APPLICATION WITH THE
ACT GOVERNMENT ON THEIR BEHALF**

LEASE/SITE DETAILS (Please Print)

If more than one lease/site please attach the following details for each additional lease/site on a separate sheet

Block Section Suburb
 Unit No. Street Address

LESSEE(S) DECLARATION if more than two lessees please provide details of each additional lessee on a separate sheet

- I/we declare that I am/we are the lessee(s) of the land described above;
- I/we have been made aware of the declaration clauses; and
- I/we declare that all the information given on this form is true and complete.

Print Name	<input type="text"/>	Signature	<input type="text"/>	Date	<input type="text" value="8/11/19"/>
Print Name	<input type="text"/>	Signature	<input type="text"/>	Date	<input type="text" value="8/11/19"/>

Please tick the applicable box below

This authorisation relates to:

- Certificate of Compliance
 Extension of Time
 Exempt Declaration Application
 Land Rent Payout
 Further Crown Lease
 Other _____

APPLICANT DECLARATION

- I/we declare that all information given on this form and its attachment is true and correct.
- **If signing on behalf of an organisation:**
- I/we the undersigned declare I/we have the appropriate delegation or authority to sign on behalf of the organisation.


Applicant Name Organisation Name
 Signature Date

Privacy Notice

The personal information on this form is provided to Access Canberra (AC) and Environment and Planning Directorate (EPD) to enable the processing of your application. The collection of personal information is authorised by the *Planning and Development Act 2007*. If all or some of the personal information is not collected AC or EPD cannot process your application. The *Planning and Development Act 2007* requires the details of applications, decisions and orders to be kept on a register and made available for public inspection. Information and documentation relevant to a development application may be made available via the Internet. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office, the Registrar General's Office, ACTEW Corporation, ActewAGL, Icon Water, Territory and Municipal Services Directorate and other Government agencies with a direct interest in the development assessment process. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Personal information may be used or disclosed in accordance with the Information Privacy Act 2014. For details on the collection of personal information in this form please refer to the [Access Canberra Information Collection Notice](#). If you have questions about how your information will be handled please see the [Access Canberra Privacy Policy](#). The EPD Information Privacy Policy can be found at www.planning.act.gov.au

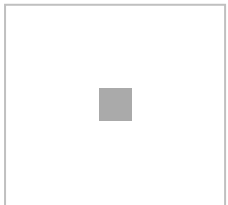
Contact Information:

Online www.act.gov.au/accessCBR www.planning.act.gov.au	Phone (02) 62071923 TTY (02) 62072622	In Person Building Services Shopfront – Mitchell Environment, Planning and Land Shopfront - Dickson For opening hours and location details please visit www.act.gov.au/accessCBR or call Access Canberra 13 22 81.
---	--	---

From: 
To: [AC, EPD Customer Services](#)
Subject: 6 of 57 Griffith - Exempt Dec Details
Date: Wednesday, 18 November 2020 11:07:31 AM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)
[image007.png](#)

CAUTION: This email originated from outside of the ACT Government. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Attn Jim,
I give permission to amend Exempt Declaration form details for 6 of 57 Griffith,
Regards,



From: [Exemptdec](#)
To: [Exemptdec](#)
Subject: FW: APPROVED-EXEMPTION DECLARATION 2--6-57-GRIFFITH
Date: Friday, 20 November 2020 3:21:26 PM
Attachments: [EXEMPTION DECLARATION 2.obr](#)

OFFICIAL

Application approved by delegate (Matt Davis)

Paul Wang | Gateway Team
02 6205 2888
Planning Delivery Division | Environment, Planning and Sustainable Development Directorate ACT
Government
480 Northbourne Avenue, Dickson, 2602 | GPO Box 1908 Canberra ACT 2601 | www.planning.act.gov.au

-----Original Message-----

From: AC, EPD Customer Services <ACEPDCustomerServices@act.gov.au>
Sent: Thursday, 19 November 2020 11:26 AM
To: Exemptdec <Exemptdec@act.gov.au>
Subject: READY FOR ASSESSMENT-EXEMPTION DECLARATION 2--6-57-GRIFFITH

OFFICIAL

Jim Bobolas has sent you a link to "EXEMPTION DECLARATION 2" (fA10647071) from Objective.

Open in Navigator
Double click on the attachment

Exempt Declaration Form 1N - Submission confirmation

Your submission has been successful. Please keep a copy of this receipt for your records.

Date and time

13 Nov 2020 3:54:38 PM

Reference code

37QKQ6

Environment, Planning and Sustainable
Development Directorate

GPO Box 158
Canberra City ACT 2601

Telephone: (02) 6207 1923

Lease/site details

Suburb/District *

GRIFFITH

Section *

57

Block *

6

If you require help with suburb/district, section or block details, visit [ACTMAPI](#).

Address line 1 *

6 Landsborough

Address line 2

Suburb *

GRIFFITH

State

ACT

Postcode *

2603

Applicant/certifier details

Is the applicant a *

Company

Individual

Company name *

DOWSE NORWOOD & ASSOCIATES ARCHITECTS

Provide either an ABN or an ACN *

ABN

17600270522

ACN

Contact details

Title

Mr

Given name *

Ajanthan

Family name *

Bala

Position held in company *

Director

Please enter at least one phone number: *

Home phone number

Work phone number

Mobile number

Email address *

daniel@dnaa.com.au

Decision and Plans - Your decision and plans will be returned via email. Please ensure your email address provided is correct.

Lessee (Property owners) details

All lessees must be included in this form and **must** sign the Letter of Authority authorising the lodgement of this application. In doing so the lessee gives authority to the applicant to negotiate any dealings in relation to the application through to its determination.

Item Number 1

Same as applicant

Lessee

Is this lessee a *

Company

Individual

Contact details

Title

Given name *

Family name *

Please enter at least one phone number: *

Home phone number

Work phone number

Mobile number

Email address *

daniel@dnaa.com.au

Please attach a letter of authority signed by all lessee's. *

File: Signed Letter of authority.pdf

Rule departure/s

This application seeks approval for the following minor departure/s from the Single Residential Housing Development Code.

Item Number 1

Rule number *

7

Description of departure *

Rule 7 - Minor solar encroachment to external fascia eave perpendicular to southern boundary

Shadow diagrams indicating the extent of the departure will assist in assessing this rule and if not initially provided may be requested during the assessment, or a decision will be made based on the information provided.

Relevant plans and supporting documentation that clearly identify the rule departure/s must be uploaded as a single PDF. *

File: Combined Set_2020.11.13.pdf

Is the work detailed in this application currently under construction? *

Yes No

Is this application for an existing structure? *

Yes No

Is the application being considered subject to a current Building Approval? *

Yes No

Is the application subject to a completed Building Approval? *

Yes No

Is this application currently subject to compliance action? *

Yes No

Applicant declaration

I, Ajanthan Bala

- declare that all the information given on this form and its attachments is true and complete. ***
- declare that the attached plans clearly show the departure (for example, through using colour), and any other relevant information. ***
- I understand an assessment is only conducted once an application is lodged, and incorrect documentation may result in a refusal. ***



**PROPOSED SESTIC RESIDENCE
6 LANDBOROUGH STREET
BLOCK 6 SECTION 57 GRIFFITH ACT**

- A001 COVER
- A101 SITE PLAN
- A102 SITE DEMOLITION PLAN
- A103 LANDSCAPE PLAN - TBC
- A201 LOWER FLOOR PLAN
- A202 GROUND FLOOR PLAN
- A203 UPPER FLOOR PLAN
- A204 ROOF PLAN
- A205 LOWER FLOOR AREA PLAN
- A206 GROUND FLOOR AREA PLAN
- A207 UPPER FLOOR AREA PLAN
- A301 ELEVATIONS (1)
- A302 ELEVATIONS (2)
- A401 SECTION A
- A402 SECTION B
- A601 WINDOW SCHEDULE - TBC
- A602 MATERIAL SCHEDULE - TBC
- A701 SEDIMENT AND CONTROL PLAN
- A702 DILAPIDATION REPORT - DRIVEWAY TCCS

DRAFT DA APPLICATION
NOT FOR CONSTRUCTION

DRAWING
COVER PAGE

PROJECT NO. **2037**
REVISION X
REVISION DATE XX.XX.XXXX

DWG NO **A001**



LOCATION PLAN
NTS

SAFETY IN DESIGN STATEMENT:

WE DO NOT BELIEVE THAT THERE ARE ANY DESIGN ELEMENTS ASSOCIATED WITH THIS PROJECT THAT WOULD POSE ANY UNUSUAL RISKS TO HEALTH AND SAFETY THAT WOULD BE CONSIDERED OUTSIDE OF THOSE NORMALLY EXPECTED FOR THIS BUILDING TYPE.
IF ANY PERSONS CONNECTED WITH THIS PROJECT CAN IDENTIFY ANY UNUSUAL RISKS THAT NEED TO BE ADDRESSED PLEASE CONSULT THE DESIGNER

NOTE:

- LIGHTING TO COMPLY WITH CLAUSE 3.12.5.5 OF THE BCA
- WATER HEATER IN HOT WATER SUPPLY SYSTEM TO COMPLY WITH CLAUSE 3.12.5.6

GENERAL NOTES

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE ENGINEER'S DETAILS. CONFIRM STEEL SIZES PRIOR TO CONSTRUCTION.
ALL MATERIALS AND FINISHES SHALL BE APPROVED BY THE OWNERS. VARIATIONS TO PLAN AND SPECIFICATION SHALL NOT BE MADE WITHOUT THE CONSENT OF THE OWNERS.
ALL DIMENSIONS SHALL BE VERIFIED ON SITE.
ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BCA WORKMANSHIP TO BE CARRIED OUT IN ACCORDANCE WITH NATURE STANDARD CONDITIONS OF WORKMANSHIP AS APPLICABLE FOR EACH TRADE DO NOT SCALE OFF DRAWINGS.
FIRE PRECAUTIONS DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH SECTION E CLAUSE E1.6 OF THE BCA.
PROVIDE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH SECTION E CLAUSE E1.6 OF THE BCA.
FIRE EXTINGUISHERS SHALL COMPLY WITH AS 2444.
ALL MATERIALS AND ASSEMBLIES SHALL COMPLY WITH C1.10 OF THE BCA. ALL WET AREA FLOORS SHALL BE GRADED AND DRAINED TO FLOOR WASTES TO PLUMBING CODES AND THE BCA.
PROVIDE IMPERVIOUS WALL TO FLOOR JOINT TO THE PERIMETER OF ALL WET AREAS.
WATERPROOFING SHALL COMPLY WITH C1.11.7 OF THE BCA.
CONFIRM LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION.

EGRESS

REQUIRED PATHS OF EXIT BE IN ACCORDANCE WITH PART D1.6 OF THE BCA. THE UNRESTRICTED HEIGHT MUST BE NO LESS THAN 2.0M EXCEPT AT DOORWAYS WHERE THE HEIGHT MAY BE REDUCED TO 1.8M. THE UNRESTRICTED WIDTH OF EACH EXIT OR PATH OF TRAVEL TO AN EXIT, EXCEPT AT DOORWAYS MUST BE 1.0M MINIMUM.

REQUIRED EXIT SIGNS SHALL BE IN ACCORDANCE WITH PART E4 OF THE BCA. PROVIDE EMERGENCY ILLUMINATED EXIT SIGNS TO REQUIRED EXITS TO AS 2283.1

EXITS MUST NOT BE BLOCKED AT THE POINT OF DISCHARGE, AND WHERE NECESSARY SUITABLE BARRIERS MUST BE PROVIDED TO PREVENT VEHICLES FROM BLOCKING EXITS.

OPERATION OF LATCHES MUST BE IN ACCORDANCE WITH PART D2.1 OF THE BCA. A REQUIRED EXIT DOOR MUST BE READILY OPERABLE WITHOUT A KEY FROM THE SIDE THAT FACES THE PERSON SEEKING EGRESS BY A SINGLE HAND DOWNWARD ACTION OR PUSHING ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900MM AND 1200MM FROM THE FLOOR.

LIGHTING

INSTALL EMERGENCY LIGHTING IN ACCORDANCE WITH AS 2283.1 AND PART E4.2 OF THE BCA INCLUDING DIRECTIONAL SIGNAGE (NOT SHOWN ON PLANS) TO BCA REQUIREMENTS.

PROVIDE ARTIFICIAL LIGHTING TO AS 1980

SARKING

INSTALL ROOF SARKING TO AS/NZS 4000 PARTS 1 AND 2

IMPORTANT NOTE

THIS PLAN IS PREPARED FOR THE CLIENT FROM A COMBINATION OF FIELD SURVEYS AND EXISTING RECORDS PROVIDED BY THE CLIENT. SERVICES AND INFORMATION SHOWN HERE HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. IF NOT ABLE TO BE LOCATED, SERVICES HAVE BEEN PLOTTED FROM RECORDS OF RELEVANT AUTHORITIES WHERE AVAILABLE AND HAVE BEEN NOTED ACCORDINGLY ON THIS PLAN.

PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, RELEVANT AUTHORITY SHOULD BE CONTACTED FOR THE POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND LOCATED LOCATION OF ALL SERVICES. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

STAIRS

GOINGS AND RISERS SHALL BE IN ACCORDANCE WITH PART D OF THE BCA. NOMINAL DIMENSIONS OF RISERS AND TREAD MUST BE CONSISTENT FOR EACH FLIGHT OF STAIRS AND THERE MUST BE NO MORE THAN 18 RISERS PER FLIGHT. RISER AND GOINGS SHALL BE IN ACCORDANCE WITH THE BCA.

RISER 190 MAX, 115 MIN
GOINGS 350 MAX, 250 MIN
QUANTITY (2 RISER-GOING) 700 MAX, 500 MIN

STAIR SHALL BE BALUSTRADED WHERE HEIGHT TO FINISHED GROUND LEVEL EXCEEDS 1.0M.
BALUSTRADE SHALL BE 1000 HIGH AND NOT LESS THAN 80MM ABOVE STAIR nosings. NO OPENING IN BALUSTRADE MUST ALLOW A 125MM SPHERE TO PASS THROUGH. LOADING FORCES MUST BE IN ACCORDANCE WITH AS 1170.1

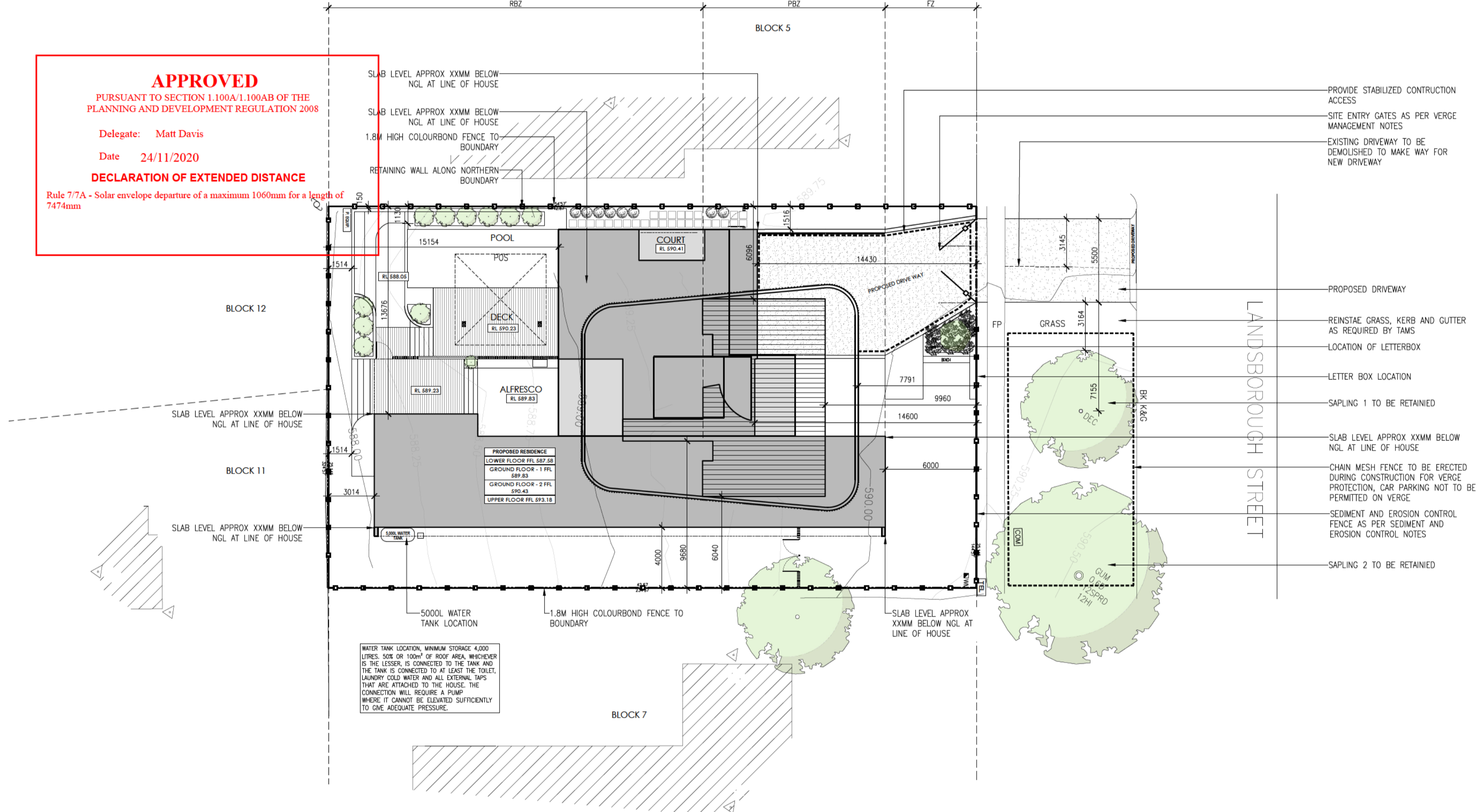
WHERE HEIGHT OF STAIR IS GREATER THAN 570 ABOVE FINISHED GROUND LEVEL A LANDING IN ACCORDANCE WITH CLAUSE 3.8.1.3 SHALL BE PROVIDED

AREA ANALYSIS:

SITE AREA	1073m ²
TOTAL GFA ALLOWED	536.5MP
BASEMENT PARKING (NOT INCLUDED)	50MP
CARAGE	35.2MP
STAIRS	29.56MP
STORAGE (FRONT)	7.7MP
CELLAR	6.35MP
BASEMENT LIFT	5.3MP
TOTAL	84.11MP
GROUND FLOOR AREA	340MP
UPPER FLOOR AREA	105.20MP
TOTAL	445.2MP
TOTAL AREA	529.31MP
PLOT RATIO	49.32%

APPROVED
PURSUANT TO SECTION 1.100A/1.100AB OF THE
PLANNING AND DEVELOPMENT REGULATION 2008

Delegate: **Matt Davis**
Date: **24/11/2020**
DECLARATION OF EXTENDED DISTANCE
Rule 7/7A - Solar envelope departure of a maximum 1060mm for a length of 7474mm



- PROVIDE STABILIZED CONSTRUCTION ACCESS
- SITE ENTRY GATES AS PER VERGE MANAGEMENT NOTES
- EXISTING DRIVEWAY TO BE DEMOLISHED TO MAKE WAY FOR NEW DRIVEWAY
- PROPOSED DRIVEWAY
- REINSTATE GRASS, KERB AND GUTTER AS REQUIRED BY TAMS
- LOCATION OF LETTERBOX
- LETTER BOX LOCATION
- SAPLING 1 TO BE RETAINED
- SLAB LEVEL APPROX XXMM BELOW NGL AT LINE OF HOUSE
- CHAIN MESH FENCE TO BE ERECTED DURING CONSTRUCTION FOR VERGE PROTECTION, CAR PARKING NOT TO BE PERMITTED ON VERGE
- SEDIMENT AND EROSION CONTROL FENCE AS PER SEDIMENT AND EROSION CONTROL NOTES
- SAPLING 2 TO BE RETAINED

WATER TANK LOCATION, MINIMUM STORAGE 4,000 LITRES, 500L OR 1000L OF ROOF AREA, WHICHEVER IS THE LESSES, IS CONNECTED TO THE TANK AND THE TANK IS CONNECTED TO AT LEAST THE TOILET, LAUNDRY COLD WATER AND ALL EXTERNAL TAPS THAT ARE ATTACHED TO THE HOUSE. THE CONNECTION WILL REQUIRE A PUMP WHERE IT CANNOT BE ELEVATED SUFFICIENTLY TO ONE ADEQUATE PRESSURE.

GENERAL NOTES:
ALL WORKS ARE TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS & ALL RELEVANT AUTHORITY REQUIREMENTS.
ALL DIMENSIONS SPECIFIC TO EXISTING SITE CONDITIONS SHALL BE VERIFIED BY THE BUILDER ON SITE PRIOR TO THE COMMENCEMENT OF THE WORKS. DO NOT SCALE OFF DRAWING.
A REGISTERED SURVEYOR TO SET OUT STRUCTURE & CONFIRM POSITIONS OF ALL RELEVANT BUILDING ENVELOPE SETBACKS & EASEMENTS PRIOR TO THE COMMENCEMENT OF THE WORKS. ALL TIMBER FRAMING & CONSTRUCTION MUST COMPLY WITH AS/NZS 1684 THE NATIONAL TIMBER FRAMING CODE. PROVIDE TEMPORARY & PERMANENT BRACING TO ALL FRAMING IN ACCORDANCE WITH THE STANDARDS.
ALL CONCRETE SLABS & FOOTINGS ARE SUBJECT TO A SOIL CLASSIFICATION & ARE TO COMPLY WITH ENGINEERS DRAWINGS OR AS/NZS 1532 RESIDENTIAL SLAB & FOOTING CODE INCLUDING ALL RELEVANT REGION SPECIFIC SUPPLEMENTS.
ALL STORM WATER DRAINAGE & LEAKAGE TO BE CONNECTED TO EXISTING SERVICES IN ACCORDANCE WITH THE BCA & ALL LOCAL AUTHORITY REQUIREMENTS OR SELECTED DRAINAGE TANK OR SEPTIC SYSTEM.
ALL LINTLS, BEAMS, & SUPPORTS TO BE SPECIFIED BY A REGISTERED ENGINEER OR RELEVANT AUSTRALIAN STANDARD.
PROVIDE TERMITE CONTROL TO SUB FLOOR IN ACCORDANCE WITH THE BCA. ALL RELEVANT LOCAL AUTHORITY REQUIREMENTS OR PROVIDE ANT CAPING AND TERMITE BARRIERS. THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AT ALL TIMES, & NO ELEMENT SHALL BE OVERSTRESSED, DURING & AFTER CONSTRUCTION.
ALL NET AREA FIGURES SHALL BE TO CLIENTS SELECTION OR INCLUSIONS LIST.

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AMENDMENTS
REV 01 2020.06.12
1. PRELIMINARY DRAFT

DRAFT
NOT FOR CONSTRUCTION

DRAWING
SITE PLAN
PROJECT SINGLE RESIDENTIAL DWELLING
SCALE 1:200 @ A1
PRINT DATE 12.11.2020

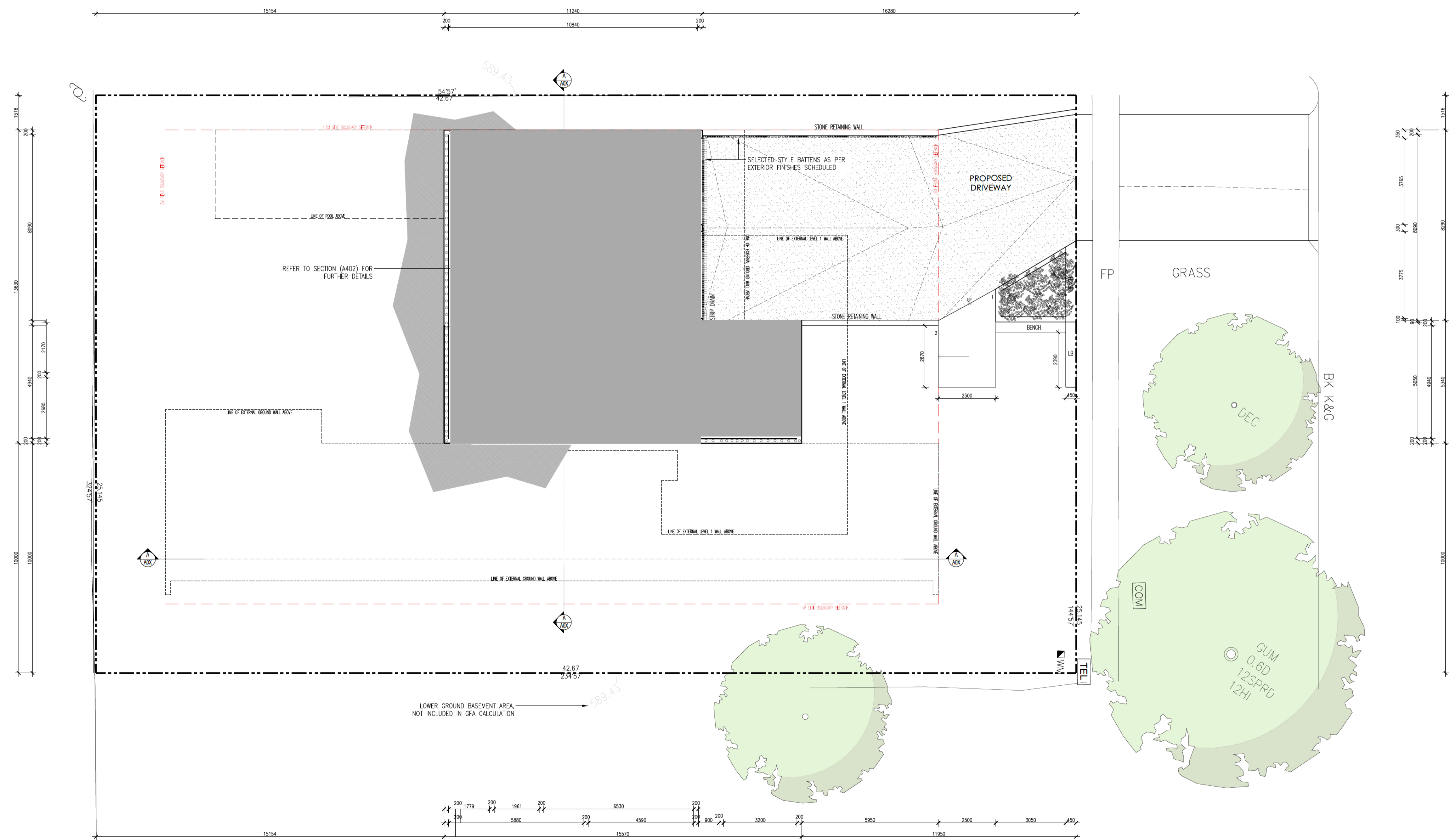
CLIENT [REDACTED]
BLOCK U6
SECTION 57
ADDRESS 6 LANDSBOROUGH STREET
SUBURB GRIFFITH
STATE ACT

NORTH
PROJECT NO. 2037
REVISION 01
REVISION DATE 12.06.2020
DRAWN AB/KF

GENERAL NOTES:
ALL WORKS ARE TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS & ALL RELEVANT AUTHORITY REQUIREMENTS.
ALL DIMENSIONS SPECIFIC TO EXISTING SITE CONDITIONS SHALL BE VERIFIED BY THE BUILDER ON SITE PRIOR TO THE COMMENCEMENT OF THE WORKS. DO NOT SCALE OFF DRAWINGS.
A REGISTERED SURVEYOR TO SET OUT STRUCTURE & CONFIRM POSITIONS OF ALL RELEVANT BUILDING ENVELOPE SETBACKS & EASEMENTS PRIOR TO THE COMMENCEMENT OF THE WORKS.
ALL TIMBER FRAMING & CONSTRUCTION MUST COMPLY WITH AS 1684 THE NATIONAL TIMBER FRAMING CODE. PROVIDE TEMPORARY & PERMANENT BRACING TO ALL FRAMING IN ACCORDANCE WITH THE STANDARDS.
ALL CONCRETE SLABS & FOOTINGS ARE SUBJECT TO A SOIL CLASSIFICATION & ARE TO COMPLY WITH ENGINEERS DRAWINGS OR AS PER RESIDENTIAL SLAB & FOOTING CODE INCLUDING ALL RELEVANT REGION SPECIFIC SUPPLEMENTS.
ALL STORM WATER DRAINAGE & OVERFLOW TO BE CONNECTED TO EXISTING SERVICES IN ACCORDANCE WITH THE BCA & ALL LOCAL AUTHORITY REQUIREMENTS OR SELECTED DRAINAGE TIME OR SEPTIC SYSTEM.
ALL LINTLS, BEAMS, & SUPPORTS TO BE SPECIFIED BY A REGISTERED ENGINEER OR RELEVANT AUSTRALIAN STANDARDS.
PROVIDE TERMITE CONTROL TO SUB FLOOR IN ACCORDANCE WITH THE BCA & ALL RELEVANT LOCAL AUTHORITY REQUIREMENTS OR PROVIDE ANE CAPING AND TERMITE BARRIER.
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AMENDMENTS
REV. 01 2020.06.12
1. PRELIMINARY DRAFT



DRAFT
NOT FOR CONSTRUCTION

DRAWING
LOWER FLOOR PLAN

PROJECT SINGLE RESIDENTIAL DWELLING
SCALE 1:100 @ A1
PRINT DATE 16.11.2020

CLIENT [REDACTED]
BLOCK U6
SECTION 57
ADDRESS 6 LANDSBOROUGH STREET
SUBURB GRIFFITH
STATE ACT

NORTH

PROJECT NO. 2037
REVISION 01
REVISION DATE 12/06/2020
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DWG NO. **A201**