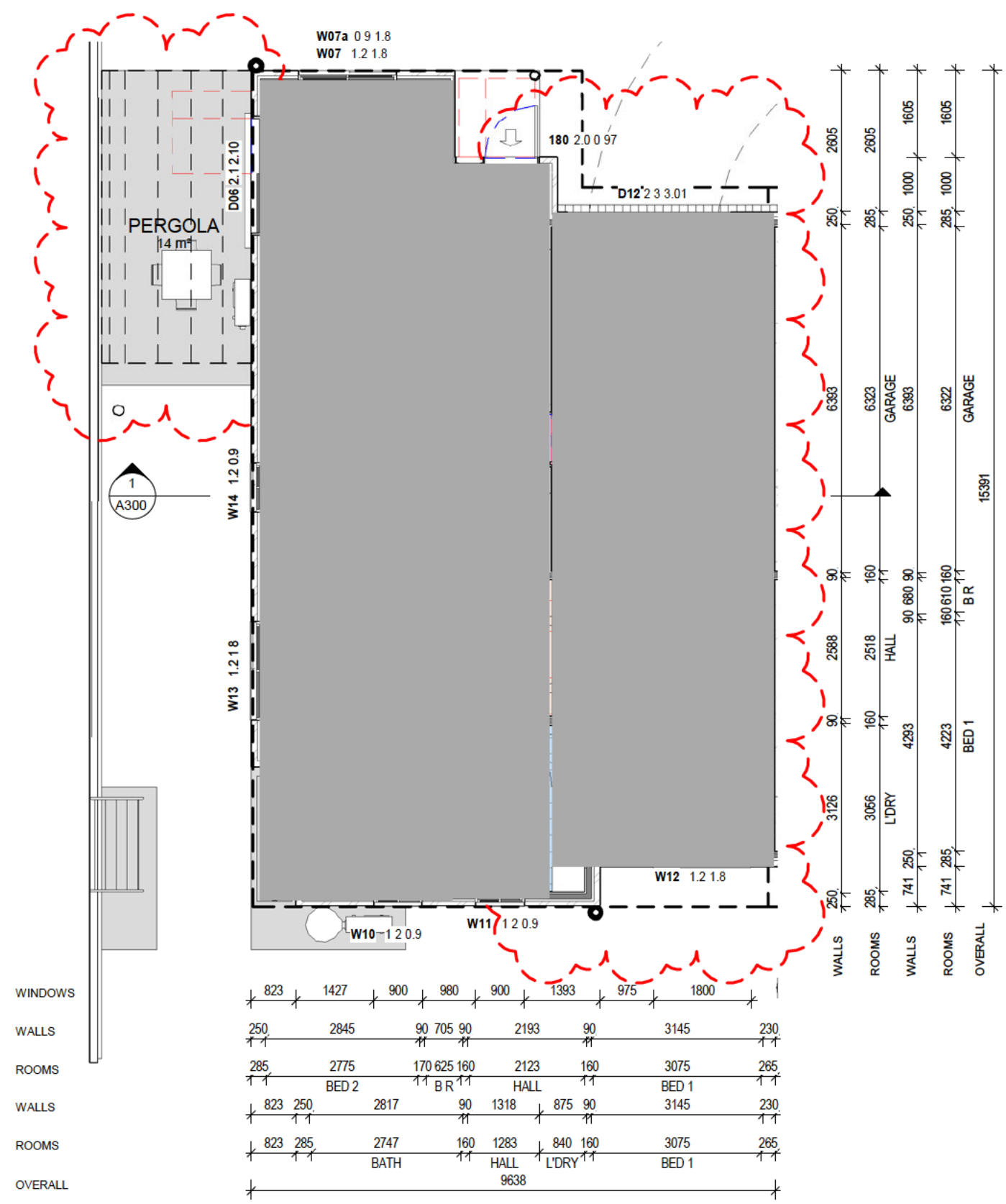


NO.	DATE	DESCRIPTION
A	30.09.21	FOR DA
B	17.02.22	TCCS & EVO ENERGY AMENDMENTS

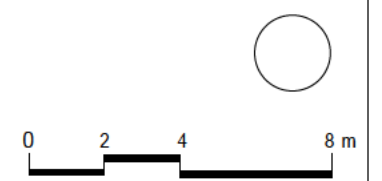
OVERALL	9638						
ROOMS	285	3270	195	1613	285	3725	265
WALLS	250	3340	160	1648	250	3760	230
ROOMS	285	3690	1388	160	3850	265	
		LOUNGE		ENTRY		GARAGE	

OVERALL	15391						
ROOMS	285	2412	160	3039	160	2780	285
WALLS	250	2482	90	3109	90	2700	250
ROOMS	285	13216	13286	2030	900	4194	851
WALLS	250	13286	13286	2030	900	4194	851
WINDOWS	2572	864	1800	2030	900	4194	851



WINDOWS	823	1427	900	980	900	1393	975	1800
WALLS	250	2845	90	705	90	2193	90	3145
ROOMS	285	2775	170	625	160	2123	160	3075
WALLS	823	250	2817	90	1318	875	90	3145
ROOMS	823	285	2747	160	1283	840	160	3075
OVERALL			BATH		HALL	L'DRY		BED 1
								9638

- LEGEND**
- MB METER BOX - RECESS INTO WALL, FIX TO STUD, FINISH FLUSH TO EXTERNAL WALL. ENSURE FULL INSULATION BEHIND METER BOX NO GAPS. INSULATE INTERNAL GARAGE WALLS TO R3
 - STRIP DRAIN - FLAT ENTRY
 - HWS HOT WATER STORAGE
 - HWC HOT WATER CONDENSER
 - AC AIR CONDITIONER
 - ACO AC OUTDOOR UNIT
 - RWT RAIN WATER TANK
 - WM WATER METER
 - CL CLOTHESLINE
 - DP DOWN PIPE



Client:
HOUSING ACT

Project Title:
6 SITES - NARRABUNDAH

Project Status:
DEVELOPMENT APPROVAL

Project Address:
32 STURT AVENUE NARRABUNDAH

Block: 10 Section: 48 Division: NARRABUNDAH

All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

Drawing Title:
FLOOR PLAN - UNIT 3

Design Project Manager: CH
Project Architect: CH
Design Verifier: SDV

Scale: As indicated
Sheet Size: A3
Drawn:

Project No: **2116**
Sheet No: **A102**
Amendment: **B**

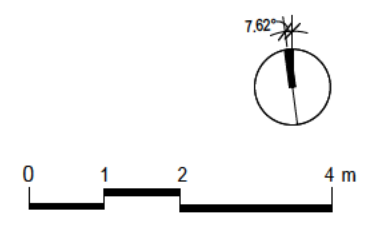
1 FLOOR PLAN - RESIDENCE 3
A200 1:100

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NO.	DATE	DESCRIPTION
A	23.08.21	FOR CLIENT REVIEW
B	23.07.21	FOR CLIENT REVIEW
C	30.07.21	FOR CLIENT REVIEW
D	08.08.21	FOR CLIENT REVIEW
E	13.08.21	FOR DA SUBMISSION
F	20.08.21	FOR DA SUBMISSION
G	30.09.21	FOR DA
H	12.10.21	FOR APPROVAL
I	11.02.22	FOR CLIENT REVIEW
J	17.02.22	TCCS & EVO ENERGY AMENDMENTS

LEGEND

	MB	METER BOX - RECESS INTO WALL, FIX TO STUD, FINISH FLUSH TO EXTERNAL WALL. ENSURE FULL INSULATION BEHIND METER BOX NO GAPS. INSULATE INTERNAL GARAGE WALLS TO R3
	STRIP DRAIN - FLAT ENTRY	
	HWS	HOT WATER STORAGE
	HWC	HOT WATER CONDENSER
	AC	AIR CONDITIONER
	ACO	AC OUTDOOR UNIT
	RWT	RAIN WATER TANK
	WM	WATER METER
	CL	CLOTHESLINE
	DP	DOWN PIPE



Client:
HOUSING ACT

Project Title:
6 SITES - NARRABUNDAH

Project Status:
DEVELOPMENT APPROVAL

Project Address:
32 STURT AVENUE NARRABUNDAH

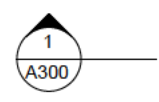
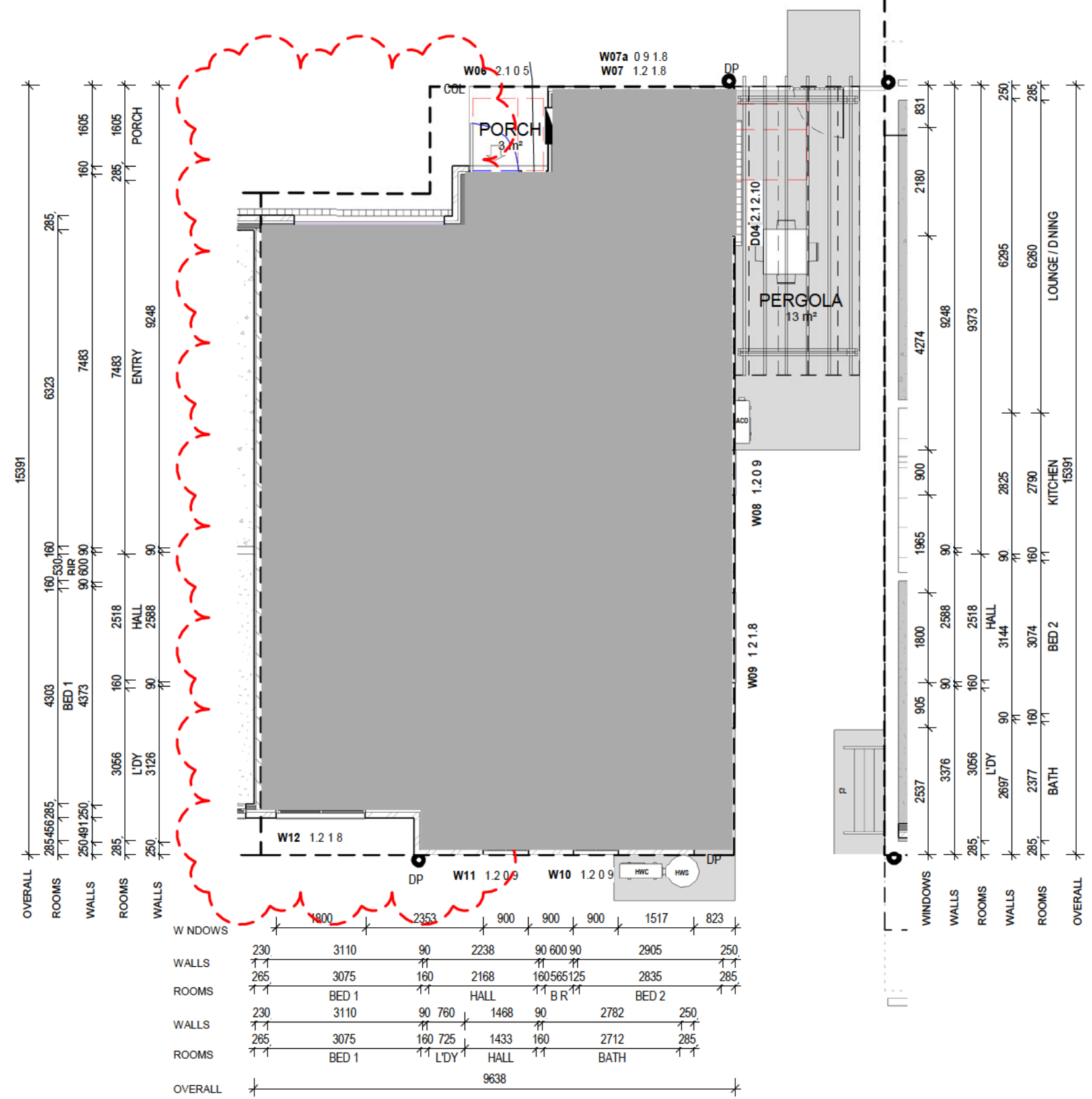
Block: 10 Section: 48 Division: NARRABUNDAH

All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

Drawing Title:
FLOOR PLAN - UNIT 2

Design Project Manager: CH	Project Architect: CH	Design Verifier: SDV
Scale: As indicated	Sheet Size: A3	Drawn: AP
Project No: 2116	Sheet No: A101	Amendment: J

OVERALL	9638						
ROOMS	265	3725	285	1613	195	3270	285
		GARAGE		ENTRY		LOUNGE	
WALLS	230	3725	250	1648	160	3340	250
ROOMS	265	3725	285	1388		3690	285
		GARAGE		HALL		KITCHEN	

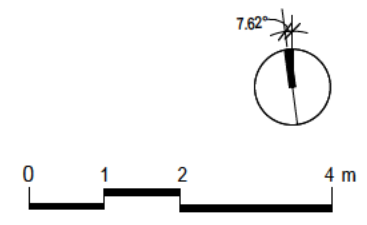


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NO.	DATE	DESCRIPTION
A	23.08.21	FOR CLIENT REVIEW
B	23.07.21	FOR CLIENT REVIEW
C	30.07.21	FOR CLIENT REVIEW
D	08.08.21	FOR CLIENT REVIEW
E	13.08.21	FOR DA SUBMISSION
F	20.08.21	FOR DA SUBMISSION
G	30.09.21	FOR DA
H	12.10.21	FOR APPROVAL
I	11.02.22	FOR CLIENT REVIEW
J	17.02.22	TCCS & EVO ENERGY AMENDMENTS

LEGEND

	MB	METER BOX - RECESS INTO WALL, FIX TO STUD, FINISH FLUSH TO EXTERNAL WALL. ENSURE FULL INSULATION BEHIND METER BOX NO GAPS. INSULATE INTERNAL GARAGE WALLS TO R3
		STRIP DRAIN - FLAT ENTRY
	HWS	HOT WATER STORAGE
	HWC	HOT WATER CONDENSER
	AC	AIR CONDITIONER
	ACO	AC OUTDOOR UNIT
	RWT	RAIN WATER TANK
	WM	WATER METER
	CL	CLOTHESLINE
	DP	DOWN PIPE



Client:
HOUSING ACT

Project Title:
6 SITES - NARRABUNDAH

Project Status:
DEVELOPMENT APPROVAL

Project Address:
32 STURT AVENUE NARRABUNDAH

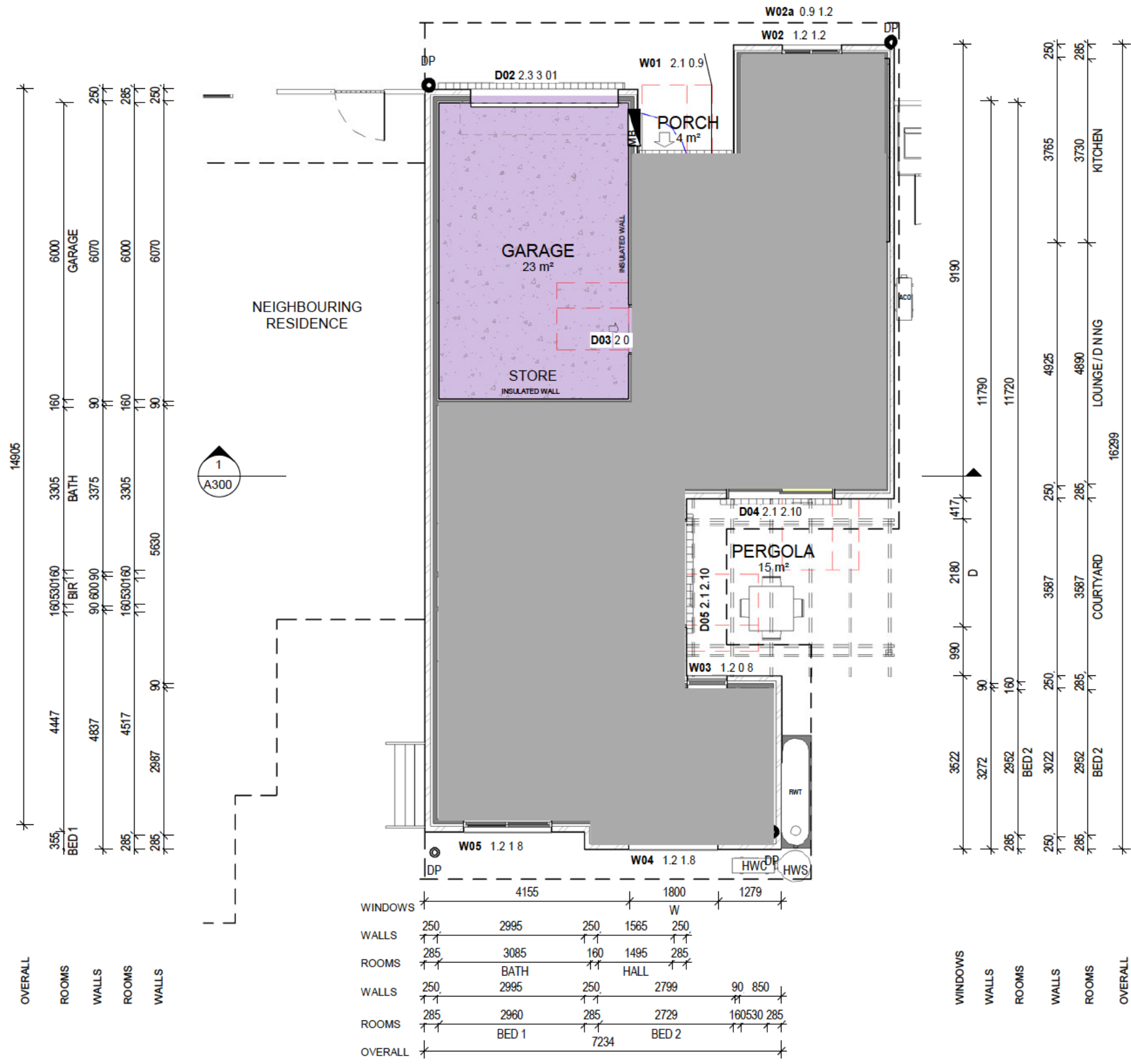
Block	Section	Division
10	48	NARRABUNDAH

All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

Drawing Title:
FLOOR PLAN - UNIT 1

Design Project Manager	Project Architect	Design Verifier
CH	CH	SDV
Scale:	Sheet Size:	Drawn:
As indicated	A3	AP
Project No.	Sheet No.	Amendment
2116	A100	J

OVERALL	9535							
ROOMS	285	3850	160	1995	160	2800	285	
WALLS	250	GARAGE	90	ENTRY	90	KITCHEN	250	
ROOMS	285	3085	160	1495	285	4225		
WALLS	250	BATH	90	HALL	250	4225		
WINDOWS	925	3010	390	1050	880	985	1200	1095
		GARAGE					W	



WINDOWS	4155			1800		1279	
WALLS	250	2995	250	1565	250		
ROOMS	285	3085	160	1495	285		
WALLS	250	2995	250	2799	90	850	
ROOMS	285	2960	285	2729	160530	285	
OVERALL		BED 1		BED 2			
			7234				

WINDOWS	9190	
WALLS	11790	11720
ROOMS	4925	4890
WALLS	3765	3730
ROOMS	3587	3587
OVERALL	16299	

OVERALL	14905	
ROOMS	6000	6070
WALLS	6070	6000
ROOMS	6000	6070
WALLS	6070	6000
ROOMS	3305	3375
WALLS	3375	3305
ROOMS	3305	3375
WALLS	3375	3305
ROOMS	5630	5630
WALLS	5630	5630
ROOMS	4447	4837
WALLS	4837	4517
ROOMS	4517	4447
WALLS	4447	4517
ROOMS	2987	2987
WALLS	2987	2987
ROOMS	3355	3355
WALLS	3355	3355
ROOMS	160530160	160530160
WALLS	160530160	160530160
ROOMS	90	90
WALLS	90	90
ROOMS	160	160
WALLS	160	160
ROOMS	90	90
WALLS	90	90
ROOMS	160	160
WALLS	160	160
ROOMS	3305	3305
WALLS	3305	3305
ROOMS	3375	3375
WALLS	3375	3375
ROOMS	6000	6000
WALLS	6000	6000
ROOMS	6070	6070
WALLS	6070	6070
ROOMS	160	160
WALLS	160	160
ROOMS	3305	3305
WALLS	3305	3305
ROOMS	3375	3375
WALLS	3375	3375
ROOMS	6000	6000
WALLS	6000	6000
ROOMS	6070	6070
WALLS	6070	6070

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Planning and Development Act 2007

Development Application

Application Number: **202139347**

Before Starting

PLEASE NOTE: This wizard will time out if left inactive for a period of more than two hours, after which time you will lose your application and be required to complete a new wizard. It is recommended you **save** this session if it is to be left inactive for an extended period of time.

Please ensure that your screen is set to the highest resolution (e.g. 1280 by 1024 pixels) to ensure all content in the wizard is visible.

I confirm I have provided all documentation in accordance with the [minimum documentation requirements for lodgement of a development application](#)

Confirm

Please note that fees apply for incomplete submissions.

Type of Application

The type of application you are applying for is a **New Application**

Are you applying for a:

Development Application

Has a pre-application meeting been held in relation to this proposal?

No

Lease/Site Details

Site Number: 1

If your rural property is identified by a Block/Section/Suburb, please select the "Urban" radio button.

Urban

Suburb	Section	Block Number	Unit Number
NARRABUNDAH	48	10	

Street Address

Applicant Details

What type of applicant are you:

Business

ACN or ABN

83074611215

Company Name

SQC Architecture

Position held / Title

architectural project manager

Salutation

None

First Name

Christie

Surname

Hartfiel

Postal Address 1

Unit 3, Level 1, 22 Thynne Street

Postal Address 2

Postal Address 3

Suburb

BRUCE

State/Territory

ACT

Postcode

2617

Country

Australia

Phone Number

62788500

Fax Number

Mobile Number

Email

studio@sqca.com.au

Lessee (Property Owners) Details

Lessee Number: 1

Is the Lessee a:

 Organisation or Government entity

Australian Business Number (ABN)

90375813807

Company Name

ACT Commissioner for Social Housing

Position held / Title

Salutation

None

First Name

Sam

Surname

Chu

Postal Address 1

Nature Conservation House

Postal Address 2

153 Emu Bank

Postal Address 3

Locked Bag 3000

Suburb

Belconnen

State/Territory

ACT

Postcode

2617

Country

Australia

Phone Number

62050821

Fax Number

Mobile Number

Email

Sam.Chu@act.gov.au

Notice of Decision and Plans

Please specify the delivery method for the return of plans. Unless otherwise specified, your Notice of Decision and/or plans will be returned via email.

Email

Are you applying for an [Estate Development Plan](#) OR *Home Business*?

No

Zone

Please specify which zone applies to this application (please select one zone only). Please click [here](#) to access ACTMAPi and locate the zone.

RZ1 Suburban zone

If more than one zone is applicable to your application, please specify them below:

Development/Precinct Code

Please specify which development code applies to this application.

Residential zones - Multi-Unit Housing Development Code

Please specify all relevant precinct code/s applied to your proposal

Loose-Fill Asbestos

Is this a loose-fill asbestos affected ("Mr Fluffy") block?

No

Fully Describe Your Proposal

Please provide a full description of your proposal (Note: This must accurately describe all aspects of your proposal and include any lease changes being applied for.)

New Residential dwellings for supportive housing. 3 new dwellings, detached, each with a new pergola. New proposed driveway and verge works maintaining existing verge levels.

Proposed Use of the Land

Describe the use of the development. **Example:** Residential use for a maximum of 7 residential units. (Note: Please refer to the Territory Plan definitions for land use definitions. Please also consider what is permitted under any Crown Lease for the site.)

Residential use for supportive housing, maximum 3 dwellings.

Is the proposed use consistent with the current Crown lease?

No

Assessment Track

Please indicate which assessment track applies to this Development Application: (If you are not sure which assessment track applies, please contact Environment, Planning and Sustainable Development Directorate on (02)62071923)

Merit

For more information about which track your development application will be assessed in, please click [here](#). *Please note, the Environment, Planning and Sustainable Development Directorate may refuse to accept a development application made in an incorrect assessment track. If the Environment, Planning and Sustainable Development Directorate assesses an application made in the incorrect assessment track it must refuse the application (S.114 (3)).*

Type of Development

Please indicate which type of development applies to this development application.

Multiple Dwelling

Multiple Dwelling

Please select a Multiple Dwelling sub type:

New Development

Number of new dwellings to be constructed

Total number of Dwellings on the block

Does your proposal involve work on a Dual Occupancy development?

No

Community Consultation Summary

Is this proposal -

A building for residential use with 3 or more storeys and 15 or more dwellings?

No

A building with a gross floor area of more than 5000m²?

No

A building or structure more than 25m above finished ground level?

No

A variation of a lease to remove its concessional status?

No

Please Note A development application cannot be lodged if the development proposal meets one of the triggers and the application does not include the pre-DA lodgement community consultation form.

National Capital Design Review Panel (NCDRP)

Does the proposal include building/s that are five (5) or more storeys?

No

Have you consulted with the National Capital Design Review Panel (NCDRP)?

No

From 1 October 2019, a proponent must consult with the NCDRP about a development proposal that is 5 or more storeys. Application will not progress, please contact designreview@act.gov.au

Gross Floor Area (GFA) and Cost of Works

Please ensure that all values contain a decimal point followed by two digits

Gross Floor Area Calculation

A - Gross Floor Area (existing) (m²)

B - Gross Floor Area to be demolished (m²)

C - Gross Floor Area to be added (m²)

D - Total Gross Floor Area of development (A-B+C)(m²)

E - COST OF WORKS (\$)

Other Area Calculation (not already included in the areas provided above)

F - Area of other BCA Class 10 structures included in this application
(e.g. metal carport, pergola, deck, verandah) (m²)

G - Parking areas – undercover

H - COST OF WORKS (F & G) (\$)

Cost of Associated Works

I - Cost of all associated works such as landscaping (\$)

J - Cost of all public works and/or off site works (\$)

K - TOTAL COST OF WORKS (E+H+I+J)

Cost of works **MUST be calculated in accordance with the current version of [Building \(General\) \(Cost of Building Work\) Determination](#) OR a summary of costs from a bill of quantities prepared by a quantity surveyor supplied with application. A summary of costs from a bill of quantities MAY be requested for proposals where cost of work is between \$0 and \$10 million. A summary of costs from a bill of quantities **MUST** be provided for proposals where cost of work is over \$10 million.*

Demolition, Trees, Waste Management

Demolition

Is the [Demolition](#) item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

Please seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application **OR** provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Authority. Please click [here](#) for more information about entity referral requirements.

Trees

"Protected tree" is defined under the [Tree Protection Act 2005](#). In accordance with section 148 of the [Planning and Development Act 2007](#), where the development proposal requires groundwork within the tree protection zone of a protected tree, or is likely to cause damage to or removal of, any protected trees, the application is to be accompanied by a Tree Management Plan For more information about urban tree protection in the ACT, please click [here](#).

Is the Trees item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

Please seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application **OR** provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Authority. Please click [here](#) for more information about entity referral requirements.

Waste Management

NOTE: Only relevant for single dwelling housing where the development will generate a total of 20 cubic metres or greater of demolition and/or excavation waste

Is the Waste Management item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

Please seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application **OR** provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Authority. Please click [here](#) for more information about entity referral requirements.

Heritage

Is the [Heritage](#) item relevant to your proposal?

No

Hazardous Materials, Contamination, Erosion and Sediment Control

Hazardous Material

Is the Hazardous Materials item relevant to your proposal?

No

Contamination

Is the Contamination item relevant to your proposal?

No

Erosion and Sediment Control (for sites less than 0.3 of a hectare)

Is the Erosion and Sediment Control (for sites less than 0.3 of a hectare) item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

Please seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application **OR** provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Authority. Please click [here](#) for more information about entity referral requirements.

For works such as class 10 structures, additions and alterations, and backyard swimming pools - a note on the plan that "the development will comply with the ACT Environment Protection Authority, Environment Protection Guidelines for Construction and Land Development in the ACT" is required. In circumstances where there is a reasonable risk that soil from the required earth works in the front of the block will impact on the stormwater system because the block slopes towards the street a separate Erosion & Sediment Control Plan will be required

Erosion and Sediment Control (for sites greater than 0.3 of a hectare)

Is the Erosion and Sediment Control (for sites greater than 0.3 of a hectare) item relevant to your proposal?

No

Servicing & Site Management, Utilities

Servicing and Site Management

Is the Servicing and Site Management item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

Please seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application **OR** provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Authority. Please click [here](#) for more information about entity referral requirements.

Utilities

Is the [Utilities](#) item relevant to your proposal?

Yes

Please tick the relevant entities

Electricity

Sewerage

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

Please seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application **OR** provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Authority. Please click [here](#) for more information about entity referral requirements.

Are you relocating or constructing any new services?(If unsure please contact relevant service providers before submitting this application).

No

Subdivision (residential zones)

Subdivision (residential zones)

Is the Subdivision (residential zones) item relevant to your proposal?

No

If you intend to subdivide this development under the Planning and Development Act 2007 in the

future, please note this in your application and contact the relevant service providers regarding additional requirements prior to submitting this application.

National Capital Plan, Crime Prevention, Access & Mobility, Traffic Generation

National Capital Plan

Is the *National Capital Plan* item relevant to your proposal?

No

Crime Prevention through Environmental Design

Is the *Crime Prevention* item relevant to your proposal?

No

Access and Mobility

Is the Access and Mobility item relevant to your proposal?

No

Traffic Generation

Is the Traffic Generation item relevant to your proposal?

No

Parking

Parking (car)

Is the *Parking (car)* item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the *Territory Plan*?

Yes

Parking (bicycle)

Is the *Parking (bicycle)* item relevant to your proposal?

No

Signs, Neighbourhood Plans, Water Sensitive Urban Design

Signs

Is the *Signs* item relevant to your proposal?

No

Neighbourhood Plans

Is the [Neighbourhood Plans](#) item relevant to your proposal?

No

Water Sensitive Urban Design (Mains Water Consumption)

Is the Water Sensitive Urban Design (Mains Water Consumption) item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the [Territory Plan](#)?

Yes

Water Sensitive Urban Design (Stormwater Quality)

Is the Water Sensitive Urban Design (Stormwater Quality) item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the [Territory Plan](#)?

Yes

Water Sensitive Urban Design

Water Sensitive Urban Design (Stormwater Quantity)

Is the Water Sensitive Urban Design (Stormwater Quantity) item relevant to your application?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the [Territory Plan](#)?

Yes

Driveways (For works on verge only)

PLEASE NOTE: For proposals that include construction or modification of a driveway this application **MUST** be signed by the land custodian (Government Land Custodian - Asset Acceptance) as the works will be undertaken on unleased land **EXCEPT FOR DUAL OCCUPANCY DEVELOPMENT PROPOSALS**. For more information on driveways, garages and carports, please click [here](#).

Does your proposal include construction or modification of driveway/s?

Yes

Please indicate the works to be undertaken

Construction of new driveway

Survey Requirements - S.139(2)(l) - P & D Act 2007

If this application is for approval of a development that requires construction work to be carried out on land that has previously been developed and is not leased for rural purposes, a survey certificate for the land where the development is to be carried out (prepared and signed by a registered surveyor) must accompany this application unless exempt by Regulation 25 of the [Planning and Development Regulations 2008](#)

Do you have a survey certificate with this application?

Yes

Development Undertaken Without Approval - S.205 - P & D Act 2007

Is this application for development undertaken without approval?

No

*If YES - Under Section 139(2)(m) of the Planning and Development Act 2007, plans of the development signed by a registered surveyor confirming the location and dimensions of the development **must** be submitted with this application. The plans need to confirm the height, width and length dimensions of the development and the setback dimensions of the development from the block boundaries. The information may be provided on one plan or on a series of plans provided each plan is signed by a registered surveyor. Note: For all unapproved development involving construction the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features must comply with utility standards, access provisions and asset clearance zones. For more information on development exempt from approval, please click [here](#). For more information on development applications for developments undertaken without approval, please refer to S205 under the [Planning and Development Act 2007](#)*

Exclusion from Public Inspection

In accordance with the requirements of Sections 28 and 30 of the [Planning and Development Act 2007](#), the Environment, Planning and Sustainable Development Directorate must make the details and associated documents relevant to a development application available for public inspection.

If you wish to apply to have all or part of this development application excluded from public inspection, you must meet the requirements of Section 411(5) or 412(1) of the Planning and Development Act 2007

Are you requesting an exclusion from [Public Inspection](#)?

No

Conflict of Interest Declaration

Does the applicant or the lessee have any association with the Environment, Planning and Sustainable Development Directorate staff?

No

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation

Applicant/Lessee Declaration

I/we hereby apply for approval to carry out the development described on the land specified in this application;

I/we declare that this application is accompanied by all of the required information or documents that address the relevant rules and/or relevant criteria for it to be considered for approval;

I/we understand that the information submitted with this application form will undergo a documentation check prior to the payment of fees and formal lodgement of the application. Further information may be required prior to the acceptance of the development application by the Directorate;

I/we have provided all relevant documentation in accordance with the [minimum documentation requirements for lodgement of a Development Application \(DA\)](#). Please note, a fee may be charged if your application does not contain all the required documentation;

I/we understand that this application will be considered lodged once the relevant application fees have been paid;

I/we understand that if during the assessment of this application it is found to have been submitted in the incorrect assessment track the application will be refused and I/we will not be entitled to a refund or transfer of fees;

I/we understand that the documentation provided on CD/DVD or via the electronic lodgement process will be considered to be the relevant documentation associated with this application. All development application documentation will be made available for [public inspection](#) including via the Internet unless exclusion has been approved;

If the time for deciding the application (prescribed period) has ended and a decision has not been reached I/we understand that the application will be deemed refused and the Environment, Planning and Sustainable Development Directorate will not provide written advice of this decision. I/we also understand that the Environment, Planning and Sustainable Development Directorate is able to still consider the application and make a decision after the expiration of the prescribed period;

I/we hereby authorise the Environment, Planning and Sustainable Development Directorate its servants and agents to erect sign/s on the subject property(s) as required;

I/we hereby authorise ACT Government officers to access the subject property(s) for the purpose of evaluating the proposal(including the inspection of driveways and trees);

I/we (lessee) appoint the applicant whose signature appears in the attached *letter of appointment* to act on my/our behalf in relation to this Development Application. This authorises the applicant to pay all application fees, bonds and securities, liaise with the Environment, Planning and Sustainable Development Directorate when required, alter, amend or provide further information as necessary and receive any communications relating to this Development Application;

I understand that costs associated with the relocation of any engineering services (light poles, storm water, sumps etc) will be at my expense and that I will indemnify the ACT Government, its servants and agents against any claims arising during the relocation of these services;

I understand that construction of any driveway associated with this application may not commence until the contractor has received endorsement by the relevant government entity;

I understand that a Certificate of Design Acceptance and a Road Opening Permit and Temporary Management Plan must be obtained from the relevant government agencies prior to the start of construction works;

I/we declare that all the information given on this form and its attachments is true and complete;

If lodging on behalf of a company, organisation or Government agency: -

I/we declare I/we have the appropriate delegation or authority to sign on behalf of the company, organisation or Government agency;

I declare that I am the person shown in this eDA form as the Applicant, and by clicking the ACCEPT button below I understand that this replaces my requirement to sign a hard copy of this application.

I accept the above declarations

Accept

Acceptance Date

05 Oct 2021

Before Submitting

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To avoid delays ensure all required sections of the wizard are answered correctly and all required

documentation is uploaded. In particular:

1. A signed appointment letter from all lessee's must be provided if works are to performed on the verge, a signed endorsement letter must be provided by the relevant Government Custodian;
2. Public register plans for residential applications are included;
3. You **MUST** include a statement against the criteria for development applications that will be assessed in the Merit track;
4. If the application is for a single unit on a unit titled block body corporate authorisation is required if there is works on a common property

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Does the Commonwealth Environment Protection and Biodiversity Conservation Act 1999 (EPBC) affect your proposal?

The EPBC came into operation on 16 July 2000. It establishes an environmental assessment and approval system that is separate and distinct from the ACT system. It does not affect the validity of ACT development assessment and approval processes, but may affect the assessment track. The ACT cannot provide preliminary advice on whether a proposal falls within the definition of a controlled action, or requires referral to the Commonwealth. You should consult with the Commonwealth to determine if your proposal is a controlled action before seeking any approvals under the Planning and Development Act 2007. For information about the EPBC, including the referral process and when a referral should be made, contact: the Department of Sustainability, Environment, Water, Population and Communities, GPO Box 787, CANBERRA ACT 2601
Telephone: 62741111

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Phone: (02) 6207 1923 Email: epdcustomerservices@act.gov.au Website:
www.environment.act.gov.au

Planning and Development Act 2007

Development Application

Application Number: **202139347**

Before Starting

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I confirm I have provided all documentation in accordance with the [minimum documentation requirements for lodgement of a development application](#)

Confirm

Please note that fees apply for incomplete submissions.

Type of Application

The type of application you are applying for is a **New Application**

Are you applying for a:

Development Application

Has a pre-application meeting been held in relation to this proposal?

No

Lease/Site Details

Site Number: 1

If your rural property is identified by a Block/Section/Suburb, please select the "Urban" radio button.

Urban

Suburb	Section	Block Number	Unit Number
<input type="text" value="NARRABUNDAH"/>	<input type="text" value="48"/>	<input type="text" value="10"/>	<input type="text"/>

Street Address

Applicant Details

What type of applicant are you:

Business

ACN or ABN

Company Name

Position held / Title

Salutation

First Name

Surname

Postal Address 1

Postal Address 2

Postal Address 3

Suburb

State/Territory

Postcode

Country

Phone Number

Fax Number

Mobile Number

Email

Lessee (Property Owners) Details

Lessee Number: 1

Is the Lessee a:

 Organisation or Government entity

Australian Business Number (ABN)

Company Name

Position held / Title

Salutation

First Name

Surname

Postal Address 1

Postal Address 2

Postal Address 3

Suburb

State/Territory

Postcode

Country

Phone Number

Fax Number

Mobile Number

Email

Notice of Decision and Plans

Please specify the delivery method for the return of plans. Unless otherwise specified, your Notice of Decision and/or plans will be returned via email.

Email

Are you applying for an [Estate Development Plan](#) OR *Home Business*?

No

Zone

Please specify which zone applies to this application (please select one zone only). Please click [here](#) to access ACTMAPi and locate the zone.

RZ1 Suburban zone

If more than one zone is applicable to your application, please specify them below:

Development/Precinct Code

Please specify which development code applies to this application.

Residential zones - Multi-Unit Housing Development Code

Please specify all relevant precinct code/s applied to your proposal

Loose-Fill Asbestos

Is this a loose-fill asbestos affected ("Mr Fluffy") block?

No

Fully Describe Your Proposal

Please provide a full description of your proposal (Note: This must accurately describe all aspects of your proposal and include any lease changes being applied for.)

New Residential dwellings for supportive housing. 3 new dwellings, detached, each with a new pergola. New proposed driveway and verge works maintaining existing verge levels.

Proposed Use of the Land

Describe the use of the development. **Example:** Residential use for a maximum of 7 residential units. (Note: Please refer to the Territory Plan definitions for land use definitions. Please also consider what is permitted under any Crown Lease for the site.)

Residential use for supportive housing, maximum 3 dwellings.

Is the proposed use consistent with the current Crown lease?

No

Assessment Track

Please indicate which assessment track applies to this Development Application: (If you are not sure which assessment track applies, please contact Environment, Planning and Sustainable Development Directorate on (02)62071923)

Merit

For more information about which track your development application will be assessed in, please click [here](#). *Please note, the Environment, Planning and Sustainable Development Directorate may refuse to accept a development application made in an incorrect assessment track. If the Environment, Planning and Sustainable Development Directorate assesses an application made in the incorrect assessment track it must refuse the application (S.114 (3)).*

Type of Development

Please indicate which type of development applies to this development application.

Multiple Dwelling

Multiple Dwelling

Please select a Multiple Dwelling sub type:

New Development

Number of new dwellings to be constructed

Total number of Dwellings on the block

Does your proposal involve work on a Dual Occupancy development?

No

Community Consultation Summary

Is this proposal -

A building for residential use with 3 or more storeys and 15 or more dwellings?

No

A building with a gross floor area of more than 5000m²?

No

A building or structure more than 25m above finished ground level?

No

A variation of a lease to remove its concessional status?

No

Please Note A development application cannot be lodged if the development proposal meets one of the triggers and the application does not include the pre-DA lodgement community consultation form.

National Capital Design Review Panel (NCDRP)

Does the proposal include building/s that are five (5) or more storeys?

No

Have you consulted with the National Capital Design Review Panel (NCDRP)?

No

From 1 October 2019, a proponent must consult with the NCDRP about a development proposal that is 5 or more storeys. Application will not progress, please contact designreview@act.gov.au

Gross Floor Area (GFA) and Cost of Works

Please ensure that all values contain a decimal point followed by two digits

Gross Floor Area Calculation

A - Gross Floor Area (existing) (m²)

B - Gross Floor Area to be demolished (m²)

C - Gross Floor Area to be added (m²)

D - Total Gross Floor Area of development (A-B+C)(m²)

E - COST OF WORKS (\$)

Other Area Calculation (not already included in the areas provided above)

F - Area of other BCA Class 10 structures included in this application
(e.g. metal carport, pergola, deck, verandah) (m²)

G - Parking areas – undercover

H - COST OF WORKS (F & G) (\$)

Cost of Associated Works

I - Cost of all associated works such as landscaping (\$)

J - Cost of all public works and/or off site works (\$)

K - TOTAL COST OF WORKS (E+H+I+J)

Cost of works **MUST be calculated in accordance with the current version of [Building \(General\) \(Cost of Building Work\) Determination](#) OR a summary of costs from a bill of quantities prepared by a quantity surveyor supplied with application. A summary of costs from a bill of quantities MAY be requested for proposals where cost of work is between \$0 and \$10 million. A summary of costs from a bill of quantities **MUST** be provided for proposals where cost of work is over \$10 million.*

Demolition, Trees, Waste Management

Demolition

Is the [Demolition](#) item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

Please seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application **OR** provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Authority. Please click [here](#) for more information about entity referral requirements.

Trees

"Protected tree" is defined under the [Tree Protection Act 2005](#). In accordance with section 148 of the [Planning and Development Act 2007](#), where the development proposal requires groundwork within the tree protection zone of a protected tree, or is likely to cause damage to or removal of, any protected trees, the application is to be accompanied by a Tree Management Plan For more information about urban tree protection in the ACT, please click [here](#).

Is the Trees item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

Please seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application **OR** provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Authority. Please click [here](#) for more information about entity referral requirements.

Waste Management

NOTE: Only relevant for single dwelling housing where the development will generate a total of 20 cubic metres or greater of demolition and/or excavation waste

Is the Waste Management item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

Please seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application **OR** provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Authority. Please click [here](#) for more information about entity referral requirements.

Heritage

Is the [Heritage](#) item relevant to your proposal?

No

Hazardous Materials, Contamination, Erosion and Sediment Control

Hazardous Material

Is the Hazardous Materials item relevant to your proposal?

No

Contamination

Is the Contamination item relevant to your proposal?

No

Erosion and Sediment Control (for sites less than 0.3 of a hectare)

Is the Erosion and Sediment Control (for sites less than 0.3 of a hectare) item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

Please seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application **OR** provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Authority. Please click [here](#) for more information about entity referral requirements.

For works such as class 10 structures, additions and alterations, and backyard swimming pools - a note on the plan that "the development will comply with the ACT Environment Protection Authority, Environment Protection Guidelines for Construction and Land Development in the ACT" is required. In circumstances where there is a reasonable risk that soil from the required earth works in the front of the block will impact on the stormwater system because the block slopes towards the street a separate Erosion & Sediment Control Plan will be required

Erosion and Sediment Control (for sites greater than 0.3 of a hectare)

Is the Erosion and Sediment Control (for sites greater than 0.3 of a hectare) item relevant to your proposal?

No

Servicing & Site Management, Utilities

Servicing and Site Management

Is the Servicing and Site Management item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

Please seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application **OR** provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Authority. Please click [here](#) for more information about entity referral requirements.

Utilities

Is the [Utilities](#) item relevant to your proposal?

Yes

Please tick the relevant entities

Electricity

Sewerage

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

Please seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application **OR** provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Authority. Please click [here](#) for more information about entity referral requirements.

Are you relocating or constructing any new services?(If unsure please contact relevant service providers before submitting this application).

No

Subdivision (residential zones)

Subdivision (residential zones)

Is the Subdivision (residential zones) item relevant to your proposal?

No

If you intend to subdivide this development under the Planning and Development Act 2007 in the

future, please note this in your application and contact the relevant service providers regarding additional requirements prior to submitting this application.

National Capital Plan, Crime Prevention, Access & Mobility, Traffic Generation

National Capital Plan

Is the *National Capital Plan* item relevant to your proposal?

No

Crime Prevention through Environmental Design

Is the *Crime Prevention* item relevant to your proposal?

No

Access and Mobility

Is the Access and Mobility item relevant to your proposal?

No

Traffic Generation

Is the Traffic Generation item relevant to your proposal?

No

Parking

Parking (car)

Is the *Parking (car)* item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the *Territory Plan*?

Yes

Parking (bicycle)

Is the *Parking (bicycle)* item relevant to your proposal?

No

Signs, Neighbourhood Plans, Water Sensitive Urban Design

Signs

Is the *Signs* item relevant to your proposal?

No

Neighbourhood Plans

Is the [Neighbourhood Plans](#) item relevant to your proposal?

No

Water Sensitive Urban Design (Mains Water Consumption)

Is the Water Sensitive Urban Design (Mains Water Consumption) item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the [Territory Plan](#)?

Yes

Water Sensitive Urban Design (Stormwater Quality)

Is the Water Sensitive Urban Design (Stormwater Quality) item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the [Territory Plan](#)?

Yes

Water Sensitive Urban Design

Water Sensitive Urban Design (Stormwater Quantity)

Is the Water Sensitive Urban Design (Stormwater Quantity) item relevant to your application?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the [Territory Plan](#)?

Yes

Driveways (For works on verge only)

PLEASE NOTE: For proposals that include construction or modification of a driveway this application **MUST** be signed by the land custodian (Government Land Custodian - Asset Acceptance) as the works will be undertaken on unleased land **EXCEPT FOR DUAL OCCUPANCY DEVELOPMENT PROPOSALS**. For more information on driveways, garages and carports, please click [here](#).

Does your proposal include construction or modification of driveway/s?

Yes

Please indicate the works to be undertaken

Construction of new driveway

Survey Requirements - S.139(2)(l) - P & D Act 2007

If this application is for approval of a development that requires construction work to be carried out on land that has previously been developed and is not leased for rural purposes, a survey certificate for the land where the development is to be carried out (prepared and signed by a registered surveyor) must accompany this application unless exempt by Regulation 25 of the [Planning and Development Regulations 2008](#)

Do you have a survey certificate with this application?

Yes

Development Undertaken Without Approval - S.205 - P & D Act 2007

Is this application for development undertaken without approval?

No

*If YES - Under Section 139(2)(m) of the Planning and Development Act 2007, plans of the development signed by a registered surveyor confirming the location and dimensions of the development **must** be submitted with this application. The plans need to confirm the height, width and length dimensions of the development and the setback dimensions of the development from the block boundaries. The information may be provided on one plan or on a series of plans provided each plan is signed by a registered surveyor. Note: For all unapproved development involving construction the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features must comply with utility standards, access provisions and asset clearance zones. For more information on development exempt from approval, please click [here](#). For more information on development applications for developments undertaken without approval, please refer to S205 under the [Planning and Development Act 2007](#)*

Exclusion from Public Inspection

In accordance with the requirements of Sections 28 and 30 of the [Planning and Development Act 2007](#), the Environment, Planning and Sustainable Development Directorate must make the details and associated documents relevant to a development application available for public inspection.

If you wish to apply to have all or part of this development application excluded from public inspection, you must meet the requirements of Section 411(5) or 412(1) of the Planning and Development Act 2007

Are you requesting an exclusion from [Public Inspection](#)?

No

Conflict of Interest Declaration

Does the applicant or the lessee have any association with the Environment, Planning and Sustainable Development Directorate staff?

No

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation

Applicant/Lessee Declaration

I/we hereby apply for approval to carry out the development described on the land specified in this application;

I/we declare that this application is accompanied by all of the required information or documents that address the relevant rules and/or relevant criteria for it to be considered for approval;

I/we understand that the information submitted with this application form will undergo a documentation check prior to the payment of fees and formal lodgement of the application. Further information may be required prior to the acceptance of the development application by the Directorate;

I/we have provided all relevant documentation in accordance with the [minimum documentation requirements for lodgement of a Development Application \(DA\)](#). Please note, a fee may be charged if your application does not contain all the required documentation;

I/we understand that this application will be considered lodged once the relevant application fees have been paid;

I/we understand that if during the assessment of this application it is found to have been submitted in the incorrect assessment track the application will be refused and I/we will not be entitled to a refund or transfer of fees;

I/we understand that the documentation provided on CD/DVD or via the electronic lodgement process will be considered to be the relevant documentation associated with this application. All development application documentation will be made available for [public inspection](#) including via the Internet unless exclusion has been approved;

If the time for deciding the application (prescribed period) has ended and a decision has not been reached I/we understand that the application will be deemed refused and the Environment, Planning and Sustainable Development Directorate will not provide written advice of this decision. I/we also understand that the Environment, Planning and Sustainable Development Directorate is able to still consider the application and make a decision after the expiration of the prescribed period;

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I accept the above declarations

Accept

Acceptance Date

21 Oct 2021

Before Submitting

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Does the Commonwealth Environment Protection and Biodiversity Conservation Act 1999 (EPBC) affect your proposal?

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Phone: (02) 6207 1923 Email: epdcustomerservices@act.gov.au Website:
www.environment.act.gov.au

Planning and Development Act 2007

Development Application

Application Number: **202139347**

Before Starting

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Confirm

Please note that fees apply for incomplete submissions.

Type of Application

The type of application you are applying for is a **New Application**

Are you applying for a:

Development Application

Has a pre-application meeting been held in relation to this proposal?

No

Lease/Site Details

Site Number: 1

If your rural property is identified by a Block/Section/Suburb, please select the "Urban" radio button.

Urban

Suburb

Section

Block Number

Unit Number

Street Address

Applicant Details

What type of applicant are you:

Business

ACN or ABN

Company Name

Position held / Title

Salutation

First Name

Surname

Postal Address 1

Postal Address 2

Postal Address 3

Suburb

State/Territory

Postcode

Country

Phone Number

Fax Number

Mobile Number

Email

Lessee (Property Owners) Details

Lessee Number: 1

Is the Lessee a:

 Organisation or Government entity

Australian Business Number (ABN)

Company Name

Position held / Title

Salutation

First Name

Surname

Postal Address 1

Postal Address 2

Postal Address 3

Suburb

State/Territory

Postcode

Country

Phone Number

Fax Number

Mobile Number

Email

Notice of Decision and Plans

Please specify the delivery method for the return of plans. Unless otherwise specified, your Notice of Decision and/or plans will be returned via email.

Email

Are you applying for an [Estate Development Plan](#) OR *Home Business*?

No

Zone

Please specify which zone applies to this application (please select one zone only). Please click [here](#) to access ACTMAPi and locate the zone.

RZ1 Suburban zone

If more than one zone is applicable to your application, please specify them below:

Development/Precinct Code

Please specify which development code applies to this application.

Residential zones - Multi-Unit Housing Development Code

Please specify all relevant precinct code/s applied to your proposal

Loose-Fill Asbestos

Is this a loose-fill asbestos affected ("Mr Fluffy") block?

No

Fully Describe Your Proposal

Please provide a full description of your proposal (Note: This must accurately describe all aspects of your proposal and include any lease changes being applied for.)

New Residential dwellings for supportive housing. 3 new dwellings, detached, each with a new pergola. New proposed driveway and verge works maintaining existing verge levels.

Proposed Use of the Land

Describe the use of the development. **Example:** Residential use for a maximum of 7 residential units. (Note: Please refer to the Territory Plan definitions for land use definitions. Please also consider what is permitted under any Crown Lease for the site.)

Residential use for supportive housing, maximum 3 dwellings.

Is the proposed use consistent with the current Crown lease?

No

Assessment Track

Please indicate which assessment track applies to this Development Application: (If you are not sure which assessment track applies, please contact Environment, Planning and Sustainable Development Directorate on (02)62071923)

Merit

For more information about which track your development application will be assessed in, please click [here](#). *Please note, the Environment, Planning and Sustainable Development Directorate may refuse to accept a development application made in an incorrect assessment track. If the Environment, Planning and Sustainable Development Directorate assesses an application made in the incorrect assessment track it must refuse the application (S.114 (3)).*

Type of Development

Please indicate which type of development applies to this development application.

Multiple Dwelling

Multiple Dwelling

Please select a Multiple Dwelling sub type:

New Development

Number of new dwellings to be constructed

Total number of Dwellings on the block

Does your proposal involve work on a Dual Occupancy development?

No

Community Consultation Summary

Is this proposal -

A building for residential use with 3 or more storeys and 15 or more dwellings?

No

A building with a gross floor area of more than 5000m²?

No

A building or structure more than 25m above finished ground level?

No

A variation of a lease to remove its concessional status?

No

Please Note A development application cannot be lodged if the development proposal meets one of the triggers and the application does not include the pre-DA lodgement community consultation form.

National Capital Design Review Panel (NCDRP)

Does the proposal include building/s that are five (5) or more storeys?

No

Have you consulted with the National Capital Design Review Panel (NCDRP)?

No

From 1 October 2019, a proponent must consult with the NCDRP about a development proposal that is 5 or more storeys. Application will not progress, please contact designreview@act.gov.au

Gross Floor Area (GFA) and Cost of Works

Please ensure that all values contain a decimal point followed by two digits

Gross Floor Area Calculation

A - Gross Floor Area (existing) (m²)

B - Gross Floor Area to be demolished (m²)

C - Gross Floor Area to be added (m²)

D - Total Gross Floor Area of development (A-B+C)(m²)

E - COST OF WORKS (\$)

Other Area Calculation (not already included in the areas provided above)

F - Area of other BCA Class 10 structures included in this application
(e.g. metal carport, pergola, deck, verandah) (m²)

G - Parking areas – undercover

H - COST OF WORKS (F & G) (\$)

Cost of Associated Works

I - Cost of all associated works such as landscaping (\$)

J - Cost of all public works and/or off site works (\$)

K - TOTAL COST OF WORKS (E+H+I+J)

Cost of works **MUST be calculated in accordance with the current version of [Building \(General\) \(Cost of Building Work\) Determination](#) OR a summary of costs from a bill of quantities prepared by a quantity surveyor supplied with application. A summary of costs from a bill of quantities MAY be requested for proposals where cost of work is between \$0 and \$10 million. A summary of costs from a bill of quantities **MUST** be provided for proposals where cost of work is over \$10 million.*

Demolition, Trees, Waste Management

Demolition

Is the [Demolition](#) item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

Please seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application **OR** provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Authority. Please click [here](#) for more information about entity referral requirements.

Trees

"Protected tree" is defined under the [Tree Protection Act 2005](#). In accordance with section 148 of the [Planning and Development Act 2007](#), where the development proposal requires groundwork within the tree protection zone of a protected tree, or is likely to cause damage to or removal of, any protected trees, the application is to be accompanied by a Tree Management Plan For more information about urban tree protection in the ACT, please click [here](#).

Is the Trees item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

Please seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application **OR** provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Authority. Please click [here](#) for more information about entity referral requirements.

Waste Management

NOTE: Only relevant for single dwelling housing where the development will generate a total of 20 cubic metres or greater of demolition and/or excavation waste

Is the Waste Management item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

Please seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application **OR** provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Authority. Please click [here](#) for more information about entity referral requirements.

Heritage

Is the [Heritage](#) item relevant to your proposal?

No

Hazardous Materials, Contamination, Erosion and Sediment Control

Hazardous Material

Is the Hazardous Materials item relevant to your proposal?

No

Contamination

Is the Contamination item relevant to your proposal?

No

Erosion and Sediment Control (for sites less than 0.3 of a hectare)

Is the Erosion and Sediment Control (for sites less than 0.3 of a hectare) item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

Please seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application **OR** provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Authority. Please click [here](#) for more information about entity referral requirements.

For works such as class 10 structures, additions and alterations, and backyard swimming pools - a note on the plan that "the development will comply with the ACT Environment Protection Authority, Environment Protection Guidelines for Construction and Land Development in the ACT" is required. In circumstances where there is a reasonable risk that soil from the required earth works in the front of the block will impact on the stormwater system because the block slopes towards the street a separate Erosion & Sediment Control Plan will be required

Erosion and Sediment Control (for sites greater than 0.3 of a hectare)

Is the Erosion and Sediment Control (for sites greater than 0.3 of a hectare) item relevant to your proposal?

No

Servicing & Site Management, Utilities

Servicing and Site Management

Is the Servicing and Site Management item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

Please seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application **OR** provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Authority. Please click [here](#) for more information about entity referral requirements.

Utilities

Is the [Utilities](#) item relevant to your proposal?

Yes

Please tick the relevant entities

Water

Electricity

Sewerage

Gas

Stormwater

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

Please seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application **OR** provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Authority. Please click [here](#) for more information about entity referral requirements.

Are you relocating or constructing any new services?(If unsure please contact relevant service providers before submitting this application).

No

Subdivision (residential zones)

Subdivision (residential zones)

Is the Subdivision (residential zones) item relevant to your proposal?

No

If you intend to subdivide this development under the Planning and Development Act 2007 in the future, please note this in your application and contact the relevant service providers regarding additional requirements prior to submitting this application.

National Capital Plan, Crime Prevention, Access & Mobility, Traffic Generation

National Capital Plan

Is the *National Capital Plan* item relevant to your proposal?

No

Crime Prevention through Environmental Design

Is the *Crime Prevention* item relevant to your proposal?

No

Access and Mobility

Is the Access and Mobility item relevant to your proposal?

No

Traffic Generation

Is the Traffic Generation item relevant to your proposal?

No

Parking

Parking (car)

Is the *Parking (car)* item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the *Territory Plan*?

Yes

Parking (bicycle)

Is the *Parking (bicycle)* item relevant to your proposal?

No

Signs, Neighbourhood Plans, Water Sensitive Urban Design

Signs

Is the [Signs](#) item relevant to your proposal?

No

Neighbourhood Plans

Is the [Neighbourhood Plans](#) item relevant to your proposal?

No

Water Sensitive Urban Design (Mains Water Consumption)

Is the Water Sensitive Urban Design (Mains Water Consumption) item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the [Territory Plan](#)?

Yes

Water Sensitive Urban Design (Stormwater Quality)

Is the Water Sensitive Urban Design (Stormwater Quality) item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the [Territory Plan](#)?

Yes

Water Sensitive Urban Design

Water Sensitive Urban Design (Stormwater Quantity)

Is the Water Sensitive Urban Design (Stormwater Quantity) item relevant to your application?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the [Territory Plan](#)?

Yes

Driveways (For works on verge only)

PLEASE NOTE: For proposals that include construction or modification of a driveway this application **MUST** be signed by the land custodian (Government Land Custodian - Asset Acceptance) as the works will be undertaken on unleased land **EXCEPT FOR DUAL OCCUPANCY DEVELOPMENT PROPOSALS**. For more information on driveways, garages and carports, please click [here](#).

Does your proposal include construction or modification of driveway/s?

Yes

Please indicate the works to be undertaken

Construction of new driveway

Survey Requirements - S.139(2)(l) - P & D Act 2007

If this application is for approval of a development that requires construction work to be carried out on land that has previously been developed and is not leased for rural purposes, a survey certificate for the land where the development is to be carried out (prepared and signed by a registered surveyor) must accompany this application unless exempt by Regulation 25 of the [Planning and Development Regulations 2008](#)

Do you have a survey certificate with this application?

Yes

Development Undertaken Without Approval - S.205 - P & D Act 2007

Is this application for development undertaken without approval?

No

*If YES - Under Section 139(2)(m) of the Planning and Development Act 2007, plans of the development signed by a registered surveyor confirming the location and dimensions of the development **must** be submitted with this application. The plans need to confirm the height, width and length dimensions of the development and the setback dimensions of the development from the block boundaries. The information may be provided on one plan or on a series of plans provided each plan is signed by a registered surveyor. Note: For all unapproved development involving construction the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features must comply with utility standards, access provisions and asset clearance zones. For more information on development exempt from approval, please click [here](#). For more information on development applications for developments undertaken without approval, please refer to S205 under the [Planning and Development Act 2007](#)*

Exclusion from Public Inspection

In accordance with the requirements of Sections 28 and 30 of the [Planning and Development Act 2007](#), the Environment, Planning and Sustainable Development Directorate must make the details and associated documents relevant to a development application available for public inspection.

If you wish to apply to have all or part of this development application excluded from public inspection, you must meet the requirements of Section 411(5) or 412(1) of the Planning and Development Act 2007

Are you requesting an exclusion from [Public Inspection](#)?

No

Conflict of Interest Declaration

Does the applicant or the lessee have any association with the Environment, Planning and Sustainable Development Directorate staff?

No

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation

Applicant/Lessee Declaration

I/we hereby apply for approval to carry out the development described on the land specified in this application;

I/we declare that this application is accompanied by all of the required information or documents that address the relevant rules and/or relevant criteria for it to be considered for approval;

I/we understand that the information submitted with this application form will undergo a documentation check prior to the payment of fees and formal lodgement of the application. Further information may be required prior to the acceptance of the development application by the Directorate;

I/we have provided all relevant documentation in accordance with the [minimum documentation requirements for lodgement of a Development Application \(DA\)](#). Please note, a fee may be charged if your application does not contain all the required documentation;

I/we understand that this application will be considered lodged once the relevant application fees have been paid;

I/we understand that if during the assessment of this application it is found to have been submitted in the incorrect assessment track the application will be refused and I/we will not be entitled to a refund or transfer of fees;

I/we understand that the documentation provided on CD/DVD or via the electronic lodgement process will be considered to be the relevant documentation associated with this application. All development application documentation will be made available for [public inspection](#) including via the Internet unless exclusion has been approved;

If the time for deciding the application (prescribed period) has ended and a decision has not been reached I/we understand that the application will be deemed refused and the Environment, Planning and Sustainable Development Directorate will not provide written advice of this decision. I/we also understand that the Environment, Planning and Sustainable Development Directorate is able to still consider the application and make a decision after the expiration of the prescribed period;

I/we hereby authorise the Environment, Planning and Sustainable Development Directorate its servants and agents to erect sign/s on the subject property(s) as required;

I/we hereby authorise ACT Government officers to access the subject property(s) for the purpose of evaluating the proposal(including the inspection of driveways and trees);

I/we (lessee) appoint the applicant whose signature appears in the attached *letter of appointment* to act on my/our behalf in relation to this Development Application. This authorises the applicant to pay all application fees, bonds and securities, liaise with the Environment, Planning and Sustainable Development Directorate when required, alter, amend or provide further information as necessary and receive any communications relating to this Development Application;

I understand that costs associated with the relocation of any engineering services (light poles, storm water, sumps etc) will be at my expense and that I will indemnify the ACT Government, its servants and agents against any claims arising during the relocation of these services;

I understand that construction of any driveway associated with this application may not commence until the contractor has received endorsement by the relevant government entity;

I understand that a Certificate of Design Acceptance and a Road Opening Permit and Temporary Management Plan must be obtained from the relevant government agencies prior to the start of construction works;

I/we declare that all the information given on this form and its attachments is true and complete;

If lodging on behalf of a company, organisation or Government agency: -

I/we declare I/we have the appropriate delegation or authority to sign on behalf of the company, organisation or Government agency;

I declare that I am the person shown in this eDA form as the Applicant, and by clicking the ACCEPT button below I understand that this replaces my requirement to sign a hard copy of this application.

I accept the above declarations

Accept

Acceptance Date

22 Oct 2021

Before Submitting

You have almost completed the first stage of your Development Application/Pre-Application request. **PLEASE ENSURE YOUR WIZARD SESSION IS SAVED BEFORE PROCEEDING.** This will enable you to resume your session in the event of a system outage or other interruption.

When you click on Finish below, you will be navigated to a new page which will enable you to upload any associated plans/documents prior to submitting to EPSDD for review.

Development applications (DAs) can be delayed unnecessarily because EPSDD does not have all

the information it needs to undertake an assessment and make a decision.

To avoid delays ensure all required sections of the wizard are answered correctly and all required documentation is uploaded. In particular:

1. A signed appointment letter from all lessee's must be provided if works are to performed on the verge, a signed endorsement letter must be provided by the relevant Government Custodian;
2. Public register plans for residential applications are included;
3. You MUST include a statement against the criteria for development applications that will be assessed in the Merit track;
4. If the application is for a single unit on a unit titled block body corporate authorisation is required if there is works on a common property

If you are still not sure how to proceed or want to ensure you have everything you need for your application, you can call the Land, Planning and Building Services Shopfront on 6207 1923 and ask to speak with a technical officer.

Privacy Notice

The personal information on this form is provided to the Environment, Planning and Sustainable Development Directorate (EPSDD) to enable the processing of your application. The collection of personal information is authorised by the Planning and Development Act 2007. If all or some of the personal information is not collected EPSDD cannot process your application. The Planning and Development Act 2007 requires the details of applications, decisions and orders to be kept on a register and made available for public inspection. Information and documentation relevant to a development application may be made available via the Internet. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office, the Registrar General's Office, ACTEW Corporation, ActewAGL, Territory and Municipal Services Directorate and other Government agencies with a direct interest in the development assessment process. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. EPSDD's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by EPSDD, and how you may complain about an alleged breach of the Territory Privacy Principles. The EPSDD Information Privacy Policy can be found at www.environment.act.gov.au

Does the Commonwealth Environment Protection and Biodiversity Conservation Act 1999 (EPBC) affect your proposal?

The EPBC came into operation on 16 July 2000. It establishes an environmental assessment and approval system that is separate and distinct from the ACT system. It does not affect the validity of ACT development assessment and approval processes, but may affect the assessment track. The ACT cannot provide preliminary advice on whether a proposal falls within the definition of a controlled action, or requires referral to the Commonwealth. You should consult with the Commonwealth to determine if your proposal is a controlled action before seeking any approvals under the Planning and Development Act 2007. For information about the EPBC, including the referral process and when a referral should be made, contact: the Department of Sustainability, Environment, Water, Population and Communities, GPO Box 787, CANBERRA ACT 2601 Telephone: 62741111

Contact Details: Environment, Planning and Sustainable Development Directorate, Land,

Planning and Building Services Shopfront, GPO Box 158, Canberra City 2601, 8 Darling Street,
Mitchell ACT 2911 Business Hours: 8.30am to 4.30pm weekdays (excluding Public Holidays)
Phone: (02) 6207 1923 Email: epdcustomerservices@act.gov.au Website:
www.environment.act.gov.au

Planning and Development Act 2007

Development Application

Application Number: **202139347**

Before Starting

PLEASE NOTE: This wizard will time out if left inactive for a period of more than two hours, after which time you will lose your application and be required to complete a new wizard. It is recommended you **save** this session if it is to be left inactive for an extended period of time.

Please ensure that your screen is set to the highest resolution (e.g. 1280 by 1024 pixels) to ensure all content in the wizard is visible.

I confirm I have provided all documentation in accordance with the [minimum documentation requirements for lodgement of a development application](#)

Confirm

Please note that fees apply for incomplete submissions.

Type of Application

The type of application you are applying for is a **New Application**

Are you applying for a:

Development Application

Has a pre-application meeting been held in relation to this proposal?

No

Lease/Site Details

Site Number: 1

If your rural property is identified by a Block/Section/Suburb, please select the "Urban" radio button.

Urban

Suburb	Section	Block Number	Unit Number
NARRABUNDAH	48	10	

Street Address

NARRABUNDAH

Applicant Details

What type of applicant are you:

Business

ACN or ABN

Company Name

Position held / Title

Salutation

First Name

Surname

Postal Address 1

Postal Address 2

Postal Address 3

Suburb

State/Territory

Postcode

Country

Phone Number

Fax Number

Mobile Number

Email

Lessee (Property Owners) Details

Lessee Number: 1

Is the Lessee a:

 Organisation or Government entity

Australian Business Number (ABN)

Company Name

Position held / Title

Salutation

First Name

Surname

Postal Address 1

Postal Address 2

Postal Address 3

Suburb

State/Territory

Postcode

Country

Phone Number

Fax Number

Mobile Number

Email

Notice of Decision and Plans

Please specify the delivery method for the return of plans. Unless otherwise specified, your Notice of Decision and/or plans will be returned via email.

Email

Are you applying for an *Estate Development Plan* OR *Home Business*?

No

Zone

Please specify which zone applies to this application (please select one zone only). Please click [here](#) to access ACTMAPi and locate the zone.

RZ1 Suburban zone

If more than one zone is applicable to your application, please specify them below:

Development/Precinct Code

Please specify which development code applies to this application.

Residential zones - Multi-Unit Housing Development Code

Please specify all relevant precinct code/s applied to your proposal

Loose-Fill Asbestos

Is this a loose-fill asbestos affected ("Mr Fluffy") block?

No

Fully Describe Your Proposal

Please provide a full description of your proposal (Note: This must accurately describe all aspects of your proposal and include any lease changes being applied for.)

New Residential dwellings for supportive housing. 3 new dwellings, detached, each with a new pergola. New proposed driveway and verge works maintaining existing verge levels.

Proposed Use of the Land

Describe the use of the development. **Example:** Residential use for a maximum of 7 residential units. (Note: Please refer to the Territory Plan definitions for land use definitions. Please also consider what is permitted under any Crown Lease for the site.)

Residential use for supportive housing, maximum 3 dwellings.

Is the proposed use consistent with the current Crown lease?

No

Assessment Track

Please indicate which assessment track applies to this Development Application: (If you are not sure which assessment track applies, please contact Environment, Planning and Sustainable Development Directorate on (02)62071923)

Merit

For more information about which track your development application will be assessed in, please click [here](#). *Please note, the Environment, Planning and Sustainable Development Directorate may refuse to accept a development application made in an incorrect assessment track. If the Environment, Planning and Sustainable Development Directorate assesses an application made in the incorrect assessment track it must refuse the application (S.114 (3)).*

Type of Development

Please indicate which type of development applies to this development application.

Multiple Dwelling

Multiple Dwelling

Please select a Multiple Dwelling sub type:

New Development

Number of new dwellings to be constructed

Total number of Dwellings on the block

Does your proposal involve work on a Dual Occupancy development?

No

Community Consultation Summary

Is this proposal -

A building for residential use with 3 or more storeys and 15 or more dwellings?

No

A building with a gross floor area of more than 5000m²?

No

A building or structure more than 25m above finished ground level?

No

A variation of a lease to remove its concessional status?

No

Please Note A development application cannot be lodged if the development proposal meets one of the triggers and the application does not include the pre-DA lodgement community consultation form.

National Capital Design Review Panel (NCDRP)

Does the proposal include building/s that are five (5) or more storeys?

No

Have you consulted with the National Capital Design Review Panel (NCDRP)?

No

From 1 October 2019, a proponent must consult with the NCDRP about a development proposal that is 5 or more storeys. Application will not progress, please contact designreview@act.gov.au

Gross Floor Area (GFA) and Cost of Works

Please ensure that all values contain a decimal point followed by two digits

Gross Floor Area Calculation

A - Gross Floor Area (existing) (m²)

100.00

B - Gross Floor Area to be demolished (m²)

100.00

C - Gross Floor Area to be added (m²)

300.00

D - Total Gross Floor Area of development (A-B+C)(m²)

300

E - COST OF WORKS (\$)

Other Area Calculation (not already included in the areas provided above)

F - Area of other BCA Class 10 structures included in this application
(e.g. metal carport, pergola, deck, verandah) (m²)

G - Parking areas – undercover

H - COST OF WORKS (F & G) (\$)

Cost of Associated Works

I - Cost of all associated works such as landscaping (\$)

J - Cost of all public works and/or off site works (\$)

K - TOTAL COST OF WORKS (E+H+I+J)

Cost of works **MUST be calculated in accordance with the current version of [Building \(General\) \(Cost of Building Work\) Determination](#) OR a summary of costs from a bill of quantities prepared by a quantity surveyor supplied with application. A summary of costs from a bill of quantities MAY be requested for proposals where cost of work is between \$0 and \$10 million. A summary of costs from a bill of quantities **MUST** be provided for proposals where cost of work is over \$10 million.*

Demolition, Trees, Waste Management

Demolition

Is the [Demolition](#) item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

Please seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application **OR** provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Authority. Please click [here](#) for more information about entity referral requirements.

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"Protected tree" is defined under the [Tree Protection Act 2005](#). In accordance with section 148 of the [Planning and Development Act 2007](#), where the development proposal requires groundwork within the tree protection zone of a protected tree, or is likely to cause damage to or removal of, any protected trees, the application is to be accompanied by a Tree Management Plan For more information about urban tree protection in the ACT, please click [here](#).

Is the Trees item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

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Waste Management

NOTE: Only relevant for single dwelling housing where the development will generate a total of 20 cubic metres or greater of demolition and/or excavation waste

Is the Waste Management item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

Please seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application **OR** provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Authority. Please click [here](#) for more information about entity referral requirements.

Heritage

Is the [Heritage](#) item relevant to your proposal?

No

Hazardous Materials, Contamination, Erosion and Sediment Control

Hazardous Material

Is the Hazardous Materials item relevant to your proposal?

No

Contamination

Is the Contamination item relevant to your proposal?

No

Erosion and Sediment Control (for sites less than 0.3 of a hectare)

Is the Erosion and Sediment Control (for sites less than 0.3 of a hectare) item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

Yes

For works such as class 10 structures, additions and alterations, and backyard swimming pools - a note on the plan that "the development will comply with the ACT Environment Protection Authority, Environment Protection Guidelines for Construction and Land Development in the ACT" is required. In circumstances where there is a reasonable risk that soil from the required earth works in the front of the block will impact on the stormwater system because the block slopes towards the street a separate Erosion & Sediment Control Plan will be required

Erosion and Sediment Control (for sites greater than 0.3 of a hectare)

Is the Erosion and Sediment Control (for sites greater than 0.3 of a hectare) item relevant to your proposal?

No

Servicing & Site Management, Utilities

Servicing and Site Management

Is the Servicing and Site Management item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for *referral* to Entity?

Yes

Utilities

Is the *Utilities* item relevant to your proposal?

Yes

Please tick the relevant entities

Water

Electricity

Sewerage

Gas

Stormwater

Have you provided Entity Endorsement?

No

Have you provided required documentation for *referral* to Entity?

Yes

Are you relocating or constructing any new services?(If unsure please contact relevant service providers before submitting this application).

No

Subdivision (residential zones)

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If you intend to subdivide this development under the Planning and Development Act 2007 in the future, please note this in your application and contact the relevant service providers regarding additional requirements prior to submitting this application.

National Capital Plan, Crime Prevention, Access & Mobility, Traffic Generation

National Capital Plan

Is the *National Capital Plan* item relevant to your proposal?

No

Crime Prevention through Environmental Design

Is the *Crime Prevention* item relevant to your proposal?

No

Access and Mobility

Is the Access and Mobility item relevant to your proposal?

No

Traffic Generation

Is the Traffic Generation item relevant to your proposal?

No

Parking

Parking (car)

Is the *Parking (car)* item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the *Territory Plan*?

Yes

Parking (bicycle)

Is the *Parking (bicycle)* item relevant to your proposal?

No

Signs, Neighbourhood Plans, Water Sensitive Urban Design

Signs

Is the *Signs* item relevant to your proposal?

No

Neighbourhood Plans

Is the *Neighbourhood Plans* item relevant to your proposal?

No

Water Sensitive Urban Design (Mains Water Consumption)

Is the Water Sensitive Urban Design (Mains Water Consumption) item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the *Territory Plan*?

Yes

Water Sensitive Urban Design (Stormwater Quality)

Is the Water Sensitive Urban Design (Stormwater Quality) item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the [Territory Plan](#)?

Yes

Water Sensitive Urban Design

Water Sensitive Urban Design (Stormwater Quantity)

Is the Water Sensitive Urban Design (Stormwater Quantity) item relevant to your application?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the [Territory Plan](#)?

Yes

Driveways (For works on verge only)

PLEASE NOTE: For proposals that include construction or modification of a driveway this application **MUST** be signed by the land custodian (Government Land Custodian - Asset Acceptance) as the works will be undertaken on unleased land **EXCEPT FOR DUAL OCCUPANCY DEVELOPMENT PROPOSALS**. For more information on driveways, garages and carports, please click [here](#).

Does your proposal include construction or modification of driveway/s?

Yes

Please indicate the works to be undertaken

Construction of new driveway

Survey Requirements - S.139(2)(l) - P & D Act 2007

If this application is for approval of a development that requires construction work to be carried out on land that has previously been developed and is not leased for rural purposes, a survey certificate for the land where the development is to be carried out (prepared and signed by a registered surveyor) must accompany this application unless exempt by Regulation 25 of the [Planning and Development Regulations 2008](#)

Do you have a survey certificate with this application?

Yes

Development Undertaken Without Approval - S.205 - P & D Act 2007

Is this application for development undertaken without approval?

No

*If YES - Under Section 139(2)(m) of the Planning and Development Act 2007, plans of the development signed by a registered surveyor confirming the location and dimensions of the development **must** be submitted with this application. The plans need to confirm the height, width and length dimensions of the development and the setback dimensions of the development from the block boundaries. The information may be provided on one plan or on a series of plans provided each plan is signed by a registered surveyor. Note: For all unapproved development involving construction the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features must comply with utility standards, access provisions and asset clearance zones. For more information on development exempt from approval, please click [here](#). For more information on development applications for developments undertaken without approval, please refer to S205 under the [Planning and Development Act 2007](#)*

Exclusion from Public Inspection

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If you wish to apply to have all or part of this development application excluded from public inspection, you must meet the requirements of Section 411(5) or 412(1) of the Planning and Development Act 2007

Are you requesting an exclusion from [Public Inspection](#)?

No

Conflict of Interest Declaration

Does the applicant or the lessee have any association with the Environment, Planning and Sustainable Development Directorate staff?

No

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation

Applicant/Lessee Declaration

I/we hereby apply for approval to carry out the development described on the land specified in this application;

I/we declare that this application is accompanied by all of the required information or documents that address the relevant rules and/or relevant criteria for it to be considered for approval;

I/we understand that the information submitted with this application form will undergo a documentation check prior to the payment of fees and formal lodgement of the application. Further information may be required prior to the acceptance of the development application by the Directorate;

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I/we declare that all the information given on this form and its attachments is true and complete;

If lodging on behalf of a company, organisation or Government agency: -

I/we declare I/we have the appropriate delegation or authority to sign on behalf of the company, organisation or Government agency;

I declare that I am the person shown in this eDA form as the Applicant, and by clicking the ACCEPT button below I understand that this replaces my requirement to sign a hard copy of this application.

I accept the above declarations

Accept

Acceptance Date

28 Oct 2021

Before Submitting

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2. Public register plans for residential applications are included;
3. You **MUST** include a statement against the criteria for development applications that will be assessed in the Merit track;
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Planning and Development Act 2007

Development Application

Application Number: **202139347**

Before Starting

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Confirm

Please note that fees apply for incomplete submissions.

Type of Application

The type of application you are applying for is a **New Application**

Are you applying for a:

Development Application

Has a pre-application meeting been held in relation to this proposal?

No

Lease/Site Details

Site Number: 1

If your rural property is identified by a Block/Section/Suburb, please select the "Urban" radio button.

Urban

Suburb	Section	Block Number	Unit Number
NARRABUNDAH	48	10	

Street Address

Applicant Details

What type of applicant are you:

Business

ACN or ABN

Company Name

Position held / Title

Salutation

First Name

Surname

Postal Address 1

Postal Address 2

Postal Address 3

Suburb

State/Territory

Postcode

Country

Phone Number

Fax Number

Mobile Number

Email

Lessee (Property Owners) Details

Lessee Number: 1

Is the Lessee a:

 Organisation or Government entity

Australian Business Number (ABN)

Company Name

Position held / Title

Salutation

First Name

Surname

Postal Address 1

Postal Address 2

Postal Address 3

Suburb

State/Territory

Postcode

Country

Phone Number

Fax Number

Mobile Number

Email

Notice of Decision and Plans

Please specify the delivery method for the return of plans. Unless otherwise specified, your Notice of Decision and/or plans will be returned via email.

Email

Are you applying for an *Estate Development Plan* OR *Home Business*?

No

Zone

Please specify which zone applies to this application (please select one zone only). Please click [here](#) to access ACTMAPi and locate the zone.

RZ1 Suburban zone

If more than one zone is applicable to your application, please specify them below:

Development/Precinct Code

Please specify which development code applies to this application.

Residential zones - Multi-Unit Housing Development Code

Please specify all relevant precinct code/s applied to your proposal

Loose-Fill Asbestos

Is this a loose-fill asbestos affected ("Mr Fluffy") block?

No

Fully Describe Your Proposal

Please provide a full description of your proposal (Note: This must accurately describe all aspects of your proposal and include any lease changes being applied for.)

New Residential dwellings for supportive housing. 3 new dwellings, detached, each with a new pergola. New proposed driveway and verge works maintaining existing verge levels.

Proposed Use of the Land

Describe the use of the development. **Example:** Residential use for a maximum of 7 residential units. (Note: Please refer to the Territory Plan definitions for land use definitions. Please also consider what is permitted under any Crown Lease for the site.)

Residential use for supportive housing, maximum 3 dwellings.

Is the proposed use consistent with the current Crown lease?

No

Assessment Track

Please indicate which assessment track applies to this Development Application: (If you are not sure which assessment track applies, please contact Environment, Planning and Sustainable Development Directorate on (02)62071923)

Merit

For more information about which track your development application will be assessed in, please click [here](#). *Please note, the Environment, Planning and Sustainable Development Directorate may refuse to accept a development application made in an incorrect assessment track. If the Environment, Planning and Sustainable Development Directorate assesses an application made in the incorrect assessment track it must refuse the application (S.114 (3)).*

Type of Development

Please indicate which type of development applies to this development application.

Multiple Dwelling

Multiple Dwelling

Please select a Multiple Dwelling sub type:

New Development

Number of new dwellings to be constructed

Total number of Dwellings on the block

Does your proposal involve work on a Dual Occupancy development?

No

Community Consultation Summary

Is this proposal -

A building for residential use with 3 or more storeys and 15 or more dwellings?

No

A building with a gross floor area of more than 5000m²?

No

A building or structure more than 25m above finished ground level?

No

A variation of a lease to remove its concessional status?

No

Please Note A development application cannot be lodged if the development proposal meets one of the triggers and the application does not include the pre-DA lodgement community consultation form.

National Capital Design Review Panel (NCDRP)

Does the proposal include building/s that are five (5) or more storeys?

No

Have you consulted with the National Capital Design Review Panel (NCDRP)?

No

From 1 October 2019, a proponent must consult with the NCDRP about a development proposal that is 5 or more storeys. Application will not progress, please contact designreview@act.gov.au

Gross Floor Area (GFA) and Cost of Works

Please ensure that all values contain a decimal point followed by two digits

Gross Floor Area Calculation

A - Gross Floor Area (existing) (m²)

100.00

B - Gross Floor Area to be demolished (m²)

100.00

C - Gross Floor Area to be added (m²)

300.00

D - Total Gross Floor Area of development (A-B+C)(m²)

300

E - COST OF WORKS (\$)

Other Area Calculation (not already included in the areas provided above)

F - Area of other BCA Class 10 structures included in this application
(e.g. metal carport, pergola, deck, verandah) (m²)

G - Parking areas – undercover

H - COST OF WORKS (F & G) (\$)

Cost of Associated Works

I - Cost of all associated works such as landscaping (\$)

J - Cost of all public works and/or off site works (\$)

K - TOTAL COST OF WORKS (E+H+I+J)

Cost of works **MUST be calculated in accordance with the current version of [Building \(General\) \(Cost of Building Work\) Determination](#) OR a summary of costs from a bill of quantities prepared by a quantity surveyor supplied with application. A summary of costs from a bill of quantities MAY be requested for proposals where cost of work is between \$0 and \$10 million. A summary of costs from a bill of quantities **MUST** be provided for proposals where cost of work is over \$10 million.*

Demolition, Trees, Waste Management

Demolition

Is the [Demolition](#) item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

Please seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application **OR** provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Authority. Please click [here](#) for more information about entity referral requirements.

Trees

"Protected tree" is defined under the [Tree Protection Act 2005](#). In accordance with section 148 of the [Planning and Development Act 2007](#), where the development proposal requires groundwork within the tree protection zone of a protected tree, or is likely to cause damage to or removal of, any protected trees, the application is to be accompanied by a Tree Management Plan For more information about urban tree protection in the ACT, please click [here](#).

Is the Trees item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

Please seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application **OR** provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Authority. Please click [here](#) for more information about entity referral requirements.

Waste Management

NOTE: Only relevant for single dwelling housing where the development will generate a total of 20 cubic metres or greater of demolition and/or excavation waste

Is the Waste Management item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

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Heritage

Is the [Heritage](#) item relevant to your proposal?

No

Hazardous Materials, Contamination, Erosion and Sediment Control

Hazardous Material

Is the Hazardous Materials item relevant to your proposal?

No

Contamination

Is the Contamination item relevant to your proposal?

No

Erosion and Sediment Control (for sites less than 0.3 of a hectare)

Is the Erosion and Sediment Control (for sites less than 0.3 of a hectare) item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

Yes

For works such as class 10 structures, additions and alterations, and backyard swimming pools - a note on the plan that "the development will comply with the ACT Environment Protection Authority, Environment Protection Guidelines for Construction and Land Development in the ACT" is required. In circumstances where there is a reasonable risk that soil from the required earth works in the front of the block will impact on the stormwater system because the block slopes towards the street a separate Erosion & Sediment Control Plan will be required

Erosion and Sediment Control (for sites greater than 0.3 of a hectare)

Is the Erosion and Sediment Control (for sites greater than 0.3 of a hectare) item relevant to your proposal?

No

Servicing & Site Management, Utilities

Servicing and Site Management

Is the Servicing and Site Management item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for *referral* to Entity?

Yes

Utilities

Is the *Utilities* item relevant to your proposal?

Yes

Please tick the relevant entities

Water

Electricity

Sewerage

Gas

Stormwater

Have you provided Entity Endorsement?

No

Have you provided required documentation for *referral* to Entity?

Yes

Are you relocating or constructing any new services?(If unsure please contact relevant service providers before submitting this application).

No

Subdivision (residential zones)

Subdivision (residential zones)

Is the Subdivision (residential zones) item relevant to your proposal?

No

If you intend to subdivide this development under the Planning and Development Act 2007 in the future, please note this in your application and contact the relevant service providers regarding additional requirements prior to submitting this application.

National Capital Plan, Crime Prevention, Access & Mobility, Traffic Generation

National Capital Plan

Is the *National Capital Plan* item relevant to your proposal?

No

Crime Prevention through Environmental Design

Is the *Crime Prevention* item relevant to your proposal?

No

Access and Mobility

Is the Access and Mobility item relevant to your proposal?

No

Traffic Generation

Is the Traffic Generation item relevant to your proposal?

No

Parking

Parking (car)

Is the *Parking (car)* item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the *Territory Plan*?

Yes

Parking (bicycle)

Is the *Parking (bicycle)* item relevant to your proposal?

No

Signs, Neighbourhood Plans, Water Sensitive Urban Design

Signs

Is the *Signs* item relevant to your proposal?

No

Neighbourhood Plans

Is the *Neighbourhood Plans* item relevant to your proposal?

No

Water Sensitive Urban Design (Mains Water Consumption)

Is the Water Sensitive Urban Design (Mains Water Consumption) item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the *Territory Plan*?

Yes

Water Sensitive Urban Design (Stormwater Quality)

Is the Water Sensitive Urban Design (Stormwater Quality) item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the [Territory Plan](#)?

Yes

Water Sensitive Urban Design

Water Sensitive Urban Design (Stormwater Quantity)

Is the Water Sensitive Urban Design (Stormwater Quantity) item relevant to your application?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the [Territory Plan](#)?

Yes

Driveways (For works on verge only)

PLEASE NOTE: For proposals that include construction or modification of a driveway this application **MUST** be signed by the land custodian (Government Land Custodian - Asset Acceptance) as the works will be undertaken on unleased land **EXCEPT FOR DUAL OCCUPANCY DEVELOPMENT PROPOSALS**. For more information on driveways, garages and carports, please click [here](#).

Does your proposal include construction or modification of driveway/s?

Yes

Please indicate the works to be undertaken

Construction of new driveway

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04 Nov 2021

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Planning and Development Act 2007

Development Application

Application Number: **202139347**

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Site Number: 1

If your rural property is identified by a Block/Section/Suburb, please select the "Urban" radio button.

Urban

Suburb	Section	Block Number	Unit Number
<input type="text" value="NARRABUNDAH"/>	<input type="text" value="48"/>	<input type="text" value="10"/>	<input type="text"/>

Street Address

Applicant Details

What type of applicant are you:

Business

ACN or ABN

Company Name

Position held / Title

Salutation

First Name

Surname

Postal Address 1

Postal Address 2

Postal Address 3

Suburb

State/Territory

Postcode

Country

Phone Number

Fax Number

Mobile Number

Email

Lessee (Property Owners) Details

Lessee Number: 1

Is the Lessee a:

 Organisation or Government entity

Australian Business Number (ABN)

Company Name

Position held / Title

Salutation

First Name

Surname

Postal Address 1

Postal Address 2

Postal Address 3

Suburb

State/Territory

Postcode

Country

Phone Number

Fax Number

Mobile Number

Email

Notice of Decision and Plans

Please specify the delivery method for the return of plans. Unless otherwise specified, your Notice of Decision and/or plans will be returned via email.

Email

Are you applying for an *Estate Development Plan* OR *Home Business*?

No

Zone

Please specify which zone applies to this application (please select one zone only). Please click [here](#) to access ACTMAPi and locate the zone.

RZ1 Suburban zone

If more than one zone is applicable to your application, please specify them below:

Development/Precinct Code

Please specify which development code applies to this application.

Residential zones - Multi-Unit Housing Development Code

Please specify all relevant precinct code/s applied to your proposal

Loose-Fill Asbestos

Is this a loose-fill asbestos affected ("Mr Fluffy") block?

No

Fully Describe Your Proposal

Please provide a full description of your proposal (Note: This must accurately describe all aspects of your proposal and include any lease changes being applied for.)

New Residential dwellings for supportive housing. 3 new dwellings, detached, each with a new pergola. New proposed driveway and verge works maintaining existing verge levels.

Proposed Use of the Land

Describe the use of the development. **Example:** Residential use for a maximum of 7 residential units. (Note: Please refer to the Territory Plan definitions for land use definitions. Please also consider what is permitted under any Crown Lease for the site.)

Residential use for supportive housing, maximum 3 dwellings.

Is the proposed use consistent with the current Crown lease?

No

Assessment Track

Please indicate which assessment track applies to this Development Application: (If you are not sure which assessment track applies, please contact Environment, Planning and Sustainable Development Directorate on (02)62071923)

Merit

For more information about which track your development application will be assessed in, please click [here](#). *Please note, the Environment, Planning and Sustainable Development Directorate may refuse to accept a development application made in an incorrect assessment track. If the Environment, Planning and Sustainable Development Directorate assesses an application made in the incorrect assessment track it must refuse the application (S.114 (3)).*

Type of Development

Please indicate which type of development applies to this development application.

Multiple Dwelling

Multiple Dwelling

Please select a Multiple Dwelling sub type:

New Development

Number of new dwellings to be constructed

Total number of Dwellings on the block

Does your proposal involve work on a Dual Occupancy development?

No

Community Consultation Summary

Is this proposal -

A building for residential use with 3 or more storeys and 15 or more dwellings?

No

A building with a gross floor area of more than 5000m²?

No

A building or structure more than 25m above finished ground level?

No

A variation of a lease to remove its concessional status?

No

Please Note A development application cannot be lodged if the development proposal meets one of the triggers and the application does not include the pre-DA lodgement community consultation form.

National Capital Design Review Panel (NCDRP)

Does the proposal include building/s that are five (5) or more storeys?

No

Have you consulted with the National Capital Design Review Panel (NCDRP)?

No

From 1 October 2019, a proponent must consult with the NCDRP about a development proposal that is 5 or more storeys. Application will not progress, please contact designreview@act.gov.au

Gross Floor Area (GFA) and Cost of Works

Please ensure that all values contain a decimal point followed by two digits

Gross Floor Area Calculation

A - Gross Floor Area (existing) (m²)

B - Gross Floor Area to be demolished (m²)

C - Gross Floor Area to be added (m²)

D - Total Gross Floor Area of development (A-B+C)(m²)

E - COST OF WORKS (\$)

Other Area Calculation (not already included in the areas provided above)

F - Area of other BCA Class 10 structures included in this application
(e.g. metal carport, pergola, deck, verandah) (m²)

G - Parking areas – undercover

H - COST OF WORKS (F & G) (\$)

Cost of Associated Works

I - Cost of all associated works such as landscaping (\$)

J - Cost of all public works and/or off site works (\$)

K - TOTAL COST OF WORKS (E+H+I+J)

Cost of works **MUST be calculated in accordance with the current version of [Building \(General\) \(Cost of Building Work\) Determination](#) OR a summary of costs from a bill of quantities prepared by a quantity surveyor supplied with application. A summary of costs from a bill of quantities MAY be requested for proposals where cost of work is between \$0 and \$10 million. A summary of costs from a bill of quantities **MUST** be provided for proposals where cost of work is over \$10 million.*

Demolition, Trees, Waste Management

Demolition

Is the [Demolition](#) item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

Please seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application **OR** provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Authority. Please click [here](#) for more information about entity referral requirements.

Trees

"Protected tree" is defined under the [Tree Protection Act 2005](#). In accordance with section 148 of the [Planning and Development Act 2007](#), where the development proposal requires groundwork within the tree protection zone of a protected tree, or is likely to cause damage to or removal of, any protected trees, the application is to be accompanied by a Tree Management Plan For more information about urban tree protection in the ACT, please click [here](#).

Is the Trees item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

Please seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application **OR** provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Authority. Please click [here](#) for more information about entity referral requirements.

Waste Management

NOTE: Only relevant for single dwelling housing where the development will generate a total of 20 cubic metres or greater of demolition and/or excavation waste

Is the Waste Management item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

Please seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application **OR** provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Authority. Please click [here](#) for more information about entity referral requirements.

Heritage

Is the [Heritage](#) item relevant to your proposal?

No

Hazardous Materials, Contamination, Erosion and Sediment Control

Hazardous Material

Is the Hazardous Materials item relevant to your proposal?

No

Contamination

Is the Contamination item relevant to your proposal?

No

Erosion and Sediment Control (for sites less than 0.3 of a hectare)

Is the Erosion and Sediment Control (for sites less than 0.3 of a hectare) item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

Yes

For works such as class 10 structures, additions and alterations, and backyard swimming pools - a note on the plan that "the development will comply with the ACT Environment Protection Authority, Environment Protection Guidelines for Construction and Land Development in the ACT" is required. In circumstances where there is a reasonable risk that soil from the required earth works in the front of the block will impact on the stormwater system because the block slopes towards the street a separate Erosion & Sediment Control Plan will be required

Erosion and Sediment Control (for sites greater than 0.3 of a hectare)

Is the Erosion and Sediment Control (for sites greater than 0.3 of a hectare) item relevant to your proposal?

No

Servicing & Site Management, Utilities

Servicing and Site Management

Is the Servicing and Site Management item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for *referral* to Entity?

Yes

Utilities

Is the *Utilities* item relevant to your proposal?

Yes

Please tick the relevant entities

Water

Electricity

Sewerage

Gas

Stormwater

Have you provided Entity Endorsement?

No

Have you provided required documentation for *referral* to Entity?

Yes

Are you relocating or constructing any new services?(If unsure please contact relevant service providers before submitting this application).

No

Subdivision (residential zones)

Subdivision (residential zones)

Is the Subdivision (residential zones) item relevant to your proposal?

No

If you intend to subdivide this development under the Planning and Development Act 2007 in the future, please note this in your application and contact the relevant service providers regarding additional requirements prior to submitting this application.

National Capital Plan, Crime Prevention, Access & Mobility, Traffic Generation

National Capital Plan

Is the *National Capital Plan* item relevant to your proposal?

No

Crime Prevention through Environmental Design

Is the *Crime Prevention* item relevant to your proposal?

No

Access and Mobility

Is the Access and Mobility item relevant to your proposal?

No

Traffic Generation

Is the Traffic Generation item relevant to your proposal?

No

Parking

Parking (car)

Is the *Parking (car)* item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the *Territory Plan*?

Yes

Parking (bicycle)

Is the *Parking (bicycle)* item relevant to your proposal?

No

Signs, Neighbourhood Plans, Water Sensitive Urban Design

Signs

Is the *Signs* item relevant to your proposal?

No

Neighbourhood Plans

Is the *Neighbourhood Plans* item relevant to your proposal?

No

Water Sensitive Urban Design (Mains Water Consumption)

Is the Water Sensitive Urban Design (Mains Water Consumption) item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the *Territory Plan*?

Yes

Water Sensitive Urban Design (Stormwater Quality)

Is the Water Sensitive Urban Design (Stormwater Quality) item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the [Territory Plan](#)?

Yes

Water Sensitive Urban Design

Water Sensitive Urban Design (Stormwater Quantity)

Is the Water Sensitive Urban Design (Stormwater Quantity) item relevant to your application?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the [Territory Plan](#)?

Yes

Driveways (For works on verge only)

PLEASE NOTE: For proposals that include construction or modification of a driveway this application **MUST** be signed by the land custodian (Government Land Custodian - Asset Acceptance) as the works will be undertaken on unleased land **EXCEPT FOR DUAL OCCUPANCY DEVELOPMENT PROPOSALS**. For more information on driveways, garages and carports, please click [here](#).

Does your proposal include construction or modification of driveway/s?

Yes

Please indicate the works to be undertaken

Construction of new driveway

Survey Requirements - S.139(2)(l) - P & D Act 2007

If this application is for approval of a development that requires construction work to be carried out on land that has previously been developed and is not leased for rural purposes, a survey certificate for the land where the development is to be carried out (prepared and signed by a registered surveyor) must accompany this application unless exempt by Regulation 25 of the [Planning and Development Regulations 2008](#)

Do you have a survey certificate with this application?

Yes

Development Undertaken Without Approval - S.205 - P & D Act 2007

Is this application for development undertaken without approval?

No

*If YES - Under Section 139(2)(m) of the Planning and Development Act 2007, plans of the development signed by a registered surveyor confirming the location and dimensions of the development **must** be submitted with this application. The plans need to confirm the height, width and length dimensions of the development and the setback dimensions of the development from the block boundaries. The information may be provided on one plan or on a series of plans provided each plan is signed by a registered surveyor. Note: For all unapproved development involving construction the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features must comply with utility standards, access provisions and asset clearance zones. For more information on development exempt from approval, please click [here](#). For more information on development applications for developments undertaken without approval, please refer to S205 under the [Planning and Development Act 2007](#)*

Exclusion from Public Inspection

In accordance with the requirements of Sections 28 and 30 of the [Planning and Development Act 2007](#), the Environment, Planning and Sustainable Development Directorate must make the details and associated documents relevant to a development application available for public inspection.

If you wish to apply to have all or part of this development application excluded from public inspection, you must meet the requirements of Section 411(5) or 412(1) of the Planning and Development Act 2007

Are you requesting an exclusion from [Public Inspection](#)?

No

Conflict of Interest Declaration

Does the applicant or the lessee have any association with the Environment, Planning and Sustainable Development Directorate staff?

No

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation

Applicant/Lessee Declaration

I/we hereby apply for approval to carry out the development described on the land specified in this application;

I/we declare that this application is accompanied by all of the required information or documents that address the relevant rules and/or relevant criteria for it to be considered for approval;

I/we understand that the information submitted with this application form will undergo a documentation check prior to the payment of fees and formal lodgement of the application. Further information may be required prior to the acceptance of the development application by the Directorate;

I/we have provided all relevant documentation in accordance with the [minimum documentation requirements for lodgement of a Development Application \(DA\)](#). Please note, a fee may be charged if your application does not contain all the required documentation;

I/we understand that this application will be considered lodged once the relevant application fees have been paid;

I/we understand that if during the assessment of this application it is found to have been submitted in the incorrect assessment track the application will be refused and I/we will not be entitled to a refund or transfer of fees;

I/we understand that the documentation provided on CD/DVD or via the electronic lodgement process will be considered to be the relevant documentation associated with this application. All development application documentation will be made available for [public inspection](#) including via the Internet unless exclusion has been approved;

If the time for deciding the application (prescribed period) has ended and a decision has not been reached I/we understand that the application will be deemed refused and the Environment, Planning and Sustainable Development Directorate will not provide written advice of this decision. I/we also understand that the Environment, Planning and Sustainable Development Directorate is able to still consider the application and make a decision after the expiration of the prescribed period;

I/we hereby authorise the Environment, Planning and Sustainable Development Directorate its servants and agents to erect sign/s on the subject property(s) as required;

I/we hereby authorise ACT Government officers to access the subject property(s) for the purpose of evaluating the proposal(including the inspection of driveways and trees);

I/we (lessee) appoint the applicant whose signature appears in the attached [letter of appointment](#) to act on my/our behalf in relation to this Development Application. This authorises the applicant to pay all application fees, bonds and securities, liaise with the Environment, Planning and Sustainable Development Directorate when required, alter, amend or provide further information as necessary and receive any communications relating to this Development Application;

I understand that costs associated with the relocation of any engineering services (light poles, storm water, sumps etc) will be at my expense and that I will indemnify the ACT Government, its servants and agents against any claims arising during the relocation of these services;

I understand that construction of any driveway associated with this application may not commence

until the contractor has received endorsement by the relevant government entity;

I understand that a Certificate of Design Acceptance and a Road Opening Permit and Temporary Management Plan must be obtained from the relevant government agencies prior to the start of construction works;

I/we declare that all the information given on this form and its attachments is true and complete;

If lodging on behalf of a company, organisation or Government agency: -

I/we declare I/we have the appropriate delegation or authority to sign on behalf of the company, organisation or Government agency;

I declare that I am the person shown in this eDA form as the Applicant, and by clicking the ACCEPT button below I understand that this replaces my requirement to sign a hard copy of this application.

I accept the above declarations

Accept

Acceptance Date

04 Nov 2021

Before Submitting

You have almost completed the first stage of your Development Application/Pre-Application request. **PLEASE ENSURE YOUR WIZARD SESSION IS SAVED BEFORE PROCEEDING.** This will enable you to resume your session in the event of a system outage or other interruption.

When you click on Finish below, you will be navigated to a new page which will enable you to upload any associated plans/documents prior to submitting to EPSDD for review.

Development applications (DAs) can be delayed unnecessarily because EPSDD does not have all the information it needs to undertake an assessment and make a decision.

To avoid delays ensure all required sections of the wizard are answered correctly and all required documentation is uploaded. In particular:

1. A signed appointment letter from all lessee's must be provided if works are to performed on the verge, a signed endorsement letter must be provided by the relevant Government Custodian;
2. Public register plans for residential applications are included;
3. You **MUST** include a statement against the criteria for development applications that will be assessed in the Merit track;
4. If the application is for a single unit on a unit titled block body corporate authorisation is required if there is works on a common property

If you are still not sure how to proceed or want to ensure you have everything you need for your application, you can call the Land, Planning and Building Services Shopfront on 6207 1923 and ask to speak with a technical officer.

Privacy Notice

The personal information on this form is provided to the Environment, Planning and Sustainable Development Directorate (EPSDD) to enable the processing of your application. The collection of personal information is authorised by the Planning and Development Act 2007. If all or some of the personal information is not collected EPSDD cannot process your application. The Planning and Development Act 2007 requires the details of applications, decisions and orders to be kept on a register and made available for public inspection. Information and documentation relevant to a development application may be made available via the Internet. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office, the Registrar General's Office, ACTEW Corporation, ActewAGL, Territory and Municipal Services Directorate and other Government agencies with a direct interest in the development assessment process. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. EPSDD's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by EPSDD, and how you may complain about an alleged breach of the Territory Privacy Principles. The EPSDD Information Privacy Policy can be found at www.environment.act.gov.au

Does the Commonwealth Environment Protection and Biodiversity Conservation Act 1999 (EPBC) affect your proposal?

The EPBC came into operation on 16 July 2000. It establishes an environmental assessment and approval system that is separate and distinct from the ACT system. It does not affect the validity of ACT development assessment and approval processes, but may affect the assessment track. The ACT cannot provide preliminary advice on whether a proposal falls within the definition of a controlled action, or requires referral to the Commonwealth. You should consult with the Commonwealth to determine if your proposal is a controlled action before seeking any approvals under the Planning and Development Act 2007. For information about the EPBC, including the referral process and when a referral should be made, contact: the Department of Sustainability, Environment, Water, Population and Communities, GPO Box 787, CANBERRA ACT 2601 Telephone: 62741111

Contact Details: Environment, Planning and Sustainable Development Directorate, Land, Planning and Building Services Shopfront, GPO Box 158, Canberra City 2601, 8 Darling Street, Mitchell ACT 2911 Business Hours: 8.30am to 4.30pm weekdays (excluding Public Holidays) Phone: (02) 6207 1923 Email: epdcustomerservices@act.gov.au Website: www.environment.act.gov.au

Planning and Development Act 2007

Development Application

Application Number: **202139347**

Before Starting

PLEASE NOTE: This wizard will time out if left inactive for a period of more than two hours, after which time you will lose your application and be required to complete a new wizard. It is recommended you **save** this session if it is to be left inactive for an extended period of time.

Please ensure that your screen is set to the highest resolution (e.g. 1280 by 1024 pixels) to ensure all content in the wizard is visible.

I confirm I have provided all documentation in accordance with the [minimum documentation requirements for lodgement of a development application](#)

Confirm

Please note that fees apply for incomplete submissions.

Type of Application

The type of application you are applying for is a **New Application**

Are you applying for a:

Development Application

Has a pre-application meeting been held in relation to this proposal?

No

Lease/Site Details

Site Number: 1

If your rural property is identified by a Block/Section/Suburb, please select the "Urban" radio button.

Urban

Suburb	Section	Block Number	Unit Number
<input type="text" value="NARRABUNDAH"/>	<input type="text" value="48"/>	<input type="text" value="10"/>	<input type="text"/>

Street Address

Applicant Details

What type of applicant are you:

Business

ACN or ABN

Company Name

Position held / Title

Salutation

First Name

Surname

Postal Address 1

Postal Address 2

Postal Address 3

Suburb

State/Territory

Postcode

Country

Phone Number

Fax Number

Mobile Number

Email

Lessee (Property Owners) Details

Lessee Number: 1

Is the Lessee a:

 Organisation or Government entity

Australian Business Number (ABN)

Company Name

Position held / Title

Salutation

First Name

Surname

Postal Address 1

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Suburb

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Please specify which zone applies to this application (please select one zone only). Please click [here](#) to access ACTMAPi and locate the zone.

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Please specify which development code applies to this application.

Residential zones - Multi-Unit Housing Development Code

Please specify all relevant precinct code/s applied to your proposal

Loose-Fill Asbestos

Is this a loose-fill asbestos affected ("Mr Fluffy") block?

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Fully Describe Your Proposal

Please provide a full description of your proposal (Note: This must accurately describe all aspects of your proposal and include any lease changes being applied for.)

New Residential dwellings for supportive housing. 3 new dwellings, detached, each with a new pergola. New proposed driveway and verge works maintaining existing verge levels.

Proposed Use of the Land

Describe the use of the development. **Example:** Residential use for a maximum of 7 residential units. (Note: Please refer to the Territory Plan definitions for land use definitions. Please also consider what is permitted under any Crown Lease for the site.)

Residential use for supportive housing, maximum 3 dwellings.

Is the proposed use consistent with the current Crown lease?

No

Assessment Track

Please indicate which assessment track applies to this Development Application: (If you are not sure which assessment track applies, please contact Environment, Planning and Sustainable Development Directorate on (02)62071923)

Merit

For more information about which track your development application will be assessed in, please click [here](#). *Please note, the Environment, Planning and Sustainable Development Directorate may refuse to accept a development application made in an incorrect assessment track. If the Environment, Planning and Sustainable Development Directorate assesses an application made in the incorrect assessment track it must refuse the application (S.114 (3)).*

Type of Development

Please indicate which type of development applies to this development application.

Multiple Dwelling

Multiple Dwelling

Please select a Multiple Dwelling sub type:

New Development

Number of new dwellings to be constructed

Total number of Dwellings on the block

Does your proposal involve work on a Dual Occupancy development?

No

Community Consultation Summary

Is this proposal -

A building for residential use with 3 or more storeys and 15 or more dwellings?

No

A building with a gross floor area of more than 5000m²?

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A building or structure more than 25m above finished ground level?

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Please Note A development application cannot be lodged if the development proposal meets one of the triggers and the application does not include the pre-DA lodgement community consultation form.

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Does the proposal include building/s that are five (5) or more storeys?

No

Have you consulted with the National Capital Design Review Panel (NCDRP)?

No

From 1 October 2019, a proponent must consult with the NCDRP about a development proposal that is 5 or more storeys. Application will not progress, please contact designreview@act.gov.au

Gross Floor Area (GFA) and Cost of Works

Please ensure that all values contain a decimal point followed by two digits

Gross Floor Area Calculation

A - Gross Floor Area (existing) (m²)

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D - Total Gross Floor Area of development (A-B+C)(m²)

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F - Area of other BCA Class 10 structures included in this application
(e.g. metal carport, pergola, deck, verandah) (m²)

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H - COST OF WORKS (F & G) (\$)

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I - Cost of all associated works such as landscaping (\$)

J - Cost of all public works and/or off site works (\$)

K - TOTAL COST OF WORKS (E+H+I+J)

Cost of works **MUST be calculated in accordance with the current version of [Building \(General\) \(Cost of Building Work\) Determination](#) OR a summary of costs from a bill of quantities prepared by a quantity surveyor supplied with application. A summary of costs from a bill of quantities MAY be requested for proposals where cost of work is between \$0 and \$10 million. A summary of costs from a bill of quantities **MUST** be provided for proposals where cost of work is over \$10 million.*

Demolition, Trees, Waste Management

Demolition

Is the [Demolition](#) item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

No

Please seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application **OR** provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Authority. Please click [here](#) for more information about entity referral requirements.

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Is the Trees item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

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NOTE: Only relevant for single dwelling housing where the development will generate a total of 20 cubic metres or greater of demolition and/or excavation waste

Is the Waste Management item relevant to your proposal?

Yes

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Have you provided required documentation for [referral](#) to Entity?

No

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Heritage

Is the [Heritage](#) item relevant to your proposal?

No

Hazardous Materials, Contamination, Erosion and Sediment Control

Hazardous Material

Is the Hazardous Materials item relevant to your proposal?

No

Contamination

Is the Contamination item relevant to your proposal?

No

Erosion and Sediment Control (for sites less than 0.3 of a hectare)

Is the Erosion and Sediment Control (for sites less than 0.3 of a hectare) item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for [referral](#) to Entity?

Yes

For works such as class 10 structures, additions and alterations, and backyard swimming pools - a note on the plan that "the development will comply with the ACT Environment Protection Authority, Environment Protection Guidelines for Construction and Land Development in the ACT" is required. In circumstances where there is a reasonable risk that soil from the required earth works in the front of the block will impact on the stormwater system because the block slopes towards the street a separate Erosion & Sediment Control Plan will be required

Erosion and Sediment Control (for sites greater than 0.3 of a hectare)

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No

Servicing & Site Management, Utilities

Servicing and Site Management

Is the Servicing and Site Management item relevant to your proposal?

Yes

Have you provided Entity Endorsement?

No

Have you provided required documentation for *referral* to Entity?

Yes

Utilities

Is the *Utilities* item relevant to your proposal?

Yes

Please tick the relevant entities

Water

Electricity

Sewerage

Gas

Stormwater

Have you provided Entity Endorsement?

No

Have you provided required documentation for *referral* to Entity?

Yes

Are you relocating or constructing any new services?(If unsure please contact relevant service providers before submitting this application).

No

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National Capital Plan, Crime Prevention, Access & Mobility, Traffic Generation

National Capital Plan

Is the *National Capital Plan* item relevant to your proposal?

No

Crime Prevention through Environmental Design

Is the *Crime Prevention* item relevant to your proposal?

No

Access and Mobility

Is the Access and Mobility item relevant to your proposal?

No

Traffic Generation

Is the Traffic Generation item relevant to your proposal?

No

Parking

Parking (car)

Is the *Parking (car)* item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the *Territory Plan*?

Yes

Parking (bicycle)

Is the *Parking (bicycle)* item relevant to your proposal?

No

Signs, Neighbourhood Plans, Water Sensitive Urban Design

Signs

Is the *Signs* item relevant to your proposal?

No

Neighbourhood Plans

Is the *Neighbourhood Plans* item relevant to your proposal?

No

Water Sensitive Urban Design (Mains Water Consumption)

Is the Water Sensitive Urban Design (Mains Water Consumption) item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the *Territory Plan*?

Yes

Water Sensitive Urban Design (Stormwater Quality)

Is the Water Sensitive Urban Design (Stormwater Quality) item relevant to your proposal?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the [Territory Plan](#)?

Yes

Water Sensitive Urban Design

Water Sensitive Urban Design (Stormwater Quantity)

Is the Water Sensitive Urban Design (Stormwater Quantity) item relevant to your application?

Yes

Have you provided documentation that demonstrates how your proposal complies with the requirements of the [Territory Plan](#)?

Yes

Driveways (For works on verge only)

PLEASE NOTE: For proposals that include construction or modification of a driveway this application **MUST** be signed by the land custodian (Government Land Custodian - Asset Acceptance) as the works will be undertaken on unleased land **EXCEPT FOR DUAL OCCUPANCY DEVELOPMENT PROPOSALS**. For more information on driveways, garages and carports, please click [here](#).

Does your proposal include construction or modification of driveway/s?

Yes

Please indicate the works to be undertaken

Construction of new driveway

Survey Requirements - S.139(2)(l) - P & D Act 2007

If this application is for approval of a development that requires construction work to be carried out on land that has previously been developed and is not leased for rural purposes, a survey certificate for the land where the development is to be carried out (prepared and signed by a registered surveyor) must accompany this application unless exempt by Regulation 25 of the [Planning and Development Regulations 2008](#)

Do you have a survey certificate with this application?

Yes

Development Undertaken Without Approval - S.205 - P & D Act 2007

Is this application for development undertaken without approval?

No

*If YES - Under Section 139(2)(m) of the Planning and Development Act 2007, plans of the development signed by a registered surveyor confirming the location and dimensions of the development **must** be submitted with this application. The plans need to confirm the height, width and length dimensions of the development and the setback dimensions of the development from the block boundaries. The information may be provided on one plan or on a series of plans provided each plan is signed by a registered surveyor. Note: For all unapproved development involving construction the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features must comply with utility standards, access provisions and asset clearance zones. For more information on development exempt from approval, please click [here](#). For more information on development applications for developments undertaken without approval, please refer to S205 under the [Planning and Development Act 2007](#)*

Exclusion from Public Inspection

In accordance with the requirements of Sections 28 and 30 of the [Planning and Development Act 2007](#), the Environment, Planning and Sustainable Development Directorate must make the details and associated documents relevant to a development application available for public inspection.

If you wish to apply to have all or part of this development application excluded from public inspection, you must meet the requirements of Section 411(5) or 412(1) of the Planning and Development Act 2007

Are you requesting an exclusion from [Public Inspection](#)?

No

Conflict of Interest Declaration

Does the applicant or the lessee have any association with the Environment, Planning and Sustainable Development Directorate staff?

No

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation

Applicant/Lessee Declaration

I/we hereby apply for approval to carry out the development described on the land specified in this application;

I/we declare that this application is accompanied by all of the required information or documents that address the relevant rules and/or relevant criteria for it to be considered for approval;

I/we understand that the information submitted with this application form will undergo a documentation check prior to the payment of fees and formal lodgement of the application. Further information may be required prior to the acceptance of the development application by the Directorate;

I/we have provided all relevant documentation in accordance with the [minimum documentation requirements for lodgement of a Development Application \(DA\)](#). Please note, a fee may be charged if your application does not contain all the required documentation;

I/we understand that this application will be considered lodged once the relevant application fees have been paid;

I/we understand that if during the assessment of this application it is found to have been submitted in the incorrect assessment track the application will be refused and I/we will not be entitled to a refund or transfer of fees;

I/we understand that the documentation provided on CD/DVD or via the electronic lodgement process will be considered to be the relevant documentation associated with this application. All development application documentation will be made available for [public inspection](#) including via the Internet unless exclusion has been approved;

If the time for deciding the application (prescribed period) has ended and a decision has not been reached I/we understand that the application will be deemed refused and the Environment, Planning and Sustainable Development Directorate will not provide written advice of this decision. I/we also understand that the Environment, Planning and Sustainable Development Directorate is able to still consider the application and make a decision after the expiration of the prescribed period;

I/we hereby authorise the Environment, Planning and Sustainable Development Directorate its servants and agents to erect sign/s on the subject property(s) as required;

I/we hereby authorise ACT Government officers to access the subject property(s) for the purpose of evaluating the proposal(including the inspection of driveways and trees);

I/we (lessee) appoint the applicant whose signature appears in the attached [letter of appointment](#) to act on my/our behalf in relation to this Development Application. This authorises the applicant to pay all application fees, bonds and securities, liaise with the Environment, Planning and Sustainable Development Directorate when required, alter, amend or provide further information as necessary and receive any communications relating to this Development Application;

I understand that costs associated with the relocation of any engineering services (light poles, storm water, sumps etc) will be at my expense and that I will indemnify the ACT Government, its servants and agents against any claims arising during the relocation of these services;

I understand that construction of any driveway associated with this application may not commence

until the contractor has received endorsement by the relevant government entity;

I understand that a Certificate of Design Acceptance and a Road Opening Permit and Temporary Management Plan must be obtained from the relevant government agencies prior to the start of construction works;

I/we declare that all the information given on this form and its attachments is true and complete;

If lodging on behalf of a company, organisation or Government agency: -

I/we declare I/we have the appropriate delegation or authority to sign on behalf of the company, organisation or Government agency;

I declare that I am the person shown in this eDA form as the Applicant, and by clicking the ACCEPT button below I understand that this replaces my requirement to sign a hard copy of this application.

I accept the above declarations

Accept

Acceptance Date

04 Nov 2021

Before Submitting

You have almost completed the first stage of your Development Application/Pre-Application request. **PLEASE ENSURE YOUR WIZARD SESSION IS SAVED BEFORE PROCEEDING.** This will enable you to resume your session in the event of a system outage or other interruption.

When you click on Finish below, you will be navigated to a new page which will enable you to upload any associated plans/documents prior to submitting to EPSDD for review.

Development applications (DAs) can be delayed unnecessarily because EPSDD does not have all the information it needs to undertake an assessment and make a decision.

To avoid delays ensure all required sections of the wizard are answered correctly and all required documentation is uploaded. In particular:

1. A signed appointment letter from all lessee's must be provided if works are to performed on the verge, a signed endorsement letter must be provided by the relevant Government Custodian;
2. Public register plans for residential applications are included;
3. You **MUST** include a statement against the criteria for development applications that will be assessed in the Merit track;
4. If the application is for a single unit on a unit titled block body corporate authorisation is required if there is works on a common property

If you are still not sure how to proceed or want to ensure you have everything you need for your application, you can call the Land, Planning and Building Services Shopfront on 6207 1923 and ask to speak with a technical officer.

Privacy Notice

The personal information on this form is provided to the Environment, Planning and Sustainable Development Directorate (EPSDD) to enable the processing of your application. The collection of personal information is authorised by the Planning and Development Act 2007. If all or some of the personal information is not collected EPSDD cannot process your application. The Planning and Development Act 2007 requires the details of applications, decisions and orders to be kept on a register and made available for public inspection. Information and documentation relevant to a development application may be made available via the Internet. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office, the Registrar General's Office, ACTEW Corporation, ActewAGL, Territory and Municipal Services Directorate and other Government agencies with a direct interest in the development assessment process. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. EPSDD's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by EPSDD, and how you may complain about an alleged breach of the Territory Privacy Principles. The EPSDD Information Privacy Policy can be found at www.environment.act.gov.au

Does the Commonwealth Environment Protection and Biodiversity Conservation Act 1999 (EPBC) affect your proposal?

The EPBC came into operation on 16 July 2000. It establishes an environmental assessment and approval system that is separate and distinct from the ACT system. It does not affect the validity of ACT development assessment and approval processes, but may affect the assessment track. The ACT cannot provide preliminary advice on whether a proposal falls within the definition of a controlled action, or requires referral to the Commonwealth. You should consult with the Commonwealth to determine if your proposal is a controlled action before seeking any approvals under the Planning and Development Act 2007. For information about the EPBC, including the referral process and when a referral should be made, contact: the Department of Sustainability, Environment, Water, Population and Communities, GPO Box 787, CANBERRA ACT 2601 Telephone: 62741111

Contact Details: Environment, Planning and Sustainable Development Directorate, Land, Planning and Building Services Shopfront, GPO Box 158, Canberra City 2601, 8 Darling Street, Mitchell ACT 2911 Business Hours: 8.30am to 4.30pm weekdays (excluding Public Holidays) Phone: (02) 6207 1923 Email: epdcustomerservices@act.gov.au Website: www.environment.act.gov.au

SITE INFORMATION

MULTI UNIT HOUSING	ADAPTABLE CLASS C	MR FLUFFY SURRENDERED BLOCK	ZONE	CODE	BLOCK DATE	BLOCK SIZE	BLOCK AREA	PLOT RATIO MAX	GFA MAX
			RZ1	MUHDC 2021	<2013	LARGE	1112m ²	35%	389m ²

SETBACKS

FRONT SETBACK / GARAGE	6m
SECONDARY SETBACK	N/A
GARAGE TO BOUNDARY -180mm	N/A
WALL ON BOUNDARY	N/A
SIDE SETBACK 1/ REAR	3m
SIDE SETBACK 2	3m
DISTANCE BETWEEN UNITS	3m
BU LD NG HEIGHT (2 STOREY MAX)	8.5m
BDG ENVELOPE	45° @ 3.5m
SOLAR FENCE PBZ	31° @ 2.4m
SOLAR FENCE RZ	31° @ 1.8m

PRIVATE OPEN SPACE

PRINCIPAL (PPOS) NORTH - U1	M N 36m ²
PRINCIPAL (PPOS) NORTH - U2	M N 36m ²
PRINCIPAL (PPOS) NORTH - U3	M N 36m ²
M N 40% OF BLOCK COS + POS	445m ²
ACTUAL COS + POS	453m ²
PARKING SPACES M N	5
DRIVEWAY - 3m WIDE	
-1m PLANTING TO FENCE	NO, REFER SARC C73 a)
- INTERNAL DRIVEWAY 1.5m FROM WINDOWS	

WSUD & EROSION

COMPLIES WITH ACT EPA GUIDELINES	
COMPLIES WITH WSUD GENERAL CODE	
CONNECT WC, LDY COLD WATER, EXT TAPS	
RWT	5000L
ROOF AREA	416m ²
CONNECT LESSER OF 50% OR	<125m ²

GROSS FLOOR AREA

HOUSE	FOOTPR NT	GFA
1 LIVING	96 m ²	96 m ²
1 GARAGE	28 m ²	0 m ²
1 PORCH	4 m ²	0 m ²
1 PERGOLA	15 m ²	0 m ²
	143 m ²	96 m ²
2 LIVING	105 m ²	102 m ²
2 GARAGE	24 m ²	0 m ²
2 PORCH	3 m ²	0 m ²
2 PERGOLA	16 m ²	0 m ²
	147 m ²	102 m ²
3 LIVING	105 m ²	102 m ²
3 GARAGE	24 m ²	0 m ²
3 PORCH	3 m ²	0 m ²
3 PERGOLA	15 m ²	0 m ²
	147 m ²	102 m ²
TOTAL AREA	437 m ²	299 m ²

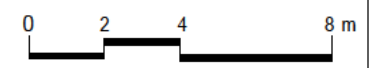
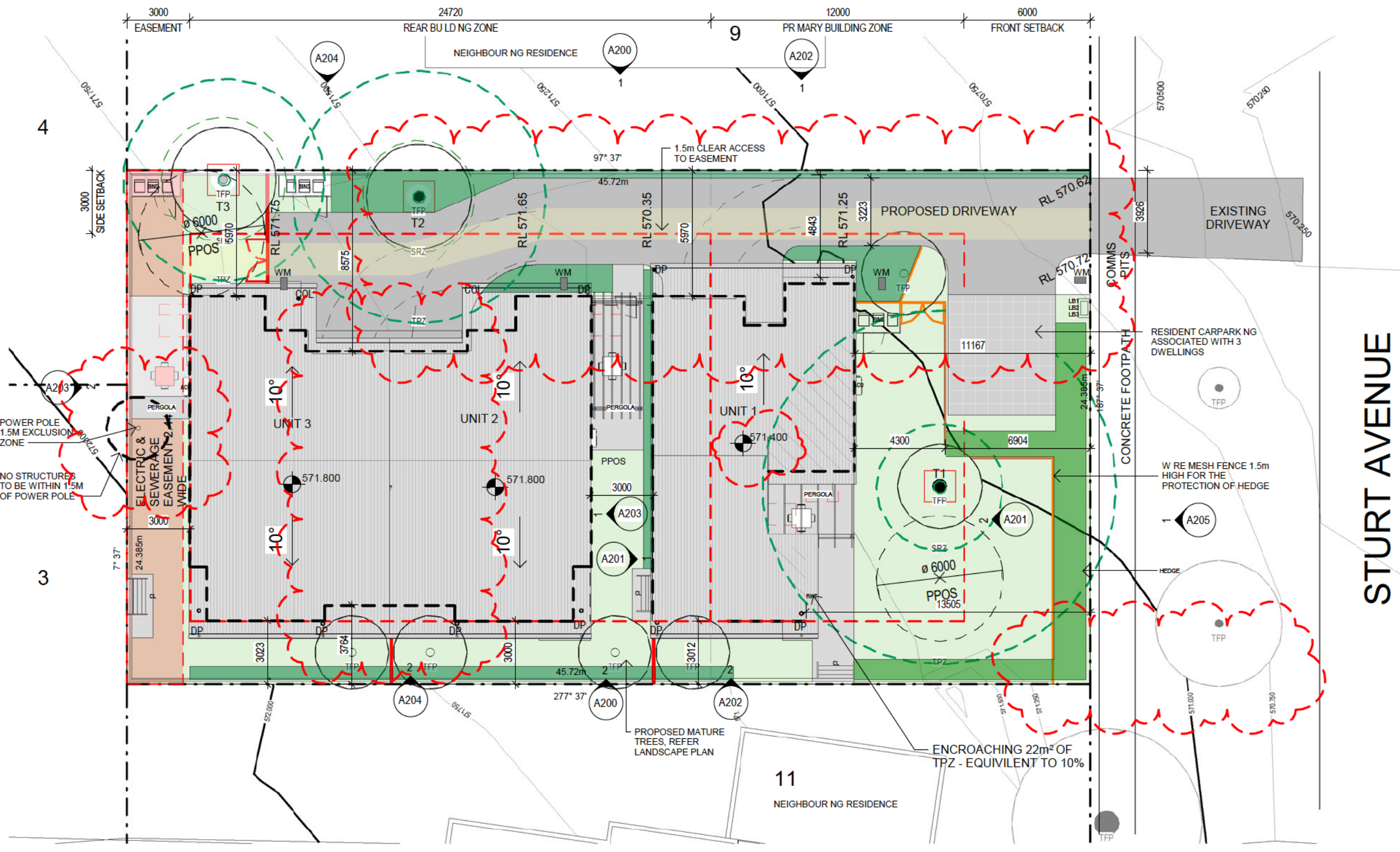
NOTE

- 450mm EAVES
- FOOTINGS & POSTS BUILT CLEAR OF UNDERGROUND SERVICES ZONE OF INFLUENCE - TO ENG NEERS DETAIL

NO.	DATE	DESCRIPTION
A	23.06.21	FOR CLIENT REVIEW
B	23.07.21	FOR CLIENT REVIEW
C	30.07.21	FOR CLIENT REVIEW
D	06.08.21	FOR CLIENT REVIEW
E	13.08.21	FOR DA SUBMISSION
F	20.08.21	FOR DA SUBMISSION
G	30.09.21	FOR DA
H	12.10.21	FOR APPROVAL
I	07.02.22	AMENDMENT
J	11.02.22	FOR CLIENT REVIEW
K	17.02.22	TCCS & EVO ENERGY AMENDMENTS

LEGEND

- REGISTERED TREE
- UNREGISTERED TREE
- TREE TO DEMOLISH
- BOUNDARY LINE
- SETBACK
- ABANDONED SERVICES
- COMMS (TELSTRA/NBN)
- U/G ELECTRICAL
- O/H ELECTRICAL
- GAS
- SEWER
- STORMWATER
- WATER
- EASEMENT CLEAR ACCESS
- METAL FENCE 1.8m HIGH
- WIRE MESH FENCE 1.5m HIGH FOR THE PROTECTION OF HEDGE
- STRIP DRAIN - FLAT ENTRY
- TFP TREE PROTECTION FENCE
- TPZ TREE PROTECTION ZONE
- SRZ STRUCTURAL ROOT ZONE
- LB LETTER BOX
- DP DOWN PIPE
- WM WATER METER 7.62"



Client: HOUSING ACT

Project Title: 6 SITES - NARRABUNDAH

Project Status: DEVELOPMENT APPROVAL

Project Address: 32 STURT AVENUE NARRABUNDAH

Block: 10 Section: 48 Division: NARRABUNDAH

All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided drawings must be read in conjunction with schedule of work or specification.

Drawing Title: **SITE, ROOF, AREA & PARKING PLAN**

Design Project Manager: CH	Project Architect: CH	Design Verifier: SDV
Scale: 1:200	Sheet Size: A3	Drawn: AP
Project No: 2116	Sheet No: A001	Amendment: K

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ACT
Government

Environment, Planning and
Sustainable Development

CHECKLIST

Dispatch Advice Checklist

DA Number: 202139347

Unit(s): Block(s): 10 Section: 48 District/Division: NARRABUNDAH

Case Officer: LINCOLN RIXON-PETTY Contact Number: 52888 Decision Date: 3-Jun-22

Application Type: **MERIT TRACK DA**

Dispatch Plans: **NO** Dispatch by: **NOT APPLICABLE**

Plans have been moved to the sub-folder in the approved plans folder however have not been stamped as relevant conditions are yet to be satisfied. The plans are not to be dispatched.

Dispatch Entity Referral Advice: **YES**

An Objective alias for the relevant mandatory entity referral advice received from ActewAGL, Actew Corporation, Environment Protection Agency and/or Asset Acceptance, as per S149 of the *Planning and Development Act 2007*, has been moved to the approved plans folder.

Type of Decision: **APPROVED WITH CONDITIONS** Decision By:
DELEGATE OF THE AUTHORITY

Representations: **YES**

Appeal Rights

Applicant: **YES**

Person who made Representation: **YES**

Encroachment

Is an application for encroachment (minor) to be dispatched to the applicant? **NOT APPLICABLE**
(If yes, create application for encroachment (minor) document from Intelledox and attach to Notice of decision)

Draft crown leases/Instruments of Variations

Does the NOD require the draft crown leases or Instruments of Variation put with the NOD?

YES added to NOD

(If yes, DA officer to include any attachments with the NOD where the DA includes a Lease Variation)

Entities to be advised

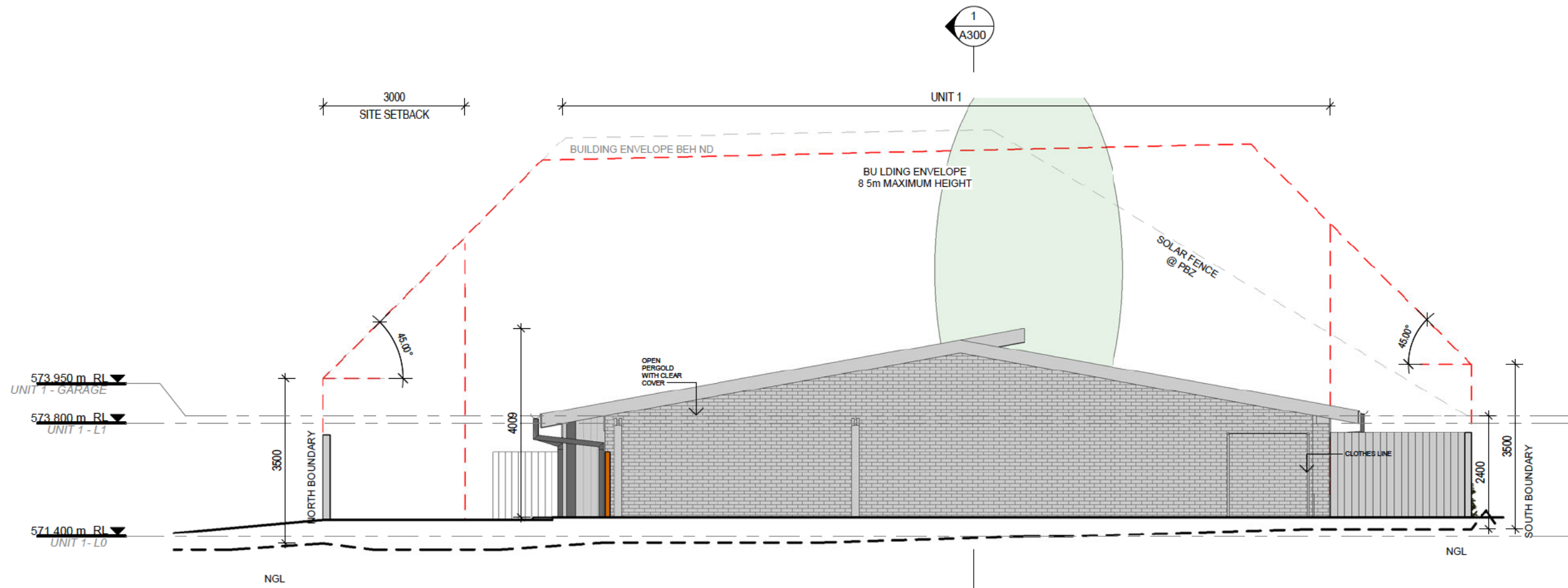
Referral Required: **YES**

NB: Section 174 of the Act states that "The planning and land authority must give a copy of the decision on the development application to each entity to which the application was referred".

<input checked="" type="checkbox"/>	DA Leasing Referral Required – ACTPLADALeasing@act.gov.au
<input type="checkbox"/>	Deed Mgt. Referral Required
<input type="checkbox"/>	Land Reg. Referral Required
<input type="checkbox"/>	Action Buses (refer to Asset Acceptance)
<input checked="" type="checkbox"/>	ICON Water (formerly ActewAGL Water)
<input checked="" type="checkbox"/>	ActewAGL (All other entities)
<input type="checkbox"/>	ACT Health
<input type="checkbox"/>	ACT Heritage Council
<input type="checkbox"/>	ACT Valuation Office
<input checked="" type="checkbox"/>	Asset Acceptance
<input type="checkbox"/>	Australian Communications and Media Authority
<input type="checkbox"/>	Australian National University
<input type="checkbox"/>	City Renewal Authority
<input checked="" type="checkbox"/>	Conservator of Flora and Fauna (Referred under S147A or S148)
<input type="checkbox"/>	Commonwealth Department of the Environment (Only Applicable to Impact Track Applications Referred Under S127A.
<input type="checkbox"/>	Custodian of the land -
<input type="checkbox"/>	Emergency Services (Fire or Ambulance)
<input checked="" type="checkbox"/>	Environment Protection Agency
<input type="checkbox"/>	Gambling and Racing Commission
<input type="checkbox"/>	Gateway Team
<input type="checkbox"/>	Heritage
<input checked="" type="checkbox"/>	Housing and Community Services
<input type="checkbox"/>	Land Development Agency
<input type="checkbox"/>	Land and Property Services
<input type="checkbox"/>	Leasing – General Leasing Encroachments and Licences
<input type="checkbox"/>	Megan Corrigan-Access Canberra All Multi-Dwelling decisions and any that relate to permanent structures, on unleased Territory land, associated with permits for outdoor eating.
<input type="checkbox"/>	Owners Corporation Lease variation for single units – please use relevant letter template
<input type="checkbox"/>	National Capital Authority
<input type="checkbox"/>	Police
<input type="checkbox"/>	Queanbeyan City Council
<input type="checkbox"/>	Register General's Office
<input type="checkbox"/>	Surveying and Spatial Data
<input type="checkbox"/>	Territory Plan Variation Unit
<input type="checkbox"/>	Transport Planning
<input type="checkbox"/>	Tree Protection
<input type="checkbox"/>	WorkCover
<input type="checkbox"/>	Yass City Council
<input type="checkbox"/>	ACT Place Names - Placenames@act.gov.au
<input type="checkbox"/>	Other -

Comments

NO.	DATE	DESCRIPTION
A	30.07.21	FOR CLIENT REVIEW
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C	13.08.21	FOR DA SUBMISSION
D	20.08.21	FOR DA SUBMISSION
E	30.09.21	FOR DA
F	12.10.21	FOR APPROVAL
G	11.02.22	FOR CLIENT REVIEW
H	17.02.22	TCCS & EVO ENERGY AMENDMENTS



1 UNIT 1 - WEST ELEVATION
A001 1:100



Client:
HOUSING ACT

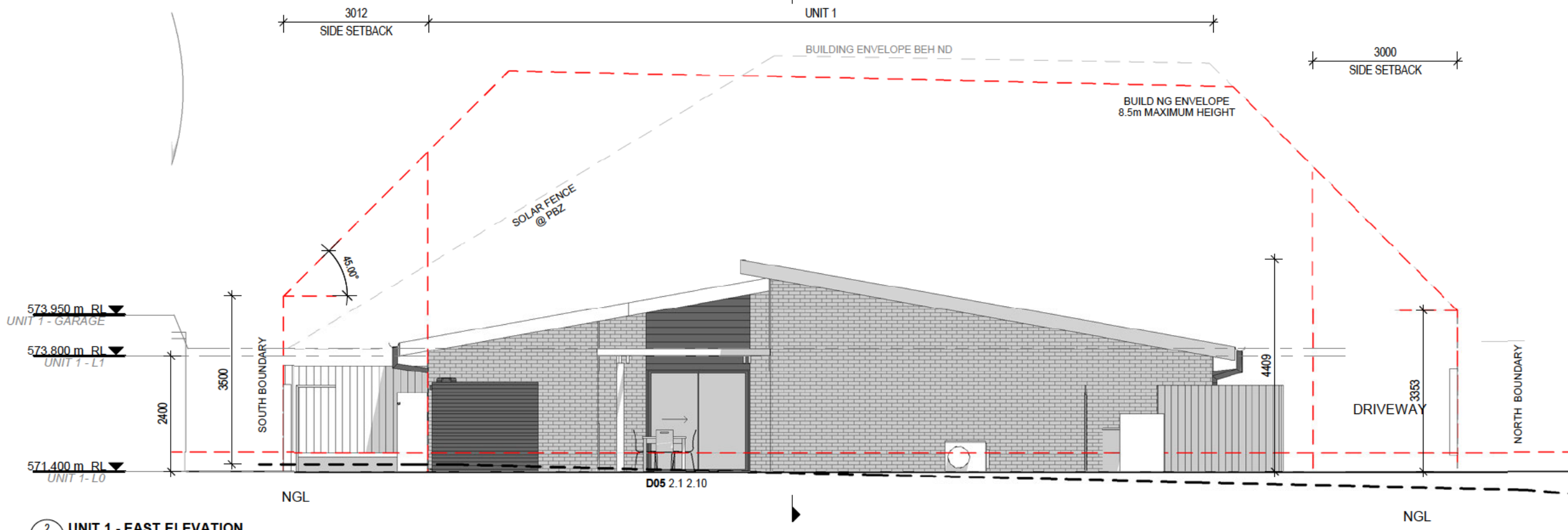
Project Title:
6 SITES - NARRABUNDAH

Project Status:
DEVELOPMENT APPROVAL

Project Address:
32 STURT AVENUE NARRABUNDAH

Block: 10 Section: 48 Division: NARRABUNDAH

All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.



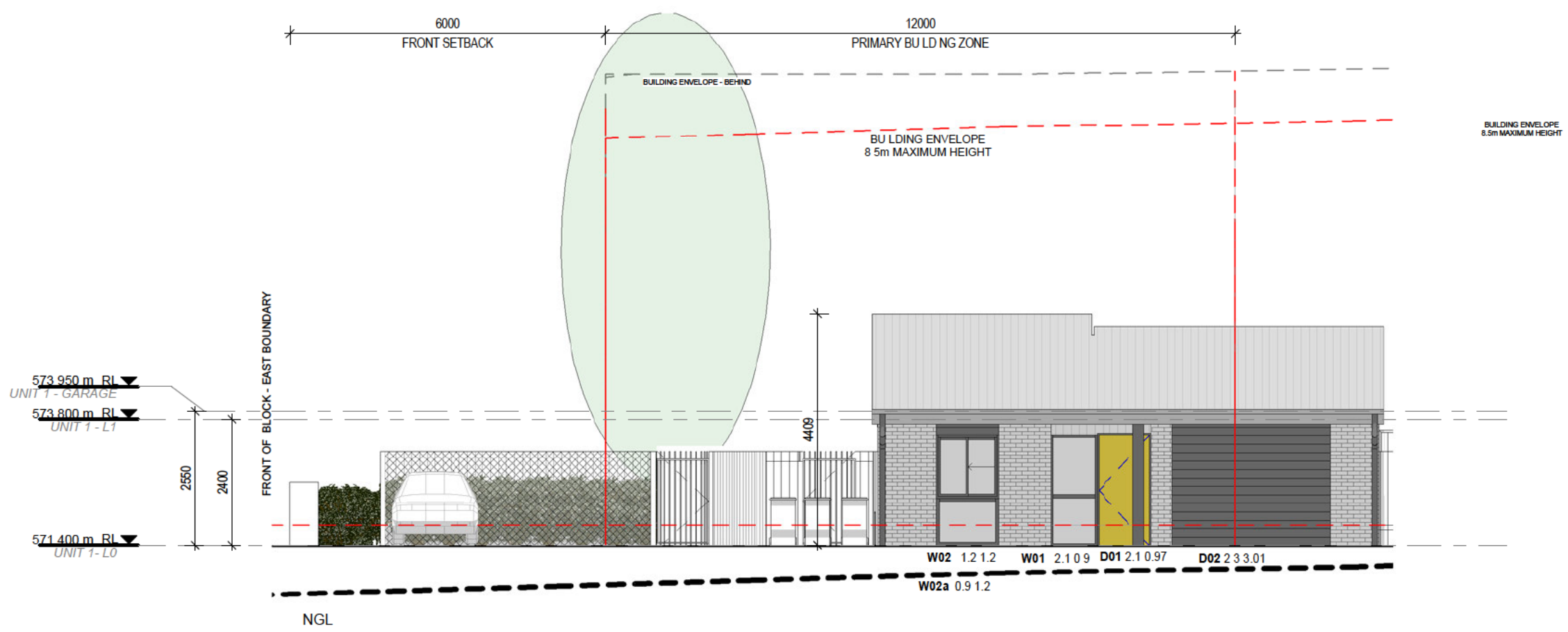
2 UNIT 1 - EAST ELEVATION
A001 1:100

Drawing Title:
ELEVATIONS - UNIT 1 - E+W

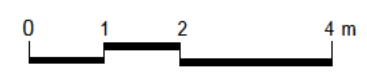
Design Project Manager: CH	Project Architect: CH	Design Verifier: SDV
Scale: 1:100	Sheet Size: A3	Drawn: AP
Project No. 2116	Sheet No. A201	Amendment: H

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NO.	DATE	DESCRIPTION
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E	30.09.21	FOR DA
F	12.10.21	FOR APPROVAL
G	11.02.22	FOR CLIENT REVIEW



1 UNIT 1 - NORTH ELEVATION
A001 1:100



Client:
HOUSING ACT

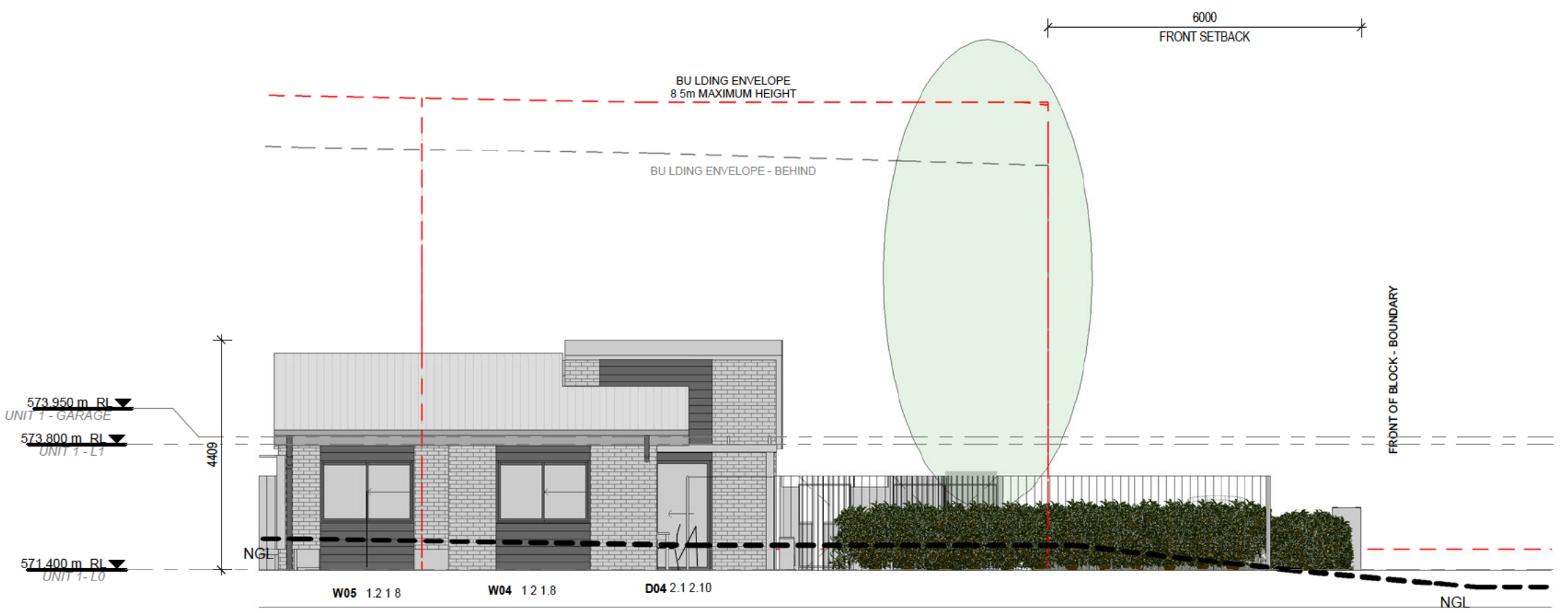
Project Title:
6 SITES - NARRABUNDAH

Project Status:
DEVELOPMENT APPROVAL

Project Address:
32 STURT AVENUE NARRABUNDAH

Block: 10 Section: 48 Division: NARRABUNDAH

All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.



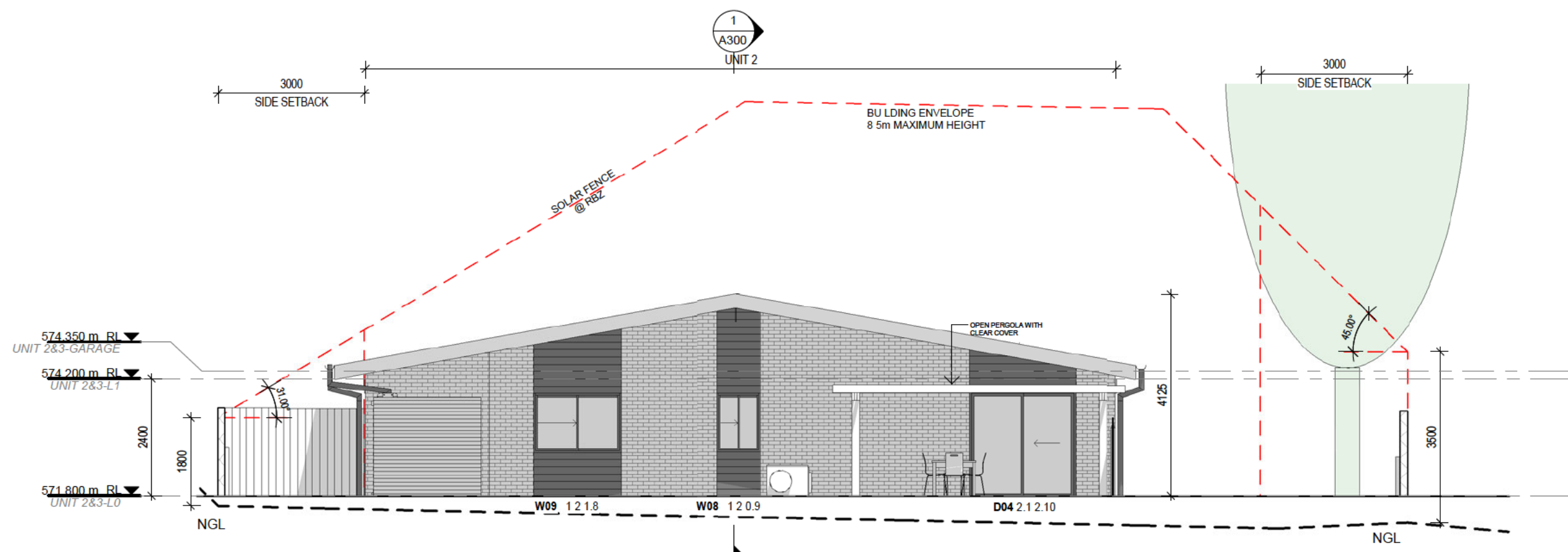
2 UNIT 1 - SOUTH ELEVATION
A001 1:100

Drawing Title:
ELEVATIONS - UNIT 1 - N+S

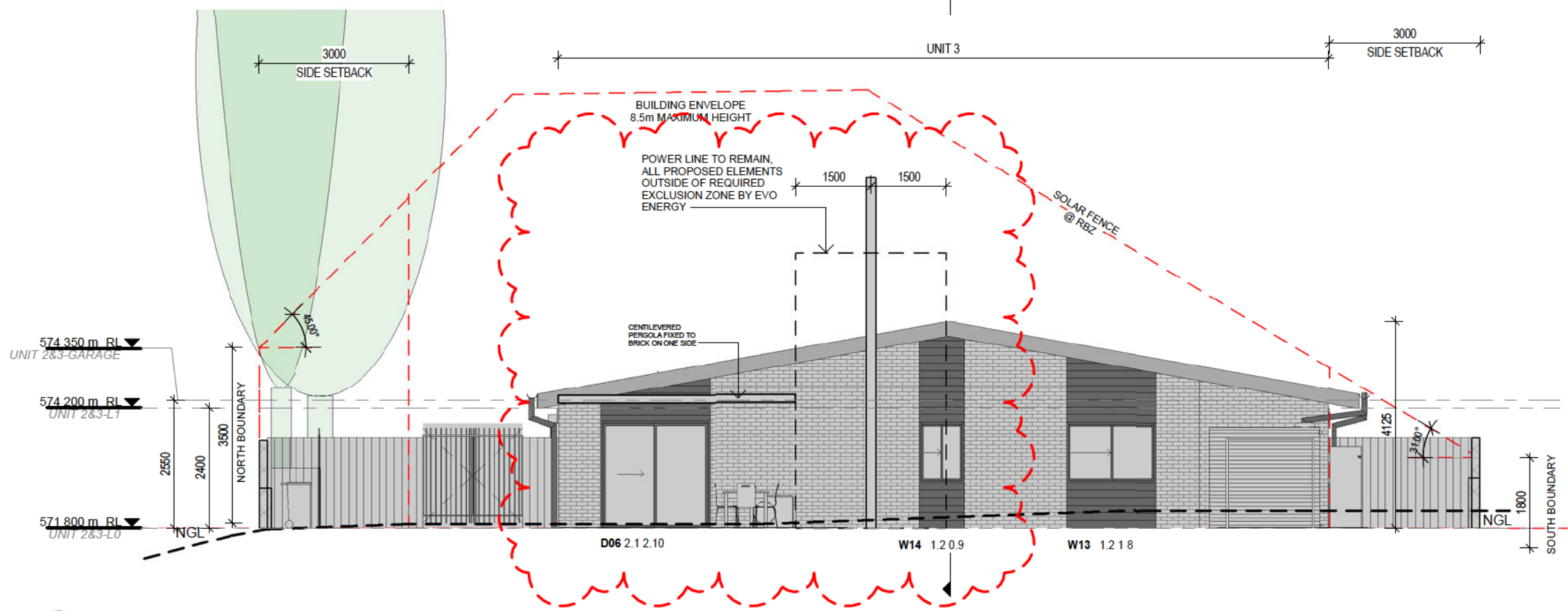
Design Project Manager: CH	Project Architect: CH	Design Verifier: SDV
Scale: 1:100	Sheet Size: A3	Drawn: AP
Project No. 2116	Sheet No. A202	Amendment: G

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F	12.10.21	FOR APPROVAL
G	11.02.22	FOR CLIENT REVIEW
H	17.02.22	TCCS & EVO ENERGY AMENDMENTS



1 UNIT 2 - EAST ELEVATION
A001 1:100



2 UNIT 3 - WEST ELEVATION
A001 1:100



Client: HOUSING ACT

Project Title: 6 SITES - NARRABUNDAH

Project Status: DEVELOPMENT APPROVAL

Project Address: 32 STURT AVENUE NARRABUNDAH

Block: 10 Section: 48 District: NARRABUNDAH

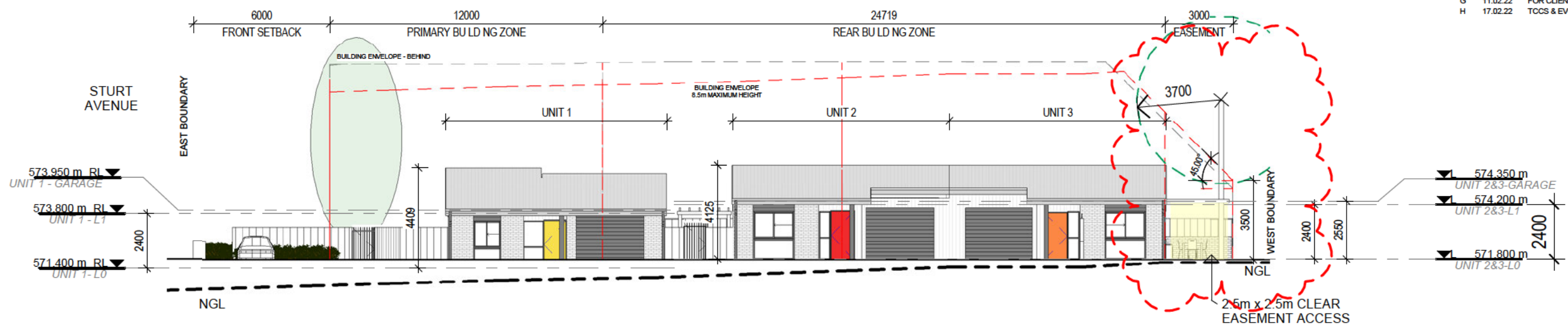
All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

Drawing Title: ELEVATIONS - UNIT 2 & 3 - E+W

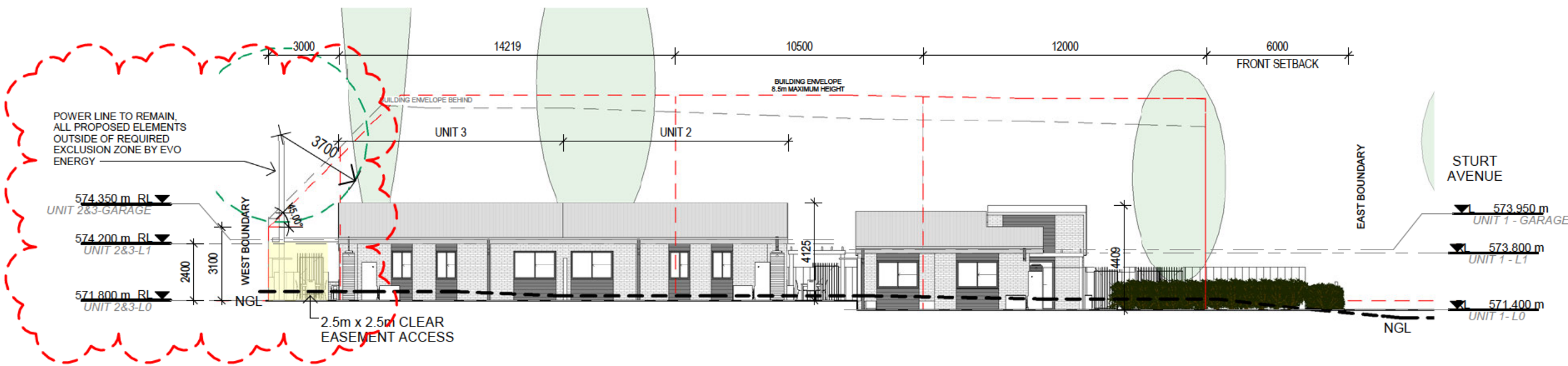
Design Project Manager	Project Architect	Design Verifier
CH	CH	SDV
Scale	Sheet Size	Drawn
1:100	A3	AP
Project No.	Sheet No.	Amendment
2116	A203	H

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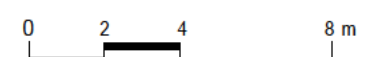
NO.	DATE	DESCRIPTION
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B	06.08.21	FOR CLIENT REVIEW
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D	20.08.21	FOR DA SUBMISSION
E	30.09.21	FOR DA
F	12.10.21	FOR APPROVAL
G	11.02.22	FOR CLIENT REVIEW
H	17.02.22	TCCS & EVO ENERGY AMENDMENTS



1 SITE ELEVATION - NORTH
A001 1:200



2 SITE ELEVATION - SOUTH
A001 1:200



Client:
HOUSING ACT

Project Title:
6 SITES - NARRABUNDAH

Project Status:
DEVELOPMENT APPROVAL

Project Address:
32 STURT AVENUE NARRABUNDAH

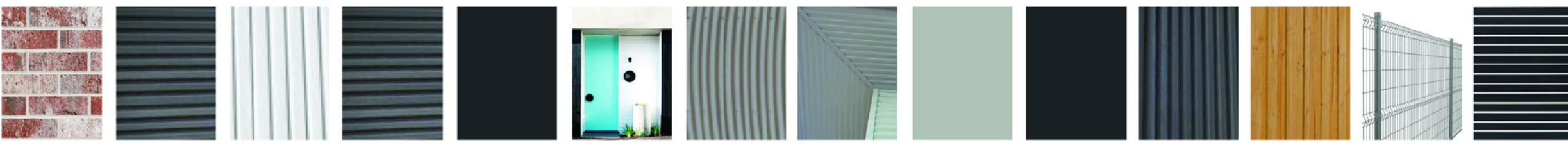
Block: 10 Section: 48 District: NARRABUNDAH

All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

Drawing Title:
ELEVATIONS - SITE

Design Project Manager: CH	Project Architect: CH	Design Verifier: SDV
Scale: As indicated	Sheet Size: A3	Drawn: AP
Project No: 2116	Sheet No: A200	Amendment: H

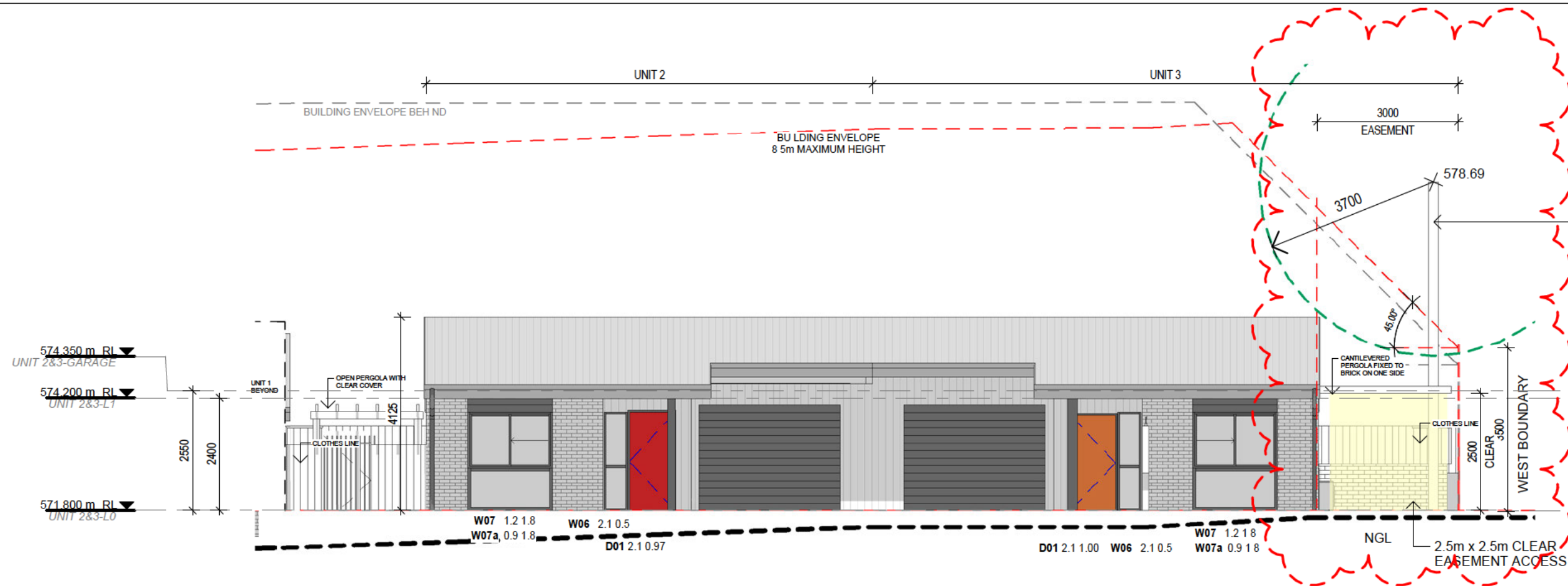
EXTERNAL MATERIALS AND FINISHES
REFER FOR ELEVATIONS AND PLANS FOR LOCATIONS AND EXTENT



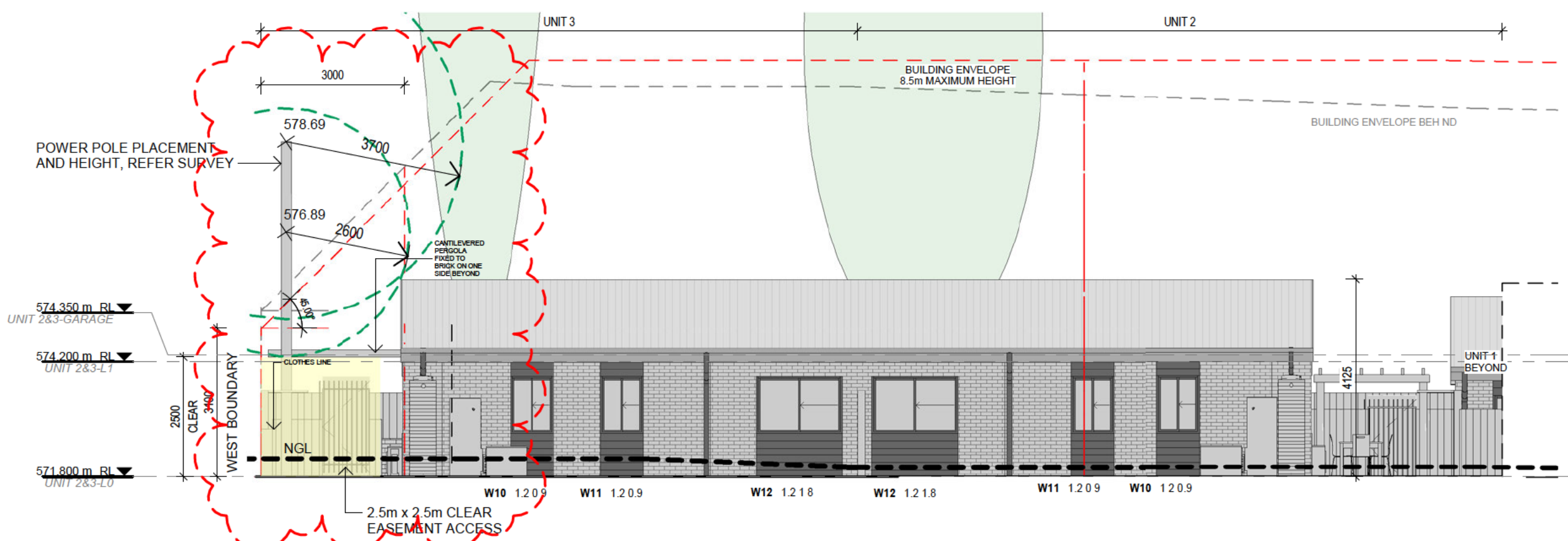
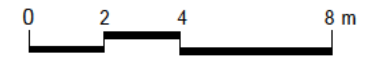
- B1** BRICK WALL BRICKWORKS OVERLAND 'FREYGINET'
- CL1** ABOVE AND BELOW WINDOWS COLORBOND 'MONUMENT'
- CL2** ENTRY CLADDING COLORBOND KLIPLOCK 700 'SURFMIST'
- GD1** GARAGE DOOR 'MONUMENT'
- W1** WINDOWS THERMALLY BROKEN DOUBLE GLAZED ALUMINIUM 'MONUMENT'
- D1** FRONT DOOR MONUMENT FRAME PAINT COLOUR: SEE DOOR SCHEDULE
- RF1** ROOF SHEETING CUSTOM ORB COLORBOND 'SHALE GREY'
- RF2** EAVES PANEL RIB COLORBOND 'SURFMIST'
- TR1** ALL GUTTERS COLORBOND 'SHALE GREY'
- TR2** ALL DOWNPIPES COLORBOND 'MONUMENT'
- FT1** FENCE TYPE 1 METAL FENCE COLORBOND 'MONUMENT'
- FT2** FENCE TYPE 2 TIMBER FENCE
- FT3** FENCE TYPE 3 WELDED WIRE MESH FENCE
- FT4** FENCE TYPE 4 SCREEN - HORIZONTAL ALUMINIUM SLATS

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NO.	DATE	DESCRIPTION
A	30.07.21	FOR CLIENT REVIEW
B	06.08.21	FOR CLIENT REVIEW
C	13.08.21	FOR DA SUBMISSION
D	20.08.21	FOR DA SUBMISSION
E	06.09.21	AMENDMENTS
F	30.09.21	FOR DA
G	12.10.21	FOR APPROVAL
H	11.02.22	FOR CLIENT REVIEW
I	17.02.22	TCCS & EVO ENERGY AMENDMENTS



1 UNIT 2 - NORTH ELEVATION
A001 1:100



2 UNIT 2 - SOUTH ELEVATION
A001 1:100



Client:
HOUSING ACT

Project Title:
6 SITES - NARRABUNDAH

Project Status:
DEVELOPMENT APPROVAL

Project Address:
32 STURT AVENUE NARRABUNDAH

Block: 10 Section: 48 District: NARRABUNDAH

All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

Drawing Title:
ELEVATIONS - UNIT 2 - N+S

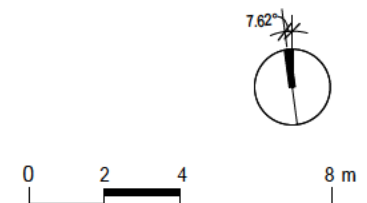
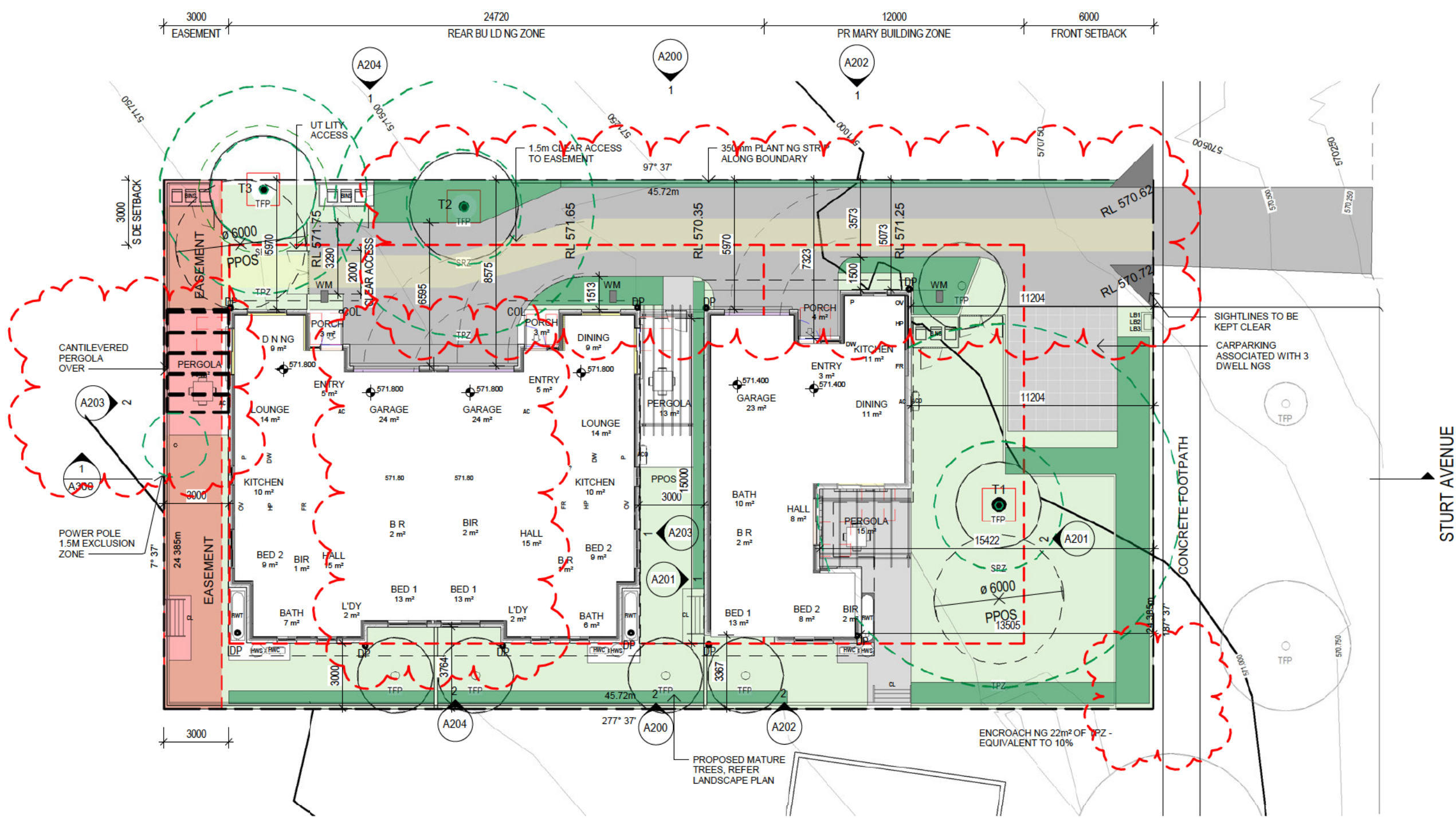
Design Project Manager: CH Project Architect: CH Design Verifier: SDV

Scale: 1:100 Sheet Size: A3 Drawn:

Project No: 2116 Sheet No: A204 Amendment: I

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NO.	DATE	DESCRIPTION
A	13.08.21	FOR DA SUBMISSION
B	20.08.21	FOR DA SUBMISSION
C	30.09.21	FOR DA
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Client:
HOUSING ACT

Project Title:
6 SITES - NARRABUNDAH

Project Status:
DEVELOPMENT APPROVAL

Project Address:
32 STURT AVENUE NARRABUNDAH

Block: 10 Section: 48 Division: NARRABUNDAH

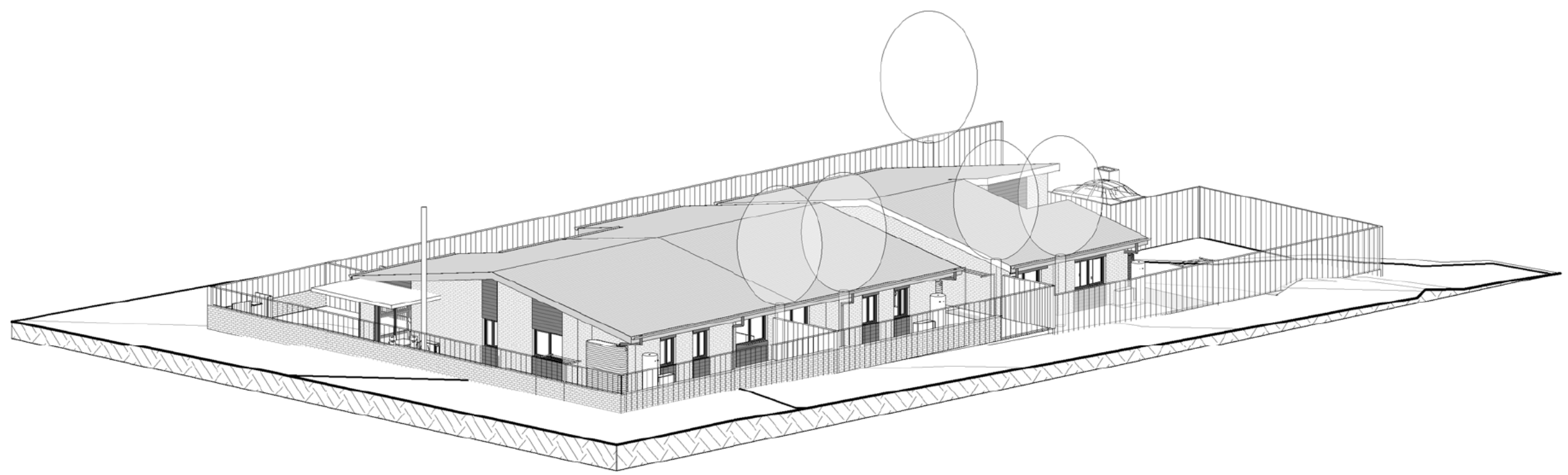
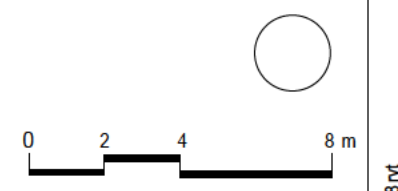
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Drawing Title:
PUBLIC REGISTER FLOOR PLAN

Design Project Manager: CH	Project Architect: CH	Design Verifier: SDV
Scale: 1:200	Sheet Size: A3	Drawn: AP
Project No. 2116	Sheet No. A700	Amendment: F

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NO.	DATE	DESCRIPTION
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Client:
HOUSING ACT

Project Title:
6 SITES - NARRABUNDAH

Project Status:
DEVELOPMENT APPROVAL

Project Address:
32 STURT AVENUE NARRABUNDAH

Block:	Section:	Division:
10	48	NARRABUNDAH

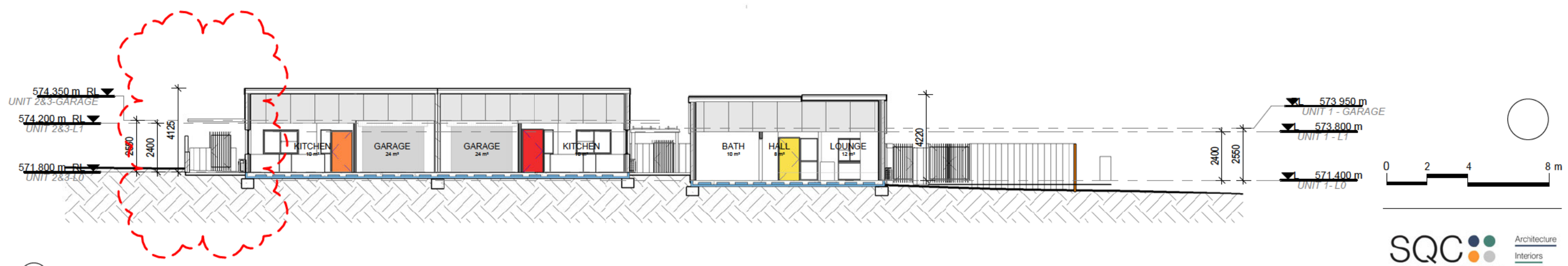
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Drawing Title:
3D Views

Design Project Manager: CH	Project Architect: CH	Design Verifier: SDV
Scale:	Sheet Size: A3	Drawn: AP
Project No. 2116	Sheet No. A900	Amendment: G

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NO.	DATE	DESCRIPTION
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C	30.09.21	FOR DA
D	12.10.21	FOR APPROVAL
E	11.02.22	FOR CLIENT REVIEW
F	17.02.22	TCCS & EVO ENERGY AMENDMENTS



1 Section 1
A002 1:200



Client:
HOUSING ACT

Project Title:
6 SITES - NARRABUNDAH

Project Status:
DEVELOPMENT APPROVAL

Project Address:
32 STURT AVENUE NARRABUNDAH

Block: 10 Section: 48 District: NARRABUNDAH

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Drawing Title:
SECTIONS - SHEET 1

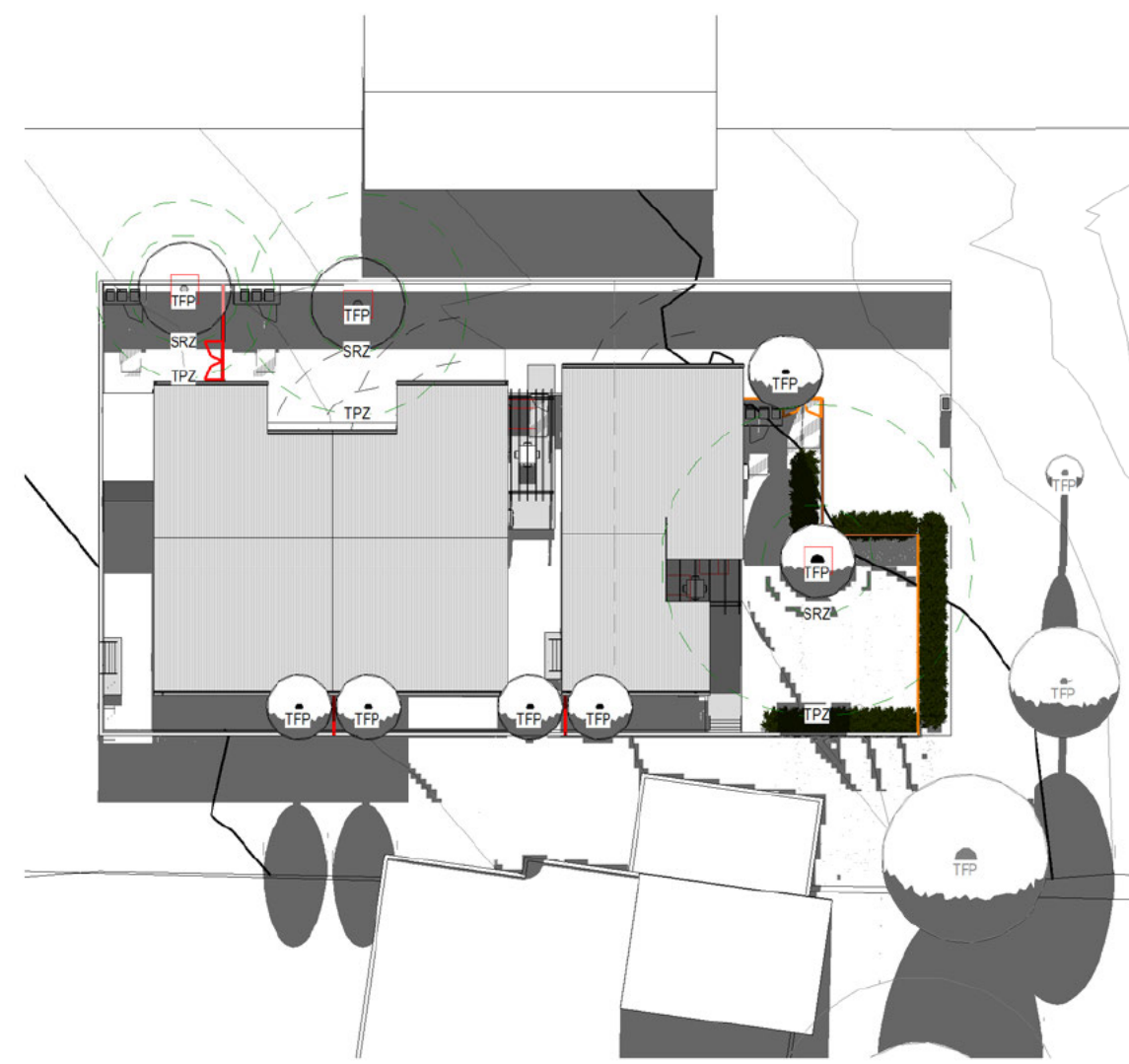
Design Project Manager: CH	Project Architect: CH	Design Verifier: SDV
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Project No. 2116	Sheet No. A300	Amendment: F

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NO.	DATE	DESCRIPTION
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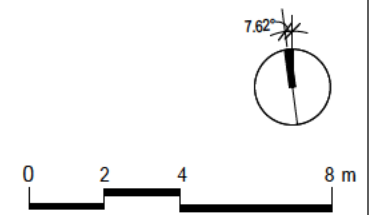
2 SHADOW DIAGRAM 9 AM
A200 1:400



3 SHADOW DIAGRAM 12 PM
A200 1:400



1 SHADOW DIAGRAM 3 PM
A200 1:400



Client:
HOUSING ACT

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6 SITES - NARRABUNDAH

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Project Address:
32 STURT AVENUE NARRABUNDAH

Block:	Section:	District:
10	48	NARRABUNDAH

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Drawing Title:
SHADOW DIAGRAM

Design Project Manager: CH	Project Architect: CH	Design Verifier: SDV
Scale: 1:400	Sheet Size: A3	Drawn: AP
Project No. 2116	Sheet No. A901	Amendment: D

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