
From: smartforms@act.gov.au
Sent: Tuesday, 21 May 2019 4:02 PM
To: EPD, Customer Services
Subject: Application for Certificate of Compliance, KINGSTON 55 3, 73G77C [SEC=UNCLASSIFIED, DLM=Sensitive: Personal]
Attachments: Compliance-certificate-application-KINGSTON-S55-B3.xml; Compliance-certificate-application-KINGSTON-S55-B3.pdf

Application for Certificate of Compliance

Form data summary

Applicant name	[REDACTED]
Submission ID	34111620190521156808
Reference code	73G77C

For enquiries relating to your application certificate of compliance. Please contact customer services on (02) 6207 1923.



Application for Certificate of Compliance - Tax receipt

This transaction will appear on your credit card statement as ACCESS CANB INTERNET.

Date and time	Reference code	Payment receipt number	Total amount paid
21 May 2019 3:58:41 PM	73G77C	2436751196	\$63.00

Access Canberra
ABN: 68 367 113 536

GPO Box 1908
Canberra ACT 2601

Phone: 6207 1923

Application for Certificate of Compliance

Site details

Suburb/District *	Section *	Block *	Units
KINGSTON	55	3	

If you require help with suburb/district, section or block details, visit [ACTMAPi](#).

Street address *

72 Printers Way Kingston ACT

Please select the type of property this application applies to: *

Single residential

Applicant details

Title Given name * Family name *

[Redacted applicant details]

Company name

Ashmay Pty Ltd

Address line 1 *

72 Printers Way

Address line 2

[Empty address line 2 field]

Suburb *

KINGSTON

State *

ACT

Postcode *

2604

Email address *

admin@unitedlegal.com.au

Please enter at least one phone number: *

Home phone number

Work phone number

Mobile number

Lessee (property owners) details

All lessees **must** be included in this form. If the applicant is lodging on behalf of the lessee/s, a [Letter of Authority](#) authorising the lodgement of this application **must** be signed by all lessees. In doing so the lessee/s gives authority to the applicant to negotiate any dealings in relation to the application.

Are you the sole lessee on the Land Title? *

Yes

No

Applicant and lessee declaration

Please tick the applicable boxes *

I am the lessee.

I have authorisation from the lessee.

I/we declare that all the information given on this form and its attachments is true and correct. *

If signing on behalf of a company, organisation or Government agency:- I/we the undersigned, declare I/we have the appropriate delegation or authority to sign on behalf of the company, organisation or Government agency.

Payment

Payment Amount

\$63.00

For unit developments and non residential developments fees are payable after initial assessment of the application.

From: EPD, Customer Services
Sent: Tuesday, 21 May 2019 4:19 PM
To: admin@unitedlegal.com.au
Subject: Certificate of Compliance KINGSTON S055 B0003 [SEC=UNCLASSIFIED]
Attachments: Certificate of Compliance-KINGSTON-S055-B0003.pdf; Compliance-certificate-application-KINGSTON-S55-B3.pdf

Good Afternoon,

Please see attached the certificate of compliance for Block 3 Section 55 Kingston.

Regards,

Luke Stokman | Customer Coordination

Phone: 02 6207 1923 | Email: epdcustomerservices@act.gov.au

Access Canberra | Chief Minister Treasury and Economic Development Directorate | ACT Government

16 Challis St, Dickson | GPO BOX 158, Canberra City ACT 2601 | www.act.gov.au/accessCBR



From: AJ <aj@dnarchitects.com.au>
Sent: Friday, 7 November 2008 2:55 PM
To: App Sec
Subject: DA documents for Block 3 Section 55 Kingston. 1 of 3

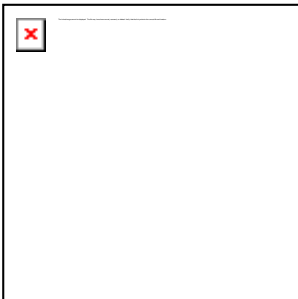
App Sec,

Please find attached DA documents for Block 3 Section 55 Kingston. If you require any further information, please don't hesitate to contact me.

Kind Regards,

Ajanthan BalaretnaRaja

Dowse Norwood Architects Pty Ltd



P: 02 6230 4688
F: 02 6230 4699
A: 14 Lonsdale St., Braddon ACT 2612
E: aj@dnarchitects.com.au
W: www.dnarchitects.com.au

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From: AJ <aj@dnarchitects.com.au>
Sent: Friday, 7 November 2008 2:56 PM
To: App Sec
Subject: DA documents for Block 3 Section 55 Kingston. 2 of 3

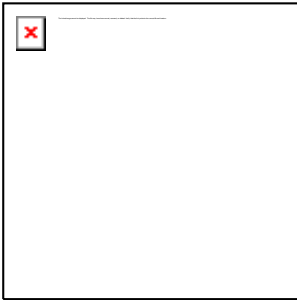
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From: AJ <aj@dnarchitects.com.au>
Sent: Friday, 7 November 2008 2:56 PM
To: App Sec
Subject: DA documents for Block 3 Section 55 Kingston. 3 of 3

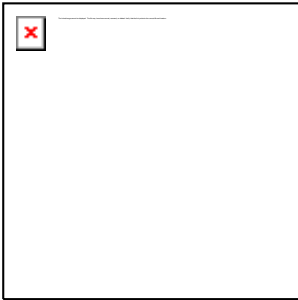
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Planning and Development Act 2007, s425

DEVELOPMENT APPLICATION

Form 1C

CITY CENTRE, TOWN CENTRE, GROUP CENTRE,
LOCAL CENTRE and NORTHBOURNE AVENUE
PRECINCT CODES, CZ2 OFFICE AREAS OUTSIDE
CENTRES PRECINCT CODE ZONE, CZ5 MIXED USE
ZONE, CZ6 LEISURE AND ACCOMMODATION ZONE

Type of Application



New Application

(If you attended a pre-application meeting or received pre-application written advice please provide the proposal number)

Insert Proposal Number to which this application relates (if applicable):

20.....

Lease/Site Details *Please Print*

If more than one lease/site, attach the following details for each lease/site

Block

Section

Unit (if applicable)

Suburb

District

Street Number

Street Name

Postcode

Applicant Details *Please Print*

Surname

First Name

Company Name

Position held in company

Australian Company/Business Number (ACN/ABN)

Postal Address

Suburb

State

Postcode

Phone Number Business Hours

Mobile

EMAIL ADDRESS

Lessee (Property Owners) Details

1st Lessee's Details (or Government Land Custodian)

Surname First Name

Company Name

Position held in company Australian Company/Business Number (ACWABN)

Postal Address

Suburb State Postcode

Phone Number Business Hours Mobile

EMAIL ADDRESS

2nd Lessee's Details (or Government Land Custodian)

Surname First Name

Company Name

Position held in company Australian Company/Business Number (ACWABN)

Postal Address

Suburb State Postcode

Phone Number Business Hours Mobile

EMAIL ADDRESS

All lessees must sign authorizing the lodgement of this development application. In doing so the lessee gives authority to the applicant to negotiate any dealings in relation to the application through to its determination. If there are more than two lessees please ensure that the details and authorization are attached to the application.

Notice of Decision and Plans

Unless otherwise specified your notice of decision and/or plans will be returned via email

- EMAIL
- POST TO ME
- HOLD FOR COLLECTION

Fully Describe Your Proposal

EXAMPLE: New five storey commercial building, associated public works and signage

New 3 Storey residence with double garage + tandem parking.

Use of the Land

Describe the use of the land or the use of a building or structure on the land.

Example: Office, restaurant, and business agency limited to 300m2 gross floor area

Mixed Use - including residential

Is the Use consistent with the current Crown lease? YES NO

Assessment Track, Zone, Development/Precinct Code

Please indicate which assessment track applies to this development application

MERIT IMPACT

NOTE: The Planning and Land Authority may refuse to accept a development application made in an incorrect assessment track. If the Planning and Land Authority assesses an application made in the incorrect assessment track it **must refuse** the application (S.114 (3))

Please specify which Zone applies to this application:

CZ5 - MIXED USE

Please specify which development/precinct code applies to this application:

Single residential

Type of Development

Please indicate which type of development applies to this development application

- Non-Residential**
Including commercial and industrial
- New Building**
- Addition/Alteration to existing**
- Mixed Use**
Combined non-residential and residential developments
- New Building**
_____ Number of non-residential Units
_____ Number of residential dwellings
_____ Total number of Units
- Additions/Alterations to existing**

More development types over page

Type of Development Continued - Please indicate which type of development applies to this development application

- | | | |
|---|--|---|
| <input type="checkbox"/> Lease Variation | <input type="checkbox"/> Clause Changes | <input type="checkbox"/> Subdivision |
| | <input type="checkbox"/> Consolidation | <input type="checkbox"/> Other _____ |
| | <input type="checkbox"/> Encroachment | (please specify) |
-
- | | |
|--|--|
| <input type="checkbox"/> Public Works
Includes roads, stormwater drainage, parks, electricity, gas, water, sewerage, telecommunications | <input type="checkbox"/> Community Facility - including institutional |
| <input type="checkbox"/> Home Business
Additions and alterations associated with application for home business application (home business form also to be completed and submitted with this application) | <input type="checkbox"/> Signage |
| | <input type="checkbox"/> Rural |
| | <input type="checkbox"/> Other (please specify) _____ |

Gross Floor Area and Cost of Works

Gross Floor Area Calculation

- | | |
|---|--|
| A - Gross Floor Area (existing) | _____ m ² |
| B - Gross Floor Area to be demolished | _____ m ² |
| C - Gross Floor Area to be added | <u>475.47</u> m ² = \$427,923 |
| D - Total Gross Floor Area of development (A-B+C) | <u>475.47</u> m ² |

Other Area Calculation (not already included in the areas provided above) *landscaping - \$80,000*

- | | |
|---|----------------------|
| E - Area of other BCA Class 10 structures (e.g. metal garage, metal carport, pergola, deck, verandah, etc...) | _____ m ² |
|---|----------------------|

Cost of Associated Works

- | | |
|--|-------------------|
| H - Cost of all associated works such as landscaping | \$ <u>507,923</u> |
| I - Cost of all public works and/or off site works | \$ _____ |

The areas provided are used to calculate the estimated cost of the development in accordance with the Building (Cost of Building Work) Declaration 2006 (this can be located on the Authority website - www.actpla.act.gov.au)

Entity and/or Referral Requirements

WHERE DA IS FOR A LEASE VARIATION ONLY PLEASE RESPOND TO THE HERITAGE QUESTION ONLY

The Territory Plan requires you to consider the following items in relation to Entity requirements when preparing your development application. If an item is relevant to your proposal you must:

MERIT & IMPACT TRACK APPLICATIONS

- Seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application **OR**
- Provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Authority

DEMOLITION	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Entity Endorsement provided <input type="checkbox"/> Required documentation provided for referral to Entity	<input checked="" type="checkbox"/> NOT RELEVANT
HERITAGE	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Entity Endorsement provided <input type="checkbox"/> Required documentation provided for referral to Entity	<input checked="" type="checkbox"/> NOT RELEVANT

TREES	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Entity Endorsement provided <input type="checkbox"/> Required documentation provided for referral to Entity	<input checked="" type="checkbox"/> NOT RELEVANT
HAZARDOUS MATERIALS	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Entity Endorsement provided <input type="checkbox"/> Required documentation provided for referral to Entity	<input checked="" type="checkbox"/> NOT RELEVANT
CONTAMINATION	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Entity Endorsement provided <input type="checkbox"/> Required documentation provided for referral to Entity	<input checked="" type="checkbox"/> NOT RELEVANT
EROSION & SEDIMENT CONTROL For sites less than 0.3 of a hectare	<input checked="" type="checkbox"/> RELEVANT <input type="checkbox"/> Entity Endorsement provided <input checked="" type="checkbox"/> Required documentation provided for referral to Entity	<input type="checkbox"/> NOT RELEVANT
EROSION & SEDIMENT CONTROL For sites greater than 0.3 of a hectare	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Entity Endorsement provided <input type="checkbox"/> Required documentation provided for referral to Entity	<input checked="" type="checkbox"/> NOT RELEVANT
WASTE MANAGEMENT For Waste Facilities and Management	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Entity Endorsement provided <input type="checkbox"/> Required documentation provided for referral to Entity	<input checked="" type="checkbox"/> NOT RELEVANT
WASTE MANAGEMENT Liquid Trade Waste	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Entity Endorsement provided <input type="checkbox"/> Required documentation provided for referral to Entity	<input checked="" type="checkbox"/> NOT RELEVANT
NOISE	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Entity Endorsement provided <input type="checkbox"/> Required documentation provided for referral to Entity	<input checked="" type="checkbox"/> NOT RELEVANT
SERVICING AND SITE MANAGEMENT	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Entity Endorsement provided <input type="checkbox"/> Required documentation provided for referral to Entity	<input checked="" type="checkbox"/> NOT RELEVANT
UTILITIES	<input checked="" type="checkbox"/> RELEVANT (please tick relevant entities) <input checked="" type="checkbox"/> Water <input checked="" type="checkbox"/> Electricity <input checked="" type="checkbox"/> Sewerage <input type="checkbox"/> Gas <input type="checkbox"/> Stormwater <input type="checkbox"/> Entity Endorsements provided <input checked="" type="checkbox"/> Required documentation provided for referral to Entity/s	<input type="checkbox"/> NOT RELEVANT

Information Requirements for Development Applications (Non Referral Matters)

Not required for applications for Lease Variations Only

The Territory Plan also requires you to consider the following items when preparing your development application. If an item is relevant to your proposal you must provide documentation that demonstrates how your proposal complies with the requirements of the Territory Plan.

EXISTING COMMUNITY & RECREATION SITES	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Required documentation provided (Not required for CZ6 Leisure & Accommodation Zone or Northbourne Ave Precinct)	<input checked="" type="checkbox"/> NOT RELEVANT
EXISTING CAR PARKS	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Required documentation provided (Required for City Centre, Town Centre & Group Centres Only)	<input checked="" type="checkbox"/> NOT RELEVANT
SUBDIVISION (Residential Zones)	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Required documentation provided	<input checked="" type="checkbox"/> NOT RELEVANT
NATIONAL CAPITAL PLAN	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Required documentation provided	<input checked="" type="checkbox"/> NOT RELEVANT
CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Required documentation provided	<input checked="" type="checkbox"/> NOT RELEVANT
ACCESS & MOBILITY	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Required documentation provided	<input checked="" type="checkbox"/> NOT RELEVANT
TRAFFIC GENERATION	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Required documentation provided	<input checked="" type="checkbox"/> NOT RELEVANT
SITE ACCESS	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Required documentation provided	<input checked="" type="checkbox"/> NOT RELEVANT
PARKING (CAR)	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Required documentation provided	<input checked="" type="checkbox"/> NOT RELEVANT
PARKING(BICYCLE)	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Required documentation provided	<input checked="" type="checkbox"/> NOT RELEVANT
LANDSCAPE	<input checked="" type="checkbox"/> RELEVANT <input checked="" type="checkbox"/> Required documentation provided	<input type="checkbox"/> NOT RELEVANT
LIGHTING	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Required documentation provided	<input checked="" type="checkbox"/> NOT RELEVANT
SIGNS	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Required documentation provided	<input checked="" type="checkbox"/> NOT RELEVANT
NEIGHBOURHOOD PLANS	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Required documentation provided	<input checked="" type="checkbox"/> NOT RELEVANT

WATER SENSITIVE URBAN DESIGN (Mains Water Consumption)	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Required documentation provided	<input checked="" type="checkbox"/> NOT RELEVANT
WATER SENSITIVE URBAN DESIGN (Stormwater Quality)	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Required documentation provided	<input checked="" type="checkbox"/> NOT RELEVANT
WATER SENSITIVE URBAN DESIGN (Stormwater Quantity)	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Required documentation provided	<input checked="" type="checkbox"/> NOT RELEVANT
WIND	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Required documentation provided (Not required for Group Centres and Local Centres)	<input checked="" type="checkbox"/> NOT RELEVANT
AIR EMISSIONS - ODOURS	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Required documentation provided	<input checked="" type="checkbox"/> NOT RELEVANT

Driveways (For works on verge only)

For proposals that include construction or modification of driveway/s please indicate works to be undertaken:

- Not applicable**
 Construction of additional entrance
 Relocation of existing entrance
 Construction other than plain concrete
 Construction of new driveway
 Other please specify _____

PLEASE NOTE: For proposals that include construction or modification of a driveway this form **MUST** be signed by the land custodian (Government Land Custodian - Asset Acceptance) as the works will be undertaken on unleased land.

Survey Requirements - S139 (2)(J)

If this application is for approval of a development that requires construction work to be carried out on land that has previously been developed and is not leased for rural purposes a survey certificate for the land where the development is to be carried out prepared and signed by a registered surveyor must accompany this application unless exempt by *Regulation 25 of Planning and Development Regulations 2008*.

Have you provided a survey certificate with this application?

- NOT RELEVANT
 EXEMPT
 YES

Development Applications for Development Undertaken Without Approval (S.205)

Is this application for development undertaken without approval?

- NO
 YES

If **YES** – Plans of the development signed by a registered surveyor confirming the location and dimensions of the development **must** be submitted with this application.

Exclusion from Public Inspection

In accordance with the requirements of Sections 28 and 30 of the *Planning and Development Act 2007* the ACT Planning and Land Authority must make the details and associated documents relevant to a development application available for public inspection.

If you wish to apply to have all or part of this development application excluded from public inspection you must meet the requirements of Section 411(5) or 412(1) of the Planning and Development Act 2007.

Exclusion from Public Inspection Requested

YES
 NO

If Yes – please indicate under which section of Planning & Development Act 2007

S.411(5) Restriction on Public Availability
 *S.412(1) Restriction on Public Availability SECURITY

Please specify the information to be excluded from public inspection and provide reasons for exclusion:

* if exclusion is requested under Section 412(1) a letter, signed by a justice Minister, certifying this request satisfies the requirements Planning and Development Act 2007 must accompany this application.

Conflict of Interest Declaration

Does the applicant or lessee have any association with ACT Planning and Land Authority staff?

NO
 YES

If YES please provide details:

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Other Development Application Requirements

LODGEMENT & PAYMENT

A valid development application comprises of a completed development application form accompanied by all of the required information or documents that address the relevant rules and/or relevant criteria for it to be considered for approval.

Proposals in the **Merit track** have the option to comply with the rules or criteria, unless the rule is mandatory. Where it is proposed to meet the criteria, the onus is on the applicant to demonstrate, by supporting plans and written documentation, that the proposed development satisfies the criteria and therefore the intent of the element.

Proposals in the **Impact track** also have the option to justify any non-compliance with the rules and the criteria, unless the rule is mandatory. Where it is proposed to not meet the rules and the criteria, the onus is on the applicant to justify the non-compliance by demonstrating that the proposed development is consistent with the relevant principles of the Statement of Strategic Directions. Supporting plans and written documentation, providing consideration of the relevant Intents of the Code and the Zone objectives, are to accompany the development application.

Once a development application is received, the documentation will be checked to ensure it meets the standard for lodgment. If the documentation provided is acceptable, you will receive written confirmation the application is ready for lodgment and a request for the payment of the application fees. A development application is not lodged until full payment of fees is made.

If the DA documentation is not acceptable for lodgment, you will receive written advice detailing the additional information required and/or any other issues with your application. Once these things are provided the Authority will recommence the documentation check and fee payment process outlined above.

DOCUMENTATION AND PLANS

All required documentation must be provided in an electronic format on compact disc/DVD and meet the following requirements (DA form to be submitted in hardcopy if lodged over the counter)

- Each document must be saved as a PDF and named in accordance with the naming convention as detailed on the ACTPLA website.
- All plans must be to scale.
- All plans must be rotated to the correct orientation i.e. they are the right way up when opened
- All plans are to be clear and concise and generally consistent with Australian Standard 1100.301 - 1985 and Australian Standard 1100.301 supplementary - as updated from time to time.
- The proposal number included in the naming convention is unique to the application and provided by the ACT Planning and Land Authority. If you have already had dealings with the Authority about your proposal through a pre-application meeting or have requested and received pre application advice, you would already have a proposal number allocated for your development application. If you have not been allocated a proposal number, leave this number out of the file name.
- The documentation provided on CD/DVD either over the counter or via an electronic lodgment process (email or internet) will be considered to be the relevant documentation associated with this application.

HARDCOPY DOCUMENTATION REQUIREMENTS

In addition to DA documentation being provided on compact disc/DVD a hard copy must also be provided for the following:

- **Any** report required as part of an application over 20 pages in length
- **ALL** development applications that will be assessed in the **IMPACT** assessment track
- Development applications for:
 - a residential building intended to be higher than 3 storeys and consisting of more than 50 units
 - a building where the total floor space of which is intended to be more than 7000m²
 - a building or structure intended to be higher than 25m
 - an application to change a concessional lease into a lease that is not concessional

Changes to a Unit Development

Your building work may have an effect on the Unit Entitlements of the Units Plan. You may require a statement from a certified valuer as to this effect. For further information please contact the Authority.

Applicant and Lessee Declaration

I/we the undersigned, hereby apply for approval to carry out the development described on the land specified in this application;

I/we declare that this application is accompanied by all of the required information or documents that address the relevant rules and/or relevant criteria for it to be considered for approval;

I/we understand that the information submitted with this application form will undergo a documentation check prior to the payment of fees and formal lodgement of the application. Further information may be required prior to the acceptance of the development application by the Authority; I/we understand that this application will be considered lodged once the relevant application fees have been paid;

I/we understand that if during the assessment of this application it is found to have been submitted in the incorrect assessment track the application will be refused and I/we will not be entitled to a refund or transfer of fees;

I/we understand that the documentation provided on CD/DVD or via the electronic lodgement process will be considered to be the relevant documentation associated with this application. All development application documentation will be made available for public inspection including via the Internet unless exclusion has been approved;

If the time for deciding the application (prescribed period) has ended and a decision has not been reached I/we understand that the application will be deemed refused and the ACT Planning and Land Authority will not provide written advice of this decision. I/we also understand that the ACT Planning and Land Authority is able to still consider the application and make a decision after the expiration of the prescribed period;

I/we hereby authorise the ACT Planning and Land Authority its servants and agents to erect sign/s on the subject property(s) as required;

I/we hereby authorise ACT Government officers to access the subject property(s) for the purpose of evaluating the proposal (including the inspection of driveways and trees);

I/we the undersigned (lessee) appoint the applicant whose signature appears below to act on my/our behalf in relation to this Development Application. This authorises the applicant to pay all application fees, bonds and securities, liaise with the ACT Planning and Land Authority when required, alter, amend or provide further information as necessary and receive any communications relating to this Development Application;

I understand that costs associated with the relocation of any engineering services (light poles, storm water, sumps etc) will be at my expense and that I will indemnify the ACT Government, its servants and agents against any claims arising during the relocation of these services;

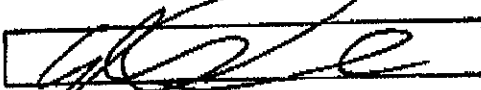
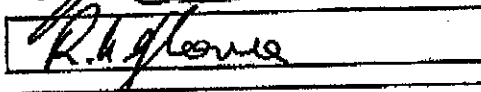
I understand that construction of any driveway associated with this application may not commence until the contractor has received endorsement by the relevant government entity;

I understand that a Certificate of Design Acceptance and a Road Opening Permit and Temporary Management Plan must be obtained from the relevant government agencies prior to the start of construction works;

I/we declare that all the information given on this form and its attachments is true and complete;

If signing on behalf of a company, organisation or Government agency: -

I/we the undersigned, declare I/we have the appropriate delegation or authority to sign on behalf of the company, organisation or Government agency.

Applicant Signature (s)		Date	6/11/08
1 st Lessee's Signature		Date	6/11/08
2 nd Lessee's Signature		Date	
Govt Land Custodian Signature (unless land only)		Date	
Delegates of ACTPLA (unless land only)		Date	

Privacy Notice
 The personal information on this form is being collected to enable processing of your application. Collection of personal information is authorised by Chapters 7, 8 and 9 of the *Planning and Development Act 2007*. The information that you provide may be disclosed to the ACT Revenue Office and the Registrar-General's Office. The information may be accessed by other government agencies, ACTEWAGL, ACTEW Corporation and other commercial organisations interested in development and building information. The *Planning and Development Act 2007* requires the details of applications, decisions and orders to be kept on a register and made available for public inspection. Information and documentation relevant to a development application may be made available via the internet.

Does the Commonwealth Environment Protection and Biodiversity Conservation Act 1999 (EPBC) affect your proposal
 The EPBC came into operation on 16 July 2000. It establishes an environmental assessment and approval system that is separate and distinct from the ACT system. It does not affect the validity of ACT development assessment and approval processes. The ACT cannot provide preliminary advice on whether a proposal falls within the definition of a controlled action, or requires referral to the Commonwealth. For information about the EPBC, including the referral process and when a referral should be made, contact: Environment Australia's Community Information Unit, GPO Box 787, CANBERRA ACT 2601
 Telephone: 1800 803 772

Contact Details:
 ACT Planning and Land Authority
 Customer Service Centre
 GPO Box 1808, Canberra City 2601
 18 Chaille Street, Dickson ACT 2602
 Business Hours: 8.30am to 4.30pm weekdays (excluding Public Holidays)
 Phone: (02) 6207 1929
 Fax: (02) 6207 1925
 TTY: (02) 6207 2822
 Email: actpla.customer.services@act.gov.au
 Website: www.actpla.act.gov.au

DOCUMENTATION REQUIREMENTS`

City Centre, Town Centre, Group Centre, Local Centre & Northbourne Avenue Precinct Codes,
 CZ2 Office Areas Outside Centres Precinct Code Zone, CZ5 Mixed Use Zone Development Code,
 CZ6 Leisure & Accommodation Zone Development Code

Key:	Mixed use Development	Commercial	Community Facility	Public Works	Lease Variation ONLY	Signs
<ul style="list-style-type: none"> ✓ Required ◆ Required if relevant □ May be requested as further information (for merit & impact track assessable Development Applications only) 						
Site Plan	✓	✓	✓	✓		✓
Floor Plan/s - for Public Register & Public Notification No internal layout shown for residential units	✓	✓				
Floor Plan	✓	✓	✓	◆		✓
Elevations	✓	✓	✓	◆		✓
Sections	✓	✓	✓	◆		✓
Composite Streetscape Elevation	✓	□	□			
Colour Sample Schedule	✓	✓	□	◆		✓
Demolition Plan (if relevant)	◆	◆	◆	◆		◆
Erosion and Sediment Control Plan	✓	✓	◆	◆		
Shadow Diagram	✓	□				
Statement Against Relevant Criteria	✓	✓	✓	✓		✓
Survey Certificate Required unless exempt by P & D Regulation 25	✓	✓	✓	✓		◆
Off-Site Works Plan	◆	◆	◆			
Landscape Plan	✓	✓	□	◆		◆
Landscape Management and Protection Plan	◆	◆	◆	◆		◆
Tree Management Plan	◆	◆	◆	◆		◆
Waste Management Plan	◆	◆	◆	◆		
Driveway Plan (for works on verge only)	◆	◆	◆			
Access and Mobility Report	◆	◆	◆			
Noise Management Plan	◆	◆	◆			
On-site Stormwater Retention/Reuse Management Plan	◆	◆	◆			
Relevant Entity Advice Optional for DAs to be assessed in Merit or Impact tracks	◆	◆	◆	◆	◆	◆
Documentation to satisfy relevant entity referral and non referral requirements as required by the Territory Plan	◆	◆	◆	◆	◆	◆
Completed Environmental Impact Statement	◆	◆	◆	◆	◆	

Key:	Mixed use Development	Commercial	Community Facility	Public Works	Lease Variation ONLY	Signs
✓ Required ♦ Required if relevant □ May be requested as further information (for merit & impact track assessable Development Applications only)						
For Lease Variations In Units Plans <ul style="list-style-type: none"> Letter detailing change to schedule of Unit Entitlements prepared by Valuer Change to schedule of Unit Entitlements (Form 2 – Units Plan) Evidence of unanimous resolution by owners' corporations 	♦	♦	♦		♦	
Full Valuation Report	♦	♦	♦		✓	
Valuation Certificate (for public register)	♦	♦	♦		✓	
List of Interested Parties including all names and addresses or Statement advising no interested parties (includes mortgagee, sub-lessees etc)	♦	♦	♦		✓	
Drawings or Documents to support proposed lease use (where required)	♦	♦	♦		♦	
Draft Survey Plan (for subdivision or consolidation only)	♦	♦	♦		♦	

ADDITIONAL DOCUMENTATION REQUIREMENTS

Development Applications for Lease Variations ONLY must include documentation that:

- indicates how the lease variation will potentially impact on parking and traffic generation (**Note:** it may be necessary to prepare a traffic and parking assessment prepared by a suitably qualified person); and
- indicates how the additional uses will potentially impact on the surrounding sites, including noise and waste.

Development Applications for Lease Variations in Units Plans must include a certificate under the corporation's seal confirming that:

- all members of the owners corporation have been given notice of the proposed application; and
- the application has been authorised by unopposed resolution

DOCUMENTATION REQUIREMENTS – DEFINITIONS & CHECKLIST

Submission Requirement	Required Information	
Statement Against Relevant Criteria MERIT & IMPACT TRACK ONLY	Preferred Format: A4 black and white Merit <ul style="list-style-type: none"> Where it is proposed to meet a criteria rather than a rule the applicant is to provide a written statement demonstrating that the proposed development satisfies the criteria and therefore the intent of the element Impact <ul style="list-style-type: none"> Where it is proposed to meet a criteria rather than a rule the applicant is to provide a written statement demonstrating that the proposed development satisfies the criteria and therefore the intent of the element Where a proposal does not meet the rules or the criteria the applicant to provide a written statement justifying the non-compliance and demonstrating that the proposed development is consistent with the relevant principals of the Statement of Strategic Directions 	<input checked="" type="checkbox"/> Supplied <input type="checkbox"/> Not required <input type="checkbox"/> Office Use

Submission Requirement	Required Information	
Site Plan	<p>Preferred Format: A3 (A1 for large or complex proposals) black and white 1:200 Contour Interval - 250mm for urban areas, as appropriate for other areas Australian Height Datum (AHD)</p> <ul style="list-style-type: none"> • Location and identification of existing structures and trees - tree canopies to be shown to scale • Boundaries of the site with bearings and distances • Location of proposed buildings and structures with dimensions to block boundaries • Schedule of gross floor areas for the proposal including existing structures • Existing contours from site survey of the site and adjoining verge • All easements on the land • Driveway verge crossing details • Where they can be reasonably determined, all existing reticulated services and associated infrastructure on the site • Street trees, foot paths, kerbs, storm water pits, street lighting and other public assets in the verge adjacent to the site • The drip line of any street tree where a proposed driveway verge crossing encroaches within that drip line • All proposed signs 	<input checked="" type="checkbox"/> Supplied <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Floor Plan(s) For assessment purposes	<p>Preferred Format: A3 (A1 for large or complex proposals) black and white 1:100</p> <ul style="list-style-type: none"> • A plan for each floor including any trafficable subfloor areas • Dimensions • Key to sections cross referenced to relevant drawing and sheet number • Finished floor levels related to Australian Height Datum • Schedule of gross floor area for each floor • Identification of all adaptable dwellings • For proposals involving alterations or additions to an existing building, identification of the existing building • Identification of all rooms (existing and proposed) 	<input checked="" type="checkbox"/> Supplied <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Floor Plan(s) For public register and notification purposes	<p>Preferred Format: A3 (A1 for large or complex proposals) black and white 1:100 As above with the following exceptions -</p> <ul style="list-style-type: none"> • Floor plan is not to show interior layout of residential development • All windows and doors to be clearly marked to enable identification of the use of the room/space to which they relate or an indication on the floor plan as to what the space will be used for e.g. bedrooms, living area, car accommodation 	<input checked="" type="checkbox"/> Supplied <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Section(s)	<p>Preferred Format: A3 (A1 for large or complex proposals) black and white 1:100</p> <ul style="list-style-type: none"> • Finished floor levels and ceiling levels • Natural and finished ground levels related to Australian Height Datum • Floor to ceiling heights • Side and rear building envelopes • Long section of any proposed basement ramp showing gradients • Section of any sub floor areas 	<input checked="" type="checkbox"/> Supplied <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Elevations	<p>Preferred Format: A3 (A1 for large or complex proposals) black and white 1:100</p> <ul style="list-style-type: none"> • Dimensioned heights including overall heights • All proposed signs • Proposed external materials referenced to Colour Sample Schedule 	<input checked="" type="checkbox"/> Supplied <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Colour Sample Schedule	<p>Preferred Format: A4, A3, colour</p> <ul style="list-style-type: none"> • Proposed external material colour schedule referenced to their location and use (e.g., roofing, windows, exterior walls) on elevations • Schedule to identify names, codes and brands of exterior colours for materials 	<input checked="" type="checkbox"/> Supplied <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Demolition Plan	<p>Preferred Format: A3 (A1 for large or complex proposals) black & white 1:200</p> <ul style="list-style-type: none"> • Identification of all buildings and structures proposed to be demolished 	<input type="checkbox"/> Supplied <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use

Submission Requirement	Required Information	
Driveway Plan For works on verge only	Preferred Format:	A3 (portrait) black and white 1:200 <ul style="list-style-type: none"> • Existing ground levels and the datum mark used to obtaining levels • Type of kerb & gutter i.e. layback or vertical • Existing or intended footpaths & their alignment • Kerb levels at each corner of the driveway • Levels of each side of the driveway 2m behind the kerb and property boundary • Longitudinal sections • Location & surface levels of proposed garage and/or carport and dwelling • Long sections • Distance from kerb line to garage or carport, kerb line to property boundary, changes to levels along each side of the proposed driveway at all changes of grade and at start, midpoint and finish of all vertical curves • Driveway to be outside tree canopy (for both leased land & verge) & anticipated mature canopy, 1.2 metres clear of sumps and services, 1.5 metres clear of transformers, 6 metres clear of tangent point on corner block • Proposed uphill grade to be less than 17% & downhill grade less than 12% on verge & at right angle to kerb line (max 1:10 deviation)
Erosion & Sediment Control Plan	Preferred Format:	A3 (A1 for large or complex proposals) black and white <ul style="list-style-type: none"> • Prepared in accordance with ACT Environment Protection Authority, Environment Protection Guidelines for Construction and Land Development in the ACT
Survey Certificate (as required by Section 139(j) Planning & Development Act 2007)	Preferred Format:	A3 (A1 for large or complex proposals) black and white 1:200 Contour Interval - 250mm for urban areas, as appropriate for other areas Australian Height Datum (AHD) Registered Surveyor <ul style="list-style-type: none"> • The boundaries of the site with bearings and distances • The location of each building and structure on the site • Existing contours of the site and adjoining verge • Dimensions of the development • Prepared and signed by registered Surveyor
Tree Management Plan	Preferred Format:	A4, black and white 1:200 <ul style="list-style-type: none"> • Prepared in accordance with Department of Territory and Municipal Services Guidelines for Preparing a Tree Management Plan <p><i>Each development site that contains a protected tree will require a Tree Management Plan (TMP) to be submitted with the DA. Protected trees can also be on the neighbouring blocks and public land and must be included as part of the TMP where any part of the tree protection zone falls across the development site.</i></p>
Landscape Plan	Preferred Format:	A3 (A1 for large or complex proposals) black and white 1:200 <ul style="list-style-type: none"> • Trees on the site proposed to be retained • Proposed landscaping • Tree protection zones for all protected trees affecting the site, accurately shown (including tree protection zones of trees on adjacent or adjoining blocks) • For proposals in heritage areas and redevelopment in established areas an evaluation of all existing trees to be provided. • Existing and proposed contours • Retaining structures boundary treatments including courtyard walls and fences • Surface treatments showing pervious and impervious surfaces • Surface storm water management including drainage and taps • Areas to be irrigated including type of system • The area of private open space to be provided • The percentage of private open space to be retained as planting

Submission Requirement	Required Information		
<u>Landscape Management and Protection Plan</u>	Preferred Format:	A3 black and white 1:200 <ul style="list-style-type: none"> • Location and species of existing trees in the verge areas, including height, girth, drip area and condition • The method proposed to allow through pedestrian access to continue within the verge during construction on the site • Tree protection measures, including fencing proposed to protect verge areas from access and damage during construction • Location of driveway across verge and existing services such as grates, hydrants, road signs, bus stops, footpaths, etc. • References to verge above will also apply to other surrounding Territory Land (such as laneways, parks, open space) that may be affected by the development 	<input type="checkbox"/> Supplied <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>On-Site Storm water Retention/ Re-Use Management Plan</u>	Preferred Format:	A4, black and white <ul style="list-style-type: none"> • Prepared by a suitably qualified person • Plan is to show how the rate of storm water discharge from the site is to be maintained at levels no greater than the current rate of storm water discharge, or to a higher rate acceptable to the Territory • Plan is to show how the roof water/hard surface run off is to be re-used on the site and within the development 	<input type="checkbox"/> Supplied <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Shadow Diagram(s)</u>	Preferred Format:	A3 (A1 for large or complex proposals) black and white 1:100 <ul style="list-style-type: none"> • Existing contours (as per site plan) • Natural & finished ground levels related to Australian Height Datum • The location of proposed buildings and structures • Shadows cast by proposed buildings, retained buildings, existing fences and proposed fences at 9am, noon and 3pm on 21 June (Winter solstice) • The location of all buildings and private open space on adjoining or adjacent blocks that are affected by those shadows • Elevations of buildings on adjoining or adjacent blocks that contain windows to habitable rooms affected by shadows cast. Where possible the type of habitable room affected should be indicated (e.g. bedroom, dining room) 	<input type="checkbox"/> Supplied <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Access and Mobility Report</u>	Preferred Format:	A4, A3, black & white 1:100 This report shall Certified by a suitably qualified person and contain - <ul style="list-style-type: none"> • An assessment of how the proposal complies with ACT Planning Guidelines for Access and Mobility, and provide reasons for any departures • Adapted floor plan for the nominated adaptable dwellings 	<input type="checkbox"/> Supplied <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Composite Streetscape Elevation</u>	Preferred Format:	A3 (A1 for large or complex proposals) black and white 1:200 Prepared and certified by a suitably qualified person Required for Multi-Unit housing (other than Dual Occupancy), Commercial, Industrial and Institutional developments <ul style="list-style-type: none"> • Elevation plan to include elevations of adjoining properties to the extent necessary to illustrate the relationship of the proposal to the existing streetscape. 	<input type="checkbox"/> Supplied <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Waste Management Plan</u> Including Spoil Management Plan where relevant	Preferred Format:	The relevant form from the Development Control Code for Best Practice Waste Management in the ACT <ul style="list-style-type: none"> • These forms are available from the Planning and Land Authority or from the ACT NOWaste website at www.nowaste.act.gov.au 	<input type="checkbox"/> Supplied <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Offsite Works</u>	Preferred Format:	A3 (A1 for large or complex proposals) black and white 1:200 For proposals that include works outside the lease boundary. <ul style="list-style-type: none"> • Location and identification of any proposed works including infrastructure and landscaping, which is to include construction details sufficient to obtain Design Acceptance 	<input type="checkbox"/> Supplied <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Noise Management Plan</u>	Preferred Format:	A4 black and white Proposals that include, club, drink establishment, hotel industry (except light industry), indoor recreational facility or restaurant <ul style="list-style-type: none"> • Plan to be prepared by an accredited acoustic specialist • Address ways of minimizing the impact of noise on neighbours 	<input type="checkbox"/> Supplied <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use

Submission Requirement	Required Information	
List of Interested Parties	Preferred Format: A4 black and white <ul style="list-style-type: none"> List of names and addresses of all persons having a registered estate or interest (e.g. mortgagees, sub lessees) in the property 	<input type="checkbox"/> Supplied <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
Valuation Certificate (will be made available on Public Register)	Preferred Format: A4 portrait, black and white Required for proposals for a variation to a Crown lease <ul style="list-style-type: none"> Certificate to be prepared by an accredited valuer A summary of the related valuation report giving V1 and V2 values Must have been prepared less than 6 months before the date an application is lodged 	<input type="checkbox"/> Supplied <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
Valuation Report	Preferred Format: A4 portrait, black and white Required for proposals for a variation to a Crown lease <ul style="list-style-type: none"> Report to be prepared by an accredited valuer Clear details of any valuation of lease sought and a full assessment of V1 and V2 values under the relevant sections of the Planning and Development Act 2007 Where a variation relates to an amendment of a provision in a lease and either a consolidation or subdivision, two full assessments of V1 and V2 values must be provided quoting the relevant section of the Planning and Development Act 2007 in each case Must have been prepared less than six months before the date an application is lodged <p><i>Valuation assessments must include all relevant information utilised in the valuation assessment and full disclosure of all matters that may affect the assessment, market evidence, supporting valuation rationale and market commentary (as considered necessary by the ACT Planning and Land Authority), professionally drawn plans, specifications and associated costings. (The accuracy of costing may need to be verified by a relevant professional)</i></p>	<input type="checkbox"/> Supplied <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use

VALUATION REPORT NOTES:

- The ACT Planning and Land Authority may refuse to accept the valuation assessment if insufficient details, evidence or other required valuation material to allow proper assessment of V1 and V2 values have not been provided, or if API Professional Practice Standards have not been adhered to.
- The ACT Planning and Land Authority may also request clearer definition or further valuation evidence, rationale, costings or other information, if it is considered necessary to properly determine a change of use charge.
- Should conditions of approval or any other matters materially affect the original assessment, the ACT Planning and Land Authority may require the valuation to be resubmitted after the relevant valuer is advised of any new or changed conditions or circumstances.

Guidelines for Valuation Reports - Valuation reports are to be full speaking valuations presented under the following headings:

HEADING	DESCRIPTION
1. Date of Inspection	
2. Date of lease variation approval	
3. Date of valuation	
4. Details of current Crown lease	Commencement date, lease term, rental, lease purpose, gross floor area, car parking requirements and site area
5. Town planning	Current land use policy
6. Proposed lease variation	Details of proposed changes to the purpose clause, details of proposed additional development rights
7. Statutory valuations -	Current average unimproved value for rating
8. Services and amenities	
9. Location and access	
10. Property description -	Land, structures, car parking
11. Tenancies -	Current tenancy schedule
12. Contamination	
13. Valuation basis	
14. Reference to the appropriate section in the Planning and Development Act 2007	
15. Valuation approach V1 and V2	Methodology, most appropriate method direct comparison capitalisation of income hypothetical development, brief market commentary, sales evidence, rental evidence, outgoings, reconciliation, capitalisation rate evidence of market yields, cost of works as condition of variation Valuations - calculations V1 and V2

Note: Valuation Certificates and Valuation Reports must be prepared less than six months before the date the application is lodged

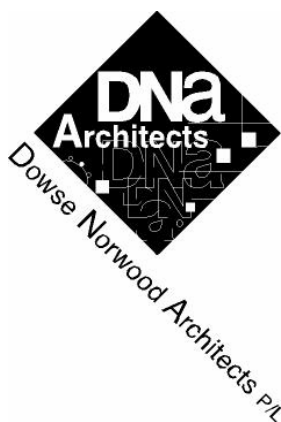
0766- Single Residential-Block 3 Section 55-First Edition Precinct, Kingston

DOWSE NORWOOD ARCHITECTS PTY. LTD.

A.B.N. 43 097 309 325

SUITE 10 14 LONSDALE ST BRADDON PO BOX 87 BRADDON ACT 2612

TEL: 6230 4688 FAX: 6230 4699



STATEMENT AGAINST RELEVANT CRITERIA

0766- Single Residential-Block 3 Section 55-First Edition Precinct, Kingston

Part A-CZ5 Mixed Use Zone:

Lease purpose:

The lease purpose, as outlined in the Lease & development Conditions approved by ACTPLA on the 19th of April, clearly states that the use of the land is for one of the following purposes, that is:

- a) A single attached house **OR**
- b) A single detached house

Building & Site Controls:

2.1 Height:

The height of the proposed new residence is consistent with the guidelines in the Lease & development condition approved by ACTPLA on the 19th April 2007, which states that:

*'New residences are to be a minimum of two storeys with some **higher third storey elements permissible**. Accordingly, properties may extend to a maximum overall height of 8.5m from the FFL of the ground floor. An overall maximum RL 569.4 exists across the whole development.*

The maximum height of the proposed new residence is 8.5m from the FFL of the ground floor and comes to a maximum RL of 569.00, which is 400mm below the maximum permissible.

The Lease Condition also states that a parapet is required on street frontages at the top of the first floor. The design requirement has been met, and a parapet has been provided at the top of the first level. The requirement is to achieve a constant eye-line across the whole line of blocks along section 55.

The maximum height permissible for boundary walls is 6.5m. The proposed boundary walls are within these guidelines.

Solar Access:

The residence achieves the required minimum of 5 star energy rating. See attached EER. It also meets the minimum requirement of 3 hours of passive solar access during the winter solstice.

Overshadowing:

For the blocks in Section 55, there will always be a certain amount of overshadowing along the length of the blocks as neighbouring boundary walls are stacked to face north. The Boundary walls can extend up to 6.5m, which creates overshadowing into courtyard spaces & therefore each consequent block heading south will be overshadowed to a certain degree, especially in winter. This is clearly shown in the shadow diagrams show in the Lease & development conditions approved by ACTPLA on the 19th of April.

Block 1 is the only block to benefit from the northern orientation. With this in mind, any third storey elements, which are within the setbacks, do not cause any extra overshadowing into neighbouring blocks than what already exists with the boundary walls extending to 6.5m. During summer the 3rd storey elements overshadow within the block and during winter they do not exceed the shadow of the mandatory boundary walls.

0766- Single Residential-Block 3 Section 55-First Edition Precinct, Kingston

2.3 Demolition:

The site is a Greenfield site and therefore requires no demolition work.

Built form

3.1 Building Design & Materials:

- a) Setbacks and Articulation zones - The new residence is within all setbacks for the block. The main entry setback is 2.0m, with side and rear boundaries on a zero setback.

The front of the residence has certain elements protruding into the 2.0m setback zone, which is allowable under the lease & development conditions, which outlines that up to 50% of the 2.0m zone may be built into as part of the *Articulation zone*.

With this in mind, the front façade of the residence provides an interesting, functional and attractive façade that contributes positively to the overall streetscape of the new development at First Edition.

- b) The overall layout of the residence provides usable formal and informal living spaces which take advantage of the solar orientation and views towards Kingston and also the private courtyard.
- c) The mass of the new residence is broken up with materials, articulation in the façade and features. This creates a building that appears to sit lightly on the site and reduces the impact to the overall streetscape.
- d) The intention of the first edition precinct is to allow a flexible lifestyle with the opportunity to live on one level while creating the opportunity for additional bedrooms and/or retreats upstairs. This allows living spaces to be used in multiple ways depending on the orientation and work/live usage.

3.2 Crime Prevention Through Environmental Design:

The residence complies with and exceeds both the territory plan and the lease & development conditions in providing habitable spaces facing the laneway to provide surveillance of the rear lane. In addition a balcony is also provided on the 2nd floor. All windows have a maximum sill level of 900mm from FFL.

3.3 Access & Mobility:

The development meets the requirement of the access & mobility general code.

3.4 Car Parking Structure:

Car parking structures have been integrated into the design of the proposed new residence.

0766- Single Residential-Block 3 Section 55-First Edition Precinct, Kingston

Parking & Site access

4.1 Traffic generation:

The existing road network can accommodate the amount of traffic that is likely to be generated this development.

4.2 Entrances:

The lease and development conditions clearly stipulate that there are to be two clearly identifiable entries. The primary street frontage is to be a pedestrian only entry, whilst the rear lanes are to have both vehicle and pedestrian access. This condition has been met for this development with a clearly defined primary pedestrian access off Printers way and access from the rear lane (Charles Roach lane) to the triple garage and secondary pedestrian entry.

The dual entries also assist in the surveillance of the rear lane whilst also giving the owners the flexibility to operate a home business with its own identity.

4.3 Access:

The position of the driveway is governed by the location of the garage. As outlined earlier the location of the garage is in accordance with the zone as stipulated by the lease and development conditions. The driveway and pedestrian entrances to the site are clearly visible from the front & rear site boundaries.

4.4 Parking & Driveway access:

Parking conditions meet and exceed the required minimums for this development with a triple garage (double + tandem) provided for the new residence in the zone permitted in the L&D's. The Conditions outline that *sufficient on street parking is available for visitors generated by home business.*

4.5 Circulation:

The rear lane provides ample area for circulation into and out of the rear access garages.

Amenity

5.1 Landscape:

The landscaping element for the proposal is consistent with the requirements of the lease and development conditions. The minimum area of 60m² has been provided as a central courtyard in the '*courtyard zoned*' area. Additional outdoor space has also been provided to the street frontage with feature courtyard walls that are integrated with the overall design of the proposal.

Contamination:

Information has been provide to enable ACTPLA to refer the proposal on to the relevant agencies

Erosion and Sediment Control:

Information has been provide to enable ACTPLA to refer the proposal on to the relevant agencies

Environmental Protection:

Information has been provide to enable ACTPLA to refer the proposal on to the relevant agencies

Waste Management:

Refer to attached *Waste Management Plan*

Servicing and Site Management:

Information has been provide to enable ACTPLA to refer the proposal on to the relevant agencies

Utilities:

Information has been provided to enable ACTPLA to refer the proposal on to the relevant agencies. Refer to Attached Utility diagrams

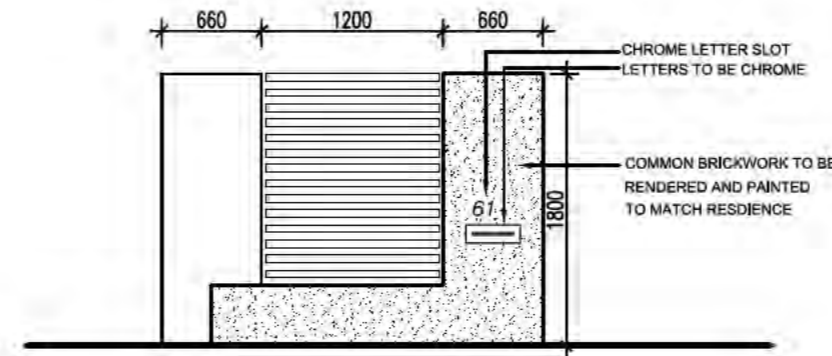
Water sensitive urban design – Stormwater Quantity:

Water tanks have been provided for the new residence; water tanks will be connected to toilet, laundry cold water, and are located underneath the garage to the rear of the block. They are in accordance with the lease and development conditions for the precinct.

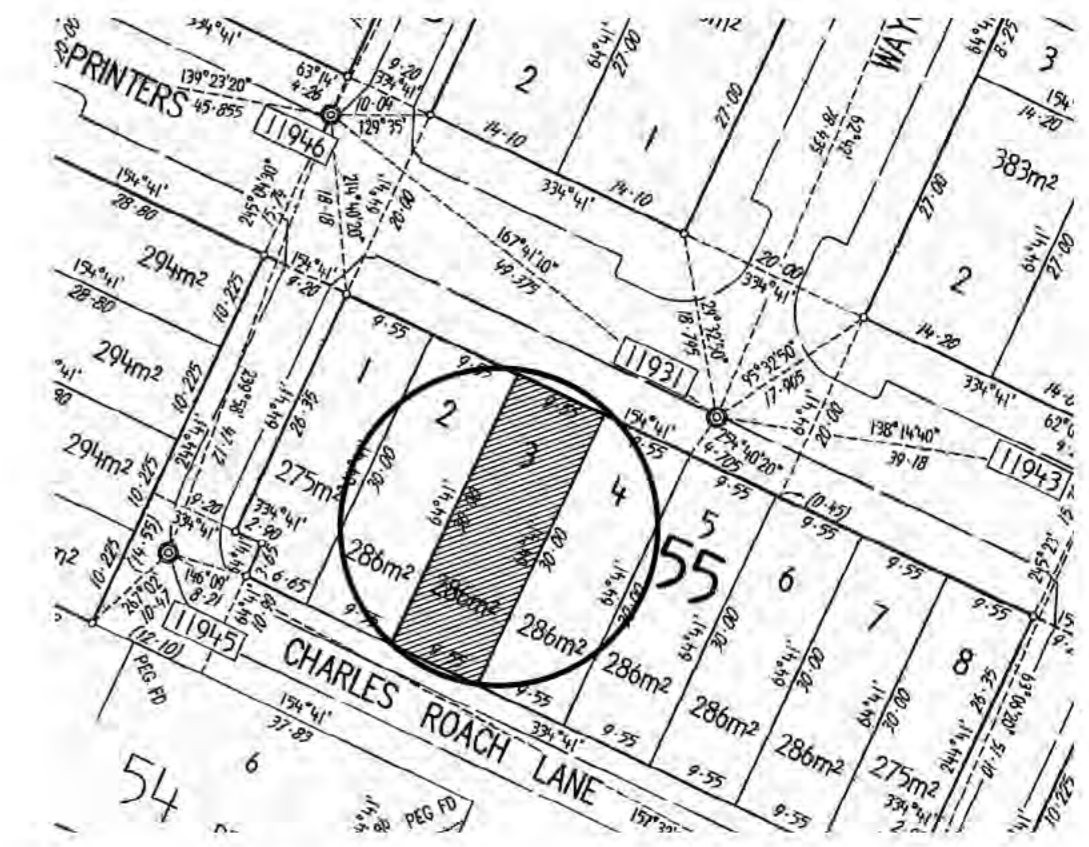
Contract for Sale The Schedule

ITEM 1	DATE OF THIS CONTRACT		3 June 2007
ITEM 2 Clause 1.1	SELLER	Full Name ABN Address	LAND DEVELOPMENT AGENCY 204 199 255 79 21 WENTWORTH AVENUE KINGSTON ACT 2604
ITEM 3 Clause 1.1	BUYER	Full Name ABN/ACN Address Phone No:	ASHMAY PTY LTD 109 251 238 6 BRUSHMAN ST. PARKES NSW 2870
ITEM 4 Clause 1.7	CO OWNERSHIP	Delete One	Joint Tenants Tenants in common in the following shares
ITEM 5 Clause 1.1	LAND		Block 3 Section 55 Division of Kingston
ITEM 6 Clause 1.1 & 15	GOODS	Description of goods included in the Price	NOT APPLICABLE
ITEM 7 Clause 2.1	STAKEHOLDER	Name	LAND DEVELOPMENT AGENCY
ITEM 8 Clause 2	PRICE	(1) Price (2) Less Deposit (3) Balance on Completion	1. \$ 2. \$ 3. \$ (GST inclusive)
ITEM 9	RESTRICTIONS ON TRANSFER		NOT APPLICABLE
ITEM 10 Clause 10	OCCUPANCY		Vacant Possession
ITEM 11 Clause 7	BREACH OF COVENANT OR UNIT ARTICLES	Specify breach	NIL
ITEM 12 Clause 2	DATE FOR COMPLETION		Refer to Clause 3.4
ITEM 13	ANNEXURE CLAUSES/SPECIAL CONDITIONS INCLUDED IN CONTRACT		Annexure Clauses: Special Conditions: NOT APPLICABLE
ITEM 14	SELLER'S SOLICITORS	Firm Ref Phone /Fax DX/Address	Chamberlains Law Firm Ph: 6215 9100 Fax: 6215 9199 19-23 Moore Street TURNER ACT 2612
ITEM 15	BUYER'S SOLICITORS	Firm Ref Phone/Fax DX/Address	U/
ITEM 16	SELLER'S AGENT	Firm Ref Phone/Fax DX/Address	Phone: Fax:

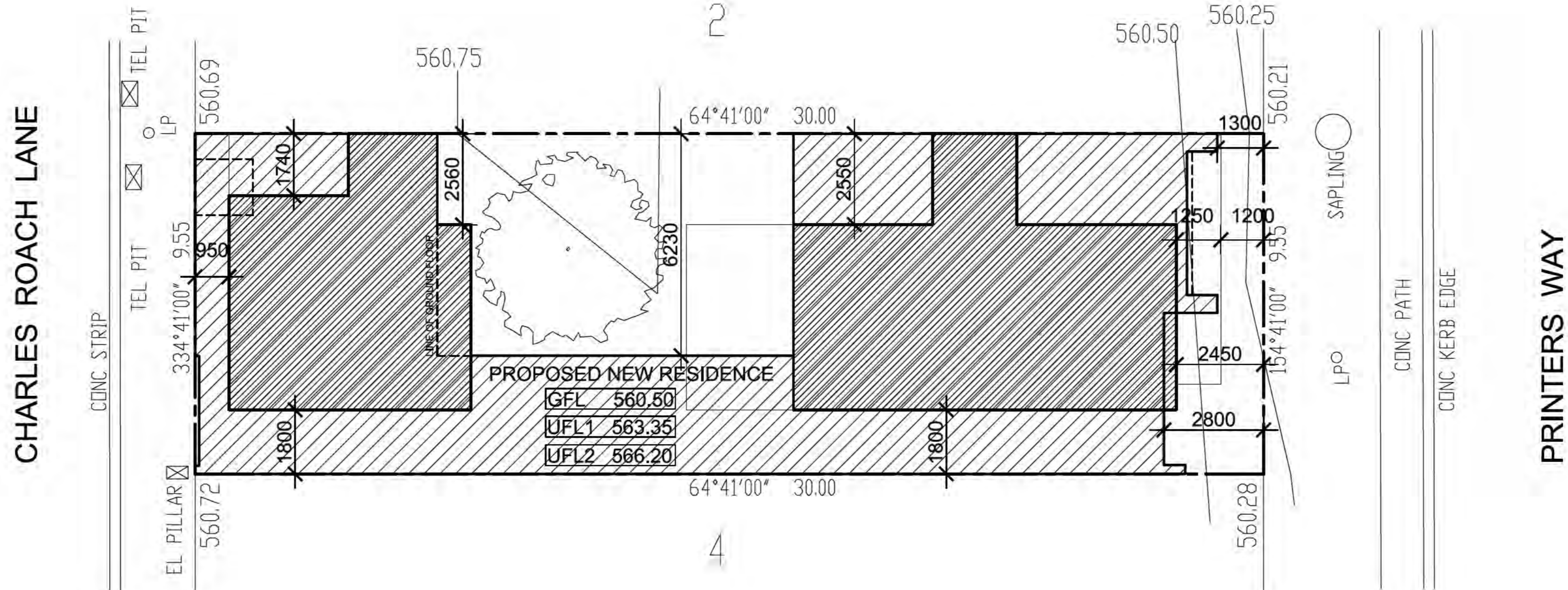
SITE AREA	286 m ²
PROPOSED GROUND FLOOR AREA	133.84 m ²
PROPOSED FIRST FLOOR AREA	182.16 m ²
PROPOSED SECOND FLOOR AREA	97.27 m ²
PROPOSED GARAGE FLOOR AREA	62.20 m ²
TOTAL FLOOR AREA	475.47 m²
PLOT RATIO	166.25%



○ LETTERBOX DETAIL
SCALE 1:50 AT A2



○ LOCATION PLAN
NTS



○ SITE PLAN
SCALE 1:100 AT A2



PROJECT		
PROPOSED NEW RESIDENCE		
BLOCK	SECTION	SUBURB
3	55	KINGSTON

CLIENT	UNITED LEGAL
DRAWING	SITE PLAN



DOWSE NORWOOD ARCHITECTS PTY LTD
SUITE 10
14 LONSDALE STREET
BRADDON ACT 2612
ABN: 43 097 309 325
TEL: 02 6230 4688
FAX: 02 6230 4699

DRAWN	AJ	REVISION
SCALE	1:100 AT A2	CHECKED
PROJ NO	0766	REVIEWED
DATE	16.07.08	PSP
DRAWING NO	DA-A01	DA
		BA
		CONST

1 On-site Management of Verges and Open Space

1.1 General

Before commencing works, the applicant or their representative must advise Asset Acceptance in writing that the protective measures have been installed in accordance with the approved LMP. Random audits will be arranged by AA to ensure compliance.

All development work must be contained within the site except for approved service connections in the verge. Note that the works may require the provision of an approved Temporary Traffic Management Plan, which will influence the Landscape Management and Protection Plan (LMP) requirements.

During the project, all existing verge grass cover must be retained in its pre-existing condition. Watering may be required to retain grass and trees in good condition.

1.2 Supervision

For all projects, other than minor works (i.e. minor in complexity and / or scope of works) a suitably qualified landscape architect or horticulturist must be employed to oversee work in the verge to ensure all requirements are followed. They must be present during any cultivation / restoration of the verge which affects plant material.

1.3 Storage of Construction Materials

No construction material is to be stored on verges or public open spaces.

No car parking or equipment parking permitted on verges or adjacent parkland.

1.4 Site Accommodation

Generally, site sheds, storage sheds, site amenities or billboards are not to be erected on verges or Public Open Spaces, however, an application may be lodged together with the LMP, with the Manager, Asset Acceptance (AA) for the use of verges, public open spaces or unleased Territory land. Approval may be granted subject to the Developer's agreement to comply with the terms and conditions, as specified by Asset Acceptance on application, for a specific site.

1.5 Protective Fencing

1.5.1 Extent

All temporary protective fences erected to protect existing publicly owned landscape assets are to be in accordance with the approved LMP drawing.

Fence off existing trees, plantings and grass to enclose the street verge, public open space or unleased Territory land area. The location of protective fencing will be:

- Fence each tree along its drip-line (at a minimum).
- 1.2m from the back of the kerb for the full frontage of the lease, along the property boundary and along approved driveway access to ensure that the verge is completely enclosed

Fencing must be erected before the commencement of any site works and removed at completion of all construction and commencement of verge restoration.

The fence is to remain continuous throughout the project.

1.5.2 Materials

Use of temporary 1800-mm tall continuous mesh fence supported by steel posts with concrete bases is mandatory. Variation from this requirement must be accompanied by written agreement from Asset Acceptance.

1.5.3 Pedestrian and Traffic considerations

Existing verge footpaths to be maintained and must remain unobstructed throughout the construction period, to provide safe pedestrian movement at all times.

Where a constructed footpath or cycleway exists within the verge, protective fencing must in all cases be set back 0.6m from each side of the footpath / cycleway to ensure safe passage for cyclists and pedestrians.

If there is no constructed public footpath on the verge a fenced clearway of 1.8m in width must be maintained for the entire frontage of the lease to allow for pedestrians and cyclists.

Access gates into the site must swing into the site. They must not be capable of blocking pedestrian access along the verge or vehicular traffic on the road.

1.5.4 Access for Service Installations

Fencing must not be removed for service installation across the verge unless AA approves the service installation.

Realign fence to provide lane for service trenching, but re-erect fence to enclose trees before trenching commences. Upon completion of trenching, return the fence to its original alignment.

1.6 Existing Trees

1.6.1 General

All trees located in the road reserve, verge, public open space and on unleased Territory land, are to be retained and remain undamaged. Written authorisation from AA is required if any plant material is to be disturbed as a part of construction. This approval will be given as a part of the LMP

Existing canopy clearance is not to be altered.

Crowns and apex of canopies are not to be altered or reduced.

Ensure lifting equipment and load can clear height and width of tree canopy without damage to crown.

Ensure construction equipment can pass beneath lowest limb, through driveway access.

1.6.2 Tree Root Protection

The majority of tree roots grow in the top 300 mm of soil. These are the feeder roots, often very fine roots that provide the tree with water, oxygen and nutrients. These roots typically grow between the tree's trunk to well beyond its 'drip-line' (the canopy edge).

Excavation within the drip zone of a tree does considerable damage to its root system. It can affect tree stability and tree health to such an extent that it will lead to the decline and possible death of the tree over a period of years.

Excavation that occurs within the drip zone of a tree must be approved and is to be restricted to one side of the tree only. Approval can be sought by contacting the Asset Acceptance Officer.

Where excavation is approved, the following measures are to be adopted for tree protection:

- Do not sever large roots (>30 mm diameter) closer than halfway from the drip-line to the trunk. Hand trenching to a depth of 300mm is required to locate these roots before any mechanical trenching is undertaken.
- All roots must be cut cleanly with equipment specifically designed to cut roots cleanly or other suitable pruning equipment.
- Roots exposed during excavation must be protected from desiccation. Keep lightly watered or cover with hessian, which must be kept moist.
- Water trees that have had disturbance in their root zone. The amount and frequency of water needs to be adapted to the trees' requirement, based on seasonal conditions.

1.7 Site Access

Site access must initially be by the existing driveway access points for the new development.

In some cases, consideration may be given to allowing new access points across public land. Approval for alternative or additional access points must be obtained through Asset Acceptance. In such cases, the site access must be positioned midway between existing tree trunks. This, however, is dependent on the distance between trees. In some cases trees may be too close to allow access. Access is not to occur on two sides of a tree.

Construction technique should minimise the need for excavation across the verge. Access across adjoining public open spaces, parks, recreational reserves, adjoining properties, e.g. school playgrounds, community halls etc. is prohibited without written authorisation from Asset Acceptance.

1.8 Services and Utilities

1.8.1 Service Connection to Site

The Developer must coordinate all service approvals that are proposed within the road reserve, public open space and unleased Territory land.

Approval for trench locations must be obtained through Asset Acceptance and the relevant City Management agencies at the planning and design stages. In most situations, excavation must not occur within the verge. Where excavation is allowed the following requirements apply:

- Boring or tunnelling below the root zone must be undertaken if the excavation is within the canopy spread of any tree.
- Shared trenching for services is mandatory.
- Number of verge crossings to be minimised.
- Excavation for services across verge (i.e. at right angles to kerb, property line) is to be midway between the tree trunks.
- Any service installation within 5.0m of an existing tree trunk, or within the tree canopy requires prior approval.

NOTE: A Temporary Traffic Management Plan (TTM) and a Roads and Public Places Opening Permit (RPPOP) must be obtained from Roads ACT before any excavation is undertaken on Territory land.

1.8.2 Services and Utilities along Road Reserves

The Developer must coordinate all service approvals.

AA approval for trench locations must be obtained at the planning and design stage. New or upgraded services parallel to kerb or property line are to be installed on the following alignments (subject to approval) to minimise damage/disturbance to roots/root zone.

- Within road paved area.
- Boring or tunnelling below the root zone is to be undertaken if the excavation required is within the canopy spread of any tree.
- Below existing footpath on the property line.
- Immediately behind kerb.

1.9 Irrigation

CUPP actively discourages the use of in-ground irrigation systems, and generally does not endorse their installation in the verge. However, a system of quick couplers at the lease edge of the verge may be installed, subject to CUPP's approval of the irrigation plan.

1.10 Verge Infrastructure Condition and Restoration

Contact the Asset Acceptance Officer to notify commencement of verge restoration and at the completion of work.

At the completion of construction, verges should have established dryland grass cover. Topsoil is not to be removed and the soil level must not be changed. If the standard of grass cover on the verge is to be improved, the following requirements apply:

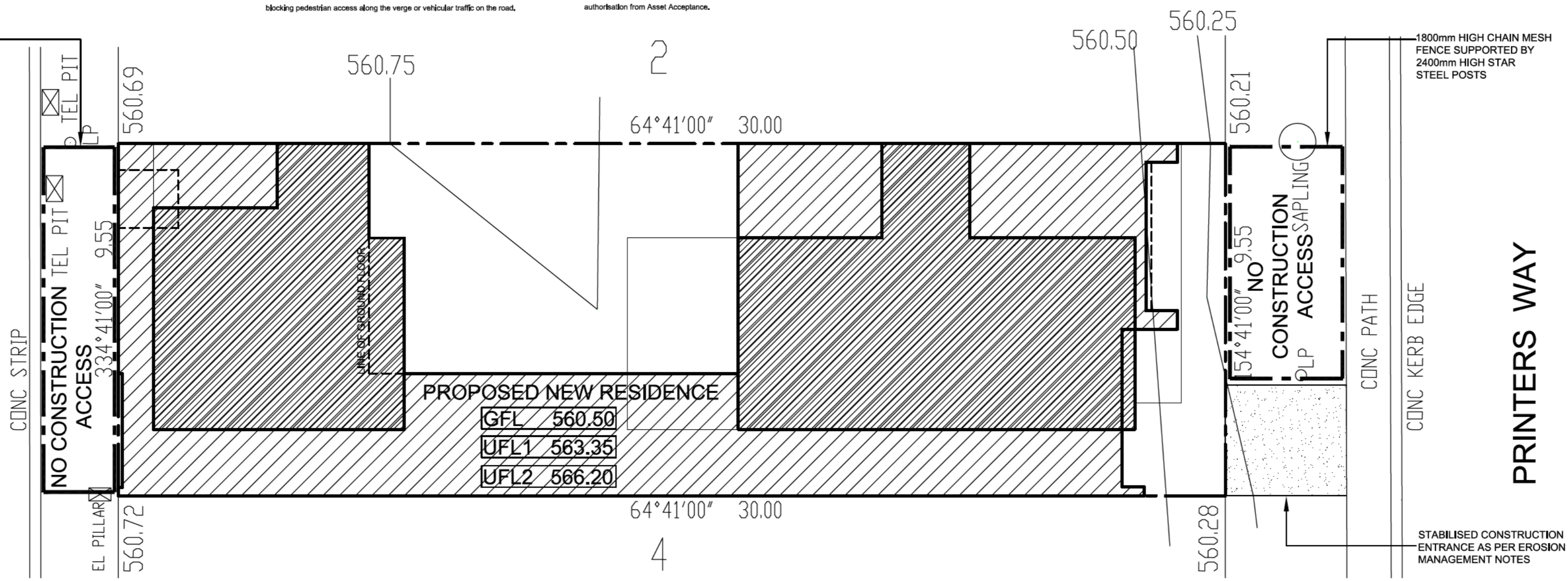
- Lightly cultivate the soil to 25 mm to 50 mm depth (50 mm maximum to minimise damage to tree roots). Cultivate only in one direction. Avoid major roots, and keep a minimum of 1m away from tree trunks.
- Add 'B type' topsoil at 25 mm to 50 mm depth. Level the topsoil and add NPK fertiliser (equivalent to Multigro) at 40g/m².
- Lay turf or sow seed of suitable drought tolerant species as specified in the Department of Urban Services (DUS) Standards and Specifications for Urban Infrastructure. Keep moist during establishment.

If damage does occur to trees or other plantings on street verges or Public Open Spaces, they are to be replaced or rehabilitated to CUPP's satisfaction at the developer's expense. Restoration work is to be approved by CUPP and carried out by approved operators.

1800mm HIGH CHAIN MESH FENCE SUPPORTED BY 2400mm HIGH STAR STEEL POSTS

CHARLES ROACH LANE

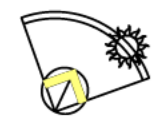
LANDSCAPE MANAGEMENT AND PROTECTION NOTES
SCALE 1:100 @ A2



1800mm HIGH CHAIN MESH FENCE SUPPORTED BY 2400mm HIGH STAR STEEL POSTS

PRINTERS WAY

STABILISED CONSTRUCTION ENTRANCE AS PER EROSION MANAGEMENT NOTES



PROJECT PROPOSED NEW RESIDENCE			CLIENT UNITED LEGAL		
BLOCK 3			DRAWING LANDSCAPE MANAGEMENT AND PROTECTION NOTES		
SECTION 55			SUBURB KINGSTON		
DRAWN AJ		REVISION CHECKED		PSP DA BA CONST	
SCALE 1:100 AT A2		PROJ NO. 0766		DATE 16.07.08	
DRAWING NO. DA-A02		DOWSE NORWOOD ARCHITECTS PTY LTD SUITE 10 14 LONSDALE STREET BRADDON ACT 2612		ABN: 43 097 309 325 TEL: 02 6230 4688 FAX: 02 6230 4699	

SEDIMENT CONTROL NOTES

1. SEDIMENT AND EROSION CONTROL DEVICES TO BE INSTALLED AND FULLY OPERATIONAL PRIOR TO STRIPPING OF SITE TOP SOIL.
2. STOCK PILE/S TO BE LOCATED AWAY FROM DRAINAGE LINES AND SURFACE FLOW PATHS. CONTOURED STRIATIONS OR FURROWS TO BE PROVIDED TO STOCK PILES TO MINIMISE EROSION.
3. STABILISED CONSTRUCTION ENTRANCE TO BE CONSTRUCTED PRIOR TO ACCESS TO SITE BY CONSTRUCTION VEHICLES. AGGREGATE TO BE TURNED WHEN SEDIMENT BUILDS UP.
4. WHERE STORMWATER DRAINAGE IS INSTALLED TO INTERNAL ROADWORKS, PROVIDE GRATED SUMP FILTER IN ACCORDANCE WITH GIVEN DETAIL.
5. AVERAGE EXISTING SITE SLOPE 1.1%
6. TOTAL SITE AREA 0.48HA.
7. BUILDER IS TO ESTABLISH A MAINTENANCE PROGRAM FOR SEDIMENT & EROSION CONTROL DEVICES TO ENSURE INSPECTION AFTER SIGNIFICANT RAINFALL AND THAT ANY REPAIRS NECESSARY ARE QUICKLY ATTENDED TO.
8. ENVIRONMENT PROTECTION AGREEMENT TO BE TAKEN OUT BY BUILDING CONTRACTOR WITH ENVIRONMENT MANAGEMENT AUTHORITY. (CONTACT KEN SIVA 6207 2153)
9. ALL NEW CONSTRUCTION WORK MUST BE CONTAINED WITHIN THE SITE EXCEPT FOR APPROVED SERVICE CONNECTIONS AND ROADWORKS.
10. LIMIT ACCESS TO SITE DURING AND IMMEDIATELY AFTER WET WEATHER.
11. REGULARLY REMOVE ANY SOIL FROM ROADS ADJACENT TO THE SITE.
12. NO STORAGE OF CONSTRUCTION MATERIALS, PARKING OF VEHICLES NOR EQUIPMENT PERMITTED OUTSIDE OF BLOCKS WITHOUT DUS APPROVAL.
13. NO SITE SHEDS, STORAGE SHEDS, SITE AMENITIES TO BE ERECTED OUTSIDE OF BLOCKS WITHOUT DUS APPROVAL.
14. PROVIDE KERBSIDE FILTER ROLL TO EXISTING SUMPS WHERE INDICATED, REFER TO GIVEN DETAIL.
15. KERBSIDE FILTER ROLLS TO BE REMOVED, CLEANED AND REINSTATED ON A WEEKLY BASIS AT A MINIMUM. TRAPPED SEDIMENT ABOUT SUMPS ALSO TO BE REMOVED. CLEANING IS ALSO TO TAKE PLACE IMMEDIATELY AFTER PERIODS OF RAINFALL DURING CONSTRUCTION.
16. ALL SERVICE TRENCHES TO BE BACK FILLED WITHIN 24HOURS OF INSPECTION.

MAINTENANCE SCHEDULE

MONTHLY:

1. TURN OVER STABILISED CONSTRUCTION ENTRY MATERIAL AND TOP UP AS REQUIRED.

WEEKLY:

2. CHECK AND REINSTATE SILT CONTROL FENCES.

DAILY:

3. SWEEP AND REMOVE ANY DIRT TRACKED ONTO PUBLIC ROADS BY VEHICLES. ALL NECESSARY STEPS SHOULD BE TAKEN THAT ARE PRACTICAL AND REASONABLE TO MINIMISE DUST POLLUTION ON LAND DEVELOPMENT AND CONSTRUCTION SITE.

DURING/AFTER WET WEATHER:

4. LIMIT CONSTRUCTION VEHICLE ACCESS TO SITE DURING AND IMMEDIATELY FOLLOWING WET WEATHER.

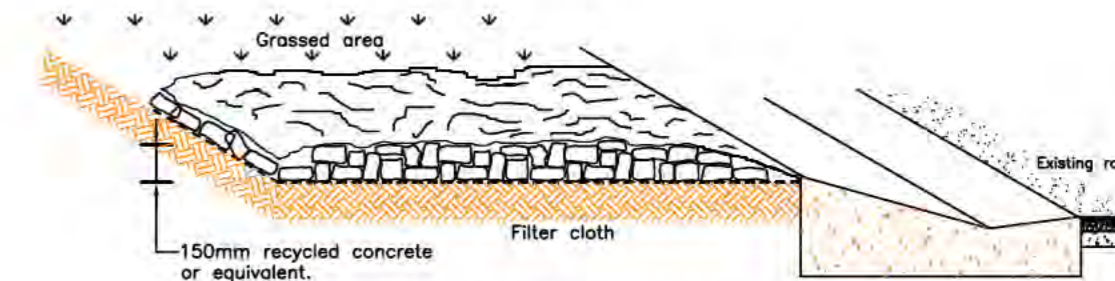
POLLUTION CONTROL

ACCESS POINT SHOULD BE STABILISED TO THE FOLLOWING CRITERIA:
 STABILISED PAD OF AGGREGATE UNDERLAIN WITH FILTER CLOTH.
 -AGGREGATE SIZE 50mm AGGREGATE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 -THICKNESS: NOT LESS THAN 150mm.
 -WIP

COLLECT WASTE WATER.
 THE KERB IS TO BE SWEEP DAILY, AND THE SEDIMENT IS TO BE COLLECTED AND RETURNED TO SITE.
 THE DUST FROM THE SITE IS TO BE MANAGED TO PREVENT SIGNIFICANT ADVERSE IMPACT ON NEIGHBOURING SITES.
 REGULAR MONITORING AND MAINTENANCE OF THE ABOVE POLLUTION CONTROLS ARE TO BE UNDERTAKEN.

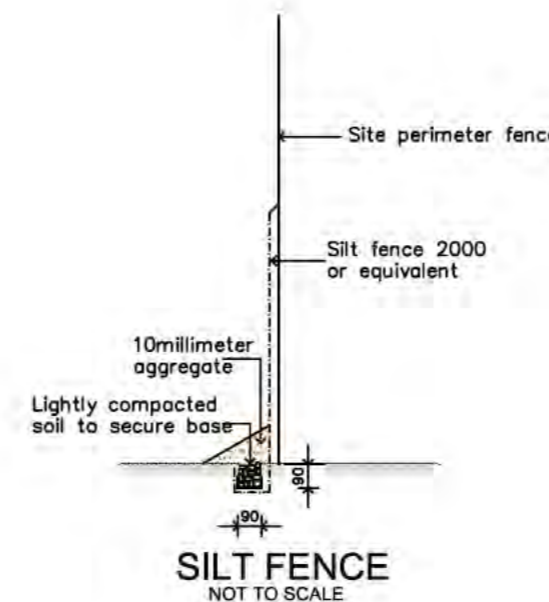
DUST MANAGEMENT

1. A WATER CART OR SUFFICIENT WATER SPRAYS SHALL BE MADE AVAILABLE IN DRY AND WINDY CONDITIONS TO MAINTAIN DUST SUPPRESSION.
2. WATER SHALL BE APPLIED TO SUPPRESS DUST FROM OPEN EARTHWORKS AS WELL AS UNPROTECTED STOCKPILES.
3. STOCKPILES SHALL BE EITHER COVERED OR SEEDED TO PREVENT DUST.
4. AREAS OF COMPLETED EARTHWORKS SHALL BE PROGRESSIVELY REHABILITATED WITH DRYLAND GRASS AND FENCED OFF AS SOON AS PRACTICABLE TO PREVENT FURTHER EROSION.
5. THE CONTRACTOR SHALL CONTACT ACTEWAGL TO OBTAIN AN EXEMPTION TO USE WATER ON THE SITE.

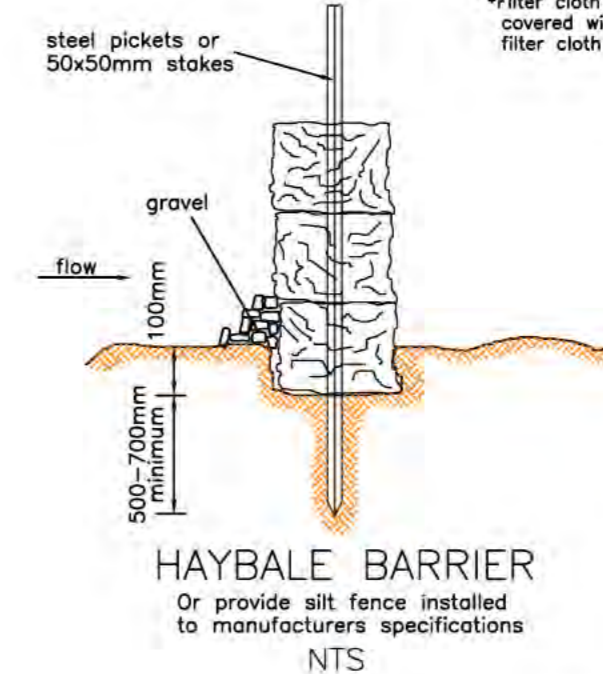


STABILISED CONSTRUCTION ENTRANCE
NOT TO SCALE

DESIGN CRITERIA
 *Aggregate size-use 50mm aggregate, or reclaimed or recycled concrete equivalent.
 *Thickness- not less than 150mm.
 *Width-6m minimum but not less than the full width of vehicle access.
 *Length-as required, but not less than 15m.
 *Filter cloth to be placed over the entire area to be covered with aggregate. Bidim U14 or equivalent filter cloth to be used.



SILT FENCE
NOT TO SCALE



HAYBALE BARRIER
Or provide silt fence installed to manufacturers specifications
NTS

SEDIMENT CONTROL BARRIER:
 HAYBALES USED TO PREVENT SILTED RUNOFF TO LOWER ADJOINING LANDS PER EROSION MANAGEMENT NOTES

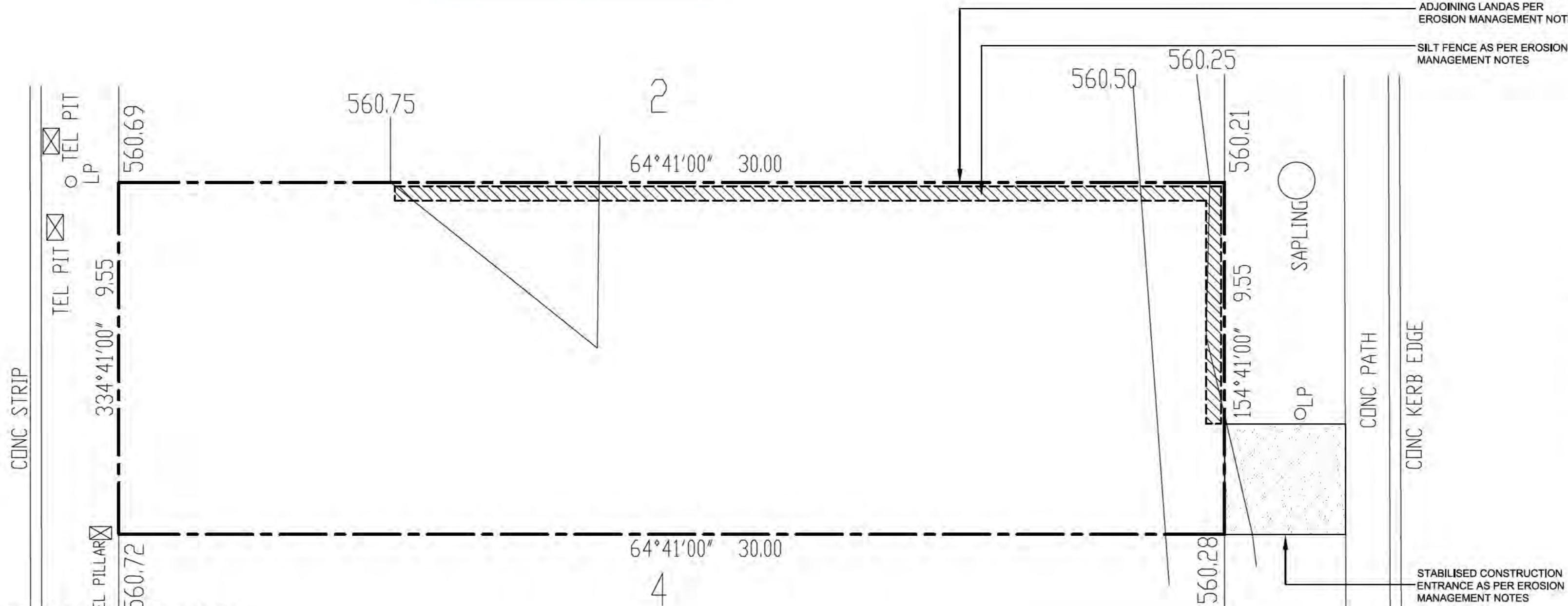
SILT FENCE AS PER EROSION MANAGEMENT NOTES

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 SUBJECT TO THE CONDITIONS SET OUT IN THE NOTICE OF DECISION PURSUANT TO SECTION 162

Delegate name **BRIAN CONNORS**
 Date **18/5/2009**

CHARLES ROACH LANE

PRINTERS WAY



STABILISED CONSTRUCTION ENTRANCE AS PER EROSION MANAGEMENT NOTES

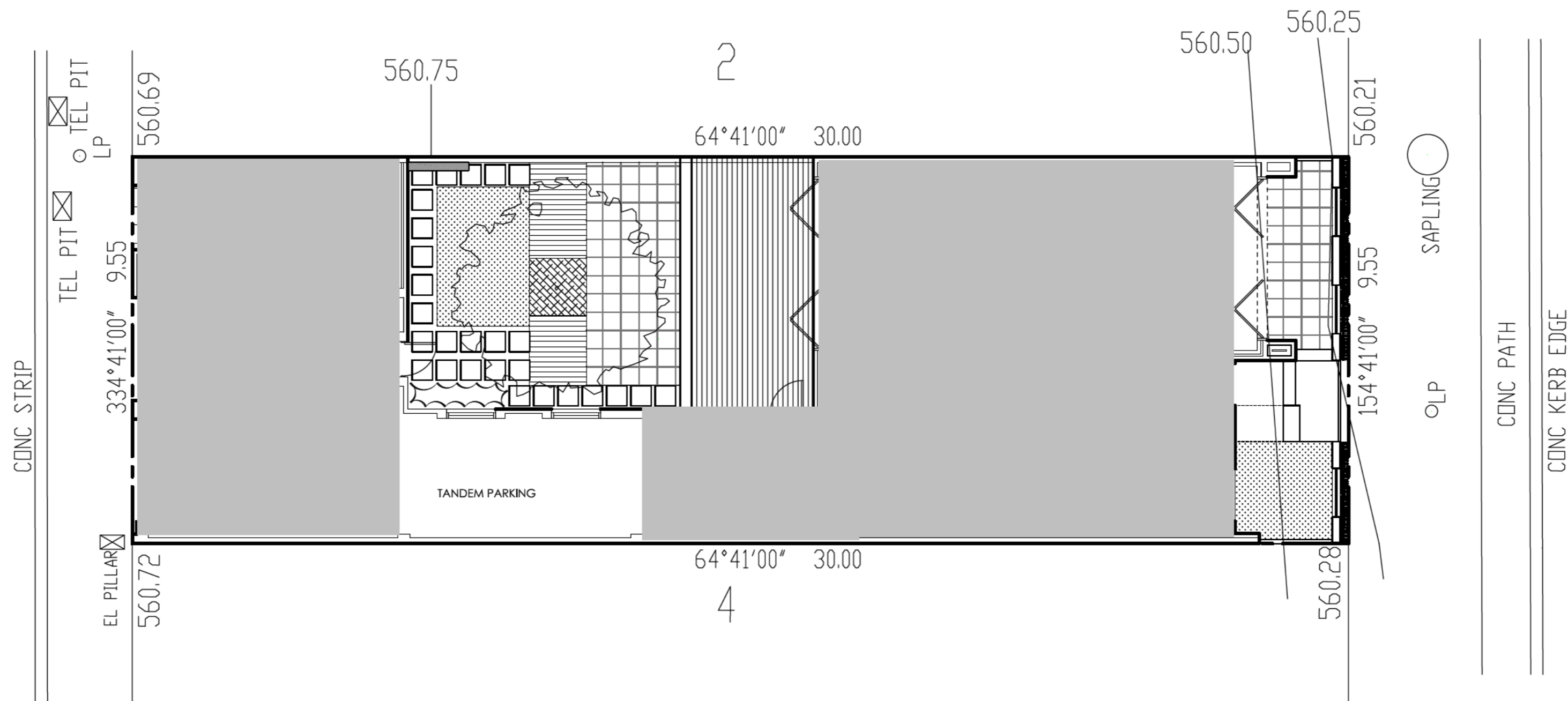
1 SEDIMENT & EROSION CONTROL PLAN
SCALE 1: 100 @ A2



PROJECT PROPOSED NEW RESIDENCE			CLIENT UNITED LEGAL		
BLOCK 3			DRAWING SEDIMENT & EROSION CONTROL PLAN		
SECTION 55			SUBURB KINGSTON		
DOWSE NORWOOD ARCHITECTS PTY LTD SUITE 10 14 LONSDALE STREET BRADDON ACT 2612 ABN: 43 097 309 325 TEL: 02 6230 4688 FAX: 02 6230 4699			DRAWN AJ SCALE 1:100 AT A2 PROJ NO. 0766 DATE 16.07.08 DRAWING NO. DA-A03		
REVISION			CHECKED		
REVIEWED			PSP DA BA CONST		

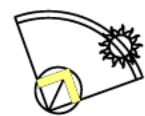
LEGEND	
	EXISTING TREES
	SHRUBS AND GROUNDCOVERS
	PAVING
	500 X 500 CONCRETE STEPPING STONES
	LAWN WITH PAVER EDGE
	RETRACTABLE CLOTHES LINE
	DECKING
	MULCHED GARDENS

CHARLES ROACH LANE



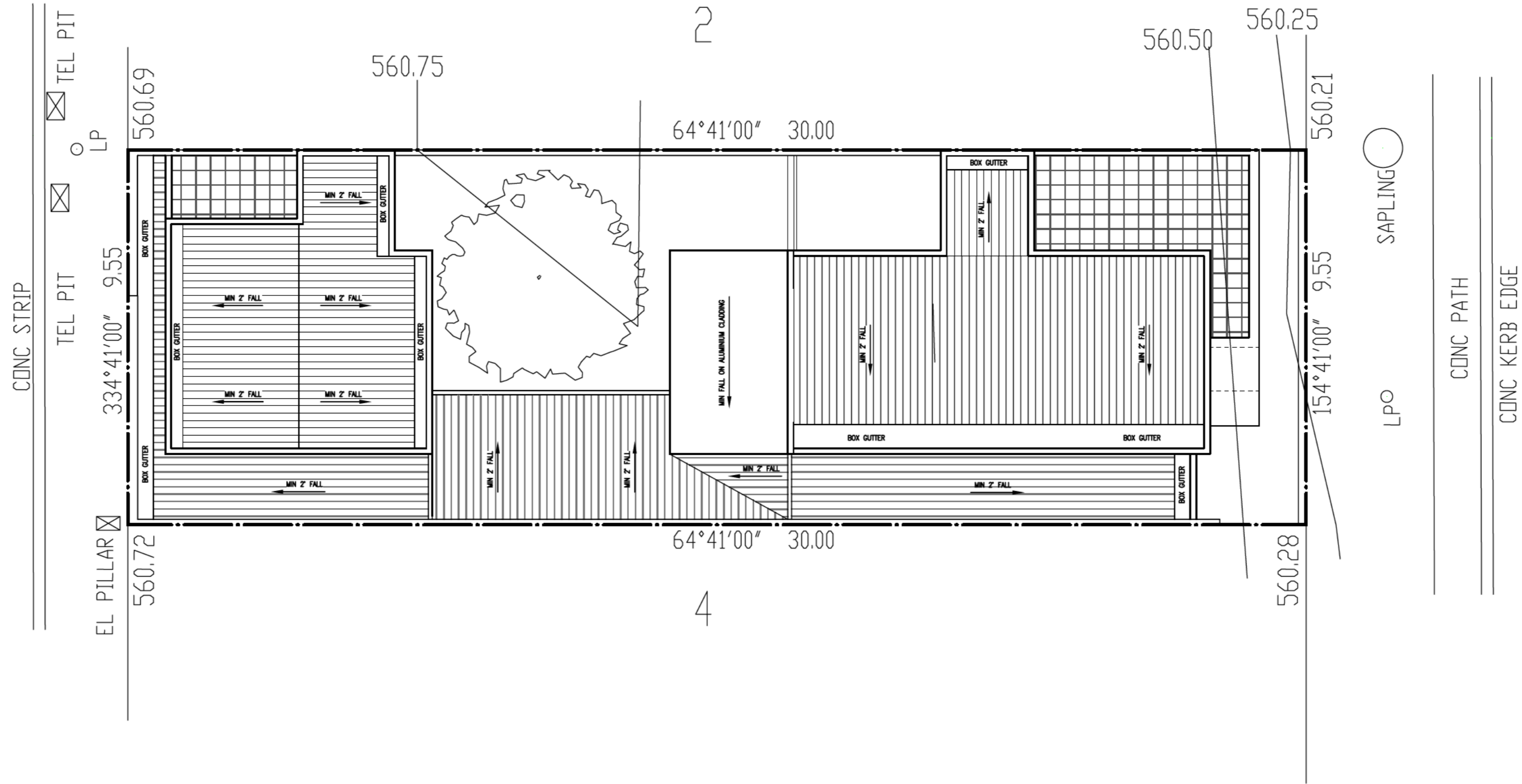
PRINTERS WAY

1 LANDSCAPE PLAN
SCALE 1: 100 @ A2



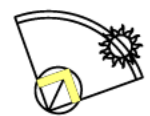
PROJECT PROPOSED NEW RESIDENCE		CLIENT UNITED LEGAL	DOWSE NORWOOD ARCHITECTS PTY LTD SUITE 10 14 LONSDALE STREET BRADDON ACT 2612 ABN: 43 097 309 325 TEL: 02 6230 4688 FAX: 02 6230 4699	DRAWN AJ	REVISION
BLOCK 3	SECTION 55	DRAWING LANDSCAPE PLAN		SCALE 1:100 AT A2	CHECKED
SUBURB KINGSTON		DATE 16.07.08	PROJ NO. 0766	REVIEWED	PSP DA BA CONST
		DRAWING NO. DA-A04			

CHARLES ROACH LANE



PRINTERS WAY

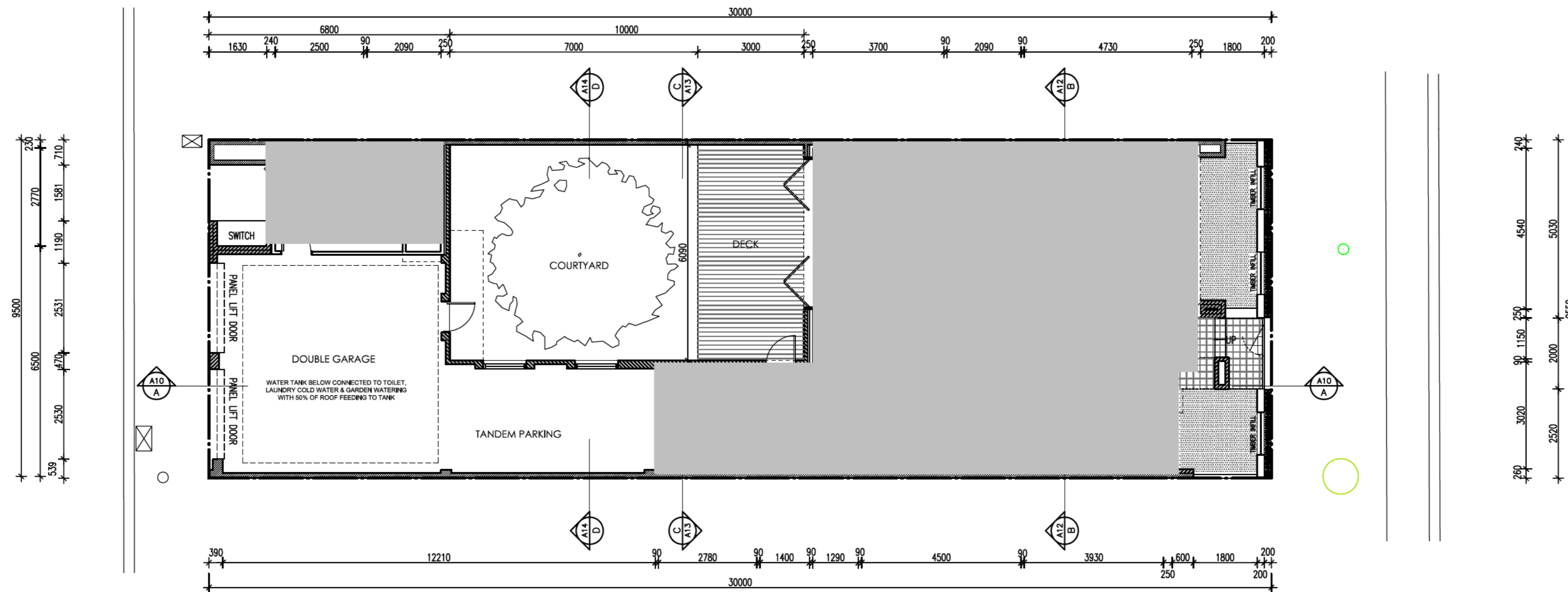
ROOF PLAN & WATER MANAGEMENT PLAN
SCALE 1:100 @ A2



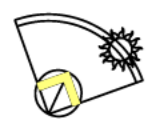
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BLOCK 3			DRAWING ROOF PLAN WATER MANAGEMENT PLAN		SCALE 1:100 AT A2		CHECKED	
SECTION 55			SUBURB KINGSTON		PROJ NO. 0766		REVIEWED	
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							CONST <input type="checkbox"/>	



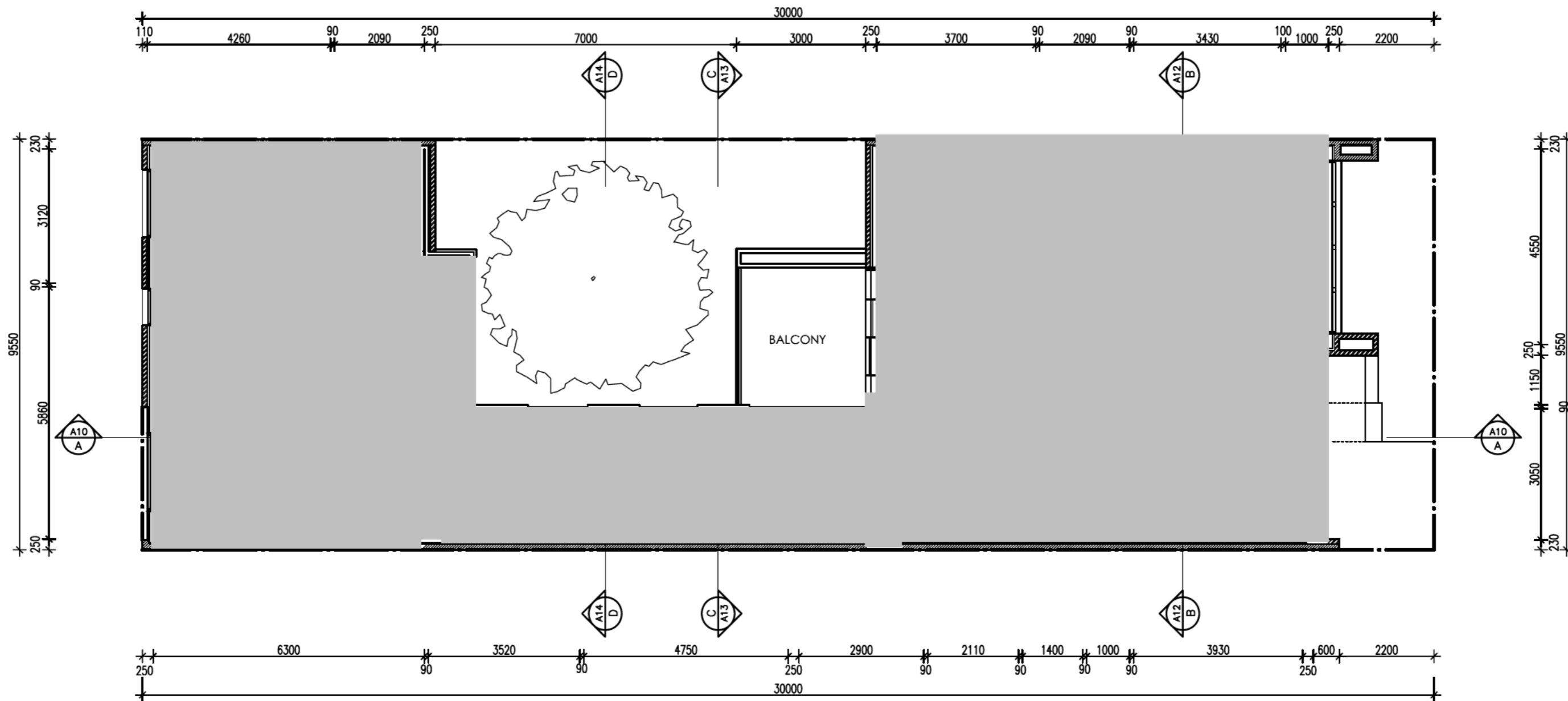
DOWSE NORWOOD ARCHITECTS PTY LTD
SUITE 10
14 LONSDALE STREET
BRADDON ACT 2612
ABN: 43 097 309 325
TEL: 02 6230 4688
FAX: 02 6230 4699



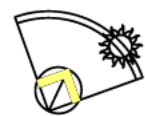
GROUND FLOOR PLAN
SCALE 1:100 @ A2




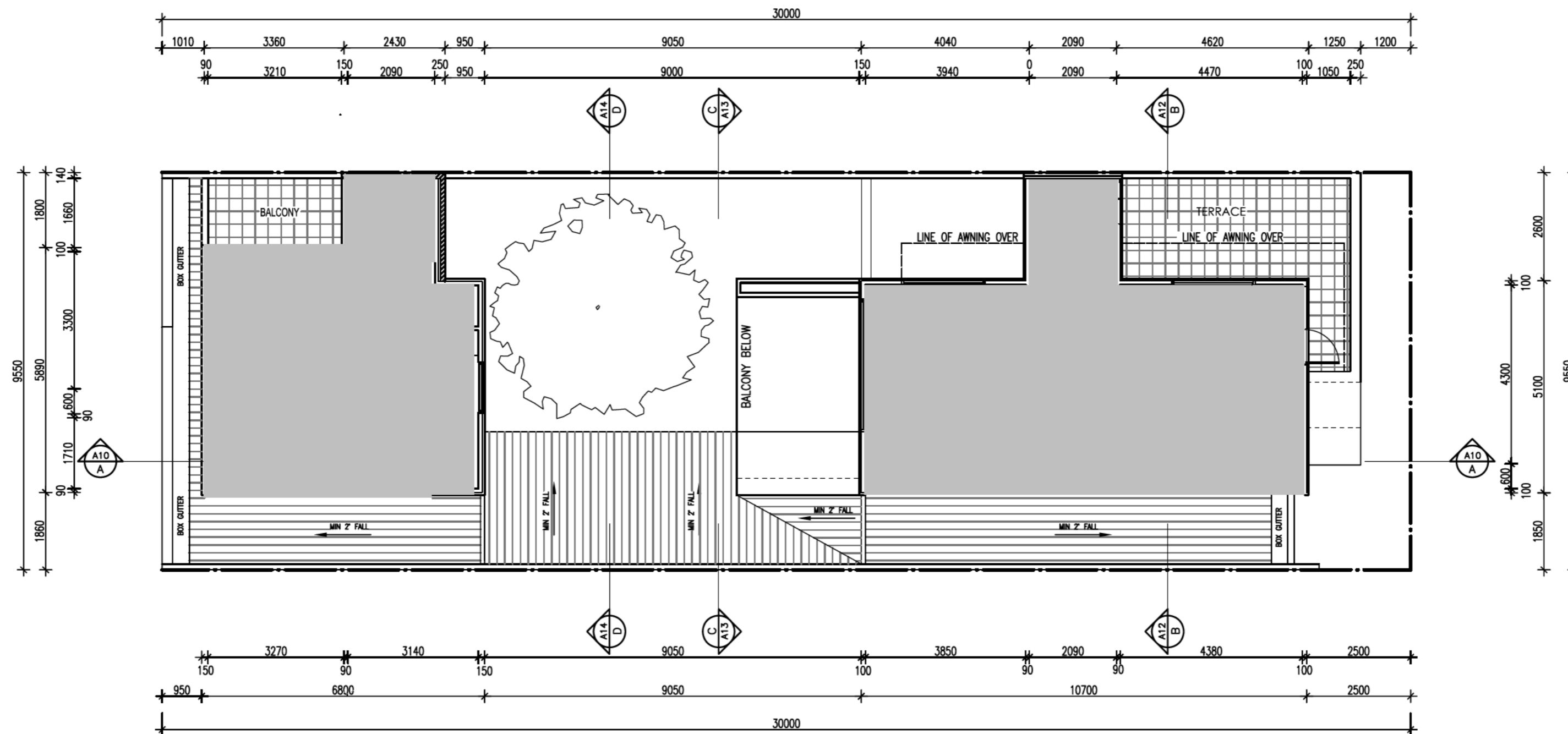
PROJECT PROPOSED NEW RESIDENCE			CLIENT UNITED LEGAL	DRAWN AJ	REVISION
BLOCK 3			DRAWING GROUND FLOOR PLAN	SCALE 1:100 AT A2	CHECKED
SECTION 55			CLIENT UNITED LEGAL	PROJ NO. 0766	REVIEWED
SUBURB KINGSTON			DOWSE NORWOOD ARCHITECTS PTY LTD SUITE 10 14 LONSDALE STREET BRADDON ACT 2612 ABN: 43 097 309 325 TEL: 02 6230 4688 FAX: 02 6230 4699	DATE 16.07.08	PSP DA BA CONST
				DRAWING NO. DA-A06	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>



FIRST FLOOR PLAN
SCALE 1:100 @ A2




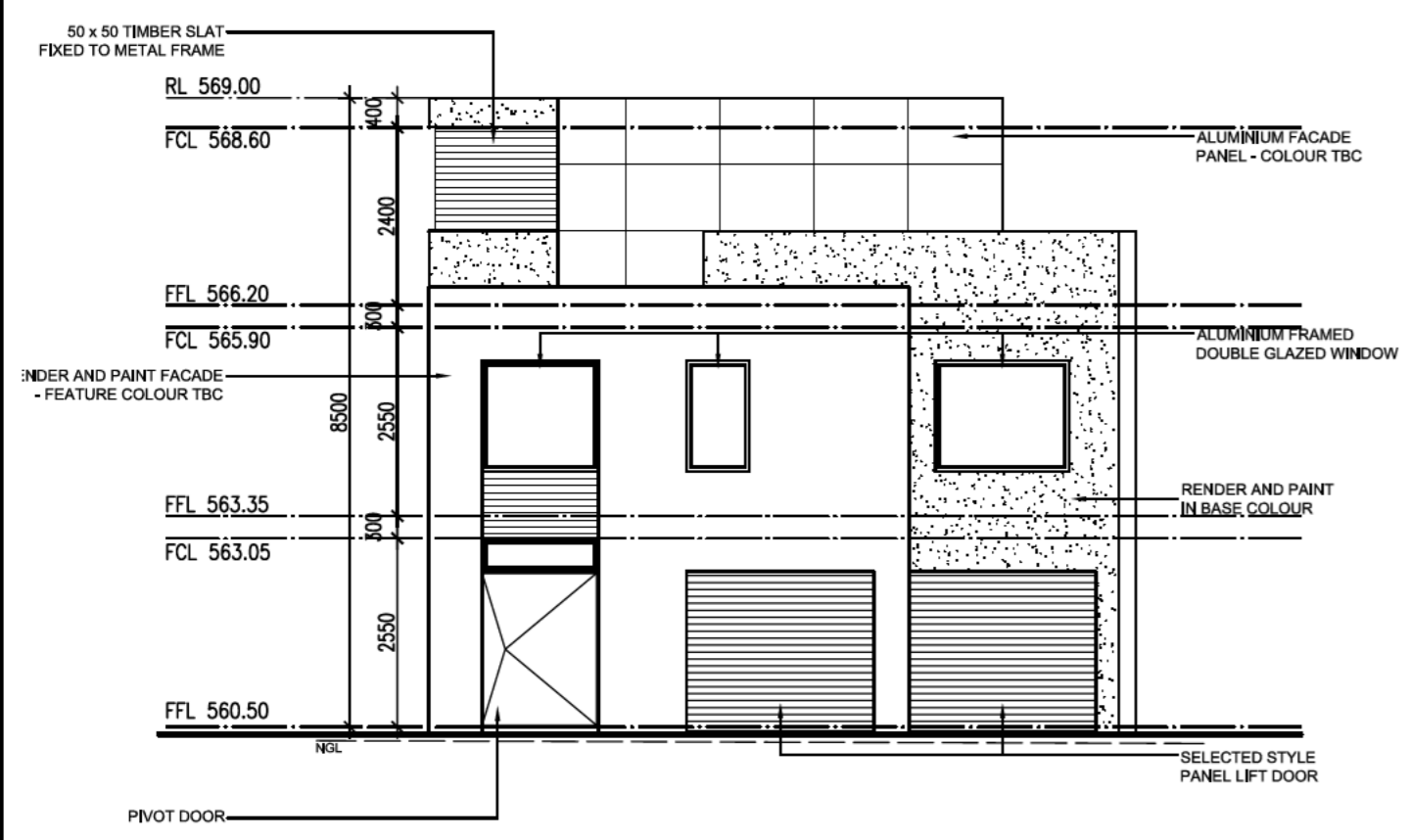
PROJECT PROPOSED NEW RESIDENCE			CLIENT UNITED LEGAL		 DOWSE NORWOOD ARCHITECTS PTY LTD SUITE 10 14 LONSDALE STREET BRADDON ACT 2612 ABN: 43 097 309 325 TEL: 02 6230 4688 FAX: 02 6230 4699	DRAWN AJ	REVISION
BLOCK 3			DRAWING FIRST FLOOR PLAN			SCALE 1:100 AT A2	CHECKED
SECTION 55			SUBURB KINGSTON		PROJ NO. 0766	REVIEWED	
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					DRAWING NO. DA-A07		



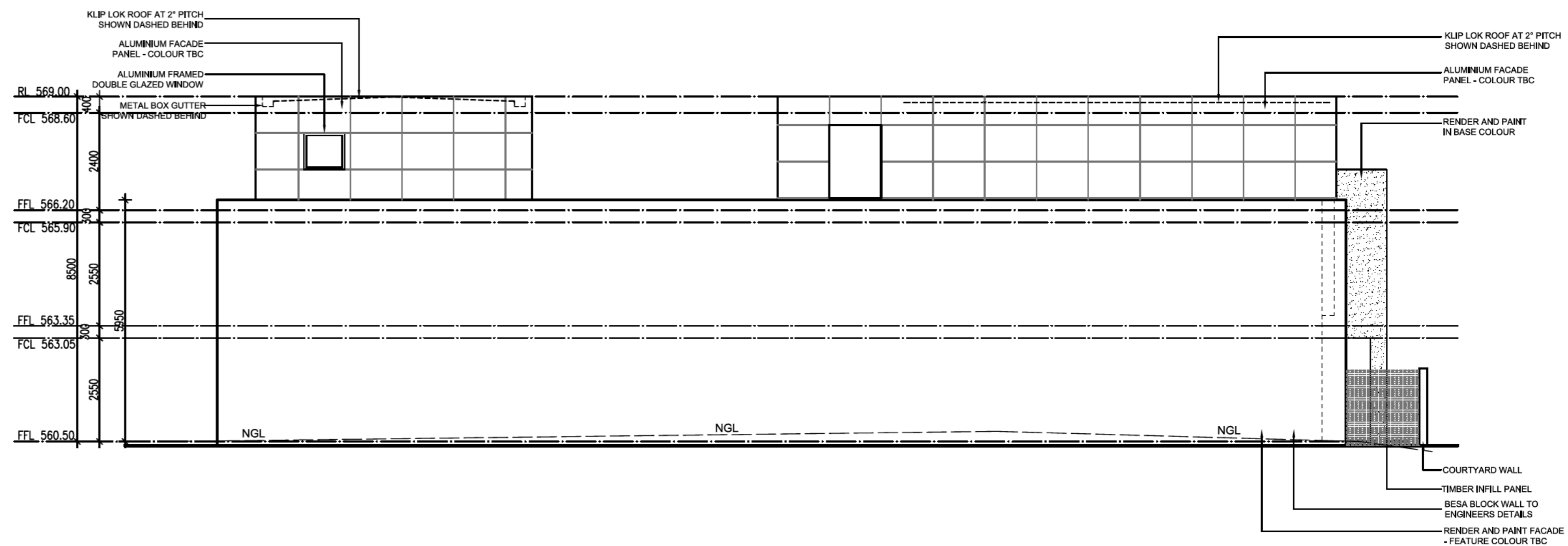
SECOND FLOOR PLAN
SCALE 1:100 @ A2



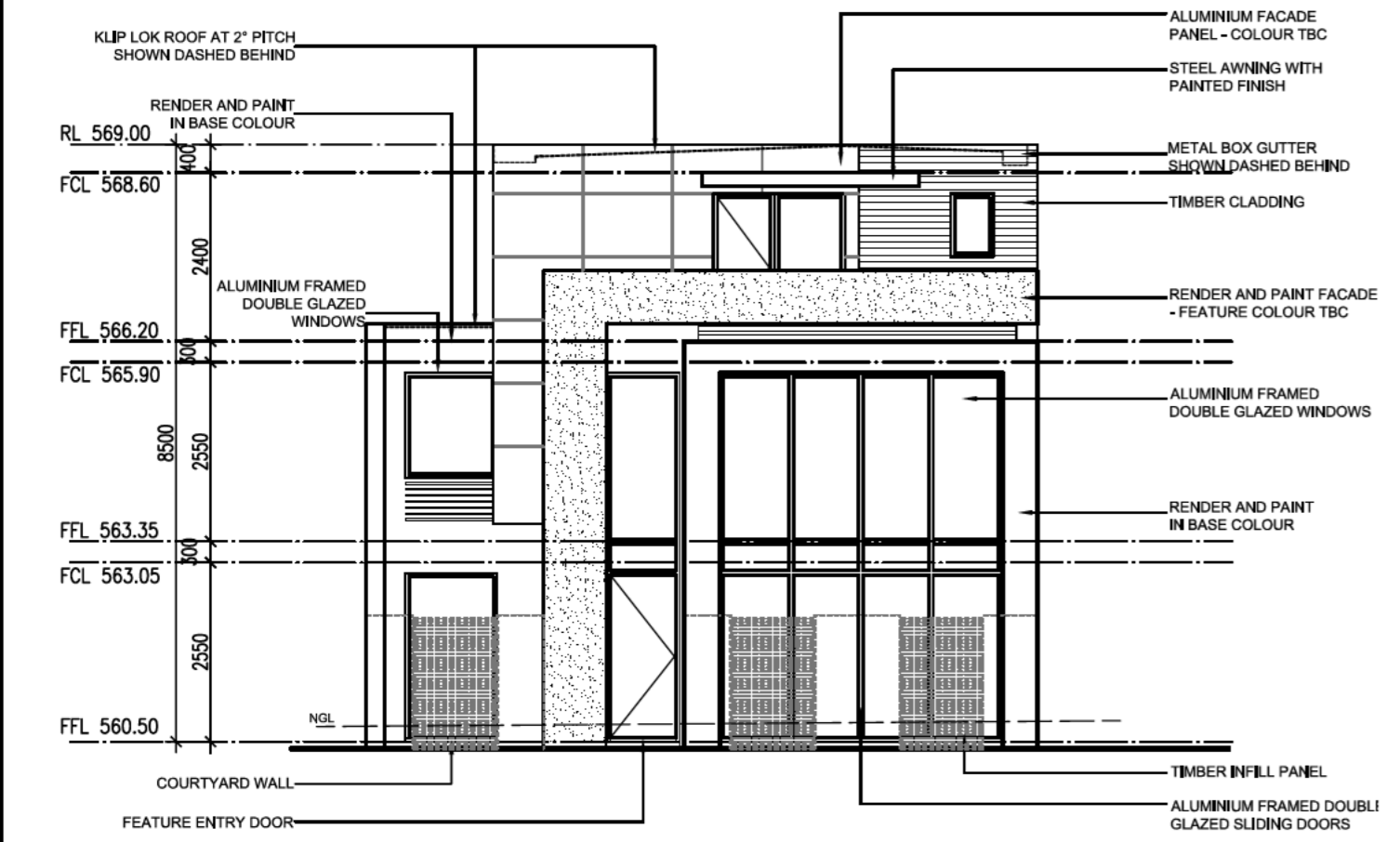
PROJECT PROPOSED NEW RESIDENCE			CLIENT UNITED LEGAL	 DOWSE NORWOOD ARCHITECTS PTY LTD SUITE 10 14 LONSDALE STREET BRADDON ACT 2612 ABN: 43 097 309 325 TEL: 02 6230 4688 FAX: 02 6230 4699	DRAWN AJ	REVISION
BLOCK 3	SECTION 55	SUBURB KINGSTON	DRAWING SECOND FLOOR PLAN		SCALE 1:100 AT A2	CHECKED
				PROJ NO. 0766	REVIEWED	
				DATE 16.07.08	PSP DA BA CONST	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
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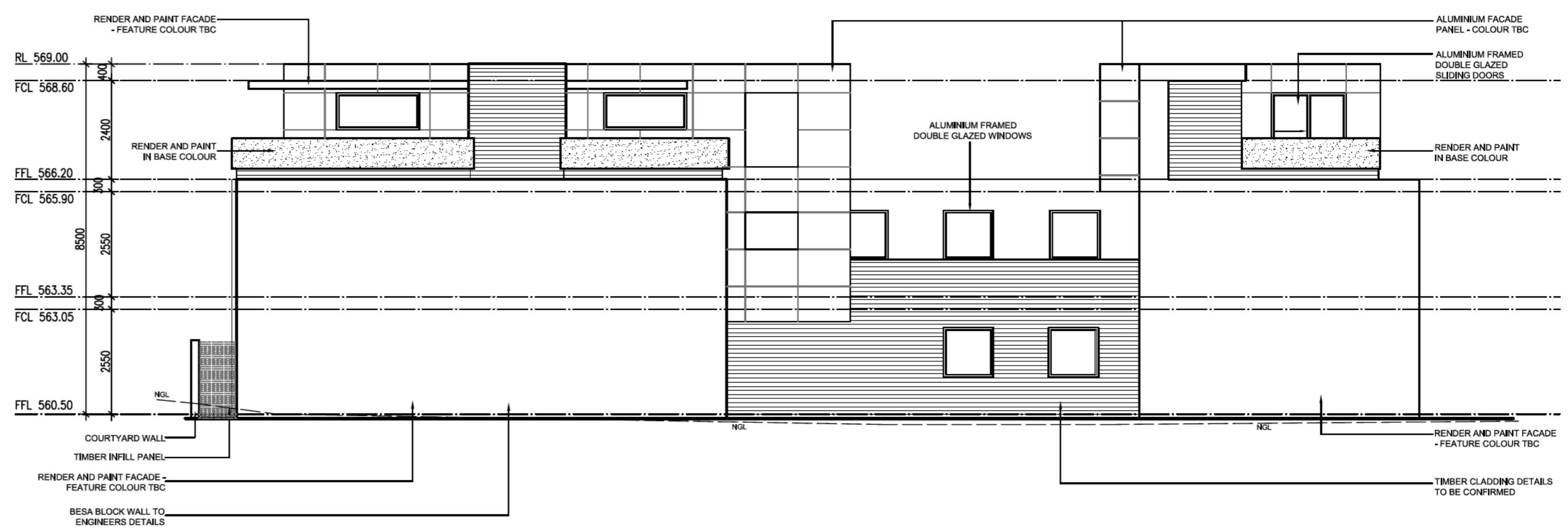
EAST ELEVATION
SCALE 1:100 @ A2



NORTH ELEVATION
SCALE 1:100 @ A2



WEST ELEVATION
SCALE 1:100 @ A2



SOUTH ELEVATION
SCALE 1:100 @ A2



PROJECT PROPOSED NEW RESIDENCE			CLIENT UNITED LEGAL	DRAWN AJ	REVISION
BLOCK 3	SECTION 55	SUBURB KINGSTON	DRAWING ELEVATIONS	SCALE 1:100 AT A2	CHECKED
				PROJ NO. 0766	REVIEWED
				DATE 16.07.08	PSP DA SA CONST
				DRAWING NO. DA-A09	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>



DOWSE NORWOOD ARCHITECTS PTY LTD
SUITE 10
14 LONSDALE STREET
BRADDON ACT 2612
ABN: 43 097 309 325
TEL: 02 6230 4688
FAX: 02 6230 4699

KLIP LOK ROOF SHEETING ON TIMBER ROOF TRUSSES AT 2.0° TO MANUFACTURER'S SPECIFICATION. PROVIDE ANTI-CON BLANKET THROUGHOUT.

TIMBER ROOF TRUSSES TO MANUFACTURER'S SPECIFICATIONS

METAL BOX GUTTER

METAL BOX GUTTER

METAL BOX GUTTER

ALUMINIUM FRAMED DOUBLE GLAZED WINDOWS

ALUMINIUM FACADE PANEL - COLOUR TBC

BATH 2

STUDY 2

BED 4

STAIRS AND BALUSTRADE TO BCA REQUIREMENTS AND MANUFACTURER'S SPECIFICATION

R2.0 WALL INSULATION AND SISLATION

RUMPUS / POOL ROOM

GYM

STORE

BATH

LONG SPAN JOISTS TO ENGINEERS SPECIFICATION WITH R2.0 INSULATION

GARAGE 2

GARAGE 3

KITCHEN

2,000L AERATED IN SLAB WATER TANK

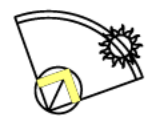
FOOTINGS TO STRUCTURAL ENGINEERS DETAILS

TANK CONNECTED TO TOILET, LAUNDRY COLD WATER & GARDEN WATERING WITH 50% OF ROOF FEEDING TO TANK

R1.8 SLAB EDGE INSULATION

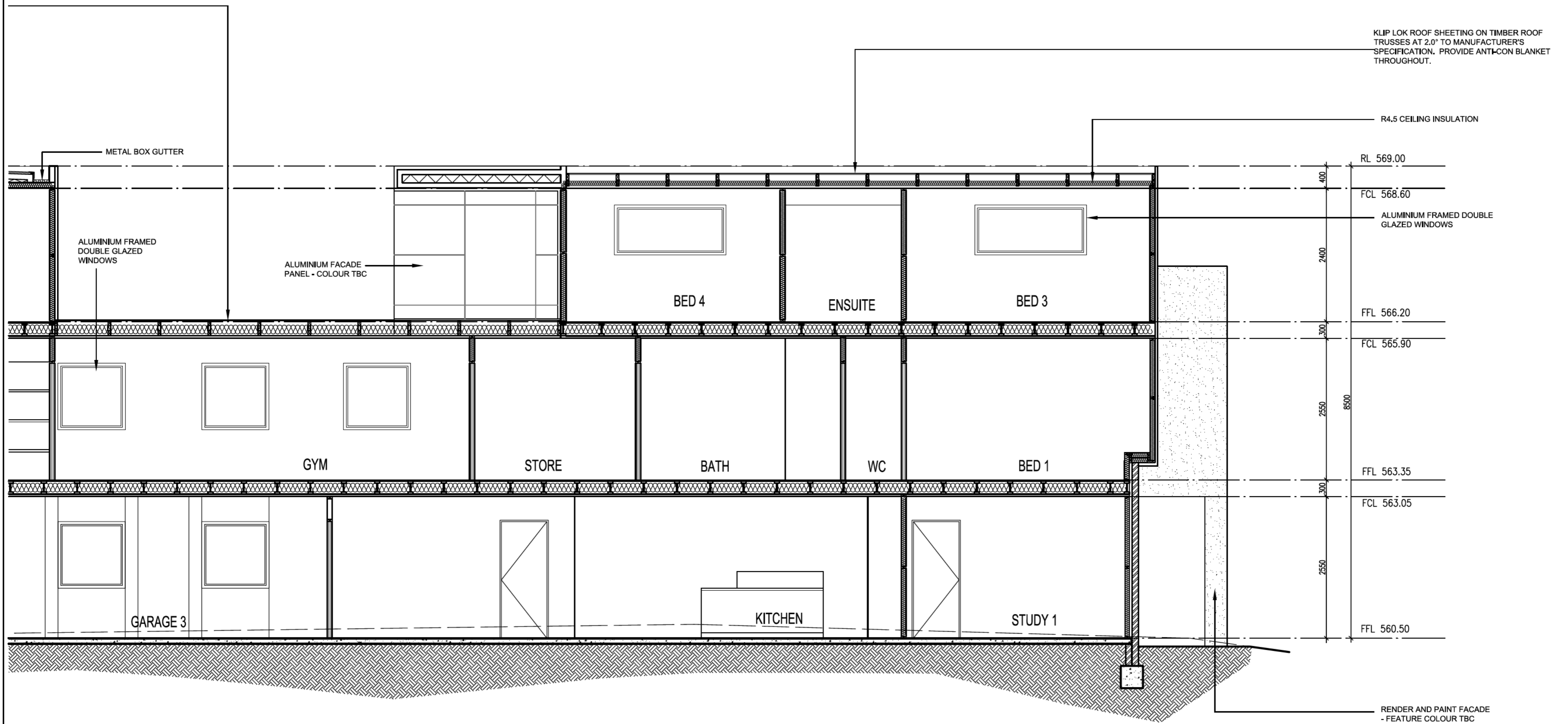
RC SLAB TO STRUCTURAL ENGINEERS DETAILS

SECTION A - A
SCALE 1:50 @ A2




PROJECT PROPOSED NEW RESIDENCE			CLIENT UNITED LEGAL	DRAWN AJ	REVISION
BLOCK 3			DRAWING SECTION A - A	SCALE 1:50 AT A2	CHECKED
SECTION 55	SUBURB KINGSTON		DOWSE NORWOOD ARCHITECTS PTY LTD SUITE 10 14 LONSDALE STREET BRADDON ACT 2612 ABN: 43 097 309 325 TEL: 02 6230 4688 FAX: 02 6230 4699	PROJ NO. 0766	REVIEWED
			DATE 16.07.08	DRAWING NO. DA-A10	PSP DA BA CONST

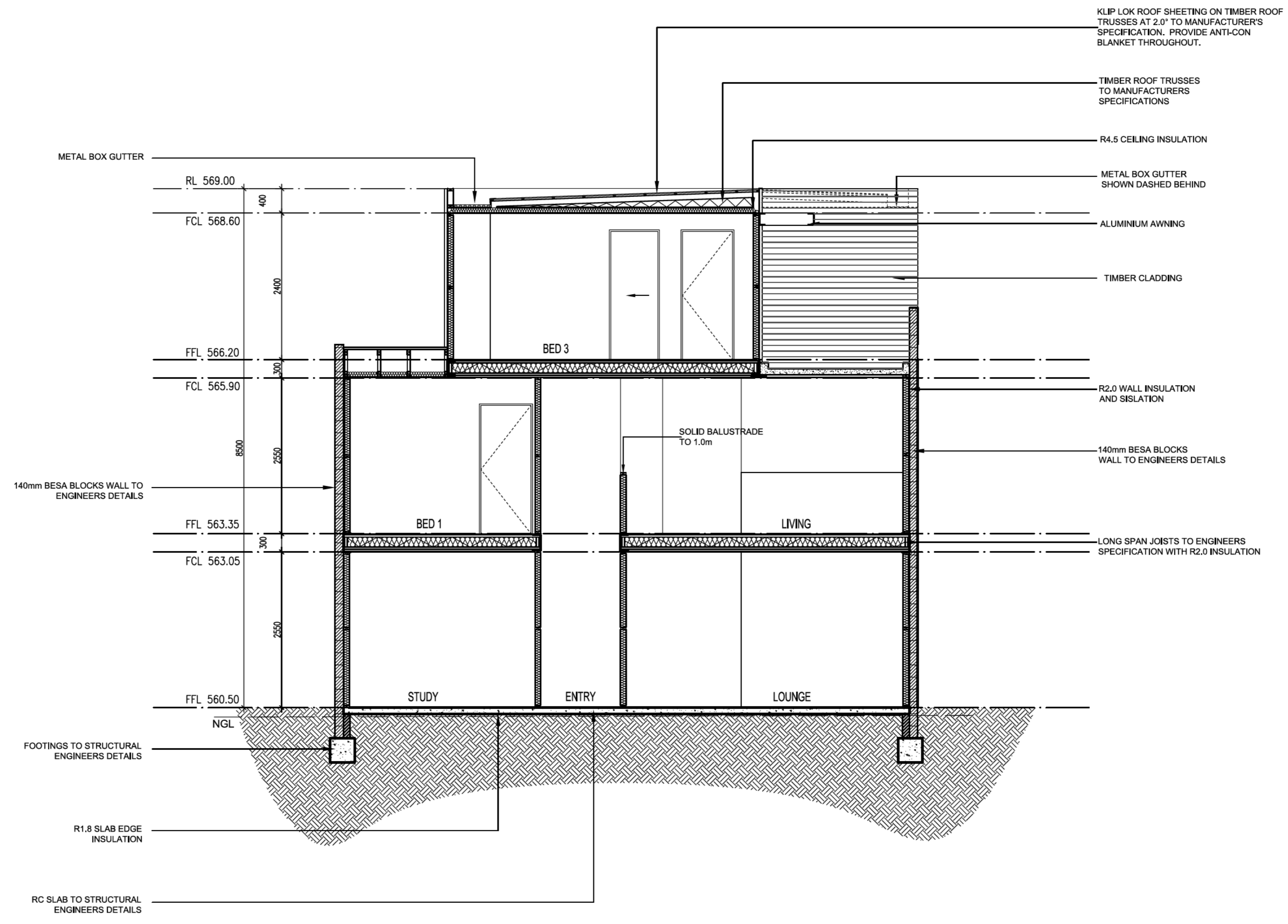




SECTION A - A
SCALE 1:50 @ A2



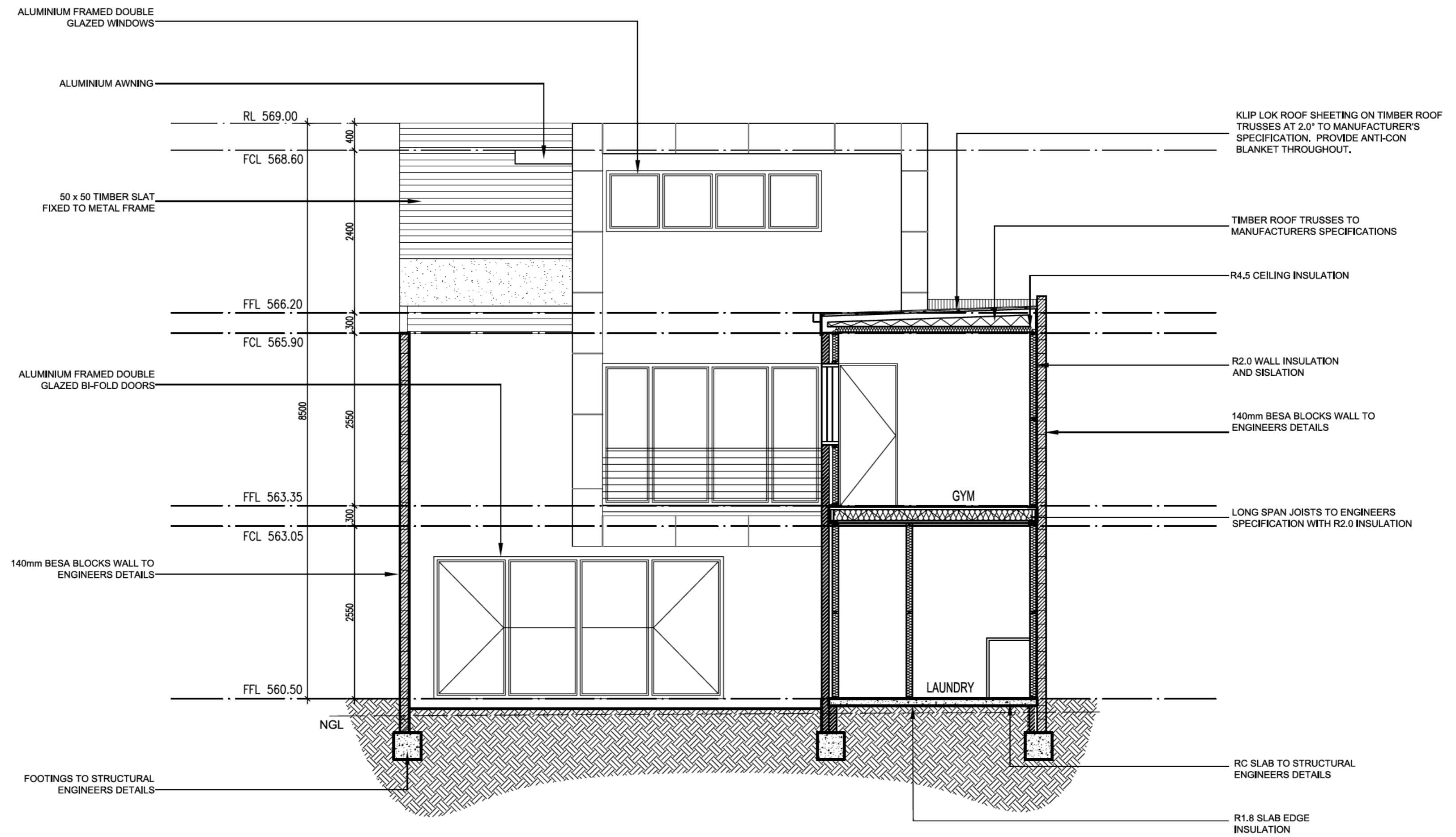
PROJECT PROPOSED NEW RESIDENCE			CLIENT UNITED LEGAL		 DOWSE NORWOOD ARCHITECTS PTY LTD SUITE 10 14 LONSDALE STREET BRADDON ACT 2612 ABN: 43 097 309 325 TEL: 02 6230 4688 FAX: 02 6230 4699	DRAWN AJ	REVISION
BLOCK 3	SECTION 55	SUBURB KINGSTON	DRAWING SECTION A - A			SCALE 1:50 AT A2	CHECKED
					PROJ NO. 0766	REVIEWED	
					DATE 16.07.08	PSP DA BA CONST	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
					DRAWING NO. DA-A11		



SECTION B - B
SCALE 1:50 @ A2



PROJECT PROPOSED NEW RESIDENCE			CLIENT UNITED LEGAL		DRAWN AJ		REVISION	
BLOCK 3			DRAWING SECTION B - B		SCALE 1:50 AT A2		CHECKED	
SECTION 55			SUBURB KINGSTON		PROJ NO. 0766		REVIEWED	
DOWSE NORWOOD ARCHITECTS PTY LTD SUITE 10 14 LONSDALE STREET BRADDON ACT 2612 ABN: 43 097 309 325 TEL: 02 6230 4688 FAX: 02 6230 4699					DATE 16.07.08		PSP DA BA CONST	
					DRAWING NO. DA-A12		<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	



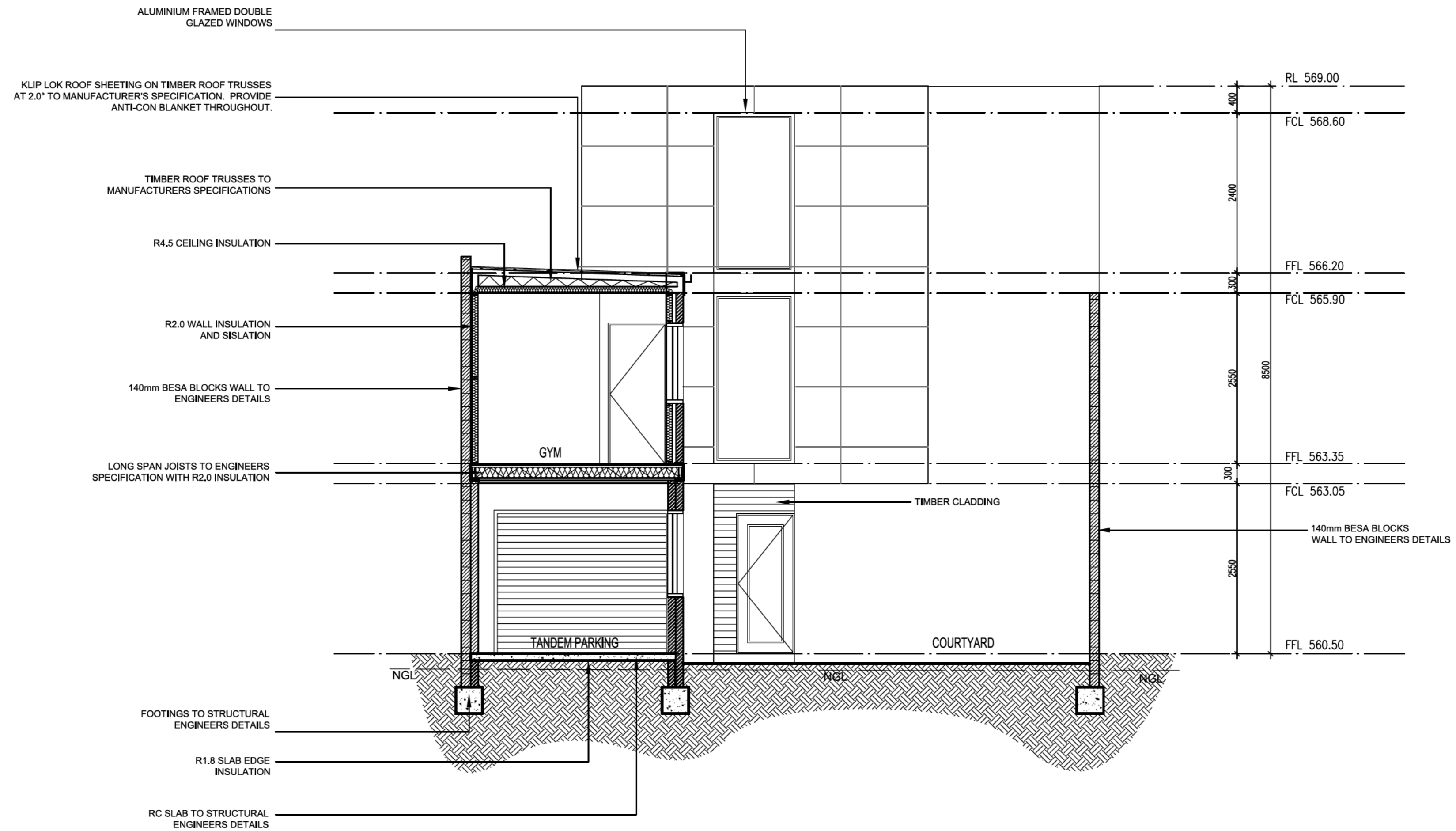
SECTION C - C
SCALE 1:50 @ A2



PROJECT			CLIENT		DRAWN		REVISION	
PROPOSED NEW RESIDENCE			UNITED LEGAL		AJ		CHECKED	
BLOCK 3			DRAWING		PROJ NO. 0766		REVIEWED	
SECTION 55			SECTION C - C		DATE 16.07.08		PSP	
SUBURB KINGSTON					DRAWING NO. DA-A13		DA	
							BA	
							CONST	




DOWSE NORWOOD ARCHITECTS PTY LTD
SUITE 10
14 LONSDALE STREET
BRADDON ACT 2612
ABN: 43 097 309 325
TEL: 02 6230 4688
FAX: 02 6230 4699



SECTION D - D
scale 1:50 @ A2



PROJECT PROPOSED NEW RESIDENCE			CLIENT UNITED LEGAL	DRAWN AJ	REVISION
BLOCK 3			DRAWING SECTION D - D	SCALE 1:50 AT A2	CHECKED
SECTION 55	SUBURB KINGSTON	DOWSE NORWOOD ARCHITECTS PTY LTD SUITE 10 14 LONSDALE STREET BRADDON ACT 2612 ABN: 43 097 309 325 TEL: 02 6230 4688 FAX: 02 6230 4699		PROJ NO. 0766	REVIEWED
				DATE 16.07.08	PSP DA BA CONST
				DRAWING NO. DA-A14	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>

ATTENTION

ACTEW water and sewerage infrastructure locations shown on this document are only a guide.

If this guide indicates utility assets may be in the vicinity of existing or planned structures on your land, you should advise us and we can agree how dimensionally accurate information is best produced.

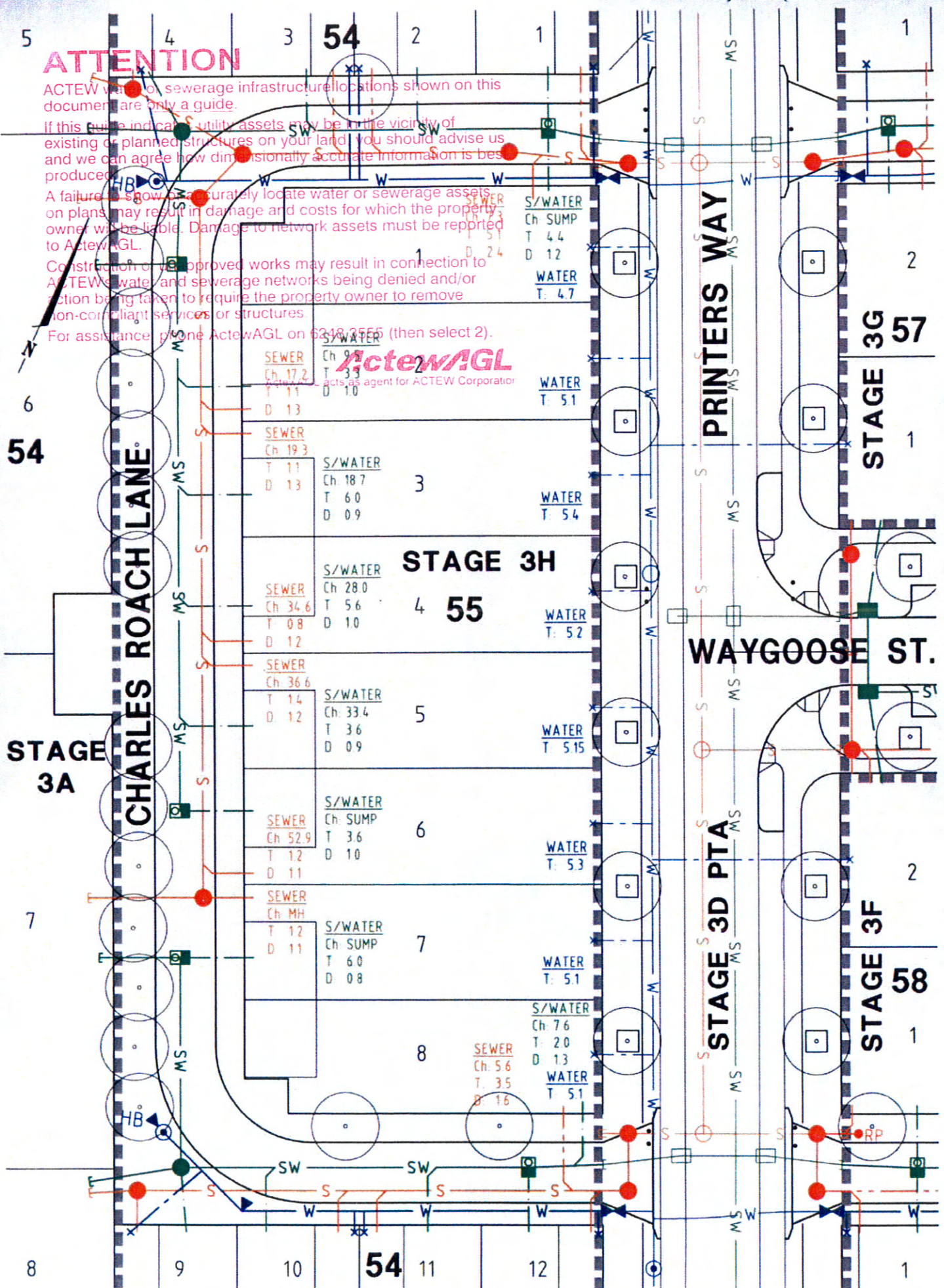
A failure to show or accurately locate water or sewerage assets on plans may result in damage and costs for which the property owner will be liable. Damage to network assets must be reported to ActewAGL.

Construction of approved works may result in connection to ACTEW water and sewerage networks being denied and/or action being taken to require the property owner to remove non-compliant services or structures.

For assistance, please phone ActewAGL on 6218 2555 (then select 2).

ActewAGL

acts as agent for ACTEW Corporation



SECTION 55 BLOCKS 1 - 8