
From: Kingham, Amy
Sent: Monday, 6 August 2018 9:53 AM
To: ACTIA Notifications
Cc: Dunstan, David
Subject: FW: ACTIA Notification - DA issue Block 4 Section 46 Turner [SEC=UNCLASSIFIED]
Attachments: SITE-201833361-INCLUDES LOCATION-02.pdf

Hi ACTIA

Please see below a potential claim relating to a development assessment issue in Turner. We are seeking further information from the Planning Delivery team and will keep you updated.

Regards
Amy

Amy Kingham | Senior Legal Policy Officer Phone 02 6205 3398 | Email: amy.kingham@act.gov.au Governance, Compliance and Legal Services | Environment, Planning and Sustainable Development | ACT Government Level 3 South, Dame Pattie Menzies House, 16 Challis Street, Dickson | www.environment.act.gov.au | www.planning.act.gov.au

-----Original Message-----

From: Jamaly, Rumana
Sent: Friday, 3 August 2018 5:33 PM
To: EPSDLegalServices <EPSDLegalServices@act.gov.au>
Cc: Cilliers, George <George.Cilliers@act.gov.au>; Boraiah, Thara <Thara.Boraiah@act.gov.au>; Kingham, Amy <Amy.Kingham@act.gov.au>
Subject: ACTIA Notification [SEC=UNCLASSIFIED]

Legal Services Team

I would like to request that ACTIA be notified regarding the following issue. DA201833361 on Block 4 Section 46 (19 Forbes Street) Turner has been lodged to seek approval for the construction of four units with a basement car park, landscaping and other associated works, and for the demolition of an encroaching driveway. The adjoining neighbour on Block 3 Section 46 Turner (21 Forbes Street), [REDACTED], [REDACTED] has also written to the Minister regarding the existing verge crossing for his block (Block 3). The common boundary between Blocks 3 and 4 is at an angle and the verge crossing does not align with this common boundary. As a consequence, the internal driveway to [REDACTED] property encroaches into the neighbouring block (Block 4), which is proposed to be re-developed. It should be noted the common boundary fencing between Blocks 3 and 4 has been erected in an incorrect alignment and does not follow the true alignment of the common boundary.

The re-development proposal includes demolition of part of the internal driveway to Block 3. [REDACTED] claims that the verge crossing was constructed by the Government more than 30 years ago in the wrong location and the internal driveway and the common boundary fence followed the alignment of this verge crossing. He has advised he bought the property in this form 32 years ago. [REDACTED] wants this driveway issue to be resolved prior to making any determination on the DA. Verbally [REDACTED] has advised that as the Government was responsible for the construction of the verge crossing, they should be liable for any losses incurred by him.

I have attached a Site Plan and Location Plan for your information. If you need any further clarification, please contact Thara Boraiah who is assessing the DA.

Regards

Rumana Jamaly
Residential Outcomes Manager
Merit Assessment and Deed Management
Planning Delivery Division
Environment, Planning and Sustainable Development Directorate (EPSDD)

Ph: (02) 6207 1830

E-mail: rumana.jamaly@act.gov.au

GENERAL NOTES

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE ENGINEERS DETAILS. CONFIRM STEEL SIZES PRIOR TO CONSTRUCTION. ALL MATERIALS AND FINISHES SHALL BE APPROVED BY THE CLIENT. VARIATIONS TO THE PLAN AND SPECIFICATIONS SHALL NOT BE MADE WITHOUT THE CONSENT OF THE OWNERS. ALL DIMENSIONS SHALL BE VERIFIED ON SITE. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH NCC REQUIREMENTS. DO NOT SCALE OFF DRAWINGS.

FIRE PRECAUTIONS DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH SECTION E CLAUSE E1.6 OF THE NCC. PROVIDE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH SECTION E 1.6 OF THE NCC. FIRE EXTINGUISHERS SHALL COMPLY WITH AS2444.

ALL MATERIALS AND ASSEMBLIES SHALL COMPLY WITH C1.10 OF THE NCC. ALL WET AREA FLOORS SHALL BE GRADED AND DRAINED TO FLOOR WASTES TO COMPLY WITH PLUMBING CODES AND THE NCC REQUIREMENTS. PROVIDE IMPERVIOUS WALL TO FLOOR JOINTS TO THE PERIMETER OF ALL WET AREAS. WATER PROOFING SHALL COMPLY WITH C1.F1.7 OF THE NCC. CONFIRM LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION.

THIS PLAN IS PREPARED FROM A COMBINATION OF FIELD SURVEYS AND EXISTING RECORDS PROVIDED BY CONSULTANTS ENGAGED BY THE CLIENT. SERVICES AND INFORMATION SHOWN HEREON HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. IF NOT ABLE TO BE LOCATED, SERVICES HAVE BEEN PLOTTED FROM RECORDS OF RELEVANT AUTHORITIES WHERE AVAILABLE AND HAVE BEEN NOTED ACCORDINGLY ON THIS PLAN.

PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, RELEVANT AUTHORITY SHOULD BE CONTACTED FOR THE POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATION OF THOSE SERVICES.

EGRESS

REQUIRED PATHS OF EXIT TO BE IN ACCORDANCE WITH PART D1.6 OF THE NCC THE UNOBSTRUCTED HEIGHT MUST BE NO LESS THAN 2.0m EXCEPT AT DOORWAYS WHERE HEIGHT MAY BE REDUCED TO 1.98m. THE UNOBSTRUCTED WIDTH OF EACH EXIT OR PATH OR TRAVEL TO AN EXIT EXCEPT AT DOORWAYS MUST BE 1.0m MINIMUM.

REQUIRED EXIT SIGNS SHALL BE IN ACCORDANCE WITH PART E4 OF THE NCC PROVIDE EMERGENCY ILLUMINATED EXIT SIGNS TO REQUIRED EXITS TO COMPLY WITH AS2293.1

EXIT MUST NOT BE BLOCKED AT THE POINT OF DISCHARGE AND WHERE NECESSARY SUITABLE BARRIERS MUST BE PROVIDED TO PREVENT VEHICLES FROM BLOCKING EXITS.

THE OPERATION OF LATCHES MUST BE IN ACCORDANCE WITH PART D2.1 OF THE NCC.

LIGHTING

INSTALL EMERGENCY LIGHTING IN ACCORDANCE WITH AS2293.1 AND PART E4.2 OF THE NCC INCLUDING DIRECTIONAL SIGNAGE (NOT SHOWN ON PLANS) TO NCC REQUIREMENTS.

PROVIDE ARTIFICIAL LIGHTING TO AS1680

STAIRS

GOINGS AND RISERS SHALL BE IN ACCORDANCE WITH PART D OF THE NCC.

NOMINAL DIMENSIONS OF RISERS AND TREAD MUST BE CONSISTENT FOR EACH FLIGHT OF STAIRS AND THERE MUST BE NO MORE THAN 18 RISERS PER FLIGHT.

RISER AND GOINGS SHALL BE IN ACCORDANCE WITH THE NCC:
 RISER 190max. 155min
 GOINGS 355max. 240min
 QUANTITY (2xRISER+GOING) 700max. 550min

STAIR SHALL BE BALUSTRADED WHERE HEIGHT TO FINISHED GROUND LEVEL EXCEEDS 1.0m. THE BALUSTRADE SHALL BE 1000mm HIGH AND NOT LESS THAN 865mm ABOVE STAIR NOSINGS. NO OPENING IN THE BALUSTRADE MUST ALLOW A 125mm SPHERE TO PASS THROUGH. LOADING FORCES MUST BE IN ACCORDANCE WITH AS1170.1

WHERE HEIGHT OF STAIR IS GREATER THAN 570 ABOVE FINISHED GROUND LEVEL A LANDING IN ACCORDANCE WITH CLAUSE 3.9.1.3 SHALL BE PROVIDED.

SEDIMENT AND EROSION CONTROL

THE DEVELOPMENT WILL COMPLY WITH THE ACT ENVIRONMENT PROTECTION AUTHORITY GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, AUGUST 2007

EXISTING VERGE MANAGEMENT NOTES

INSTALL 1800mm HIGH TEMPORARY FENCING WITH CONCRETE FEET OR INSTALL 1800mm CHAIN MESH FENCE SUPPORTED BY 2400mm TALL STAR STEEL POSTS AROUND VERGES AND EXISTING VEGETATION.

FENCING TO BE ERECTED ON COMMENCEMENT OF SITE WORK AND REMOVED AT COMPLETION OF CONSTRUCTION AND COMMENCEMENT OF VERGE RESTORATION. THE FENCE IS TO REMAIN CONTINUOUS THROUGHOUT PROJECT, EXCEPT WHERE APPROVED SERVICE INSTALLATION OCCURS.

ENSURE ADEQUATE WATER IS APPLIED TO THE ROOT ZONE OF RETAINED TREES THROUGHOUT THE CONSTRUCTION PERIOD.

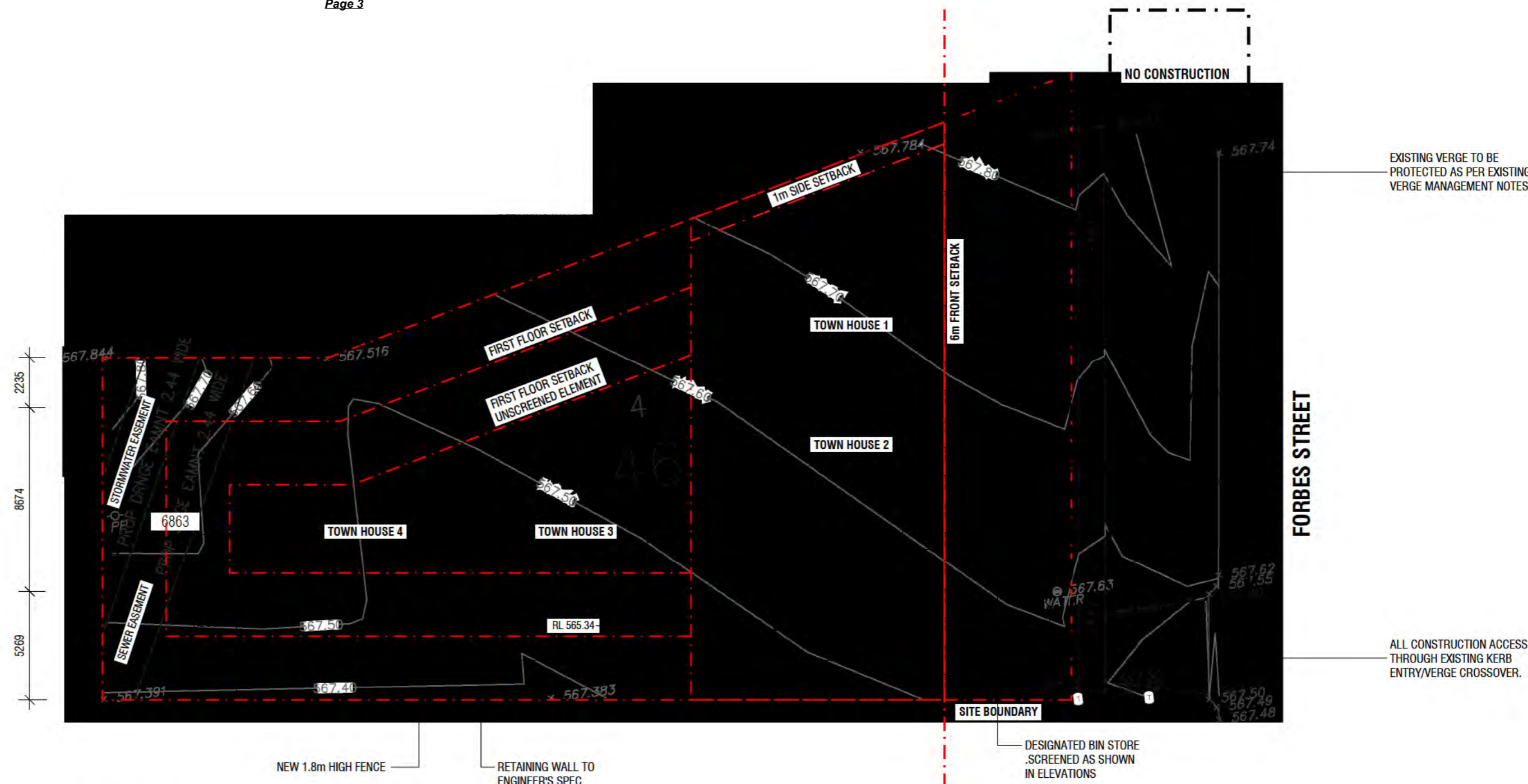
ALL WORK IS TO BE IN ACCORDANCE WITH THE 'CANBERRA LANDSCAPE GUIDELINES' & THE BASIC SPECIFICATIONS FOR ROADS HYDRAULICS AND LANDSCAPE. JULY 1991. MAKE GOOD ANY DAMAGE TO EXISTING GRASS VERGES, REINSTATE AS PER BASIC SPECIFICATIONS.

IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THAT ANY DISTURBANCES TO THE VERGE GROUND COVER, TREES, PATHS, KERB, ROAD WAYS OR SERVICES OCCURRING FROM EITHER CONSTRUCTION WORKS OR STORAGE OF MACHINERY DURING THE CONSTRUCTION WORKS ARE RECTIFIED TO THE SATISFACTION OF RELEVANT AUTHORITIES.

AT THE COMPLETION OF CONSTRUCTION, VERGES SHOULD STILL HAVE ESTABLISHED DRYLAND GRASS COVER. TOPSOIL IS NOT TO BE REMOVED AND LEVELS NOT TO BE CHANGED. NO CAR PARKING OR EQUIPMENT PARKING PERMITTED ON VERGES OR UNDER DRIPLINE OF RETAINED TREES.

NO SITE SHEDS, STORAGE SHEDS, SITE AMENITIES OR BILLBOARDS TO BE ERECTED ON VERGES OR UNDER DRIPLINE OF RETAINED TREES.

NO CONSTRUCTION MATERIAL TO BE STORED ON VERGES OR UNDER DRIPLINE OF RETAINED TREES.



PROPOSED SITE PLAN



LOCATION PLAN (NTS)

SCHEDULE OF AREAS

TOWNHOUSE 1	LOWER 63	UPPER 68	TOTAL 131sqm
TOWNHOUSE 2	LOWER 68	UPPER 74	TOTAL 142sqm
TOWNHOUSE 3	LOWER 78	UPPER 80	TOTAL 158sqm
TOWNHOUSE 4	LOWER 80	UPPER 81	TOTAL 161sqm

TOTAL			
GFA	LOWER 289	UPPER 303	TOTAL 592sqm
SITE AREA			973.6sqm
PLOT RATIO			0.61



TOWNHOUSE DEVELOPMENT
 19 FORBES STREET
 BLOCK 4 SECTION 46 TURNER

SITE PLAN
 SCALE 1:200@A2
 07/03/2018
FSP003



PO Box 3673
 Manuka ACT 2603
 ThursdayArchitecture.com.au
 ACT Registration No. 2289
 NSW Registration No. 9528

From: [REDACTED]@purdon.com.au>
Sent: Monday, 6 August 2018 4:29 PM
To: Boraiah, Thara
Cc: Richard Nash
Subject: RE: Further Information Requested for Application ID 201833361 [SEC=UNCLASSIFIED]

Thanks Thara,

All the best,

[REDACTED]

From: Boraiah, Thara <Thara.Boraiah@act.gov.au>
Sent: Monday, 6 August 2018 4:24 PM
To: [REDACTED]@purdon.com.au>
Subject: RE: Further Information Requested for Application ID 201833361 [SEC=UNCLASSIFIED]

Hi [REDACTED],

As per your request, I grant you an extension of time until 31 August 2018 to submit the information. Please note that the revised submission may require further notification. The application will require entity referral and further assessment.

Regards
Thara

From: [REDACTED]@purdon.com.au]
Sent: Thursday, 2 August 2018 3:14 PM
To: Boraiah, Thara <Thara.Boraiah@act.gov.au>
Cc: Richard Nash [REDACTED]@purdon.com.au>
Subject: RE: Further Information Requested for Application ID 201833361 [SEC=UNCLASSIFIED]

Hi Thara,

We've had to make a few more changes to the plans for DA201833361 (4/46 Turner) which will delay our response a bit more. Could we please extend the deadline for S144 submission to the 31st of August (Friday 21 working days from now)? Sorry to bother you about this again, hopefully this is the last time I have to ask!

Thanks,

[REDACTED]

From: Boraiah, Thara <Thara.Boraiah@act.gov.au>
Sent: Monday, 23 July 2018 12:54 PM
To: [REDACTED]@purdon.com.au>
Subject: RE: Further Information Requested for Application ID 201833361 [SEC=UNCLASSIFIED]

Hi [REDACTED],

As per your request, I agree to extend the time till 10th August to submit s144 Information.

The authority does not have a preference date. The S144 submission is from you and you need to submit them within the time frames.

Regards
Thara

From: [REDACTED]@purdon.com.au]
Sent: Monday, 23 July 2018 11:30 AM
To: Boraiah, Thara <Thara.Boraiah@act.gov.au>
Cc: Jamaly, Rumana <Rumana.Jamaly@act.gov.au>; Richard Nash [REDACTED]@purdon.com.au>
Subject: FW: Further Information Requested for Application ID 201833361

Hi Thara,

I would like to request an extension on this S144 request (block 4 section 46 Turner). If possible could the due date be shifted to the 10th of August 2018? Please let me know if you would prefer an alternate date. I hope you enjoyed your time off, I hope to hear from you soon.

Regards,

From: Purdon Reception
Sent: Friday, 22 June 2018 3:47 PM
To: [REDACTED]@purdon.com.au>
Subject: FW: Further Information Requested for Application ID 201833361

From: ACTPLA.IS@act.gov.au [mailto:ACTPLA.IS@act.gov.au]
Sent: Friday, June 22, 2018 3:27 PM
To: Purdon Reception <purdons@purdon.com.au>
Subject: Further Information Requested for Application ID 201833361

Dear Mr/s Conant

In accordance with section S141 of the *Planning and Development Act 2007*, before this application can be determined, the Directorate requires the information below to be lodged by the period stated:

DA Number: 201833361
Site Details: Block: 4, Section: 46
Suburb: TURNER, District: CANBERRA CENTRAL
Applicant Name: Emma Conant
Information Required: Hi [REDACTED], Following a quick assessment of the application for 4/46 Turner, I have outlined a few aspects that require further clarification/ addressing. Firstly, the application states 'Construction of four units, basement car park, landscaping works and demolition of encroaching driveway'. It is not clear about the extent of demolition. A demolition plan showing the details of the work is required. Inner North precinct Code (INPC) R13- Site coverage in the rear zone is max 30%. The site coverage calculation must include ramps, driveways,

overhanging balconies/ terraces, hard surface pathways, swimming pools etc. R8 and C9 (d) – Deep root planting and landscaping is required at the rear including in private open spaces and any communal open spaces. C9 (c) – Consideration is required to reduce the impact on the privacy of the southern side block. Some upper floor windows on the southern side of the development overlooks the adjoining block Multi Unit Housing Development Code (MUHDC) Gross Floor Area (GFA) R8-GFA - Max 65% permitted. Our calculations exceed 65%.. Please provide your area calculation assessment. The GFA calculation must include wall thicknesses and storage area. Stairs and lifts area that are in straight line (one above the other) is included once. Building Envelope R25/ C26- The building envelope is 45degrees above 3.5m for all sides except northern boundary of the adjoining residential block. . The building envelope indicated is incorrect. R /C 26 -The development encroaches both in Primary Building Zone (PBZ) and Rear Building Zone (RBZ). Overshadowing diagram is required indicating the shadow length on adjoining block and dwelling including the extent of increase in shadow due to the encroachment . Side setback R/C30- The development encroaches into 6m setback requirement at ufl within PBZ and RBZ. The windows of kitchens are at 5.12m in lieu of 6m . The ufl bedrooms are also 5.12m in lieu of 6m. Please address the impact on privacy of adjoining private open space and dwelling. Landscaping RC39- Required not less than 10% C40-Appropriate landscaping with semi –mature stock and trees that grow to a minimum mature height of 4m is required R/C83 - Visitor car parking spaces location R/C48-External sheltered area outside the entrance for dwellings 3 and 4. R/C42A – Please clarify the materials of the courtyard wall at the front including setback Water tank location, Any AC, mechanical services, clotheslines to be away from public view. WSUD calculations to include pools. Please clarify the shaded area in first floor plan within townhouse 3 pos area.(eg. is it a covered area) I have forwarded entity comments to you. If you have any questions re the above please let me know. Regards Thara Boraiah

Further Information due date: 20/07/2018

If you cannot provide your response within the required timeframe, it is recommended you write to the Directorate prior to the expiration of the period stated above and seek an extension of the prescribed period for providing the information.

Please note, Section 141 (4) of the *Planning and Development Act 2007* provides that only one such extension may be granted.

If there is any change to the proposal as a result of responding to the further information request, the amended proposal is required to be submitted pursuant to S144 of the *Planning and Development Act 2007*. Please note the amended proposal will need to go through assessment and the due date will be extended as a consequence of submission pursuant to S144 of the *Planning and Development Act 2007*.

You are advised that if some or all of the information has not been provided in accordance with this request, Section 142 of the *Planning and Development Act 2007* provides that the Directorate may refuse the application under Section 162.

This email was automatically generated - **please do not respond**. If you need to contact the Environment, Planning and Sustainable Development Directorate in relation to this proposal please contact Customer Services on (02) 6207 1923 or email EPDcustomerservices@act.gov.au

Customer Services
Environment,
Planning and
Sustainable
Development
Directorate

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Development Application

Application Number: **201833361S144B**

Type of Application

The type of application you are applying for is a S144 Amendment

Lease/Site Details

Site Number: 1

Suburb	Section	Block Number	Unit Number
TURNER	46	4	
Street Address			
TURNER			

Applicant Details

ACN or ABN			
14659841354			
Company Name		Position held / Title	
Purdon Planning Pty Ltd		Planner	
Salutation	First Name	Surname	
None	Emma	Conant	
Postal Address 1		Postal Address 2	
Unit 4		1-3 Torrens St	
Postal Address 3			
Suburb	State/Territory	Postcode	Country
BRADDON	ACT	2612	Australia
Phone Number	Fax Number	Mobile Number	
62571511			
Email			
purdons@purdon.com.au			

Lessee (Property Owners) Details

Lessee Number: 1

Is the Lessee a

Page 9

Company

Australian Company Number (ACN)

14167593348

Company Name

Stratagem Capital Group Pty Ltd

Position held / Title

Director

Salutation

None

First Name

Milan

Surname

Kraljevic

Postal Address 1

Unit4 27-29 Kembla Street

Postal Address 2

Postal Address 3

Suburb

Fyshwick

State/Territory

ACT

Postcode

2602

Country

Australia

Phone Number

0262281538

Fax Number

Mobile Number

0421800375

Email

Lessee Number: 2

Is the Lessee a

Company

Australian Company Number (ACN)

14167593348

Company Name

Stratagem Capital Group Pty Ltd

Position held / Title

Director

Salutation

None

First Name

Mate

Surname

Kraljevic

Postal Address 1

Unit4 27-29 Kembla Street

Postal Address 2

Postal Address 3

Suburb

Fyshwick

State/Territory

ACT

Postcode

2602

Country

Australia

Phone Number

0262281538

Fax Number

Mobile Number

0421800375

Email

Type of Application

Will the development applied for after the amendment be substantially the same as the development applied for originally?

- Yes
 No

Will the assessment track for the application change if the application is amended?

- Yes
 No

List Amendments Being Satisfied

Summary of Changes:

Item: Site Coverage

Response: One unit has been removed and the driveway re-aligned to ensure that site coverage on the site does not exceed 30%.

Item: Privacy concerns on neighbouring blocks

Response: Many windows, especially those facing south have been obscured through design elements and louvres to prevent overlooking. A view shed diagram has been provided to demonstrate that the proposed development does not unreasonably impact privacy. (1stFloorLineOfSight)

Item: Building Envelope/ Overshadowing

Response: Envelope encroachment has been reduced in updated designs. Shadow diagram provided to demonstrate encroachment does not significantly impact solar access on the neighbouring block.

Item: Visitor Parking

Response: A unit has been removed, eliminating the requirement to provide visitor parking.

Entity and/or Referral Requirements

Do the amendments to your proposal impact on entity requirements?

- Yes
 No

Applicant Declaration

I/we declare that this application is accompanied by all of the required information or documents that address the relevant rules and/or relevant criteria for it to be considered for approval;

I /we understand that this application will be considered lodged once any relevant application fees have been paid;

I/we understand that the documentation provided on CD/DVD or via the electronic lodgment process will be considered to be the relevant documentation associated with this application. All development application documentation will be made available for public inspection including via the Internet unless exclusion has been approved; I/we understand that an amendment may be notified in accordance with the requirements of the Planning and Development Act 2007.

I/we declare that all the information given on this form and its attachments is true and complete;

If signing on behalf of a company, organisation or Government agency: -

I/we the undersigned, declare I/we have the appropriate delegation or authority to sign on behalf of the company, organisation or Government agency.

I accept the above declarations:

Accept

Acceptance Date

27/08/2018

Dear Mr/s Conant

You have successfully completed the first step in the electronic development application (eDA) process.

Please resubmit plans and supporting documents to the Directorate.

DA Number: 201833361 S144B

Site Details:

Block:4, Section:46

Suburb:TURNER, District:CANBERRA CENTRAL

Applicant Name: Emma Conant

Please note that EPSDD will not begin reviewing your application until all required attachments have been submitted.

This email was automatically generated - **please do not respond**. If you need to contact the Environment, Planning and Sustainable Development Directorate in relation to this proposal please contact Customer Services on (02) 6207 1923 or email EPDcustomerservices@act.gov.au

Customer Services
Environment, Planning and Sustainable Development Directorate

1.0 Statement against criteria

The attached tables provide an assessment of the proposed development against the following Codes:

- Residential Zones Development Code
- Multi-Unit Housing Code
- Turner Precinct Map and Code
- Inner North Precinct Map and Code
- Parking and Vehicle Access Code
- Crime Prevention through Environmental Design General Code
- Turner Neighbourhood Plan

The development is consistent with all elements of each Code.

1.1 Statement Against Residential Zones Development Code

Rules	Criteria
Part A – Residential Housing Development	
Element 1: Single dwelling housing development	
1.1 Single Dwelling housing development code	
Not applicable. Multi-unit housing is proposed.	
Element 2: Use	
2.1 Multi unit housing development code	
R2 Multi unit housing complies with the Multi-unit Housing Development Code.	This is a mandatory requirement. There is no applicable criterion.
Complies with R2. A statement against the multi-unit housing code is provided.	
Part B – Other forms of residential development	
Element 3: Supportive housing and retirement village	
Not applicable. No supportive housing or retirement village is proposed.	
Element 4: Secondary residence	
Not applicable. No secondary residences are proposed.	
Element 5: Residential care accommodation	
Not applicable. No residential care accommodation is proposed.	
Element 6: Boarding Houses	
Not applicable. No boarding houses are proposed.	
Element 7: Guest Houses	
Not applicable. No guest houses are proposed.	
Part C: Demolition	
Element 8: Demolition	
8.1 Statement of endorsement	
R33 A statement of endorsement for utilities (including water, sewerage, stormwater, electricity and gas) in accordance with section 148 of the Planning and Development Act 2007 is provided confirming all of the following: a) all network infrastructure on or immediately adjacent the site has been identified on the plan b) all potentially hazardous substances and conditions (associated with or resulting from the demolition process) that may constitute a risk to utility services have been identified c) all required network disconnections have been identified and the disconnection works comply with utility requirements d) all works associated with the demolition comply with and are in accordance with utility asset access and protection requirements.	This is a mandatory requirement. There is no applicable criterion.
Complies with R33	
<ol style="list-style-type: none"> 1. Network infrastructure on or adjacent to site is identified in site plan (attached) 2. Utility services will not be exposed to hazardous conditions or materials 	

3. Disconnection works comply with criteria (See plan)
 4. All works associated with the demolition comply (see demolition plan attached)
- Application will be referred to Agencies and endorsements provided prior to DA being determined.

8.2 Hazardous materials survey

Not applicable. No demolition of multi-unit housing or commercial or industrial premises is proposed.
The previous residence on the site was demolished as part of a previous DA.

Part D: Subdivision and consolidation

Element 9: Subdivision and consolidation

9.1 Subdivision and consolidation of blocks – general

Not applicable. No subdivision or consolidation proposed

9.2 Consolidation of single dwelling blocks – RZ1

Not applicable. Site is zoned RZ4

9.3 Consolidation of single dwelling blocks – RZ2

Not applicable. Site is zoned RZ4

9.4 Subdivision of single dwelling blocks – RZ1

Not applicable. Site is zoned RZ4

Note: 9.5 Not included

9.6 Subdivision of a dual occupancy – other than RZ1

Not applicable. No subdivision or consolidation proposed

9.7 Requirements for access and utility easements

Not applicable. No subdivision or consolidation proposed

9.8 Restrictions on irregular shaped blocks

Not applicable. No subdivision or consolidation proposed

Element 10: Subdivision and consolidation – heritage listed

10.1 Consolidation of single dwelling blocks – RZ1

Not applicable. No subdivision or consolidation proposed

10.2 Subdivision of single dwelling blocks – heritage registered – RZ1

Not applicable. No subdivision or consolidation proposed

10.3 Subdivision or consolidation of blocks – other than RZ1

Not applicable. No subdivision or consolidation proposed

Part E: Non-residential uses

Element 11: Community uses

11.1 Distribution

Not applicable. No community uses proposed.

Part F: Other developments

Element 12: Matters for consideration

12.1 Sustainability of the site for the proposed development

Not applicable. Proposed use is residential only.

Part G: General controls

Element 13: Redevelopment

13.1 Redevelopment general – RZ1 and RZ2

Not applicable. Block not originally used for multi-unit housing

13.2 Plot ratio – redevelopment	
There is no applicable rule.	<p>C54</p> <p>On land where a lawfully constructed building exceeds the stipulated maximum plot ratio, a new building or buildings up to the same plot ratio may be permitted provided that all of the following are achieved:</p> <p>a) the development does not involve an increase in the number of dwellings on the site</p> <p>b) there are no additional adverse impacts on adjoining properties including, but not limited to, solar access.</p>
Not applicable. Neither existing nor proposed built area exceed the RZ4 plot ratio. (See plan)	
13.3 Number of storeys – redevelopment – RZ1, RZ2, RZ3, RZ4 and RZ5	
<p>R37</p> <p>This rule applies CZ2. The maximum gross floor area for a shop is 200m²</p>	<p>C55</p> <p>In all residential zones, where the number of storeys in a lawfully constructed building exceeds the maximum stipulated in the relevant code, a new building or buildings with no more storeys than the existing building may be permitted provided there are no additional adverse impacts on adjoining properties including, but not limited to, solar access.</p>
Not applicable. No shops proposed. Neither existing nor proposed buildings exceed RZ4 story limits. (See plan)	
13.4 Height of buildings – redevelopment	
There is no applicable rule.	<p>C56</p> <p>In all residential zones, where a lawfully constructed building exceeds the height of building stipulated in the relevant code, a new building or buildings up to the height of the existing building may be permitted provided there are no additional adverse impacts on adjoining properties including, but not limited to, solar access.</p>
Not applicable. Neither existing nor proposed buildings exceed RZ4 height limits. (See plan)	
Element 14: Environment	
14.1 Water sensitive urban design	
<p>R57</p> <p>This rule applies to all multi-unit residential development except for minor extensions and secondary residences. The development achieves a minimum 40% reduction in mains water consumption compared to an equivalent development constructed in 2003, without any reliance on landscaping measures. Compliance with this rule is demonstrated by a report by a suitably qualified person using the ACTPLA on-line assessment tool or another tool referred to in the Water Ways: Water Sensitive Urban Design General Code. For this element:</p> <p>minor extension means an extension where the increase in the combined roof plan area, driveway, car manoeuvring areas and car parking areas is less than 25% of the total of the areas of these components at the date of lodgement of the development application.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
Complies with R57. Development achieves greater than 40% water reduction. (See WSUD general notes, attached)	
<p>R58</p> <p>This rule applies to all multi-unit housing except minor extensions. On sites larger than 2,000m² stormwater management measures comply with all of the following:</p> <p>a) provision for the retention of stormwater on the block is equivalent to at least 1.4kl per 100m²</p>	<p>C58</p> <p>On sites larger than 2,000m² all of the following stormwater management measures are achieved:</p> <p>a) the equivalent of 1-in-3 month stormwater peak pre development stormwater run-off is retained on the block</p> <p>b) the retained stormwater complies with one or more of the following -</p>

<p>of impervious area</p> <p>b) the retained stormwater complies with one or more of the following -</p> <p>i) it is stored for later reuse</p> <p>ii) it is released to the stormwater system over a period of not less than 1 day. Rainwater tanks connected to at least the toilet and all external taps may be counted towards this requirement.</p>	<p>i) it is stored for later reuse</p> <p>ii) its is released to the stormwater system over a reasonable period. Compliance with this criterion is demonstrated by a report by a suitably qualified person.</p>
<p>Not applicable. Site less than 2000m²</p>	
<p>R59</p> <p>This rule applies to all multi-unit housing except minor extensions. For blocks 5,000m² or larger, the average annual stormwater pollutant export is reduced for all of the following:</p> <p>a) suspended solids by at least 60%</p> <p>b) total phosphorous by at least 45%</p> <p>c) total nitrogen by at least 40%</p> <p>compared with an urban catchment with no water quality management controls. Compliance with this rule is demonstrated by a report by a suitably qualified person, using the MUSIC model or another nationally recognised model.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<p>Not applicable. Site less than 5000m²</p>	
<p>R60</p> <p>On previously developed blocks larger than 2,000m² the capacity of the existing pipe (minor) stormwater connection is not exceeded in 1-in-10 year storm event and the capacity of the existing major overland stormwater system is not exceeded in 1-in-100 year storm event Compliance with this rule is demonstrated by a report by a suitably qualified person.</p>	<p>C60</p> <p>On previously developed blocks larger than 2,000m² the 1-in-5 year and 1-in-100 year stormwater peak run off does not exceed predevelopment levels.</p> <p>Compliance with this criterion is demonstrated by a report by a suitably qualified person.</p>
<p>Not applicable. Site less than 2000m²</p>	
<p>14.2 Heritage</p>	
<p>Not applicable. Site does not contain heritage registered places or objects.</p>	
<p>14.3 Tree protection</p>	
<p>R62</p> <p>This rule applies to a development that has one or more of the following characteristics:</p> <p>a) requires groundwork within the tree protection zone of a protected tree</p> <p>b) is likely to cause damage to or removal of any protected trees. The authority shall refer the development application to the Conservator of Flora and Fauna.</p> <p>Notes:</p> <p>1. Under the Planning and Development Regulation 2008 a development application for a declared site under the Tree Protection Act 2005, must be referred to the Conservator of Flora and Fauna.</p> <p>2. The authority will consider any advice from the Conservator of Flora and Fauna before determining the application in accordance with the Planning and Development Act 2007.</p> <p>3. Protected tree and declared site are defined under the Tree Protection Act 2005.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<p>Complies with R62. Development requires groundwork within the protection zone of a protected tree.</p> <p>Arborists report and a plan for protection of the tree submitted with S144 Request. (See Doc: 20180618 3973 PAR AIA TMP (arborist))</p> <p>Report demonstrates proposed development and associated groundwork will not jeopardise the health of the affected tree, providing development in accordance with tree management techniques specified.</p>	

14.4 Bushfire	
Not applicable. Site is not in a bushfire prone area. (ACTmap1)	
14.5 Erosion and sediment control	
<p>R64</p> <p>For sites less than 3,000m², the development complies with the Environment Protection Authority, Environment Protection Guidelines for Construction and Land Development in the ACT.</p> <p>Notes:</p> <ol style="list-style-type: none"> 1. If no evidence of compliance with the above guideline is provided, the application may be referred to the relevant agency in accordance with the requirements of the Planning and Development Act 2007. 2. see part D for sites over 3000m². 	<p>This is a mandatory requirement. There is no applicable criterion.</p>
Complies with R64. Development complies with EPA guidelines. Refer to supporting documents lodged with this DA.	
14.6 Contamination	
Not applicable. No contamination has been identified on site.	

1.2 Statement Against Multi-Unit Housing Development Code

Rules	Criteria
Part A: General Controls	
Element 1: Restrictions On Use	
Not Applicable. No dual occupancy housing.	
Element 2: Lease and Development Conditions	
2.1 Development proposals affected by approved lease and development conditions	
<p>R4</p> <p>This rule applies to blocks affected by approved lease and development conditions that provide for one or more of the following matters:</p> <ol style="list-style-type: none"> a) plot ratio b) building envelope c) building height d) front street setback e) side setback f) rear setback g) building design h) materials and finish i) vehicle access k) parking l) solar access m) private open space n) water sensitive urban design o) landscaping. <p>Approved lease and development conditions for the matters listed above shall take precedence over the provisions of this code, but only to the extent of any inconsistency.</p>	<p>C4</p> <p>The development meets the intent of any approved lease and development conditions.</p>
Complies with R4. There is no inconsistency between the conditions of the lease and those of the code.	
Element 3: Building and Site Controls	

Rules	Criteria
3.1 Dwelling replacement – single dwelling blocks	
<p>R5</p> <p>This rule applies to single dwelling blocks in all residential zones that are proposed to be redeveloped for multi unit housing, but does not apply to supportive housing.</p> <p>a) where there has been no consolidation of blocks – 1 replacement dwelling</p> <p>b) in all other cases – a number equal to the total number of blocks originally leased or used for the purpose of single dwelling housing that have been consolidated or proposed to be consolidated. For this rule the following number of bedrooms per replacement dwelling are provided:</p> <p>c) where the original dwelling is one or two bedrooms – 2</p> <p>d) where the original dwelling is three or more bedrooms – 3 or more</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<p>Complies with R5. Site is currently undeveloped, was previously occupied by single three-bedroom dwelling. Development will provide two three-bedroom dwellings and a single 5 bedroom dwelling.</p>	
3.2 Plot ratio – dual occupancy – single dwelling blocks – RZ1 – except for surrendered residential blocks	
<p>Not applicable. Site zoned RZ4.</p>	
3.3 Plot ratio – dual occupancy – single dwelling blocks – RZ2 and surrendered residential blocks – RZ1	
<p>Not applicable. Site zoned RZ4.</p>	
3.4 Plot ratio – large single dwelling blocks – RZ2, RZ3 and RZ4	
<p>R8</p> <p>This rule applies to large blocks that are single dwelling blocks in RZ2, RZ3 and RZ4.</p> <p>In RZ2 the maximum plot ratio is 50%.</p> <p>In RZ3 the maximum plot ratio is 65%.</p> <p>In RZ4 the maximum plot ratio is 80%.</p> <p>For the purpose of calculating plot ratio for this rule, the gross floor area includes 18m² for each roofed car space provided to meet Territory requirements for resident car parking, but does not include basement car parking.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<p>Complies with R8. Plot ratio is 55% on a site Zoned RZ4.</p>	
3.5 Plot ratio – other than single dwelling blocks – RZ1, RZ2, RZ3 and RZ4	
<p>Not applicable. Blocks are single dwelling.</p>	
3.6 Additional dwellings – single dwelling blocks – RZ1	
<p>Not applicable. Site zoned RZ4.</p>	
3.7 Residential density – supportive housing – single dwelling blocks - RZ1	
<p>Not applicable. Site zoned RZ4.</p>	
3.8 Residential density – single dwelling blocks – RZ2	
<p>Not applicable. Site zoned RZ4.</p>	
3.9 Additional dwellings – single dwelling blocks – RZ2	
<p>Not applicable. Site zoned RZ4.</p>	
3.10 Residential density – adaptable housing – single dwelling blocks - RZ2	
<p>Not applicable. Site zoned RZ4.</p>	
3.11 Number of dwellings in each building – single dwelling blocks – RZ2	
<p>Not applicable. Site zoned RZ4.</p>	
3.12 Number of storeys – single dwelling blocks – RZ1	

Rules	Criteria
Not applicable. Site zoned RZ4.	
3.13 Number of storeys – other than single dwelling blocks – RZ1	
Not applicable. Site zoned RZ4.	
3.14 Number of storeys – RZ2	
Not applicable. Site zoned RZ4.	
3.15 Number of storeys – RZ3	
Not applicable. Site zoned RZ4.	
3.16 Number of storeys – RZ4	
<p>R21</p> <p>In RZ4 the maximum number of storeys is 3.</p> <p>Rooftop plant that is set back and screened from the street is not included in the number of storeys.</p>	<p>C21</p> <p>Buildings achieve all of the following:</p> <ul style="list-style-type: none"> a) consistency with the desired character b) the appearance from the street of not more than three storeys for that part of the building facing the street c) reasonable solar access to dwellings on adjoining residential blocks and their associated private open space.
Complies with R21. Building does not exceed 3 storeys.	
3.17 Number of storeys – RZ5	
Not applicable. Site zoned RZ4.	
3.18 Height of buildings – RZ1 and RZ2	
Not applicable. Site zoned RZ4.	
3.19 Height of buildings – RZ3, RZ4 and RZ5	
<p>R24</p> <p>Maximum height of building is:</p> <ul style="list-style-type: none"> a) in RZ3 – 9.5m b) in RZ4 – 12.5m c) in RZ5 – 21.5m. 	<p>This is a mandatory requirement. There is no applicable criterion.</p>
Complies with R24. Building height does not exceed 12.5m (See plan).	
3.20 Building envelope – all blocks except buildings over 3 storeys in RZ5 and commercial zones	
<p>R25</p> <p>This does not apply to either of the following:</p> <ul style="list-style-type: none"> a) buildings with more than 3 storeys in RZ5 b) buildings with more than 3 storeys in commercial zones. <p>Buildings are sited wholly within the building envelope formed by planes projected over the subject block at 45o to the horizontal from a height of 3.5m above each side and rear boundary, except as required by the next rule. Refer figure A1.</p> <p>Note: To remove any doubt, the reference to a building with more than 3 storeys is a reference to the whole building, not just that part of the building over 3 storeys.</p>	<p>C25</p> <p>Buildings achieve all of the following:</p> <ul style="list-style-type: none"> a) consistency with the desired character b) reasonable levels of privacy for dwellings on adjoining residential blocks and their associated private open space.
Complies with R25 on north and rear boundaries in the rear zone.	
Complies with C25 on north boundary in primary building zone, structure:	
<p>A) Respects desired character, development also adheres to requirements of the Inner North Precinct Code.</p> <p>Façade is articulated and screened by proposed plantings to prevent bulky or imposing form from the streetscape. . Character of neighbouring block will not be impacted. Block is to the north so will not have solar access problems. Part of block adjacent</p>	

Rules	Criteria
<p>to buildings on block 4 is occupied by a driveway and a garage with large amounts of screening vegetation. House on block to north is also separated from the boundary by at least 6m in all places.</p> <p>B) No impacts to privacy, north face in primary building zone does not include any windows.</p> <p>For southern boundary, please refer to R26</p> <p>The minor encroachment on the southern boundary is necessary to maintain the integrity of the architectural design and desired character of the development. It enables a consistent building form for the entirety of the development and maintains amenity for internal living spaces.</p> <p>The minor encroachment also allows internal access to the basement garage at grade. Reducing the built form will inhibit access to the basement at grade.</p> <p>Encroachment will not impact on privacy of neighbours. No unscreened elements are located within the encroachment area.</p>	
<p>R26</p> <p>This does not apply to either of the following:</p> <p>a) buildings with more than 3 storeys in RZ5</p> <p>b) buildings with more than 3 storeys in commercial zones. Buildings are sited wholly within the solar building envelope formed by planes projected over the subject block at X° to the horizontal from the height of the 'solar fence' on any northern boundary of an adjoining residential block.</p> <p>X° is the apparent sun angle at noon on the winter solstice. Values for X are given in Table A4.</p> <p>The height of the 'solar fence' is:</p> <p>For a block approved before 5 July 2013:</p> <p>i) in the primary building zone – 2.4m</p> <p>ii) all other parts of the boundary – 1.8m</p> <p>For a block approved under an estate development plan on or after 5 July 2013:</p> <p>i) in the primary building zone – 3m</p> <p>ii) all other parts of the boundary – 2.3m</p> <p>This rule does not apply to those parts of a boundary where the adjacent part of the adjoining residential block comprises only an access driveway (i.e. a "battleaxe handle").</p> <p>The previous rule applies to this part of the boundary.</p> <p>An example of a typical building envelope is shown at Figure A1.</p> <p>Note: To remove any doubt, the reference to a building with more than 3 storeys is a reference to the whole building, not just that part of the building over 3 storeys.</p>	<p>C26</p> <p>Buildings achieve all of the following:</p> <p>a) consistency with the desired character</p> <p>b) reasonable solar access to dwellings on adjoining residential blocks and their associated private open space</p> <p>c) reasonable levels of privacy for dwellings on adjoining residential blocks and their associated private open space</p> <p>d) where an adjoining block is not yet developed, the potential for reasonable solar access and privacy on the adjoining residential block(s) is maintained</p>
<p>Complies with C26.</p> <p>Building makes minor encroachment into building envelope (see plans 202 Elevations) on southern face. This encroachment is consistent with C26.</p> <p>The minor encroachment is necessary to allow internal access to the basement garage at grade. Reducing the built form to avoid encroachment may mean access to the basements cannot be achieved at grade.</p> <p>a) Character of precinct is not impacted, wide spacing (minimum 4.4m) between buildings is maintained. Wide space for deep rooted planting along side maintained.</p> <p>b) Design does not adversely impact solar access on adjoining blocks. Majority of neighbouring block's open space receives at least 3 hours of sunlight between 9am-3pm on June 22. Solar impacts on the dwelling mostly fall on the roof. 1 Habitable window is impacted; however, it is within the bounds of impacts expected from the solar fence allowed in the rule. Encroachment does not increase the adverse impact (see plans: 006 Shadow)</p> <p>c) Encroachment will not impact on privacy of neighbours. No unscreened elements are located within the encroachment area.</p> <p>d) Not applicable. Neighbouring block is developed</p>	
<p>Note: Code does not include Section 3.21, or R27 & R28</p>	
<p>3.22 Front Boundary Setbacks</p>	
<p>R29</p> <p>Front boundary setbacks comply with Table A5. Minimum boundary setbacks for corner blocks apply only to the street</p>	<p>C29</p> <p>Front boundary setbacks achieve all of the following:</p>

Rules	Criteria
<p>frontage nominated as a secondary street frontage. If street frontages on corner blocks are of equal length, the minimum setbacks apply only to one secondary street frontage.</p> <p>Chamfers may be included in the secondary street frontage.</p>	<p>a) consistency with the desired character</p> <p>b) reasonable amenity for residents</p> <p>c) sufficient space for street trees to grow to maturity.</p>
<p>Complies with R29. Front boundary setbacks comply with specified setback values in table A5. (6m) The block has only one street frontage.</p>	
<p>3.23 Side and Rear Boundary Setbacks</p>	
<p>R30</p> <p>Side and rear boundary setbacks comply with the following:</p> <p>a) in RZ1 and RZ2 - Table A6</p> <p>b) in RZ3, RZ4, RZ5 and commercial zones -Table A7</p> <p>c) in all other zones – the relevant zone development code.</p>	<p>C30</p> <p>Buildings and other structures are sited to achieve all of the following:</p> <p>a) consistency with the desired character</p> <p>b) reasonable separation between adjoining developments</p> <p>c) reasonable privacy for dwellings on adjoining residential blocks</p> <p>d) reasonable privacy for principal private open space on adjoining residential blocks</p> <p>e) reasonable solar access to dwellings on adjoining residential blocks and their associated principal private open space.</p>
<p>Complies with C30. Rear setbacks meet the distances specified in table A6. (3m ground and 6m first floor) Rear setback is 8.859m</p> <p>Side setback requirements in forward building zone are 0m, side setbacks in forward building zone for this development are 1m or greater.</p>	
<p>Minor side setback encroachment of unscreened element on northern side of rear zone.</p>	
<p>a) Setback is minor and is not noticeably out of line with other buildings; located in rear zone and not visible from public realm</p> <p>b) Large distance between adjoining development; neighbouring block angled such that the dwelling on it is located away from where encroachment is proposed.</p> <p>c) Windows do not unreasonably infringe upon the privacy of neighbouring dwellings. Dwelling is separated by more than 20m and significant vegetation from unscreened 1st floor encroachment.</p> <p>d) Rule 60 specifies windows may have direct line of sight of no more than 50% of principal private open space of another dwelling. Direct line of sight being up to a maximum of 12m unscreened. As plan (1stFloorLineOfSight) demonstrates, 24% of principal private open space of adjoining northern blocks is affected, well below 50%. Proposed deep rooted plantings (plan: 005 Landscape) and existing trees on the adjoining block will screen this perspective almost entirely.</p> <p>e) Adjoining dwelling is located to the north, solar access not impacted.</p> <p>South side has no encroachments. All first floor elements are screened within 6m of the boundary.</p>	
<p>3.24 Allowable Encroachments – Setbacks</p>	
<p>Not applicable. no allowable encroachments proposed (see plans)</p>	
<p>3.25 Allowable Encroachments – Building Envelopes</p>	
<p>Not applicable. no allowable encroachments proposed (see plans)</p>	
<p>Note: Code does not include Section 3.26, or R34 & R35</p>	
<p>3.27 Building Separation – Single Dwelling Blocks – RZ2</p>	
<p>Not applicable. Site zoned RZ4</p>	
<p>Element 4: Site Design</p>	
<p>4.1 Site Design</p>	
<p>Not applicable. Less than 40 dwellings.</p>	
<p>4.2 Site Open Space – RZ1 and RZ2</p>	
<p>Not applicable. Site zoned RZ4.</p>	
<p>4.3 Site Open Space – RZ3, RZ4, RZ5 and Commercial Zones</p>	
<p>R39</p> <p>This rule applies to RZ3, RZ4, RZ5 and commercial zones.</p> <p>Not less than 20% of the total site area is allocated to the following:</p>	<p>C39</p> <p>Open space on the site achieves all of the following:</p> <p>a) sufficient space for a range of recreational activities for residents</p>

Rules	Criteria
<p>a) for developments with fewer than 20 dwellings, none of which are apartments, one or more of the following -</p> <p>i) communal open space that complies with all of the following</p> <p>a) a minimum dimension of 2.5m</p> <p>b) is directly accessible from common entries and pathways</p> <p>ii) private open space that complies with all of the following</p> <p>a) a minimum dimension of 2.5m</p> <p>b) is associated with dwellings at the lower floor level</p> <p>b) in all other cases, communal open space that complies with all of the following -</p> <p>i) a minimum dimension of 2.5m</p> <p>ii) is directly accessible from common entries and pathways.</p> <p>Not less than 10% of the total site area is planting area.</p>	<p>b) sufficient space for planting, particularly trees with deep root systems</p> <p>c) a contribution to on-site infiltration of stormwater run-off</p> <p>d) reasonable accessibility to all residents.</p> <p>One or more of the following matters may be considered when determining compliance with this criterion:</p> <p>i) whether the total area of upper floor level private open space contributes to the function of other open space on the site</p> <p>ii) whether any adjoining or adjacent public open space is readily available for the use of residents.</p>
<p>Complies with R39.</p> <p>This development has 3 dwellings (<20) and no apartments. It contains;</p> <p>ii) Private open space that complies with all of the following</p> <ul style="list-style-type: none"> - All courtyards have minimum dimensions greater than 2.5m. - Courtyards are on the ground floor, associated with dwellings at the ground floor level. <p>45% of total site area is available for planting.</p>	
<p>4.4 Landscape Design</p>	
<p>There is no applicable rule.</p>	<p>C40</p> <p>Landscape and site design achieves all of the following:</p> <p>a) planting of trees of semi-mature stock</p> <p>b) planting of trees with a minimum mature height of 4m</p> <p>c) a contribution to energy efficiency by providing substantial shade in summer, especially to west-facing windows and open car-parking areas, and admitting winter sunlight to outdoor and indoor living areas, especially to the north</p> <p>d) reasonable residential amenity</p> <p>e) reasonable visibility along paths and driveways</p> <p>f) visual interest in pavement materials and finishes</p> <p>g) species with appropriate growth habits and mature height in relation to site conditions.</p>
<p>Complies with C40.</p> <p>a) All proposed plantings will be semi-mature</p> <p>b) Plantings will achieve the minimum mature height</p> <p>c) Plantings have been located to provide shade, especially for north face of Townhouses 3. Some proposed trees (Japanese Maples) are deciduous and will allow light through in winter.</p> <p>d) Plantings ensure residential amenity and reflect the landscape character of adjacent properties</p> <p>e) Plantings are positioned so not to obstruct visibility along paths driveways</p> <p>f) Plantings provide visual interest</p> <p>g) Appropriate species have been selected (See landscape plan)</p>	

Rules	Criteria
4.5 Fences	
Not applicable. No fences forward of building line in front zone.	
4.6 Courtyard Walls	
<p>R42</p> <p>Courtyard walls are permitted forward of the building line where they comply with all of the following:</p> <ul style="list-style-type: none"> a) maximum height of 1.8m above datum ground level b) a minimum setback to the front boundary complying with the following: <ul style="list-style-type: none"> i) where the wall encloses the principal private open space of a ground floor dwellings that is located to the west, north-west, north, north-east or east of the dwelling – 0.7m ii) in all other cases - half the front boundary setback nominated elsewhere in this code c) trees and/or shrubs between the wall and the front boundary, in accordance with an approved landscape plan d) a variety of materials or indentations not less than 15m apart where the indents are not less than 1m in depth and 4m in length e) constructed of brick, block or stonework, any of which may be combined with timber or metal panels that include openings not less than 25% of the surface area of the panel f) maintain clear sightlines between vehicles on driveways and pedestrians on public paths in accordance with A2890.1- The Australian Standard for Off-Street Parking. 	<p>C42</p> <p>Courtyard walls achieve all of the following:</p> <ul style="list-style-type: none"> a) consistency with the desired character b) visual softening through associated planting c) reduced traffic noise, where necessary d) reasonable privacy to lower floor level windows e) opportunities for natural surveillance of public areas and the street f) the articulation of elements g) a variety of materials h) reasonable solar access to principal private open space.
<p>Complies with R42.</p> <ul style="list-style-type: none"> a) Courtyard walls do not exceed 1.8m in height. b) No street facing courtyard walls. c) Trees and Shrubs are in accordance with the landscape plan submitted with this DA d) No section of wall exceeds 15 m in length, so indentations are not required. e) Walls will not obstruct the view of vehicles on the driveway, or pedestrians on public paths. <p>Walls are low and can be easily seen over; with much of the boundary to be defined by a hedge. They do not prevent surveillance on the street while establishing privacy for residents by maintaining a distance between passers-by and the houses.</p>	
4.7 External Facilities	
<p>There is no applicable rule.</p>	<p>C43</p> <p>The following external facilities or equipment are screened or adequately separated from public areas:</p> <ul style="list-style-type: none"> a) external storage areas b) water tanks c) waste storage enclosures d) mechanical services (including air conditioners and hot water storage units) e) clothes drying areas.
<p>Complies with C43.</p> <ul style="list-style-type: none"> a) There are no external storage areas b) Water tanks located in basement area out of sight c) The waste enclosures are screened. d) Mechanical services are located in private areas. e) Clothes drying areas are located in private areas. <p>(see plan for details)</p>	
<p>There is no applicable rule.</p>	<p>C44</p>

Rules	Criteria
	<p>Mailboxes are located for convenient access by residents and deliverers with passive surveillance from the street or from active uses.</p> <p>To demonstrate compliance with this criterion a site plan is submitted with the application showing the location and design of mail boxes.</p>
Complies with C44. Mailboxes located in prominent and convenient location at entrance to site. See site plan for details.	
4.8 Electrical and Telecommunication Facilities	
<p>R45</p> <p>Electrical and telecommunication reticulation within existing residential areas or streets with residential access complies with all of the following:</p> <p>a) do not result in continuous rows of supply poles erected on residential streets</p> <p>b) for developments involving up to 2 blocks or 2 dwellings, are underground or along the rear spine or side of blocks</p> <p>c) for developments involving more than 2 blocks or 2 dwellings, are underground</p> <p>d) there is no overhead cabling to dwellings within the site.</p>	<p>C45</p> <p>Electrical and telecommunication reticulation within existing residential areas or streets with residential access limits the amount of visual clutter in the streetscape, particularly from supply poles and overhead cabling.</p>
Not applicable. No changes to existing electrical or telecommunication services proposed.	
There is no applicable rule.	<p>C46</p> <p>Ground level electrical and telecommunication facilities (such as electrical substations, switching stations, telecommunications nodes) within existing residential areas or streets with residential access are screened from public view whilst allowing for reasonable access for service providers.</p>
Not applicable. No telecommunication facilities or substations are proposed.	
Element 5: Building Design	
5.1 Surveillance	
<p>R47</p> <p>This rule applies to building facades facing a public street or public open space. Building facades have all of the following:</p> <p>a) at least one window to a habitable room that is not screened by a courtyard wall</p> <p>b) at least one door with roofed element such as a verandah or balcony.</p>	<p>C47</p> <p>Buildings achieve passive surveillance of all of the following:</p> <p>a) adjoining streets</p> <p>b) adjoining public open space.</p>
<p>Complies with R47.</p> <p>a) Has multiple windows of habitable rooms facing streets unscreened.</p> <p>b) Has multiple doors facing street with corresponding roofed elements. (See plan)</p>	
5.2 Building Entries	
Not applicable. No common entries are proposed.	
5.3 Building Design	
<p>R49</p> <p>This rule applies to buildings containing more than 2 dwellings. Maximum length of unarticulated walls in buildings is 15m. Wall articulation is provided by at least one of the following:</p> <p>a) changes in wall planes of a minimum 1m in depth and 4m in length</p> <p>b) inclusion of balconies, bay windows, verandas, fin walls, etc.</p> <p>c) horizontally stepping facades by at least 1m.</p>	<p>C49</p> <p>Building design, articulation, detailing and finish provide an appropriate scale, add visual interest and enable visual differentiation between dwellings when viewed from adjoining public spaces and adjoining residential blocks.</p>
Not applicable. No buildings contain more than 2 dwellings.	
R50	C50

Rules	Criteria
This rule applies to buildings containing more than 2 dwellings. Maximum length of an unarticulated roof is 15m.	Building design, articulation, detailing and finish provide an appropriate scale, add visual interest and enable visual differentiation between dwellings when viewed from adjoining public spaces and adjoining residential blocks.
Not applicable. No buildings contain more than 2 dwellings.	
<p>R51</p> <p>Garages and carports within 15m of the front boundary are constructed with the same material as the corresponding elements of the dwelling.</p>	<p>C51</p> <p>The exterior colours and finishes of garages and carports achieve all of the following:</p> <ul style="list-style-type: none"> a) compatibility with the dwelling design when viewed from public spaces b) integration with the overall design c) a contribution to the articulation of the building.
Not applicable. Garages located below ground level.	
5.4 Building Design – RZ2	
Not applicable. Site zoned RZ4.	
5.5 Basements and Undercroft Parking	
<p>R53</p> <p>This rule applies to all of the following:</p> <ul style="list-style-type: none"> i) basements ii) undercroft parking. <p>Exposed external walls comply with all of the following:</p> <ul style="list-style-type: none"> a) except for ventilation openings, are finished in the same manner as the building b) where ventilation openings are provided, they are treated as part of the façade with grilles and screens. 	<p>C53</p> <p>Basements and undercroft parking structures achieve all of the following:</p> <ul style="list-style-type: none"> a) visual interest through architectural elements, features or modulation b) visual softening by landscaping c) avoidance of prominent ventilation openings.
Complies with R53. No exposed external walls on basement.	
5.6 Adaptability of Dwelling for Use by People with a Disability	
Not applicable. Fewer than 9 Dwellings.	
5.7 Minimum Dwelling Size	
<p>R55</p> <p>Minimum dwelling floor areas are as follows:</p> <ul style="list-style-type: none"> a) studio dwellings - 40m² b) one-bedroom dwellings - 50m² c) 2-bedroom dwellings - 70m² d) dwellings with 3 or more bedrooms - 95 m². <p>The minimum dwelling floor area excludes balconies and car parking facilities. Storage within dwellings is included in the area calculations.</p>	<p>C55</p> <p>Dwelling sizes and layouts provide functional living spaces, flexibility in furniture layout, and adequate storage and service areas.</p> <p>The provision of shared facilities (e.g., open space, laundry, lounge and storage) may be considered when determining compliance with the criterion.</p>
Complies with R55.	
All dwellings exceed minimum floor areas. Refer to architectural plans submitted with this DA.	
5.8 Housing Diversity	
Not applicable. Fewer than 40 dwellings.	
Element 6: Amenity	
6.1 Solar Access – Other Than Apartments	

Rules	Criteria
<p>R57</p> <p>This rule applies to multi-unit housing other than apartments. The floor or internal wall of a daytime living area of a dwelling is exposed to not less than 3 hours of direct sunlight between the hours of 9am and 3pm on the winter solstice (21 June).</p> <p>Note: Where a development comprises a mixture of apartments and other multi unit housing, this rule will apply to the apartments.</p>	<p>C57</p> <p>This is a mandatory requirement. There is no applicable criterion.</p>
<p>Complies with R57. All units receive more than 3 hours of direct sunlight into living areas during the winter solstice (See Solar Access Diagram).</p>	
<p>6.2 Solar Access – Apartments</p>	
<p>Not applicable. No apartments are proposed.</p>	
<p>6.3 Privacy</p>	
<p>R59</p> <p>This rule applies to dwellings on the same block. The relationship between unscreened elements of one dwelling and the primary windows of another dwelling complies with one of the following:</p> <p>a) a person (with an eye height of 1.5m) standing at any and every point on the extremity of an unscreened element of one dwelling shall not have a direct line of sight into the primary window of any other dwelling</p> <p>b) the direct line of sight referred to in item a) is more than 12m.</p>	<p>C59</p> <p>Reasonable privacy between dwellings on the same block is achieved.</p>
<p>Complies with R59.</p> <p>No unscreened elements in different dwellings face one another. There are no such lines of sight. (see plan)</p>	
<p>R60</p> <p>This rule applies to principal private open space on the same block and on adjacent blocks. A person with an eye height of 1.5m standing at any point on the extremity of an unscreened element of one dwelling shall not have a direct line of sight to more than 50% of the minimum principal private open space of any other dwelling. The direct line of sight is a minimum distance of 12m.</p>	<p>C60</p> <p>Evidence is provided demonstrating that reasonable privacy of principal private open space of each dwelling is achieved through design solution.</p> <p>Note: this does not include installing high sill windows, obscured glass, and/or angled louvres</p>
<p>Complies with R60.</p> <p>-Unit 1 west windows. Where windows are on the same side as another unit's private open space, they are built in a "bay window" style to angle them away and screened with louvres. (See plan 103 first and 202 elevations)</p> <p>-Unit 1 roof top patio. All aspects except to Forbes St are screened.</p> <p>-Unit 3 Northern Windows: Windows may have direct line of sight of no more than 50% of principal private open space of another dwelling. Direct line of sight being up to a maximum of 12m unscreened. As plan (1stFloorLineOfSight) demonstrates, 24% of principal private open space of adjoining northern blocks is affected, well below 50%. Minimum private open space can be fulfilled entirely outside the affected area. Proposed deep rooted plantings (plan: 005 Landscape) and existing trees on the adjoining block will screen this perspective almost entirely.</p> <p>-Unit 3 South Windows. All unit 3 southern windows are screened with metal louvres. There is also intervening vegetation and the majority of neighbouring yard is located more than 12m away beyond direct line of sight.</p>	
<p>6.4 Principal Private Open Space</p>	
<p>R61</p> <p>Each dwelling has at least one area of principal private open space that complies with all of the following:</p>	<p>C61</p> <p>Principal private open space for each dwelling achieves all of the following:</p>

Rules	Criteria
<p>a) located on the site</p> <p>b) has minimum area and dimensions specified in table A9</p> <p>c) is screened from adjoining public streets and public open space</p> <p>d) is directly accessible from, and adjacent to, a habitable room other than a bedroom</p> <p>e) is not located to the south, south-east or south-west of the dwelling, unless it achieves one or more of the following:</p> <p>i) not less than 3 hours of direct sunlight onto 50% of the minimum required area between the hours of 9am and 3pm on the winter solstice (21 June)</p> <p>ii) located at an upper floor level and overlooks a public street or public open space.</p>	<p>a) an area proportionate to the size of the dwelling</p> <p>b) an extension of the function of the dwelling for relaxation, dining, entertainment, recreation</p> <p>c) directly accessible from the dwelling</p> <p>d) service functions such as clothes drying and mechanical services</p> <p>e) reasonable privacy</p> <p>f) reasonable solar access.</p>
<p>Complies with all R61</p> <p>a) located immediately adjacent to units.</p> <p>b) fits minimum area and dimension requirements; spaces have minimum dimensions greater than 6m.</p> <p>c) Appropriately screened.</p> <p>d) adjacent to habitable rooms other than bedrooms.</p> <p>e) Not located on southerly aspects, meets solar access requirements (see shadow diagram)</p>	
<p>6.5 Separation Between External Walls</p>	
<p>R62</p> <p>The minimum separation between an unscreened element and an external wall on the same block or an adjoining block, is 3m.</p> <p>Complies with C62</p> <p>All elements (unit 2 upper floor windows) within 3m of other external walls are angled and screened with louvres to lessen the imposition of the wall.</p> <p>Elements face short stretch of wall and would comfortably be able to see around it. (see plans)</p>	<p>C62</p> <p>The outlook from an unscreened element is not unreasonably impeded by external walls on the same or adjoining blocks.</p>
<p>R63</p> <p>The separation between external walls at the lower floor level on the same block or an adjoining block is not less than 1m.</p> <p>Complies with R63</p> <p>All separations exceed minimum distance, (see plans)</p>	<p>C63</p> <p>The separation between blank walls on the same or adjoining blocks at ground level achieves both of the following:</p> <p>a) reasonable access for maintenance</p> <p>b) reasonable management of rodents.</p>
<p>6.6 Balustrades</p>	
<p>R64</p> <p>This rule applies to balconies with both of the following characteristics:</p> <p>i) located on the third upper floor level or lower (ie the first four storeys)</p> <p>ii) facing public streets or public open space.</p> <p>Balustrades are constructed of one or more of the following:</p> <p>a) obscure glass panels</p> <p>b) solid panels</p> <p>with a total of all openings or clear glass panels not more than 25% of the surface area of the balustrade. For this rule obscure glass prevents printed text of 10mm high characters from being read through the glass when positioned 1m from the glass.</p>	<p>C64</p> <p>Balustrades achieve reasonable privacy for residents and screen household items from adjoining public streets and public open space.</p>

Rules	Criteria
Not applicable. No Balconies face public open space.	
6.7 Storage	
Not applicable. Units have associated garages.	
6.8 Natural Ventilation	
Not applicable. No buildings contain 3 or more dwellings.	
6.9 Noise Attenuation – External Sources	
Not Applicable. Not identified in precinct code as high noise area. Not adjacent to commercial or industrial zoning.	
Element 7: Parking and Vehicular Access	
7.1 Ramps to Basement Car Parking – RZ1 and RZ2	
Not applicable. Site zoned RZ4.	
7.2 Driveway Verge Crossings	
<p>R69</p> <p>This rule applies to previously undeveloped blocks.</p> <p>No more than one driveway verge crossing is provided to each block.</p>	<p>C69</p> <p>More than one driveway verge crossing to each block may be allowed in one of the following circumstances:</p> <ul style="list-style-type: none"> a) where forward entry to roads carrying more than 3000 vehicles per day is desirable b) where all of the following are achieved: <ul style="list-style-type: none"> i) compatibility with the streetscape ii) priority for pedestrians and cyclists iii) retention of existing street trees iv) protection of existing landscape features v) public safety c) where the block is a corner block.
Not applicable. Site previously developed.	
<p>R70</p> <p>This rule applies to previously developed blocks or the consolidation of previously developed blocks.</p> <p>No additional driveway verge crossings are permitted.</p>	<p>C70</p> <p>Additional driveway verge crossings may be allowed in one of the following circumstances:</p> <ul style="list-style-type: none"> a) where forward entry to roads carrying more than 3000 vehicles per day is desirable b) where all of the following are achieved - <ul style="list-style-type: none"> i) compatibility with the streetscape ii) priority for pedestrians and cyclists iii) retention of existing street tress iv) protection of existing landscape features v) public safety c) where the block is a corner block.
Complies with R70. No additional crossings added. (see verge crossing plan)	
<p>R71</p> <p>This rule applies to previously developed blocks, or the consolidation of previously developed blocks.</p> <p>Redundant driveway verge crossings are removed, and the verge and kerb restored.</p> <p>Note: a condition of development approval may be imposed to ensure compliance with this rule.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
Complies with R71. Verge restored after crossing works. (see plan)	
<p>R72</p> <p>Driveway verge crossings comply with all of the following:</p> <ul style="list-style-type: none"> a) 1.2m horizontally clear of storm water sumps and other services 	<p>C72</p> <p>Driveway verge crossings are endorsed by the Territory and Municipal Services Directorate.</p>

Rules	Criteria
<p>b) 1.5m horizontally clear of transformers, bus stops, public light poles</p> <p>c) 6m horizontally clear of the tangent point of the radius of the curve on a corner block (excluding locations with roundabouts and signalised intersections, which require separate formal approval and support from Asset Acceptance)</p> <p>d) uphill grade of less than 17% as measured from the kerb; downhill grade of less than 12% as measured from the kerb</p> <p>e) at a right angle to the kerb line with a maximum 10% deviation</p> <p>f) a max. of 5.5m wide, and a min. of 5m wide at the kerb, a min. Of 3m wide at the front boundary, and a max. width no greater than the width at the kerb</p> <p>g) except for blocks 250m² or less, 3m wide at the front street boundary</p> <p>h) outside of the drip line of mature street trees</p> <p>i) a minimum of 3m clear of small and new street trees</p> <p>j) compliant with Australian Standard AS2890.1 – Off Street Parking, having particular regard for sightlines and cross fall of the site</p> <p>k) where there is a public footpath across the driveway verge crossing, the footpath is continuous (i.e. the footpath is to have precedence)</p> <p>l) if the existing footpath is replaced, it is to be constructed at the same level in the same material and colour as the original.</p> <p>Note: a condition of development approval may be imposed to ensure compliance with this rule.</p>	
<p>Complies with R72. Verge crossings are;</p> <ul style="list-style-type: none"> a) More than 1.2 m clear of all services. b) More than 1.5 m clear of bus stops and other verge infrastructure c) Not applicable. Not a corner block. d) Slopes compliant. e) Meets curb at right angle. f) Complies (refer to pavement plan) g) Greater than 3m wide at street boundary. h) Outside drip line of trees. i) More than 3 m clear of all trees. j) Complies with visibility and fall standards. k) Footpath is continuous l) Footpath replaced at same level and materiality. <p>See civil plans for details</p>	
7.3 Internal Driveways	
<p>R73</p> <p>This rule applies to internal driveways that are used by residents of more than one dwelling. Internal driveways comply with all of the following:</p> <ul style="list-style-type: none"> a) are set back from external block boundaries by not less than 1m b) are set back from the external walls of buildings on the site by not less than 1m c) the setbacks referred to in items a) and b) are planted to a width of not less than 1m d) windows to habitable rooms and exterior doors within 1.5 of an internal driveway have at least one of the following - i) an intervening fence or wall not less than 1.5m high 	<p>C73</p> <p>Internal driveways achieve all of the following:</p> <ul style="list-style-type: none"> a) sufficient space for planting along property boundaries b) sufficient space for planting between internal driveways and buildings c) reasonable residential amenity, particularly in relation to the intrusion of light and noise into habitable rooms d) clear differentiation between the driveway and parking spaces.

Rules	Criteria
ii) for windows, a sill height not less than 1.5m above the driveway e) the relevant requirements in Australian Standard AS2890.1 - Off Street Parking for sightlines and gradients f) provide internal radius of at least 4m at changes in direction and intersections g) have a surface treatment that is distinct from car parking spaces.	
Complies with R73. (see plan) Internal driveways are; <ul style="list-style-type: none"> a) Set back from block boundaries with sufficient space for planting b) Set back from external walls of buildings by more than 1 m c) Planted appropriately d) Separated from windows by at least 1.5 m e) Complies with standards f) Internal radius of 4m provided at turning locations g) Has a distinct treatment 	
R74 This rule applies to internal driveways with both of the following characteristics: <ul style="list-style-type: none"> a) serve 4 or more car parking spaces b) connect to a major road. Turning spaces are provided on the block to allow vehicles to leave in a forward direction.	C74 Internal driveways achieve reasonable levels of public safety.
Complies with R74. Turning space provided. (see vehicle turning path plan)	
R75 This rule applies to internal driveways with both of the following characteristics: <ul style="list-style-type: none"> a) serve more than 10 car parking spaces b) connect to a public road. The internal driveway is not less than 5m wide for not less than the first 7m of its length measured from the relevant block boundary.	C75 Internal driveways avoid unreasonable levels of queuing and congestion at vehicular entrances.
Not applicable. Driveway serves less than 10 parking spaces.	
There is no applicable rule.	C76 Internal driveways are designed to be safely used by both pedestrians and vehicles, including emergency vehicles. Measures to reduce vehicle speed on internal driveways will be considered when determining compliance with this criterion, including one or more of the following: <ul style="list-style-type: none"> a) changes in pavement materials b) the lack of kerb and gutters c) difference in height to adjacent streets d) avoiding long lengths of driveway e) suitable planting f) signage.
Complies with C76. All internal driveways comply with the criteria. <ul style="list-style-type: none"> a) Change to pavements and surfaces have been used to define areas for pedestrian/vehicle access b) No kerbs or gutters have been proposed c) Driveway immediately slopes away from road level; This will lower traffic speeds d) Length of driveway is short e) Driveway has plantings alongside 	
7.4 Residents Car Parking	

Rules	Criteria
<p>R77</p> <p>Car-parking spaces on the site for residents comply with all of the following:</p> <ul style="list-style-type: none"> a) located behind the front zone (except for apartment car parking) b) can be in tandem where they belong to the same dwelling c) do not encroach any property boundaries d) one car space per dwelling is roofed and located behind the front zone e) are separated by not less than 1.5m from windows or doors to habitable rooms of dwellings that are not associated with the parking space. 	<p>C77</p> <p>Car parking for residents achieves all of the following:</p> <ul style="list-style-type: none"> a) reasonable residential amenity b) consistency with the desired character c) public safety d) reasonable opportunities for surveillance e) the reasonable requirements of residents for car parking f) reasonable privacy.
<p>Complies with R77.</p> <ul style="list-style-type: none"> a) All spaces located behind the front zone b) No Tandem Parking c) No spaces encroach on property boundaries d) All dwellings include roofed car parking located behind the front zone. e) All car parks suitably separated from windows and doors to habitable spaces. <p>Refer to architectural plans submitted with this DA.</p>	
<p>R78</p> <p>This rule applies to resident car parking spaces with both of the following characteristics:</p> <ul style="list-style-type: none"> a) not allocated to a particular dwelling b) shared between 2 or more dwellings. <p>Parking spaces are located within 50m walking distance of any dwelling that is sharing the space.</p>	<p>C78</p> <p>Car parking spaces are located close to, and with convenient access to dwellings.</p>
<p>Not applicable. No shared parking spaces</p>	
<p>R79</p> <p>The maximum total width of garage door openings and external width of carports facing a street complies with the following:</p> <ul style="list-style-type: none"> a) for up to 3 dwellings, the lesser of the following <ul style="list-style-type: none"> i) 6m ii) 50% of the total length of the building façade facing that street <p>for more than 3 dwellings, 50% of the total length of the building façade facing that street.</p>	<p>C79</p> <p>Garages and car parking structures are consistent with the desired character.</p>
<p>Not applicable. No garages facing the street are proposed</p>	
<p>R80</p> <p>The maximum total width of an entry and/or exit to basement car parking facing the street is 8m.</p>	<p>C80</p> <p>Entries to basements do not dominate the streetscape.</p>
<p>Complies with R80. Basement carpark exit is less than 8m wide</p>	
<p>R81</p> <p>This rule applies to all of the following:</p> <ul style="list-style-type: none"> i) developments containing 10 dwellings or more ii) development with a combined entry and exit to apartment car parking less than 6m wide. <p>Approaches to basements containing car parking comply with one of the following:</p> <ul style="list-style-type: none"> a) include sufficient areas for vehicles to wait to allow for an entering or leaving vehicle to pass b) at least one waiting area and traffic signals. 	<p>C81</p> <p>Approaches to basements achieve all of the following:</p> <ul style="list-style-type: none"> a) public safety b) convenience for all users.

Rules	Criteria
Complies with R81. Sufficient room for vehicles entering or exiting to wait while others enter or exit (see vehicle turning path plan)	
7.5 Visitor Parking	
<p>R82</p> <p>Visitor car-parking spaces on the site comply with all of the following:</p> <ul style="list-style-type: none"> a) located behind the front zone (except for apartment car parking) b) do not encroach any property boundaries c) are separated by not less than 1.5m from windows and doors to habitable rooms of dwellings d) are not more than 50m walking distance from any common building entry e) clearly identified and visible from driveways. 	<p>C82</p> <p>Visitor parking achieves all of the following:</p> <ul style="list-style-type: none"> a) accessible for all visitors b) safe and direct visitor entry to common building entries.
Not applicable. No visitor parking provided on site.	
<p>R83</p> <p>Visitor car parking complies with one of the following:</p> <ul style="list-style-type: none"> a) is located outside of any security barriers b) an intercom and remote barrier release system allows access to visitor parking located behind security barriers. 	<p>C83</p> <p>Visitor parking is accessible to all visitors.</p>
Not applicable. No visitor parking provided on site.	
7.6 Number of Co-Located Parking Spaces – RZ2	
Not Applicable. No co-located parking spaces.	
7.7 Delivery and Removalist Vans	
Not Applicable. Less than 40 dwellings.	
Element 8: Environment	
8.1 Water Sensitive Urban Design	
<p>R86</p> <p>This rule applies to all multi-unit residential development except for minor extensions.</p> <p>The development achieves a minimum 40% reduction in mains water consumption compared to an equivalent development constructed in 2003, without any reliance on landscaping measures.</p> <p>Compliance with this rule is demonstrated by a report by a suitably qualified person using the ACTPLA on-line assessment tool or another tool referred to in the Water Ways: Water Sensitive Urban Design General Code.</p> <p>For this element: minor extension means an extension where the increase in the combined roof plan area, driveway, car manoeuvring areas and car parking areas is less than 25% of the total of the areas of these components at the date of lodgement of the development application.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
Complies with R86. Development achieves 40% water reduction. Refer to supporting documents submitted with this DA	
<p>R87</p> <p>This rule applies to all multi-unit housing, except minor extensions.</p> <p>On sites larger than 2,000m² stormwater management measures comply with all of the following:</p> <ul style="list-style-type: none"> a) provision for the retention of stormwater on the block is equivalent to at least 1.4kl per 100m² of impervious area b) the retained stormwater complies with one or more of the following - 	<p>C87</p> <p>On sites larger than 2,000m² all of the following stormwater management measures are achieved: a) the equivalent of 1-in-3 month stormwater peak pre-development stormwater run-off is retained on the block b) the retained stormwater complies with one or more of the following -</p> <ul style="list-style-type: none"> i) it is stored for later reuse ii) it is released to the stormwater system over a reasonable period. <p>Compliance with this criterion is demonstrated by a report by a suitably qualified person</p>

Rules	Criteria
i) it is stored for later reuse ii) it is released to the stormwater system over a period of not less than 1 day. Rainwater tanks connected to at least the toilet and all external taps may be counted towards this requirement.	
Not applicable. Site less than 2000m ²	
R88 This rule applies to all multi-unit housing, except minor extensions. For blocks 5,000m ² or larger, the average annual stormwater pollutant export is reduced for all of the following: a) suspended solids by at least 60% b) total phosphorous by at least 45% c) total nitrogen by at least 40% compared with an urban catchment with no water quality management controls. Compliance with this rule is demonstrated by a report by a suitably qualified person, using the MUSIC model or another nationally recognised model.	This is a mandatory requirement. There is no applicable criterion.
Not applicable. Site less than 5000 ² .	
R89 On previously developed blocks larger than 2,000m ² the capacity of the existing pipe (minor) stormwater connection is not exceeded in 1-in-10 year storm event and the capacity of the existing major overland stormwater system is not exceeded in 1-in-100 year storm event. Compliance with this rule is demonstrated by a report by a suitably qualified person.	C89 On previously developed blocks larger than 2,000m ² the 1-in-5 year and 1-in-100 year stormwater peak run off does not exceed pre-development levels. Compliance with this criterion is demonstrated by a report by a suitably qualified person.
Not applicable. Site less than 2000m ²	
8.2 Heritage	
Not Applicable. Site does not contain heritage registered places or objects.	
8.3 Tree Protection	
R91 This rule applies to a development that has one or more of the following characteristics: a) requires groundwork within the tree protection zone of a protected tree b) is likely to cause damage to or removal of any protected trees. The authority shall refer the development application to the Conservator of Flora and Fauna. Note: The authority will consider any advice from the Conservator or Flora and Fauna before determining the application in accordance with the Planning and Development Act 2007. Protected tree and declared site are defined under the Tree Protection Act 2005.	This is a mandatory requirement. There is no applicable criterion.
Complies with R91. Development requires groundwork within the protection zone of a protected tree. Arborists report and a plan for protection of the tree submitted with S144 Request. (See Doc: 20180618 3973 PAR AIA TMP (arborist)) Report demonstrates proposed development and associated groundwork will not jeopardise the health of the affected tree, providing development in accordance with tree management techniques specified.	
8.4 Bushfire	
Not applicable. Site not within a bushfire prone area (ACTmapi, 2017).	
8.5 Erosion and Sediment Control	
R93	This is a mandatory requirement. There is no applicable criterion.

Rules	Criteria
<p>For sites less than 3,000m², the development complies with the Environment Protection Authority, Environment Protection Guidelines for Construction and Land Development in the ACT.</p> <p>Note 1: If no evidence of compliance with the above guideline is provided, the application may be referred to the relevant agency in accordance with the requirements of the Planning and Development Act 2007.</p> <p>Note 2: see part D for sites over 3000m².</p>	
Complies with R93. Erosion and sediment control plan attached.	
Element 9: Services	
9.1 Post-Occupancy Waste Management	
There is no applicable rule.	<p>C94</p> <p>Post occupancy waste management achieves all of the following:</p> <ul style="list-style-type: none"> a) consistency with the desired character b) reasonable levels of residential amenity for dwellings and their associated private open space on the subject site c) reasonable levels of amenity for dwellings on adjoining residential blocks and their associated private open space.
<p>Complies with C94.</p> <ul style="list-style-type: none"> a) Waste will be managed in a way that is consistent with surrounding dwellings (street side collection). b) Waste management will not impact amenity of private open space of dwellings. c) Waste management will not impact amenity of private open space of adjoining blocks.(see plans) 	
Part B: Additional Controls for Multi-Unit Housing with 4 or more storeys	
Element 10: Building and Site Design – Buildings with 4 or more storeys	
10.1 Side and Rear Boundary Setbacks	
Not applicable. No buildings more than 4 stories.	
10.2 Access to Lifts or Stairs	
Not applicable. No buildings more than 4 stories.	
Part C: Additional Controls for Multi-Unit Housing in Commercial Zones	
Element 11: Ground Floor Commercial Use	
11.1 Ground Floor Commercial Use in Commercial Zones	
Not applicable. Not in a commercial zone. No commercial use proposed.	
Part D: Endorsement by Government Agencies (Entities)	
Element 12: Waste Management	
12.1 Construction Waste Management	
<p>R98</p> <p>This rule applies to residential development that is likely to generate more than 20m³ of construction waste comprising one or more of the following:</p> <ul style="list-style-type: none"> a) demolition waste b) construction waste c) excavation material. <p>The management of construction waste is to be endorsed by TAMS. TAMS will endorse waste facilities and management associated with the development if they comply with the current version of the Development Control Code for Best Practice Waste Management in the ACT. TAMS may endorse departures.</p> <p>Note: a condition of approval may be imposed to ensure compliance.</p>	This is a mandatory requirement. There is no applicable criterion.

Rules	Criteria
Complies with R98. Waste arrangements to be referred to TCCS for endorsement.	
12.2 Post-Occupancy Waste Management	
<p>R99</p> <p>Post occupancy waste management facilities are to be endorsed by TAMS.</p> <p>TAMS will endorse post occupancy waste management facilities where they are in accordance with the current version of the Development Control Code for Best Practice Waste Management in the ACT. TAMS may endorse departures.</p> <p>Note: a condition of approval may be imposed to ensure compliance.</p>	This is a mandatory requirement. There is no applicable criterion.
Complies with R99. Waste arrangements to be referred to TCCS for endorsement.	
Element 13: Utilities	
13.1 Utilities	
<p>R100</p> <p>This rule applies to any proposed encroachment into a registered easement.</p> <p>The proposed encroachment is to be approved in writing by the relevant service provider.</p>	This is a mandatory requirement. There is no applicable criterion.
Not Applicable. No easement encroachment proposed.	
<p>R101</p> <p>A statement of compliance from each relevant utility provider (for water, sewerage, electricity, stormwater and gas) is provided, which confirms that the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features comply with utility standards, access provisions and asset clearance zones.</p> <p>Note 1: If there is no stormwater easement or Territory owned stormwater pipes located within the property boundary, a "Statement of Compliance" for stormwater from TAMS (Asset Acceptance) is not required to be obtained.</p> <p>Note 2: Where there is conflict between planning and utility requirements, the utility requirements take precedence over other codified or merit provisions.</p> <p>Note 3: If a statement of compliance is not provided the application will be referred to the relevant agency in accordance with the requirements of the Planning and Development Act 2007.</p>	This is a mandatory requirement. There is no applicable criterion.
Complies with R101. Arrangements to be referred to relevant utility providers.	
Element 14: Environmental Management	
14.1 Contamination	
Not applicable. Site not located adjacent to potentially polluting source.	
14.2 Erosion and Sediment Control	
Not applicable. Site smaller than 3000m ² .	

1.3 Statement Against Turner Precinct Code

The Turner Precinct Code has been reviewed as part of this DA. None of the clauses within this Code are applicable to the subject site or the proposed development.

1.4 Statement Against Inner North Precinct Code

The Inner North Precinct Code has been reviewed as part of this DA. The subject site falls within the area covered by the code. A statement against criteria is provided below.

Rules	Criteria
Part A – General Development Controls	
Element 1: Restrictions on Use	
1.1 Residential	
<p>R1 Dual occupancy development is not permitted where the additional dwelling is located to the rear of the block behind an existing dwelling or a new dwelling.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
Not applicable. No dual occupancy proposed.	
<p>R2 On a block greater than 3000m², a variety of dwelling sizes must be provided i.e., 1, 2 and 3-bedroom dwellings are required.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
Not applicable. Site less than 3000m ²	
Element 2: Building and Site Controls	
2.1 Subdivision	
Not applicable. No subdivision proposed.	
2.2 Height	
Not applicable. Subject site not corner block.	
2.3 Front Setback	
<p>R6 Minimum front street setbacks are 6m unless otherwise specified in Part C of the code (Site specific controls) On corner blocks identified as requiring corner treatment in the control plan (Part B) buildings must be built to the specified minimum front street setback.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
Complies with R6. Front setback 6m (see statement against part C)	
<p>R7 No building or design elements including basement structure are to be located forward of the specified minimum front street setback.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<p>Complies with R7. All design and building elements located behind front setback. Landscape elements, including courtyard walls and steps will be located forward of the minimum front setback in accordance with the desired character for the area Landscape elements are not physically attached to the building and will be assembled and installed separately.</p>	
2.4 Rear Setbacks	
<p>R8 Rear setbacks are 7 m on blocks specified in the Control Plans (Part B). Where blocks specified</p>	<p>C8 Rear setbacks allow for a deep-root planting zone and ensure privacy on blocks.</p>

<p>are corner blocks, this is to be a 7 x 7 m minimum area in the rear corner.</p>	
<p>Complies with R8. Rear setback is 8.859 metres.</p>	
<p>2.5 Building Siting</p>	
<p>There is no applicable rule.</p>	<p>C9 Design promotes perimeter block development by building primarily across the frontage of the site (and not down the length of the site), so as to: a) provide space to the rear of the block to retain or introduce large-canopy trees and create a treed backdrop to development b) maximise street address as well as physical and visual access to the rear garden c) minimise privacy impacts between adjacent sites d) optimise possibilities for private and communal open spaces to the rear of the block that can accommodate landscaping and large tree planting</p>
<p>Complies with C9.</p> <ul style="list-style-type: none"> a) Open space along the rear and sides of the block will allow deep rooted canopy trees to be planted b) Building addresses the street, with side sight lines to the garden c) Privacy of neighbours will be maintained through the types of windows and their locations. Fixed louvres are also integrated with the design to reduce overlooking of neighbouring blocks. Plantings along both side boundaries will further screen the blocks. d) Large area of private open space at rear of block 	
<p>R10 Dual frontage design (Figure 1) is required for development on blocks specified in the Control Plans (Part B).</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<p>Not applicable. Not within a duel frontage specified block.</p>	
<p>There is no applicable rule</p>	<p>C11 Where dual frontage design is required for development on blocks specified in the Control Plan development is to; a) Maximise building frontage to both the main street address from the primary building zone and frontage to public space or secondary street frontage from the secondary building zone. b) Provide and maximise overlooking and prospect into open spaces including pedestrian laneways from living areas within dwellings of the development. c) Promote the increased use (including walking and cycling) of open space by providing access to and overlooking of open spaces.</p>
<p>Not applicable. Not within a duel frontage specified block.</p>	
<p>2.6 Site Coverage</p>	
<p>There is no applicable rule.</p>	<p>C12</p>

	<p>Maximum site coverage of up to 100% in the Primary Building Zone may be permitted subject to the agreement of adjoining lessees and lodging a plan for integrated development.</p> <p>Note: This requirement applies to all built-to-boundary proposals less than 100% site coverage in the Primary Building Zone.</p>
Not applicable. Building will not be built to the boundary.	
<p>R13</p> <p>Site coverage in the rear zone does not exceed 30%.</p> <p>This rule does not apply to:</p> <p>a) Braddon Sections 15, 16, 58 and 59</p> <p>b) O'Connor Section 40</p> <p>c) Lyneham Section 46 Block 1 and 2.</p> <p>Note: A basement structure that projects into the Rear Zone is included in calculations of site coverage.</p>	<p>C13</p> <p>This criterion applies only to a site where at least one protected tree is proposed to be retained within the primary building zone. In all other cases the rule is mandatory.</p> <p>Sufficient space on the block is provided to retain or introduce large-canopy trees and create a treed backdrop to development.</p> <p>Compliance with this criterion is demonstrated by a report from a suitably qualified person.</p> <p>A protected tree is defined under the Tree Protection Act 2005.</p>
Complies with R13. Coverage of the rear zone is 30%. Basement structures do not extend beyond floor plate in rear zone. (See plan)	
Element 3: Built Form	
3.1 Building Design	
<p>R14</p> <p>Development is built to the minimum front setback. The front façade of the development is articulated to a depth of 2-3 m behind the front setback, for all storeys of the development (Figure 2).</p>	<p>This is a mandatory requirement. There is no applicable criterion</p>
Complies with R14. Façade is built to the minimum front setback (6m). All storeys are articulated to the required depth. The articulations involve a variety of shapes textures and colour contrast; creating visual interest and avoiding a continuous featureless façade.	
<p>R15</p> <p>The articulation of the front façade of a building must exceed 40% of the width of the building, at every storey level.</p>	<p>C15</p> <p>The front façade of a building is articulated to:</p> <p>a) prevent continuous walls of development</p> <p>b) provide visual interest to building alignment</p>
Complies with R14. Articulation exceeds 40% of building width across levels. Continuous walls are avoided; articulations, varied materials and windows on the façade provide considerable interest.	
<p>There is no applicable rule.</p>	<p>C16</p> <p>The articulation responds to:</p> <p>a) Architectural design</p> <p>b) Local character</p> <p>c) Access</p> <p>d) Environmental conditions</p> <p>e) Landscape features</p>
Complies with C16. Articulation responds by;	
<p>a) Complementing the articulation, the sides of the building and emphasising the varied materials of the façade</p> <p>b) Is in keeping with the designs and materiality of other buildings in Turner, especially of the same generation</p> <p>c) Incorporates the entries for townhouses 1 and 2</p> <p>d) Façade faces east and is shaded by street trees. It avoids reflective materials that might adversely affect passers by</p>	

e) Complements and frames the design of the front yard incorporating plantings, courtyard hedges and steps.

There is no applicable rule.

C17

Development adjacent to pedestrian paths and laneways provide casual surveillance and overlooking of these spaces.

Not applicable. Development not located next to a pedestrian path or lane.

3.2 Interface

R18

Redevelopment of more than two dwellings on a block in RZ4 is not permitted where it adjoins an existing single dwelling that has an existing or approved redevelopment on the other side boundary, unless the single dwelling site is one or more of the following:

- a) included in the amalgamation of sites,
- b) developed at the same time as part of a plan for an integrated housing development and with the consent of the affected lessee,
- c) located in Turner Sections 38, 39, 44, 60 and 61 where the lessee of the single dwelling supports the proposed development occurring independently.

This is a mandatory requirement. There is no applicable criterion.

Complies with R18.

To the north of the block on Forbes street, the corner of the street is 1 lease down, so there is not an applicable block. Block 2 of 46, around the corner, does not have any current development applications or approved redevelopments.

To the south of the block, there are no current development applications or approved redevelopments on block 6 Section 46.

Element 4: Parking and Site Access

4.1 Vehicle Access

R19

A maximum of one basement entry per two blocks or per 40 m of street frontage, whichever is greater.

C19

Basement entries across the nature strip are limited to reduce visual impact.

Complies with R19. No other basement entries on adjacent blocks nor within 40m.

4.2 Parking

There is no applicable rule.

C20

Car parking provision rates identified in the Parking and Vehicular Access General Code are the maximum rates for development.

Complies with C20. See statement against Parking and Vehicular Access General Code.

Element 5: Amenity

5.1 Neighbourhood Plans

There is no applicable rule.

C21

Where a Neighbourhood Plan exists, development demonstrates a response to the key strategies of the relevant Neighbourhood Plan

Complies with C21. See statement against Turner Neighbourhood Plan.

5.2 Private Open Space

R22

This is a mandatory requirement. There is no

Dwellings with three bedrooms or more have direct access to ground floor private open space.	applicable criterion.
Complies with R22. All dwellings (all 3 units) have direct access to ground floor private open space.	
5.3 Utilities	
Not applicable. Utilities already underground.	
Part C: Control Plans	
Element 2: Building and Site Controls	
Not applicable. Subject section (46) not identified in site controls.	

1.5 Statement Against Parking and Vehicle Access Code

There are seven car parks provided for the units; two enclosed basement garage spaces each for the two three-bedroom units and three for the five-bedroom unit. This adheres to the code requirement of two spaces per dwelling containing two or more bedrooms.

Additional visitor parking is not provided on site. Visitor parking is not a code requirement and the provision of one space extra to the code requirement for Townhouse 3, combined with the availability of on street parking will comfortably provide for visitors.

The requirements related to the proposed uses are as follows:

Use	Code Requirement	Total Car Parks
Attached house	2 spaces/2<bedroom dwelling	7
One (1) visitor space per four (4) dwellings or part thereof where a complex comprises four (4) or more dwellings	0 – Rule not applicable, less than four (4) dwellings	0

The provision of 7 on-site parking spaces means there is unlikely to be a significant impact on the parking amenity of adjacent properties.

1.6 Statement Against Crime Prevention Through Environmental Design General Code

Rule	Criteria
Part A - General Requirements	
Element 1: Neighbourhood Design	
Not applicable.	
Element 2: Use	
2.1 General Code	
There is no applicable rule.	C2 The development described in Table 1 (attached at conclusion) meets the Crime Prevention Through Environmental Design General Code.
The proposed development is listed in Table 1 of the code and meets the requirements of the Crime Prevention Through Environmental Design General Code.	
Element 3: Public Realm	
3.1 Open Space and Community (Shared) Areas	
Not applicable no public open space or community spaces are proposed.	
3.2 Children's Play Areas	
Not applicable.	
3.3 Lighting	
There is no rule applicable.	C10 Provide a schedule of lighting showing that lighting complies with each of the following: a) Australian Standard AS1158 Lighting for Roads and Public Spaces Part 3.1: Pedestrian Area (Category P) Lighting – Performance and Design Requirements b) Australian Standard AS1158: Lighting for Roads and Public Spaces Part 2: Computer Procedures for the Calculations of Light Technical Parameters for Category V and Category P Lighting c) Australian Standard AS3282: The Control of Obtrusive Effects of Outdoor Lighting, in the case of security lighting.
Complies with C10. Lighting has been displayed on the Landscape Plan. ALL EXTERNAL LIGHTING SHALL BE CONTROLLED BY DAYLIGHT SENSOR. ALL EXTERNAL LIGHTING COMPLIES WITH THE FOLLOWING: <ul style="list-style-type: none"> - AUSTRALIAN STANDARD AS1158: LIGHTING FOR ROADS AND PUBLIC SPACES PART 3.1: PEDESTRIAN AREA LIGHTING - PERFORMANCE AND DESIGN REQUIREMENTS. - AUSTRALIAN STANDARD AS1158: LIGHTING FOR ROADS AND PUBLIC SPACES PART 2: COMPUTER PROCEDURES FOR THE CALCULATIONS OF LIGHT TECHNICAL PARAMETERS FOR CATEGORY V AND CATEGORY P LIGHTING. - AUSTRALIAN STANDARD AS4282: THE CONTROL OF OBTRUSIVE EFFECTS OF OUTDOOR LIGHTING, IN THE CASE OF SECURITY LIGHTING. 	
There is no rule applicable.	C11 Legitimate users and activities at night are encouraged by lighting: a) spaces evenly and consistently (except where accent/feature lighting is necessary)

Rule	Criteria
	b) inset spaces, entries/exits and paths c) to reduce the casting of shadows that could hide intruders d) directional signage e) building entries f) exterior to interior spaces evenly to allow for surveillance.
Complies with C11. Legitimate users will be encouraged through even and consistent lighting. Lighting will be used to highlight building entries and exterior spaces [See lighting plans provided].	
There is no rule applicable.	C12 Areas that are not intended for night time are not lit and are closed off to pedestrians.
Complies with C12.	
There is no rule applicable.	C13 Damage to light fixtures are minimised by selecting vandal-resistant, high mounted light fixtures. All light bulbs are protected with a suitable lantern bowl.
Complies with C13. Vandal resistant light fittings have been selected such as bollard lighting and building mounted luminaires . Refer to the lighting plans submitted with this DA.	
3.4 Signs	
R14 A statement is provided that all directional signage will comply with the requirements of AS1742.10 (1991) Manual of Uniform Traffic Control Devices – Pedestrian Control and Protection.	This is a mandatory requirement. There is no applicable criterion.
Not applicable. No signage included in proposal	
There is no rule applicable.	C15 Locate signs so that they comply with each of the following: a) they are clearly visible from a distance at all times b) they are not likely to be obscured by growing vegetation c) they are strategically placed at entrances and near activity centres including bus stops, taxi rank and public facilities
Not applicable. No signage included in proposal	
There is no rule applicable.	C16 Provide legible signs for all users: a) specify signs of high contrast, with light lettering on dark backgrounds with non-reflective surfaces b) signs should be developed as a system with a consistent pattern, based on a hierarchy of most important messages.
Not applicable. No signage included in proposal	
Element 4: Built Form	
4.1 Interface between Buildings and Public Realm	
There is no rule applicable.	C17 Building entrances are easily identified, providing easy access to all users, affording visibility to and from the street and minimising the potential for hiding spots.
Complies with C17. Building entries will be easily identifiable and accessible to all users. Visibility to and from the street will be maximized and opportunities to hide have been minimized through building design and landscaping.	

Rule	Criteria
There is no rule applicable.	C18 Provide clear sightlines from the building foyer so that occupants can see the nearest pedestrian area/surface car park before leaving the building.
Not applicable. No building foyer is proposed.	
There is no rule applicable.	C19 Recessed sections in the building elevation/façade are detailed and located so that there is opportunity for natural surveillance, for spill lighting and the potential for hiding is minimised.
Complies with C19. Recessed elements are wide enough to prevent entrapment or hiding. They will also be illuminated and naturally surveilled.	
There is no rule applicable.	C20 Buildings are detailed in a manner that deters scaling (climbing) the building to access balconies from the ground and/or access between individual balconies.
Complies with C20. No built elements will be scalable.	
There is no rule applicable.	C21 Where buildings are set back from the street and/or pedestrian path, the area is developed to minimise hiding and entrapment spots.
Complies with C21. Areas setback from the shared pedestrian and vehicle ways have been designed to minimize hiding and entrapment.	
4.2 Materials and Finish	
There is no rule applicable.	C22 Building materials and finishes are of an appropriate quality and detailed in a manner to: a) reduce opportunities for graffiti and vandalism b) facilitate cleaning and replacement c) avoid facilitating illegal access to the building and to services.
Complies with C22. Building materials and finishes will reduce opportunity for vandalism, be easy to clean and replace and will not facilitate illegal activities.	
Element 6: Travel and Access	
6.1 Pedestrian Routes, Bicycle Paths and Lanes	
There is no rule applicable.	C23 Pedestrian routes, bicycle paths and lanes are designed to maximise opportunities for natural surveillance by: a) maintaining sightlines along paths between destination points b) allowing overlooking from adjacent areas
Not applicable. No public pedestrian routes, bicycle paths or lanes are proposed.	
6.2 Pedestrian Underpasses and Overpasses	
Not applicable.	
6.3 Bus Interchange, Bus Stops and Taxi Ranks	
Not applicable.	
Element 7: Services	
7.1 Automatic Teller Machines (ATMs)	

Rule	Criteria
Not applicable.	
7.2 Local Waste Storage Facilities	
There is no rule applicable.	<p>C39</p> <p>Screening does not provide entrapment or hiding spots, and safe access and adequate lighting is provided near the waste storage areas.</p>
Complies with C39. Bin storage does not provide entrapment or hiding spots. Bin storage areas will be well-lit by bollard and building lights. Units 1,2 bin storage does not include elements that could provide entrapments. Unit 3 bin storage in wide alcove that would also not provide opportunities for hiding or entrapment.	
7.3 Local Utility Facilities	
There is no rule applicable.	<p>C40</p> <p>Air conditioning plants, meter boxes and other service points are mounted within a secure building / enclosure for protection.</p>
Complies with C40. All plant and mechanical equipment will be screened and mounted in a protected location.	
7.4 Delivery and Storage Facilities	
There is no rule applicable.	<p>C41</p> <p>Ensure that:</p> <ul style="list-style-type: none"> a) Delivery and storage areas are not isolated from the main building b) Secure storage areas are provided for shop owners.
Complies with C41. No designated delivery areas are proposed. All storage areas are internal.	
7.5 Public Toilets	
Not applicable.	
7.6 Public Telephones	
Not applicable.	

1.7 Statement Against Turner Neighbourhood Plan

The Turner Neighbourhood Plan has largely been superseded; however, this development is consistent with the broad goals and objectives of the plan.

GOAL 1 Turner's distinctive setting and garden city qualities will provide a strong link to the past.

OBJECTIVE 1: Retain and conserve the cultural and heritage places and features.

RESPONSE: The current site does not contain any heritage listed places or objects

OBJECTIVE 2: Identify and reinforce the distinctive qualities of the streets and precincts.

RESPONSE: The building design and colour palate are sympathetic to the surroundings

OBJECTIVE 3: Provide opportunities for people to enjoy the distinctive semiurban qualities of Turner.

RESPONSE: The conversion of a former single dwelling block to three dwellings will allow more people to enjoy living in the area. All the townhouses have yards and are relatively low rise, giving medium density with a more suburban feel.

GOAL 2 Turner is a liveable, sustainable neighbourhood adjacent to Civic.

OBJECTIVE 1: Ensure that access – vehicular, bicycle and pedestrian – to and through the suburb is convenient, safe and serves people of all ages and mobilities.

RESPONSE: The townhouses are designed to give easy access for pedestrians and cyclists to the street. The lifts provided will make the townhouses suitable for a range of ages.

OBJECTIVE 2: Promote design, construction and management of buildings (including urban and suburban housing), streets and open spaces that are robust and sustainable.

RESPONSE: The proposed materials are high quality and durable in nature; including precast concrete and painted metal, avoiding the cheap cladding common on a lot of multi-unit dwellings. A building designed to last makes efficient use of the materials used in its construction, avoiding the emissions associated with additional construction.

OBJECTIVE 3: Create a choice of living, working and playing opportunities that cater for a range of ages, mobility, income etc. TURNER Neighbourhood Plan 27

RESPONSE: This development expands living options in the area, providing a mid-size high quality variety of townhouse that is unusual in Canberra. The lifts provided will make the townhouses suitable for a range of ages.

GOAL 3 Turner has a strong community spirit.

OBJECTIVE 1: Encourage a range in the profile of households (ie households of differing ages, incomes, culture etc) that are attracted to live, work or play in Turner.

RESPONSE: This development expands living options in the area, providing a mid-size high quality variety of townhouse that is unusual in Canberra. The lifts provided will make the townhouses suitable for a range of ages.

OBJECTIVE 2: Establish good access to a variety of opportunities and places for the community to meet and interact.

RESPONSE: Not relevant for a residential development.

OBJECTIVE 3: Foster the development of community-based cultural programs.

RESPONSE: Not relevant for a residential development.

27 August 2018

George Cilliers
Senior Manager Development Assessment
Planning Delivery Division
Environment and Planning

Dear Mr Cilliers,

Response S144: DA201833361 Block 4 Section 46 Turner

I am writing on behalf of Stratagem Capital— as crown lessee in response to a request for a S144 amendment from the ACT Planning and Land Authority. This letter should be read in conjunction with the revised plans included with this submission.

DA201833361 pertains to a multi-unit housing development on block 4 of section 46 in the division of Turner. The development contains three (3) townhouse units, two (2) containing three (3) bedrooms, and one (1) containing five (5).

The scale of this development has been reduced in response to this S144 from four (4) units to three (3). This was done to ensure compliance with site coverage requirements, to increase the space for deep rooted plantings, to improve internal layout; including in the basement carpark, to increase the diversity of units offered, and to reduce overall development impacts; including envelope encroachments and parking requirements.

Below is a summary of the most significant improvements to the design resultant from discussions with EPSDD and TCCS:

Summary of Changes:

Item: Site Coverage

Response: One unit has been removed and the driveway re-aligned to ensure that site coverage on the site does not exceed 30%.

Item: Privacy concerns on neighbouring blocks

Response: Many windows, especially those facing south have been obscured through design elements and louvres to prevent overlooking. A view shed diagram has been provided to demonstrate that the proposed development does not unreasonably impact privacy.
(1stFloorLineOfSight)

Item: Building Envelope/ Overshadowing

Response: Envelope encroachment has been reduced in updated designs. Shadow diagram provided to demonstrate encroachment does not significantly impact solar access on the neighbouring block.

Item: Visitor Parking

Response: A unit has been removed, eliminating the requirement to provide visitor parking.

Purdon Planning Pty Ltd

Unit 4 Cooyong Centre
1 Torrens St
Braddon ACT 2612
Ph: 02 6257 1511
www.purdon.com.au

A full list of comments and responses has been uploaded with this letter; see *Responses to S144240818*, and an updated statement against criteria; *UpdatedSAC240818*.

The changes to the design respond to comments raised during the community and agency circulation period for the proposal. The revised design is considered an improvement which will reduce impacts on the surrounding area and properties adjacent with no change to the intent of the original proposal. The proposal includes a reduction to the number of units which is considered a reduction to possible impacts. To this end Purdon Planning recommend that no further public consultation is required for the proposed change.

We trust that these additional documents will be sufficient to enable a decision on the proposed development.

Should you require clarification to the issues raised in this letter, please do not hesitate to contact Richard Nash on 6257 1511.

Regards,

A handwritten signature in black ink, appearing to read "RNash".

Richard Nash
General Manager

Representation received: DA201833361 Block 4 Section 46 Turner

Note: [REDACTED] indicated in his representation he supports all points contained within the other representations

Respondent	Issue	Response
Rear Setback		
[REDACTED]	<ul style="list-style-type: none"> Noted that the required rear setback in the Inner North Precinct Code is 7m to provide a space for deep rooted planting with dimensions at least 7x7m. Setback on proposed building is 6.794m. 	<ul style="list-style-type: none"> Setback has been increased to 8.859m
Rear Zone Coverage		
[REDACTED]	<ul style="list-style-type: none"> Inner north precinct code forbids site coverage of greater than 30% for rear zone. Calculate a site coverage of 40% 	<ul style="list-style-type: none"> Building coverage has been reduced to 30% in rear zone. This value includes basements. Ample room has been provided for deep rooted plantings
Protected Tree		
[REDACTED]	<ul style="list-style-type: none"> The pencil pine on the southern boundary of his lot, near his garage is tall enough to qualify for protection. 	<ul style="list-style-type: none"> Proponent is aware of the tree and has provided a metre setback to protect it. An arborist has provided a tree management plan (submitted with the S144). He advised that the proposed excavations can go ahead without impacting the health of the tree if the management plan is followed. The pool is not located within the tree root protection zone.
[REDACTED]	<ul style="list-style-type: none"> Ground works within protection area of protected tree. Chemicals from pool may impact protected Tree 	
[REDACTED]	<ul style="list-style-type: none"> Ground works within protection area of protected tree. 	
Separation between block boundary and driveway		
[REDACTED]	<ul style="list-style-type: none"> Error on plans, dimension listed as 1m on basement plan and 0.8m on other plans Rule states buffer between driveway and side boundary 1m wide 	<ul style="list-style-type: none"> Error noted, Plans amended to show 1.0m Criteria states space should be wide enough to accommodate planting and ensure reasonable amenity for habitable rooms. Habitable rooms on neighbouring block are already screened by significant vegetation and setback. 1.0m is sufficient space for significant screening plantings.
Survey Height Discrepancy		
[REDACTED]		<ul style="list-style-type: none"> Error noted, remedied and clarified in plans.

Representation received: DA201833361 Block 4 Section 46 Turner

Note: [REDACTED] indicated in his representation he supports all points contained within the other representations

Respondent	Issue	Response
[REDACTED]	<ul style="list-style-type: none"> Survey height for southern boundary of the block stated at 567.4 Natural Ground Level on architectural plans stated at 567.94 540mm discrepancy will result in design for southern wall encroaching on the solar envelope. 	<ul style="list-style-type: none"> FFL clarified in Elevations. Reduced to 567.55, 340mm reduction from previous height. Upper level floor to ceiling height reduced to 2.55m to minimise encroachment.
WSUD		
[REDACTED]	<ul style="list-style-type: none"> Water tank mentioned in WSUD and not shown on architectural plans or mentioned in report WSUD report does not cover pools and spas 	<ul style="list-style-type: none"> WSUD and Architectural plans have been amended to account for the pool and show the water tank
Waste Enclosures		
[REDACTED]	<ul style="list-style-type: none"> Concerns raised that bin enclosure may serve as entrapment point 	<ul style="list-style-type: none"> Bin enclosures moved and redesigned and will reduce opportunities for entrapment (see revised SAC)
Driveway Slope		
[REDACTED]	<ul style="list-style-type: none"> Concerned slope may be too steep for cars to exit if frosty. Letter box may obstruct view exiting cars have of pedestrians and cyclists 	<ul style="list-style-type: none"> Designs comply with ACT standards
Parking		
[REDACTED]	<ul style="list-style-type: none"> Concerned lack of visitor parking space may impact residential amenity. 	<ul style="list-style-type: none"> Reduction in the number of units will reduce impact on local parking amenity and removes requirement for visitor parking in accordance with the ACT Parking and Vehicle Access Code
Rooftop Space		
[REDACTED]	<ul style="list-style-type: none"> Concerned roof top space on unit one may impact on the privacy of the backyards of units 3 and 4 	<ul style="list-style-type: none"> Privacy screen added to rooftop spaces, so they can no longer overlook private open space.

Representation received: DA201833361 Block 4 Section 46 Turner

Note: [redacted] indicated in his representation he supports all points contained within the other representations

Respondent	Issue	Response
Consultation		
[redacted]	<ul style="list-style-type: none">• Alleges extent of pre-da consultation was misrepresented in report	<ul style="list-style-type: none">• They are correct in their depiction of the extent of consultation with themselves. Consultation with [redacted] was more extensive due to protected tree and conflicting driveway.• Pre-da consultation is not a requirement for a development of this size.

Issue	Response	Action Taken
<p>1. Demolition of encroachment driveway. Firstly, the application states 'Construction of four units, basement car park, landscaping works and demolition of encroaching driveway'.</p> <p>It is not clear about the extent of demolition. A demolition plan showing the details of the work is required.</p>	<ul style="list-style-type: none"> Encroaching driveway to be removed to be shown on pavement plan 	<p>Pavement plan amended to show driveway demolition (See Plan: 170904-drg-civ-pv-0301-G)</p>
Inner North Precinct Code		
<p>2. R13- Site coverage in the rear zone is max 30%. The site coverage calculation must include ramps, driveways, overhanging balconies/ terraces, hard surface pathways, swimming pools etc</p> <p><u>Site coverage</u></p> <p>Site coverage the proportion of the actual <i>site</i> covered by <i>dwelling</i>s and all other <i>building</i>s</p> <p>Building includes:</p> <p>a) an addition to a <i>building</i>;</p> <p>b) a <i>structure</i> attached to a <i>building</i>;</p> <p>and</p> <p>c) a part of a <i>building</i>.</p> <p>Structure includes a fence, mast, antenna, aerial road, footpath, driveway, carpark, culvert or service conduit or cable.</p>	<ul style="list-style-type: none"> Design amended to reduce coverage of the rear zone to 30% <ol style="list-style-type: none"> Side driveway removed Basement reconfigured Unit 4 removed Unit 3 parking reconfigured and basement reduced 	<p>All plans amended. (For site coverage calculation see plan: 003 Site)</p> <p>Revised design achieves 30% site coverage in the rear zone.</p>

Issue	Response	Action Taken
3. R8 and C9 (d) – Deep root planting and landscaping is required at the rear including in private open spaces and any communal open spaces.	5. Deep rooted planting increased in rear zone. Reduced site coverage in rear zone will allow increase in deep rooted planting.	Additional deep-rooted plantings included on landscape plan (see Plan: 005 Landscape)
4. C9 (c) – Consideration is required to reduce the impact on the privacy of the southern side block. Some upper floor windows on the southern side of the development overlooks the adjoining block	6. Some windows on southern face have been removed to reduce overlooking.. Two small windows remain. Design of windows and use of angled louvres have been added to screen views. Distance of windows from site boundary (>5m) and width of adjoining block means distance and narrow field of view will not unreasonably impact privacy.	Plans amended to remove windows and show screening (see Plan: 103 First, 202 Elevations)
Multi-Unit Housing Development Code		
5. <u>Building Envelope</u> R25/ C26- The building envelope is 45degrees above 3.5m for all sides except northern boundary of the adjoining residential block. The building envelope indicated is incorrect.	<ul style="list-style-type: none"> • Building envelope shown on west face (Rear) on northern elevations to demonstrate compliance with R25. • For building envelope on southern boundary of adjoining residential block, see statements against C25 in Updated SAC (submitted with this document) 	Plans amended (see plan: 201 Elevations)

Issue	Response	Action Taken
<p>6. R /C 26 -The development encroaches both in Primary Building Zone (PBZ) and Rear Building Zone (RBZ). Overshadowing diagram is required indicating the shadow length on adjoining block and dwelling including the extent of increase in shadow due to the encroachment .</p>	<ul style="list-style-type: none"> • Reduction of one unit has significantly reduced encroachment. • Shadow diagram provided. Height of solar fence shadow displayed to demonstrate that impacts of structure and encroachment do not significantly exceed impacts of solar fence. • Design does not adversely impact solar access on adjoining blocks. Majority of neighbouring block's open space receives at least 3 hours of sunlight between 9am-3pm on June 22 after development. Solar impacts on the dwelling house mostly fall on the roof. One (1) habitable window is impacted; however, it is within the bounds of impacts expected from the solar fence allowed in the rule. Encroachment does not increase the adverse impact 	<p>Shadow plan amended (See plan: 006 Shadow)</p>
<p>7. <u>Side setback</u> R/C30- The development encroaches into 6m setback requirement at ufl within PBZ and RBZ. The windows of kitchens are at 5.12m in lieu of 6m. The ufl bedrooms are also 5.12m in lieu of 6m. Please address the impact on privacy of adjoining private open space and dwelling.</p>	<ul style="list-style-type: none"> • No setback encroachments in PBZ • South facing upper floor levels to be screened (see point 4) • Ground floor kitchen windows cannot see over 1.8m fence. (eye height is considered at 1.5m in territory plan) • Unit 3 First floor northern windows: According R60 of MUHDC. Windows may have direct line of sight of no more than 50% of principal private open space of another dwelling. Direct line of sight being up to a maximum of 12m unscreened. As plan (1stFloorLineOfSight) demonstrates, 24% of principal private open space of adjoining northern blocks is affected, well below 50%. Minimum private open space can be fulfilled entirely outside the affected area. Proposed deep rooted plantings (plan: 005 	<p>Plan demonstrating impact prepared and submitted (See plan: 1stFloorLineOfSight) Additional deep-rooted plantings to screen shown (plan: 005 Landscape)</p>

Issue	Response	Action Taken
	Landscape) and existing trees on the adjoining block will screen this perspective almost entirely.	
<p>8. <u>Gross Floor Area (GFA)</u> R8-GFA - Max 65% permitted. Our calculations exceed 65%.. Please provide your area calculation assessment. The GFA calculation must include wall thicknesses and storage area. Stairs and lifts area that are in straight line (one above the other) is included once.</p>	<ul style="list-style-type: none"> • Zone is RZ4. GFA Plot ratio of 80% permitted under zone. Current GFA Plot ratio is 55%. 	Resolved
<p>9. <u>Landscaping</u> RC39- Required not less than 10% C40-Appropriate landscaping with semi – mature stock and trees that grow to a minimum mature height of 4m is required</p>	<ul style="list-style-type: none"> • Deep rooted planting increased in rear zone. • Available planting area increased to 45% of site area 	Additional deep-rooted plantings included on landscape plan (see Plan: 005 Landscape)
10. R/C83 -Visitor car parking spaces location	<ul style="list-style-type: none"> • Number of units reduced. Visitor car parking no longer required in accordance with ACT Parking and Vehicle Access Code. 	<ul style="list-style-type: none"> • All plans amended
11. R/C48-External sheltered area outside the entrance for dwelling 3	<ul style="list-style-type: none"> • No common entries • Small shelter to be provided above door to unit 3 • C48 Common entries to dwellings achieve all of the following: <ol style="list-style-type: none"> a) a transitional area from the street b) secure, all-weather access c) surveillance of public areas (including between buildings and open space areas, paths, dwelling entries, car parking areas and driveways) d) safety, security and convenience for residents and visitors 	<ul style="list-style-type: none"> • All plans amended. Compare plans 005 Landscape and 103 First to see extent of level overhang.

Issue	Response	Action Taken
	e) the separation of residential entries and commercial entries.	
12. R/C42A – Please clarify the materials of the courtyard wall at the front including setback Water tank location, Any AC, mechanical services, clotheslines to be away from public view.	<ul style="list-style-type: none"> • Front boundary barrier is black metal fence (see 002 Materials, 07) • Fence is setback 0.7m from block boundary • Tank specified on basement plan. • All services out of view. 	<ul style="list-style-type: none"> • Plans amended (see plan 002 Materials) • (see plan 101 Basement)
13. WSUD calculations to include pool.	<ul style="list-style-type: none"> • Sellick to update 	<ul style="list-style-type: none"> • Updated (see plan: 170904-drg-civ-dr-0441-E)



Canopy Tree Experts Pty Ltd
ABN 50 051 283 946
PO Box 4464
Kingston ACT 2604
P: 02 61611800
E: trees@canopygroup.com.au
E: alan.mann@canopygroup.com.au



Canopy Tree Experts is a member of the International Society of Arboriculture.
Alan Mann is a member of Arboriculture Australia

18 June 2018

Ref: 3973

Preliminary Arboricultural Report, Arboricultural Impact Assessment, and Tree Management Plan

for a Tree Adjacent to 19 Forbes Street, (Block 4, Section 46) Turner, ACT

Prepared for:

Milan Kraljevic

Civion Constructions
Unit 4, 27 – 29 Kembla Street,
Fyshwick, ACT

Tree Location



Figure 1 Photo from www.actmapl.act.gov.au

The tree's location is indicated on this aerial photo (Figure 1). It is on Block 3, Section 46, Turner. Its centre of trunk is approximately 0.7m from the property boundary.

Prepared by:

Alan J Mann

Consulting Arborist
Diploma of Arboriculture with Distinction
Bachelor of Agricultural Science
Certificate of Horticulture

Assessment:

- **Date:** 18 June 2018
- **Assessment by:** Alan Mann

Preliminary Arboricultural Report

Tree 1

Species:

Cupressus sempervirens 'Stricta' (Pencil Pine)

Tree Status

This tree is regulated as it is over 12m high.

Tree Size

Sizes are estimated as the tree is on the neighbouring block

Height	>12 m			
Crown Spread				
	North	East	South	West
	1.5 m	1.5 m	1.5 m	1.5 m
Trunk Circumference at 1.0m AGL	1.30 m			
Trunk Circumference at 1.4m AGL	Multi -trunked (use circ. at 1.0 m)			
				TPZ ⁴⁹⁷⁰ = 5.0 m ¹
				D 10 = 3.4 m ²
Approximate Structural Root Zone by AS 4970-2009				SRZ ⁴⁹⁷⁰ = 2.5 m ³

Tree Condition

Health

The tree is in good health

Structure

The tree has good structure: typical of the species

1 TPZ⁴⁹⁷⁰ is the radius of the Tree Protection Zone as determined using the Australian Standard AS4970-2009.

2 D10^{TPZ} The distance from the centre of the trunk to a straight-line excavation past the trunk that would excise 10% of the area of the TPZ⁴⁹⁷⁰. This measurement has no regulatory standing. It is an indication of how much root loss may occur with the described excavation but should be interpreted in conjunction with on-site observations as to where active absorptive roots are likely to be, species knowledge and water availability. It is presented here as one example of how 10% loss of TPZ⁴⁹⁷⁰ area could occur.

3 SRZ⁴⁹⁷⁰ is the radius of the Structural Root Zone as determined using the Australian Standard AS4970-2009

Arboricultural Impact Assessment

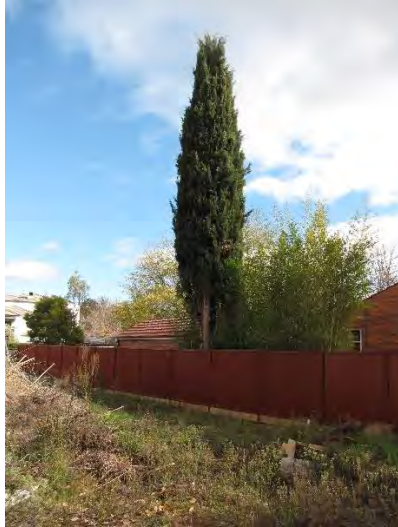


Figure 2. Tree 1. *Cupressus sempervirens* 'Stricta' Centre of trunk approximately 1.7 m from proposed basement wall. Photograph by Alan Mann 18 June 2018



Figure 3 A row of 4 *Cupressus sempervirens* 'Stricta' on Block 15, Section 7, Braddon, about 1.7m from a retaining wall that was installed when the building was built. Photograph by Alan Mann 18 June 2018.



Figure 4. The excavation for the retaining wall adjacent to the trees that are shown in Figure 3. Photograph by Alan Mann 31 August 2006.

Although the AS4970-2009 recommends 3.4m from centre of trunk of a tree of this trunk circumference, to a proposed tree excavation past the tree, this is a general recommendation regardless of species or site situation. The AS 4970-2009 also recommends that this can be varied based on an arborist's analysis.

As pencil pines do not have a large canopy in relation to their trunk circumference they have less requirement for area of root zone preservation than other species do, as illustrated by figures 3 & 4. This applies to the required area of TPZ in order to preserve the tree's health and also to the area of SRZ to ensure the tree's stability.

The structural roots on the north and west of this tree, the main direction of storm winds, will be unaffected by this proposal so there is unlikely to be any adverse effect on the tree's stability.

As the tree has approximately the same distance to the wall as did the trees in Figures 3 & 4, it would be expected that the tree will survive the work on block 4, Section 46, Turner, without loss of condition, provided some Tree Protection Measures are in place.

Tree Management Plan



Figure 5. Tree Protection Plan (Drawing) Showing part of Blocks 3 & 4 Section 46, Turner indicating the Tree Protection Zone (TPZ) and Root Protection Zone (RPZ) (not to scale). The RPZ is a circle of radius 5.0m centred on the centre of the trunk. The TPZ is a rectangle 10m x 1m centred adjacent to the tree trunk. The TPZ is to be protected as per TPM 5 - 8 or 10 - 12. Roots in the RPZ are to be cared for as per TPM 16 - 20

Tree Protection Measures for the construction period:

Approval

1. No demolition, excavation or construction work is to commence on this site until this Tree Management Plan has been approved by the Conservator of Flora and Fauna in accordance with Section 32 of the *Tree Protection Act 2005*.
2. A copy of this Tree Management Plan is to be available to all workers on the site during the period of demolition, excavation, construction and landscaping.

Tree Protection Zones

3. The **Root Protection Zone (RPZ)** for the Regulated Tree (Tree 1) is a circle centred on its trunk and of radius 5.0m. This is the root protection portion of the Tree Protection Zone as designated by the Australian Standard AS4970-2009 'Protection of trees on development sites'. It is shown outlined by a blue dashed line on the drawing.
4. The **Tree Protection Zone (TPZ)**, on this block, designed in accordance with Section 11 (2) of the *Tree Protection Act 2005* is defined by this Tree Management Plan and is 1.0m wide and 10m long along the north boundary adjacent to the tree.

Fences

5. Tree Protection Fences of 1.2m high parawebbing on steel posts are to be installed around the fenced section of **TPZ**, as indicated on the drawing.
6. The fences are to be installed prior to commencement of demolition, excavation and construction for this project and maintained in good order until construction is complete.
7. The boundary fences will suffice where they correspond with the **TPZ** fences
8. The fences may be removed at the end of the construction work for the installation of the landscape however **Prohibited Activities** (b-h) and Root Protection clauses still apply.

Signs

9. Signs, as depicted in the Appendix, are to be installed:
 - Sign 1 at the front of the block
 - Sign 2 on the fence of the TPZ, or on the scaffold if the fence is replaced with scaffold as indicated on the drawing, prior to work commencing on site.

Scaffold

10. If scaffold is to be erected adjacent to the tree, no branches are to be cut, broken or removed.
11. The fences may be removed to erect scaffold, provided;

12. The area of the TPZ is protected from entry onto the soil surface by installing a floor or deck, low in the scaffold, that prevents direct entry on the soil within the TPZ

Prohibited Activities

13. The following activities are prohibited within the TPZ and the fenced verge during the period of demolition, excavation and construction:
 - a. Entry onto or across unprotected surfaces;
 - b. Excavation for any purpose including service installation, except as allowed elsewhere in this Tree Management Plan;
 - c. Erection of site sheds or structures;
 - d. Changes in ground surface level: no scalping or fill except as detailed above;
 - e. Movement or parking of vehicles or machinery;
 - f. Storage of building materials or soil fill;
 - g. Cleaning or washing of equipment;
 - h. Spillage or disposal of materials or waste.

Mulch

14. The TPZ is to be mulched to a depth of 75mm of wood chip and fines equivalent to 'Forest litter' prior to work commencing on this site.
15. The mulched area is to remain mulched at the end of the construction period

Root Protection

16. If any roots of Tree 1 are likely to be cut within the RPZ by any excavation, then:
17. Excavation is to be carried out in a manner that will prevent tearing, shattering, splitting and displacement of the remaining roots of the tree;
18. The final trimming of the roots still attached to the tree is to be by clean cuts carried out with sharp hand tools within 2 hours of the roots initially being cut;
19. The faces of the excavations on the tree side of the excavations, within the RPZ are to be kept moist until any back-filling is completed (Draping the faces with a thick textile which is kept moist with micro sprays is the recommended method).
20. Back-filling is to be carried out as soon as possible.

Services Connections

21. No excavation for service connections, such as lines for water, gas, electricity, sewer and storm water, is to be within the TPZ.

Appendix - Tree Protection Signs

Sign 1 'Entry Sign' is shown on the next page

Sign 2 ' Fence Sign' is shown on the last page



BUILDING WORK ON THIS SITE IS WITHIN

TREE PROTECTION ZONES

AS DESIGNATED IN THE **TREE PROTECTION ACT 2005**

ALL PERSONNEL MUST FAMILIARISE THEMSELVES WITH THE

TREE MANAGEMENT PLAN

AS PREPARED **BY CANOPY TREE EXPERTS**. BEFORE COMMENCING WORK ON THIS SITE AND MUST COMPLY WITH ALL TREE PROTECTION MEASURES

**FAILURE TO OBSERVE THESE REQUIREMENTS MAY
INCUR FINES OR PROSECUTION UNDER
THE TREE PROTECTION ACT 2005**

FOR FURTHER INFORMATION CONTACT: **CANOPY TREE EXPERTS 6161 1800**
trees@canopygroup.com.au



TREE PROTECTION ZONE

AS DESIGNATED IN THE TREE PROTECTION ACT 2005

THE TREE PROTECTION MEASURES
THAT ARE LISTED IN THE

Tree Management Plan

AS PREPARED BY CANOPY TREE EXPERTS (AQF LEVEL 5 ARBORISTS)
THIS PLAN AND MUST BE COMPLIED WITH.

ENTRY IS PROHIBITED

UNLESS APPROVED IN THE TREE MANAGEMENT PLAN AND THEN ONLY IF THE
TREE PROTECTION MEASURES ARE ADHERED TO.

THE FOLLOWING ACTIVITIES ARE PROHIBITED IN THIS AREA:

- Entry into fenced area or across unprotected surfaces
- Excavation for any purpose including footings and service installations—unless specified in the Tree Management Plan
- Movement of vehicles or machinery across, or parking on, unprotected soil surfaces
- Storage of building materials or soil fill
- Modification of ground level by scalping, excavation, paving or fill
- Cleaning or washing of equipment
- Spillage or disposal of materials or waste
- Pruning or branch removal
- Any other Tree Damaging Activity

**FAILURE TO OBSERVE THESE REQUIREMENTS MAY INCUR FINES OR PROSECUTION
UNDER THE TREE PROTECTION ACT 2005**

For further information contact: CANOPY TREE EXPERTS 61 61 1800 trees@canopygroup.com.au



FRONT PERSPECTIVE



REAR PERSPECTIVE

TOWNHOUSE DEVELOPMENT
19 FORBES STREET
BLOCK 4 SECTION 46 TURNER

PERSPECTIVES

14/08/2018
FSP001



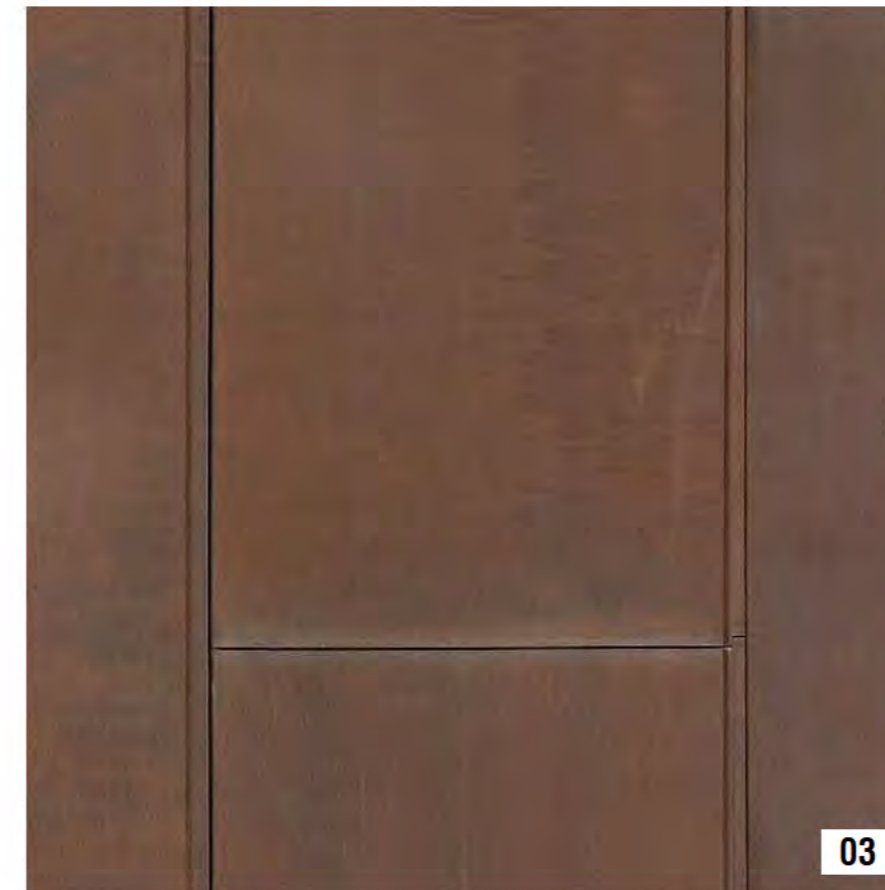
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01



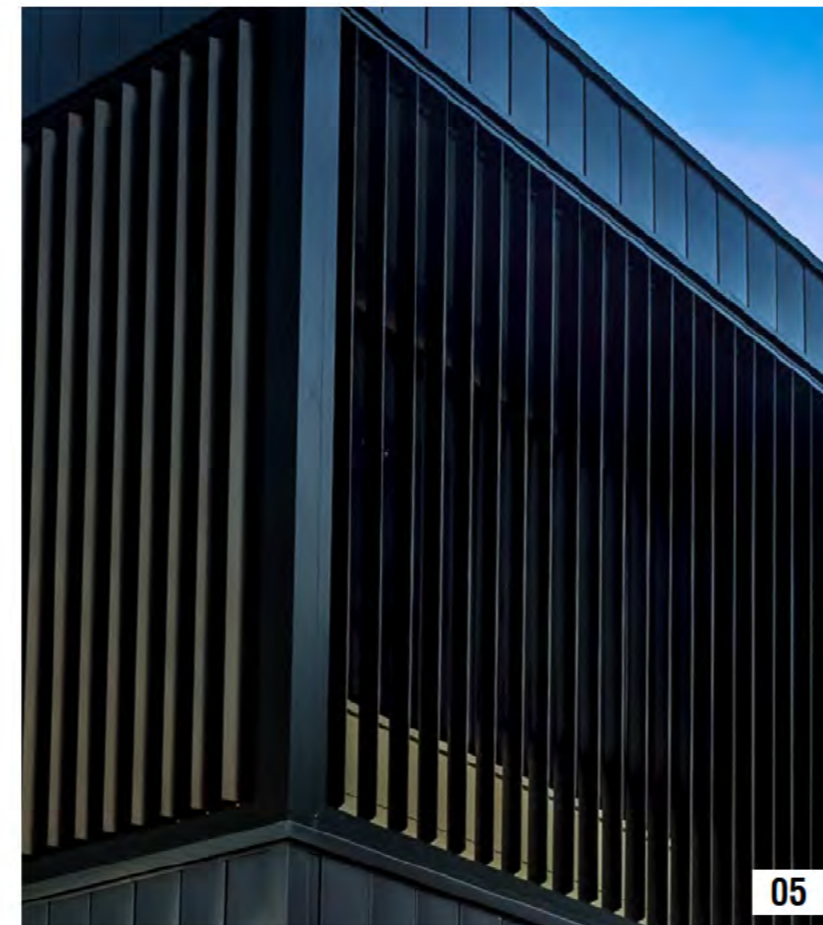
02



03



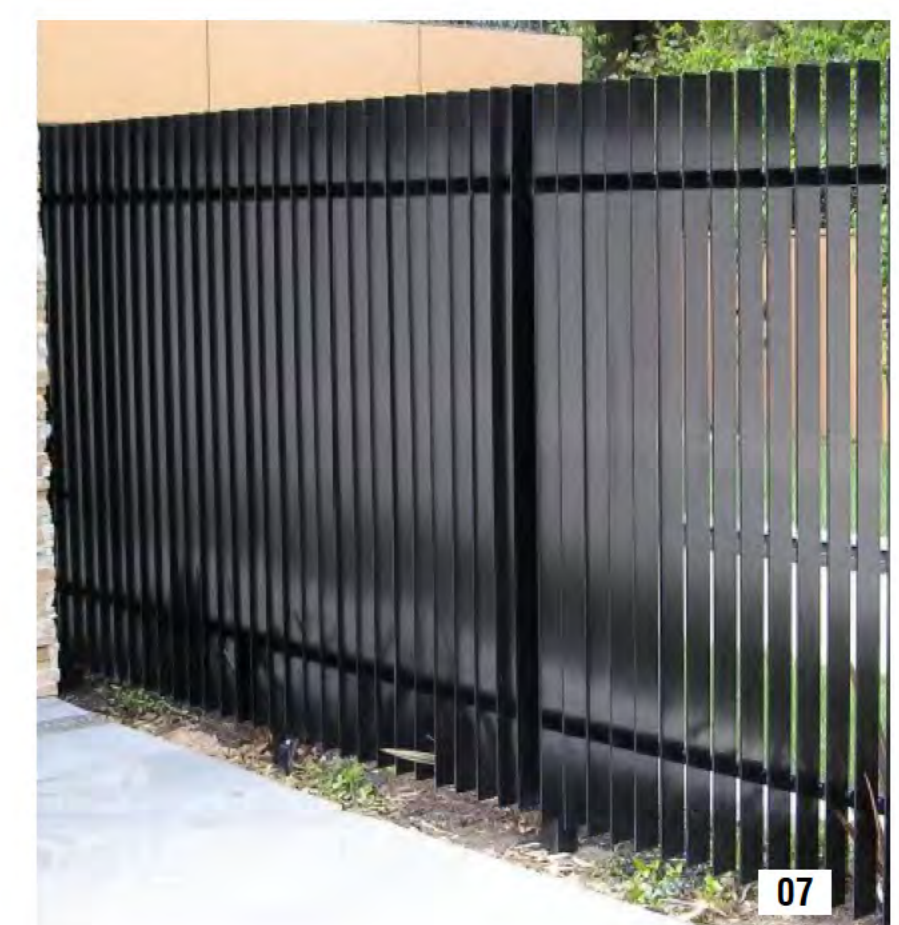
04



05



06



07

01
CIMENTAL WALL CLADDING

02
OFF-FORM CONCRETE

03
STANDING SEAM COPPER CLADDING

04
BASALT WALL CLADDING SYSTEM

05
METAL LOUVRES PRIVACY SCREENING

06
METAL WINDOW SUNSHADE
WINDOW FRAME COLOUR - BLACK

07
BLACK METAL SCREEN / FENCING
COLOUR - BLACK

TOWNHOUSE DEVELOPMENT
19 FORBES STREET
BLOCK 4 SECTION 46 TURNER

MATERIALS SCHEDULE

14/08/2018
FSP002



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SITE ANALYSIS (NTS)



TOWNHOUSE DEVELOPMENT
 19 FORBES STREET
 BLOCK 4 SECTION 46 TURNER

SITE ANALYSIS

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FSP004



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8859

7270

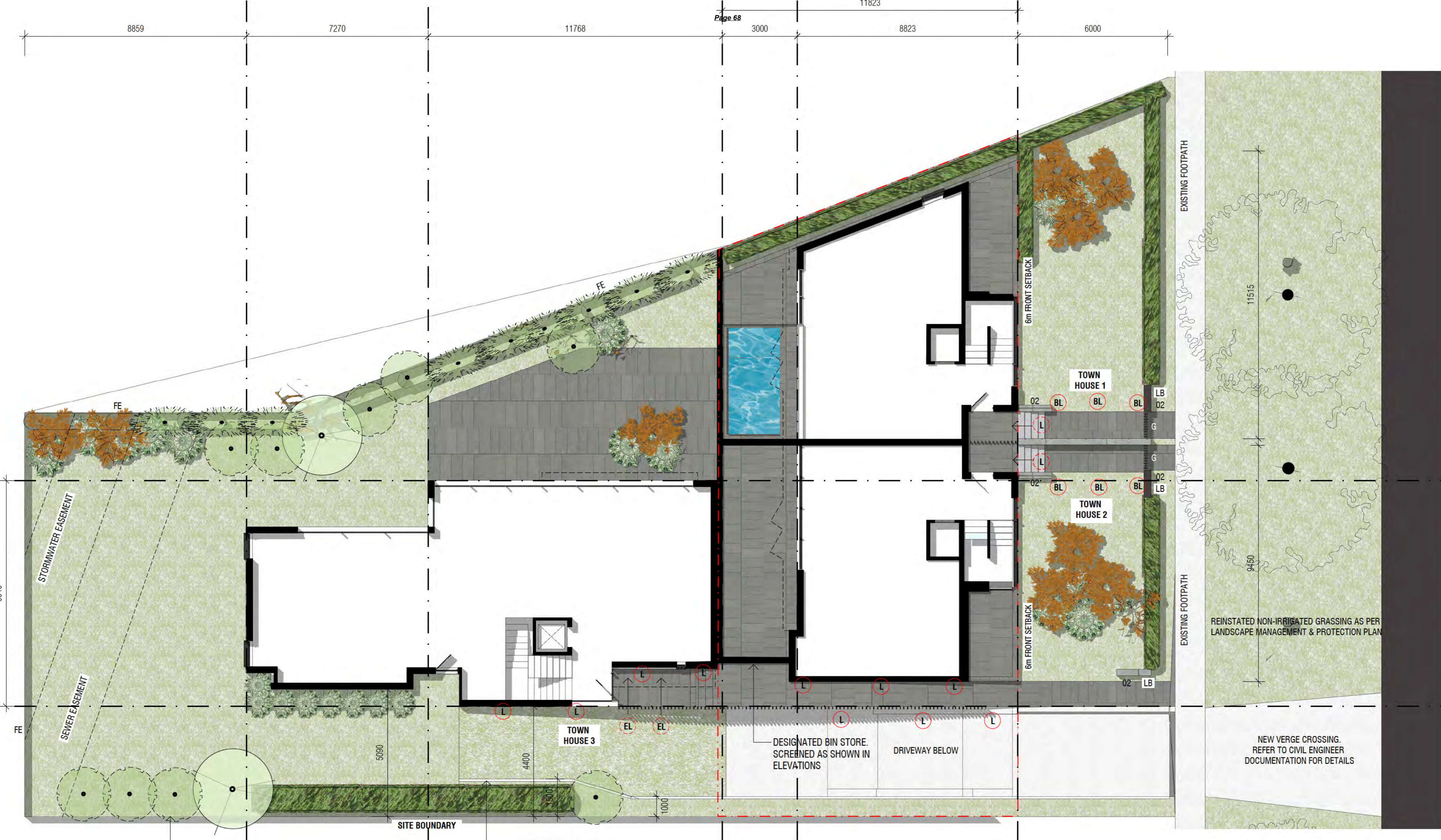
11768

3000

8823

6000

11823



NEW 1.8m HIGH FENCE

SITE BOUNDARY

RETAINING WALL TO ENGINEER'S SPEC

TOWN HOUSE 3

DESIGNATED BIN STORE. SCREENED AS SHOWN IN ELEVATIONS

DRIVEWAY BELOW

TOWN HOUSE 1

TOWN HOUSE 2

PLAN LEGEND
 FE 1.8m HIGH TIMBER FENCE
 G STEEL FRAME GATE
 LB LETTERBOX

LIGHTING LEGEND
 L BUILDING MOUNTED LUMINAIRE
 EL DOWNLIGHT MOUNTED UNDER EAVES
 BL BOLLARD LIGHT

NOTES
 1. ALL EXTERNAL LIGHTING SHALL BE CONTROLLED BY DAYLIGHT SENSOR.
 2. ALL EXTERNAL LIGHTING COMPLIES WITH THE FOLLOWING:
 - AUSTRALIAN STANDARD AS1158: LIGHTING FOR ROADS AND PUBLIC SPACES PART 3.1: PEDESTRIAN AREA LIGHTING - PERFORMANCE AND DESIGN REQUIREMENTS.
 - AUSTRALIAN STANDARD AS1158: LIGHTING FOR ROADS AND PUBLIC SPACES PART 2: COMPUTER PROCEDURES FOR THE CALCULATIONS OF LIGHT TECHNICAL PARAMETERS FOR CATEGORY V AND CATEGORY P LIGHTING.
 - AUSTRALIAN STANDARD AS4282: THE CONTROL OF OBTRUSIVE EFFECTS OF OUTDOOR LIGHTING, IN THE CASE OF SECURITY LIGHTING.

LANDSCAPING LEGEND

EXISTING TREES TO BE RETAINED
 PROPOSED TREE - Acer japonicum 'Green Cascade'
 IRRIGATED TURF
 PAVING
 DRIVEWAY - CONCRETE (REFER TO CIVIL ENGINEER'S DETAIL)
 DECORATIVE SHRUB PLANTIN



TOWNHOUSE DEVELOPMENT
 19 FORBES STREET
 BLOCK 4 SECTION 46 TURNER
LANDSCAPE CONCEPT PLAN
EXTERNAL LIGHTING PLAN
 SCALE 1:100 @ A2
 14/08/2018
FSP005



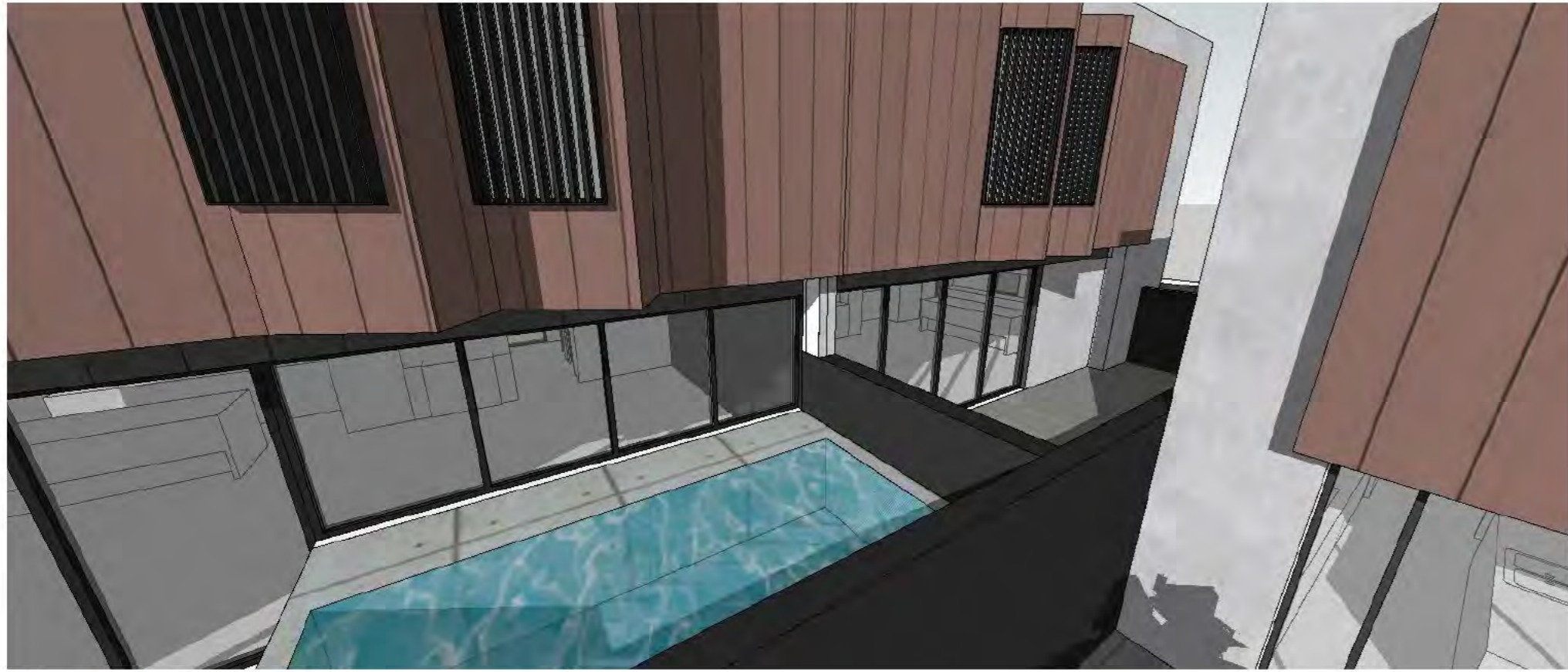
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EXISTING FOOTPATH

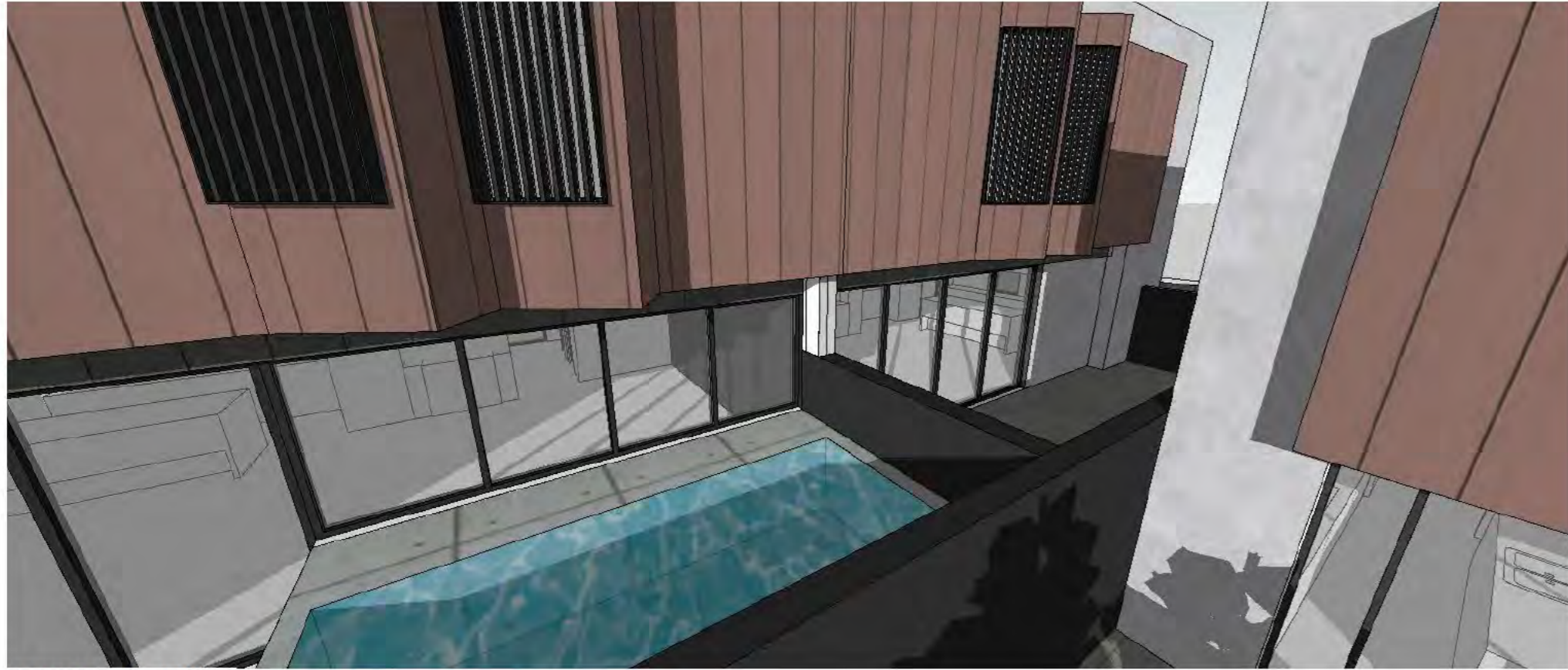
EXISTING FOOTPATH

REINSTATED NON-IRRIGATED GRASSING AS PER LANDSCAPE MANAGEMENT & PROTECTION PLAN

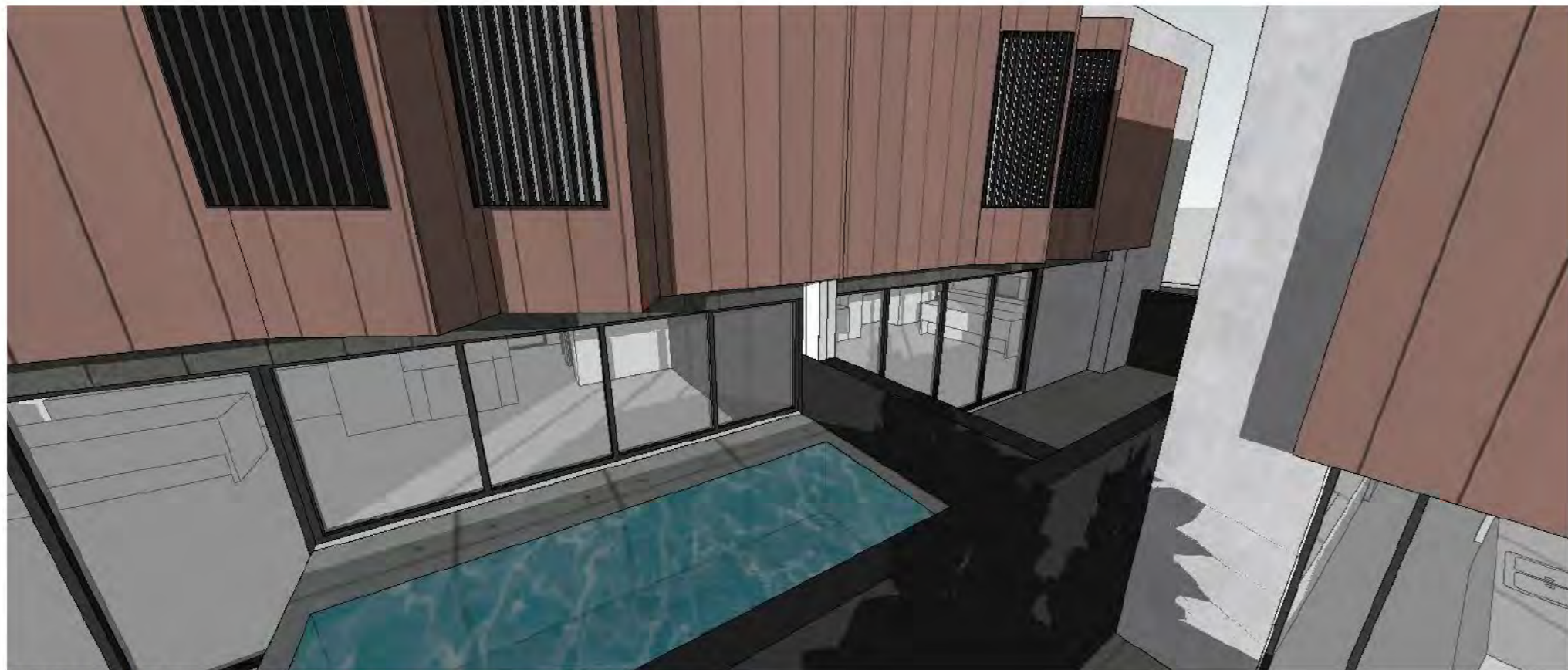
NEW VERGE CROSSING. REFER TO CIVIL ENGINEER DOCUMENTATION FOR DETAILS



1230PM - 22 JUNE



130PM - 22 JUNE



230PM - 22 JUNE



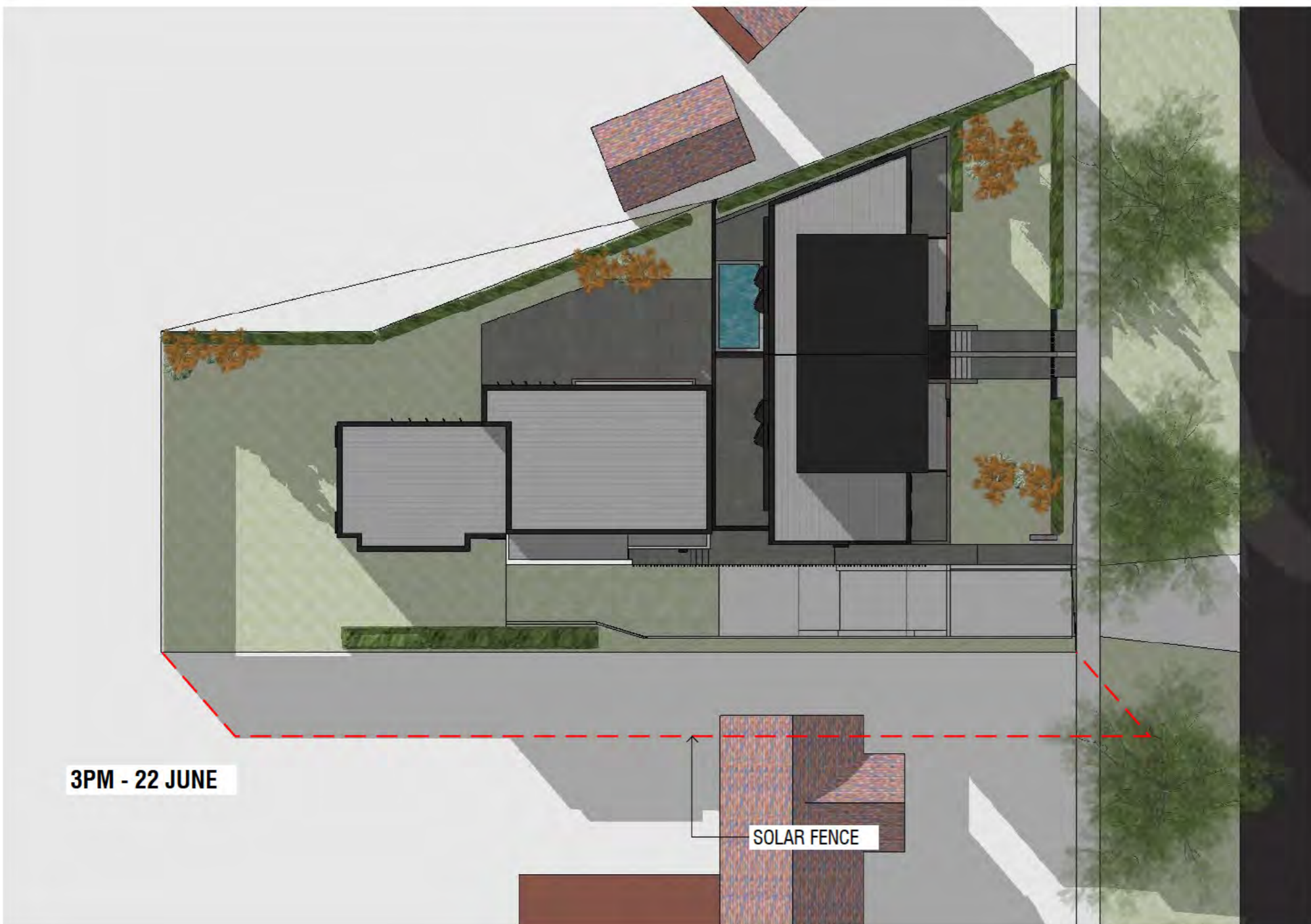
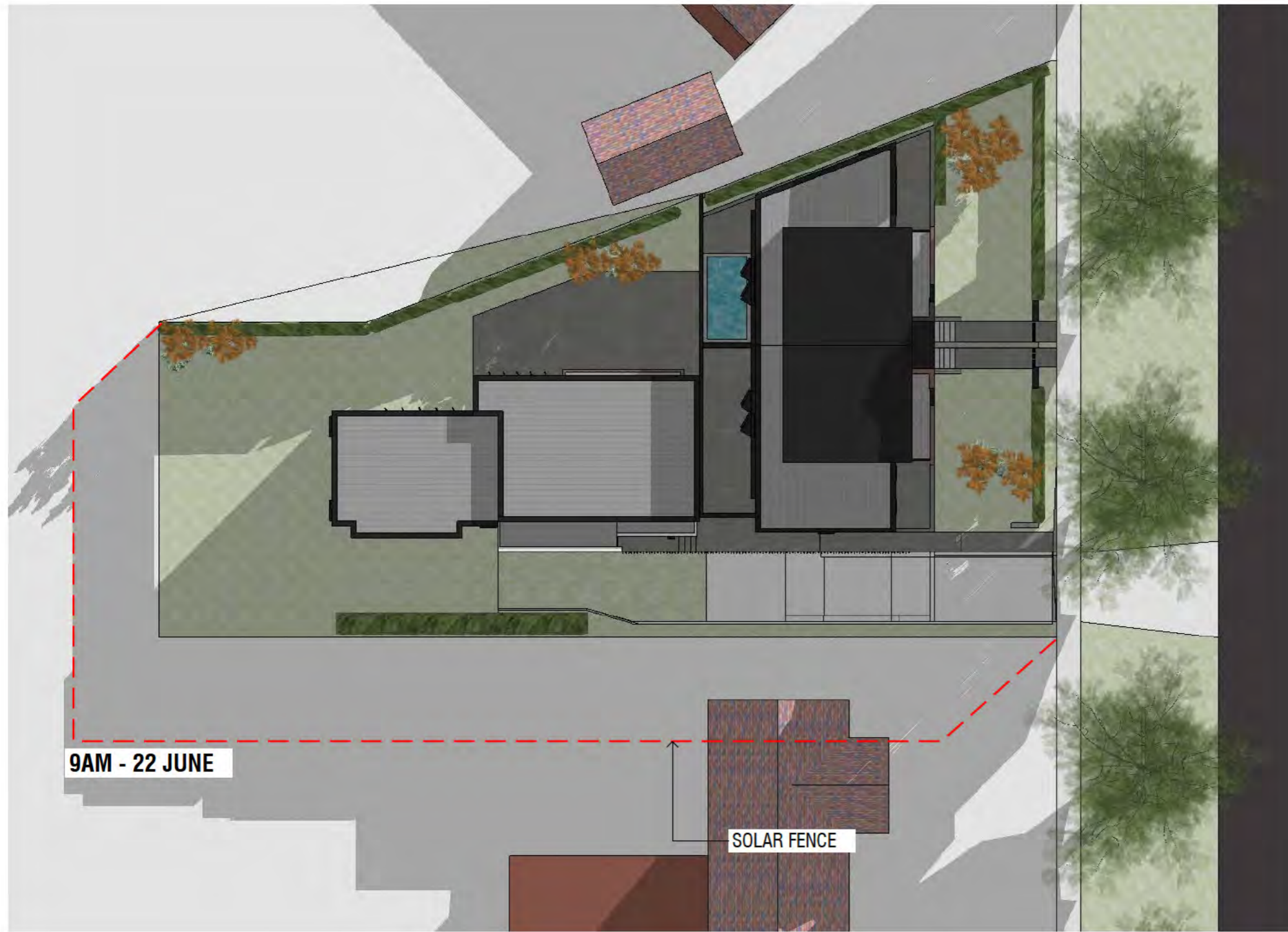
TOWNHOUSE DEVELOPMENT
 19 FORBES STREET
 BLOCK 4 SECTION 46 TURNER

SOLAR ACCESS DIAGRAM

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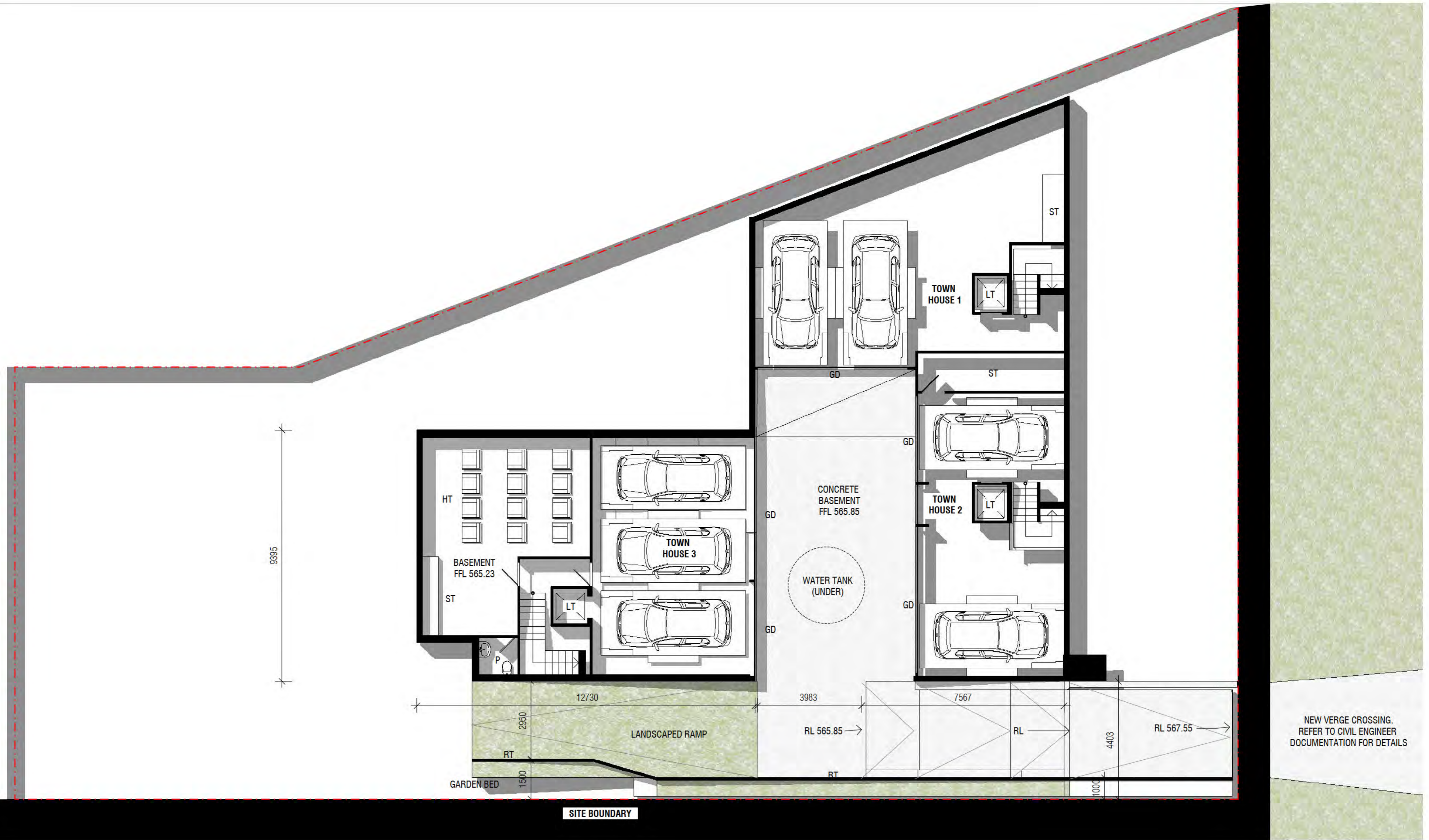


TOWNHOUSE DEVELOPMENT
 19 FORBES STREET
 BLOCK 4 SECTION 46 TURNER

SHADOW DIAGRAMS
 SCALE 1:200 @ A2
 14/08/2018
FSP006



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- ROOM KEY**
- GD GARAGE DOOR
 - HT HOME THEATRE
 - LT LIFT
 - P POWDER ROOM
 - ST STORE



TOWNHOUSE DEVELOPMENT
 19 FORBES STREET
 BLOCK 4 SECTION 46 TURNER

BASEMENT PLAN
 SCALE 1:100 @ A2
 14/08/2018
FSP101



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8859

7270

11768

3000

8823

2000

6000

11823



NEW VERGE CROSSING.
REFER TO CIVIL ENGINEER
DOCUMENTATION FOR DETAILS

ROOM KEY

- | | | | |
|-----|--------------------------|-----|--------------------|
| B | BEDROOM | LT | LIFT |
| C | COURTYARD | LV | LIVING ROOM |
| D | DINING | P | POWDER ROOM |
| E | ENTRY | PL | POOL |
| EN | ENSUITE | POS | PRIVATE OPEN SPACE |
| F | FAMILY ROOM | S | STUDY |
| FE | 1.8m HIGH TIMBER FENCE | SC | SCULLERY |
| FE2 | 1.2m HIGH PRIVACY SCREEN | WIR | WALK IN ROBE |
| G | STEEL FRAME GATE | | |
| K | KITCHEN | | |
| L | LAUNDRY | | |
| LB | LETTERBOX | | |



TOWNHOUSE DEVELOPMENT
19 FORBES STREET
BLOCK 4 SECTION 46 TURNER

GROUND FLOOR PLAN
SCALE 1:100 @ A2
14/08/2018
FSP102 - PR



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- ROOM KEY**
- B BEDROOM
 - BA BATHROOM
 - BC BALCONY
 - EN ENSUITE
 - LR LOUNGE ROOM
 - LT LIFT
 - P POWDER ROOM
 - S STUDY
 - ST STORE
 - WIR WALK IN ROBE



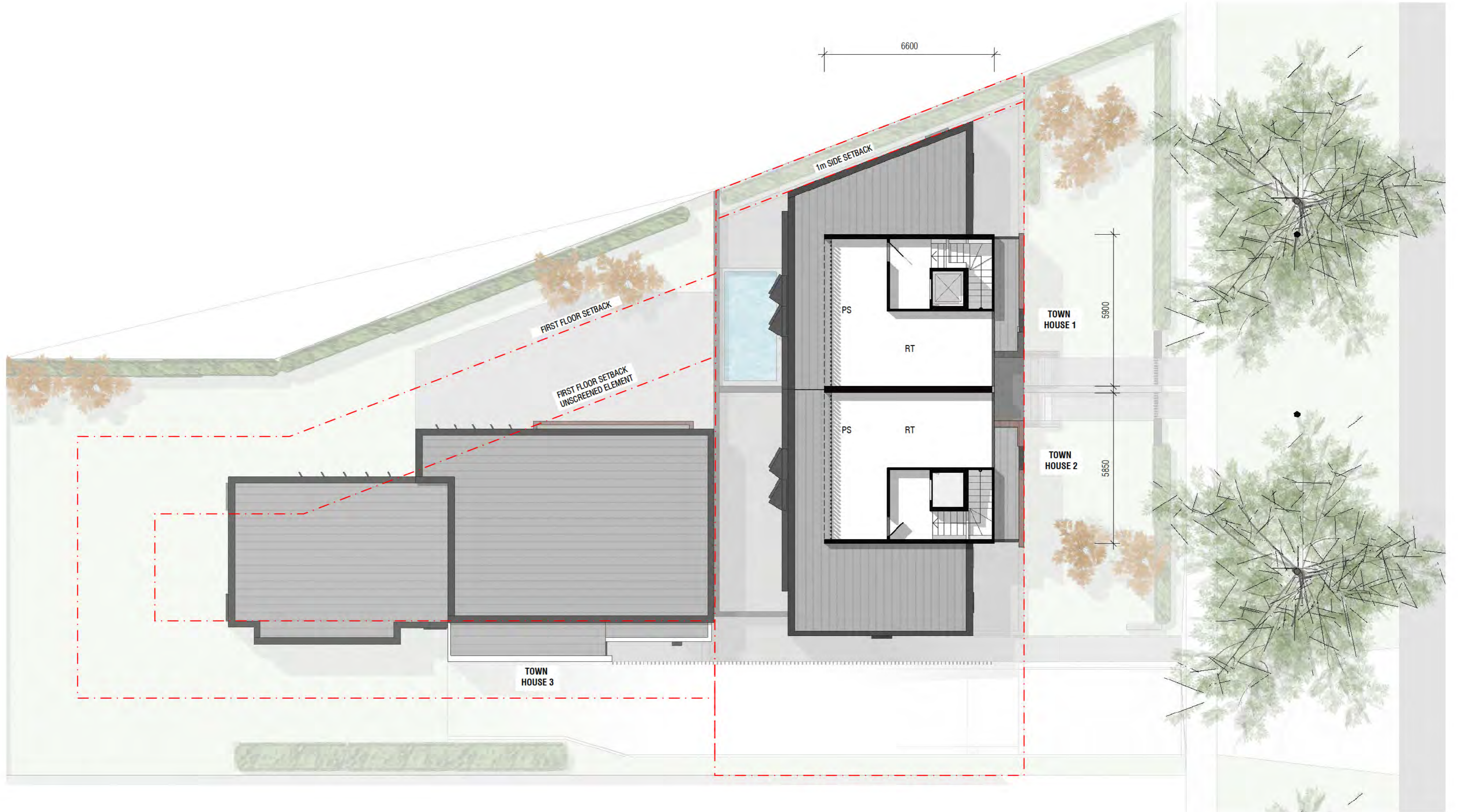
TOWNHOUSE DEVELOPMENT
 19 FORBES STREET
 BLOCK 4 SECTION 46 TURNER

FIRST FLOOR PLAN
 SCALE 1:100 @ A2
 14/08/2018
FSP103 - PR

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ROOM KEY
 RT ROOF TERRACE
 PS PRIVACY SCREEN 1.7m ABOVE FFL



TOWNHOUSE DEVELOPMENT
 19 FORBES STREET
 BLOCK 4 SECTION 46 TURNER

ROOF PLAN
 SCALE 1:100 @ A2
 14/08/2018
FSP104 - PR



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TOWNHOUSE DEVELOPMENT
 19 FORBES STREET
 BLOCK 4 SECTION 46 TURNER

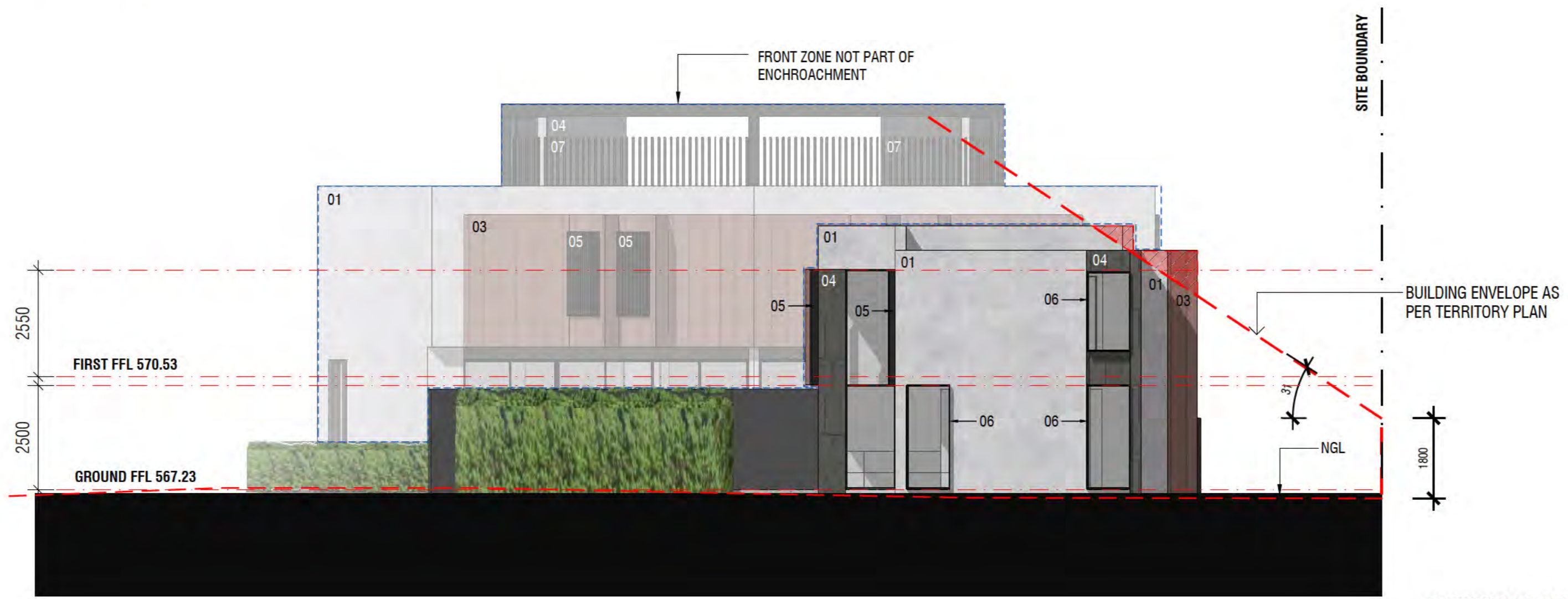
ELEVATIONS
 SCALE 1:100 @ A2
 14/08/2018
FSP201



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SOUTH ELEVATION



WEST ELEVATION

TOWNHOUSE DEVELOPMENT
 19 FORBES STREET
 BLOCK 4 SECTION 46 TURNER

ELEVATIONS
 SCALE 1:100 @ A2
 14/08/2018
FSP202



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17 FORBES STREET - EXISTING DWELLING

19 FORBES STREET **PROPOSED DEVELOPMENT**

21 FORBES STREET - EXISTING DWELLING

COMPOSITE STREET ELEVATION

TOWNHOUSE DEVELOPMENT

19 FORBES STREET
BLOCK 4 SECTION 46 TURNER

STREET ELEVATION

SCALE 1:100 @ A2
14/08/2018

FSP203



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CROSS SECTION



LONG SECTION

ROOM KEY

B	BEDROOM
BA	BATHROOM
D	DINING
FE	1.8m HIGH TIMBER FENCE
G	GARAGE
HT	HOME THATRE
K	KITCHEN
LV	LIVING ROOM
PL	POOL
RT	ROOF TERRACE

TOWNHOUSE DEVELOPMENT
 19 FORBES STREET
 BLOCK 4 SECTION 46 TURNER

SECTIONS
 SCALE 1:100 @ A2
 14/08/2018
FSP301






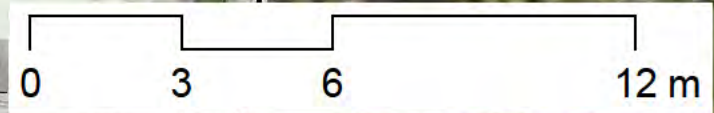
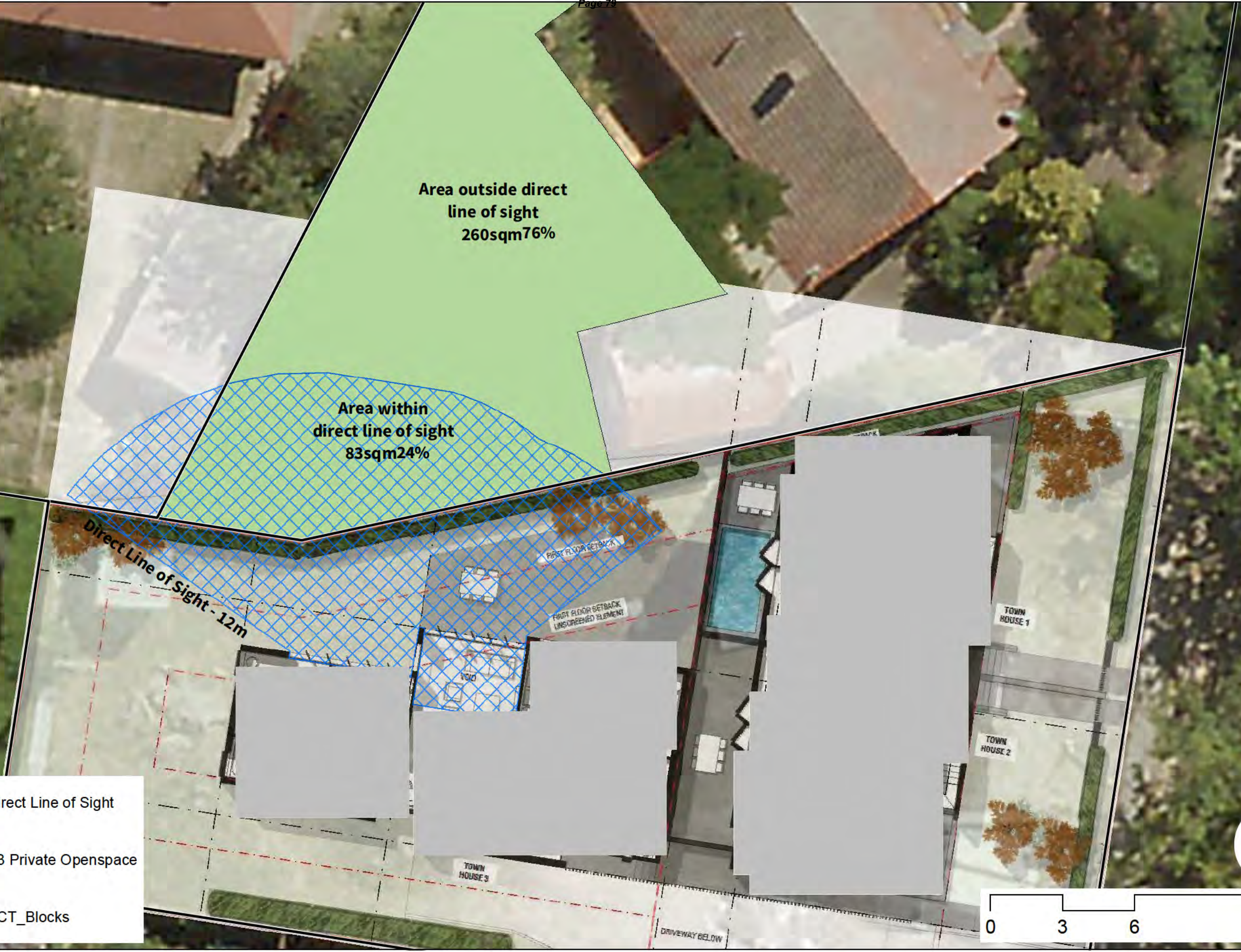
PO Box 3673
 Manuka ACT 2603
 ThursdayArchitecture.com.au
 ACT Registration No. 2289
 NSW Registration No. 9528

Area outside direct line of sight
260sqm76%

Area within direct line of sight
83sqm24%

Direct Line of Sight - 12m

-  Direct Line of Sight
-  B3 Private Openspace
-  ACT_Blocks



1st Floor Direct Line of Sight - B4 S46 Turner

Company: Thursday Architecture
Stratagem Capital Group

Document Number: **TML-CIV-1001**

Job Number: 170904

Date: 21-08-18

Attention:

Townhouse Development

By: AM

Media and Status Details

Print Size		Digital	Media	Purpose	Phase
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<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/> LAN/WAN	<input type="checkbox"/> Construction	<input type="checkbox"/> As Built

Distribution Details

Organisation	Address	Received	Attention of	Copies
Thursday Architecture			Steven	1
Stratagem Capital Group			SCG	1

Document Details

Document Number	Rev	Document Title
170904-DRG-CIV-GN-0001	E	TOWNHOUSE DEVELOPMENT BLOCK 4, SECTION 46, TURNER COVER SHEET, LOCALITY PLAN AND DRAWING INDEX
170904-DRG-CIV-GN-0002	E	TOWNHOUSE DEVELOPMENT BLOCK 4, SECTION 46, TURNER GENERAL NOTES AND LEGEND
170904-DRG-CIV-AL-0101	F	TOWNHOUSE DEVELOPMENT BLOCK 4, SECTION 46, TURNER GENERAL ARRANGEMENT PLAN
170904-DRG-CIV-AL-0111	F	TOWNHOUSE DEVELOPMENT BLOCK 4, SECTION 46, TURNER GRADING PLAN
170904-DRG-CIV-AL-0151	E	TOWNHOUSE DEVELOPMENT BLOCK 4, SECTION 46, TURNER LONGITUDINAL SECTIONS
170904-DRG-CIV-PV-0301	F	TOWNHOUSE DEVELOPMENT BLOCK 4, SECTION 46, TURNER PAVEMENT PLAN
170904-DRG-CIV-DR-0401	F	TOWNHOUSE DEVELOPMENT BLOCK 4, SECTION 46, TURNER STORMWATER DRAINAGE PLAN
170904-DRG-CIV-DR-0441	E	TOWNHOUSE DEVELOPMENT BLOCK 4, SECTION 46, TURNER WSUD GENERAL NOTES & LEGEND
170904-DRG-CIV-UT-0501	F	TOWNHOUSE DEVELOPMENT BLOCK 4, SECTION 46, TURNER SEWER, WATER & UTILITIES PLAN
170904-DRG-CIV-TM-0801	E	TOWNHOUSE DEVELOPMENT BLOCK 4, SECTION 46, TURNER CONCEPT TEMPORARY TRAFFIC MANAGEMENT PLAN
170904-DRG-CIV-EV-0901	E	TOWNHOUSE DEVELOPMENT BLOCK 4, SECTION 46, TURNER CONCEPT ENVIRONMENTAL MANAGEMENT SEDIMENT EROSION CONTROL PLAN
170904-DRG-CIV-TP-2101	F	TOWNHOUSE DEVELOPMENT BLOCK 4, SECTION 46, TURNER VEHICLE TURNING PATH PLAN SHEET 1

Company: Thursday Architecture
Stratagem Capital Group

Document Number: **TML-CIV-1001**

Job Number: **170904**

Date: **21-08-18**

170904-DRG-CIV-TP-2102	A	TOWNHOUSE DEVELOPMENT BLOCK 4, SECTION 46, TURNER VEHICLE TURNING PATH PLAN SHEET 2
170904-DRG-CIV-WM-2201	F	TOWNHOUSE DEVELOPMENT BLOCK 4, SECTION 46, TURNER WASTE MANAGEMENT PLAN

PROJECT NAME:

TOWNHOUSE DEVELOPMENT

JOB NUMBER:

170904

DISCIPLINE

CIVIL

PROJECT LOCATION:

BLOCK 4 SECTION 46 TURNER, ACT

SUBMISSION TYPE:

FOR DEVELOPMENT APPROVAL

CLIENT:

STRATAGEM CAPITAL GROUP

DRAWING INDEX:

GN-0001	COVER SHEET, LOCALITY PLAN AND DRAWING INDEX
GN-0002	GENERAL NOTES & LEGEND
AL-0101	GENERAL ARRANGEMENT PLAN
AL-0111	GRADING PLAN
AL-0151	LONGITUDINAL SECTIONS
PV-0301	PAVEMENT PLAN
DR-0401	STORMWATER DRAINAGE PLAN
DR-0441	WSUD
UT-0501	SEWER, WATER & UTILITIES PLAN
TM-0801	CONCEPT TEMPORARY TRAFFIC MANAGEMENT PLAN
EV-0901	CONCEPT ENVIRONMENTAL MANAGEMENT & SEDIMENT EROSION CONTROL PLAN
TP-2101	VEHICLE TURNING PATHS PLAN SHEET 1
TP-2102	VEHICLE TURNING PATHS PLAN SHEET 2
WM-2201	WASTE MANAGEMENT PLAN



LOCALITY PLAN

GOOGLE MAPS. COPY RIGHT 2017

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				Status				Project Name and Location											
				NOT FOR CONSTRUCTION				TOWNHOUSE DEVELOPMENT											
								BLOCK 4, SECTION 46, TURNER											
								Drawing Title											
								COVER SHEET, LOCALITY PLAN											
								AND DRAWING INDEX											
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				Coordinate System	STROMLO GRID	Approved	BC	Approved Date	20.10.17										
				Height Datum	AHD	Approved Signature													

LEGEND

EXISTING	EXISTING SURVEYED	NEW	
			STORMWATER LINE WITH MANHOLE, R-SUMP, AND PIPE DIAMETER
			SUBSOIL DRAIN
			WATER METER, WATER MAIN WITH FIRE HYDRANT, STOPCOCK, CONCRETE THRUST BLOCK, PIPE DIAMETER AND END CAP
			SEWER MAIN WITH MANHOLE, PIPE DIAMETER AND CAP
			TELSTRA CABLE
			OPTUS CABLE
			NBN CABLE
			IIINET CABLE
			ELECTRICITY UNDER GROUND HIGH VOLTAGE
			ELECTRICITY ABOVE GROUND HIGH VOLTAGE
			ELECTRICITY UNDER GROUND LOW VOLTAGE
			STREET LIGHTING CABLE AND COLUMN
			GAS AND PIPE DIAMETER
			BLOCK BOUNDARY

GENERAL

- G1 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DOCUMENTS. THESE INCLUDE, ARCHITECTS DRAWINGS, OTHER CONSULTANT DRAWINGS, SPECIFICATIONS & WRITTEN INSTRUCTIONS
- G2 ANY DISCREPANCIES OR OMISSIONS SHALL BE REFERRED TO THE ENGINEER FOR A DECISION BEFORE PROCEEDING WITH THE WORK.
- G3 ALL WORKMANSHIP AND MATERIALS SHALL COMPLY WITH THE RELEVANT AUTHORITY REQUIREMENTS AND CURRENT AUSTRALIAN STANDARDS.
- G4 ALL DIMENSIONS ARE IN METERS UNLESS NOTED OTHERWISE.
- G5 DIMENSIONS SHALL NOT BE SCALED OFF THE CIVIL DRAWINGS.
- G6 ALL DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED ON SITE BY THE BUILDER PRIOR TO CONSTRUCTION OR FABRICATION.

UTILITIES

- U1 THE LOCATIONS OF SERVICES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM DIAGRAMS PROVIDED BY SERVICE AUTHORITIES. THIS INFORMATION HAS BEEN PREPARED SOLELY FOR THE AUTHORITY OWN USE AND MAY NOT NECESSARILY BE UP TO DATE OR ACCURATE.
- U2 THE POSITION OF SERVICES AS RECORDED BY THE AUTHORITY AT THE TIME OF INSTALLATION MAY NOT REFLECT CHANGES IN THE PHYSICAL ENVIRONMENT SUBSEQUENT TO INSTALLATION.
- U3 SELICK CONSULTANTS DOES NOT GUARANTEE THAT THE SERVICES INFORMATION SHOWN ON THESE DRAWINGS SHOW MORE THAN THE PRESENCE OR ABSENCE OF SERVICES, AND WILL ACCEPT NO LIABILITY FOR INACCURACIES IN THE SERVICES INFORMATION SHOWN FROM ANY CAUSE WHATSOEVER.
- U4 THE CONTRACTOR SHALL:
 - (A) CONDUCT A SERVICES SEARCH WITH ALL UTILITY SERVICES/AUTHORITIES TO DETERMINE LOCATIONS OF ANY SERVICES IN THE VICINITY OF THE WORK.
 - (B) UNDERTAKE HAND EXCAVATION TO DETERMINE THE EXACT POSITION OF SERVICES WITHIN THE LIMIT OF THE WORKS SHOWN ON PLAN.
 - (C) ARRANGE RELOCATION OR ADJUSTMENT OF SERVICE TO THE APPROVAL OF THE RELEVANT AUTHORITY.

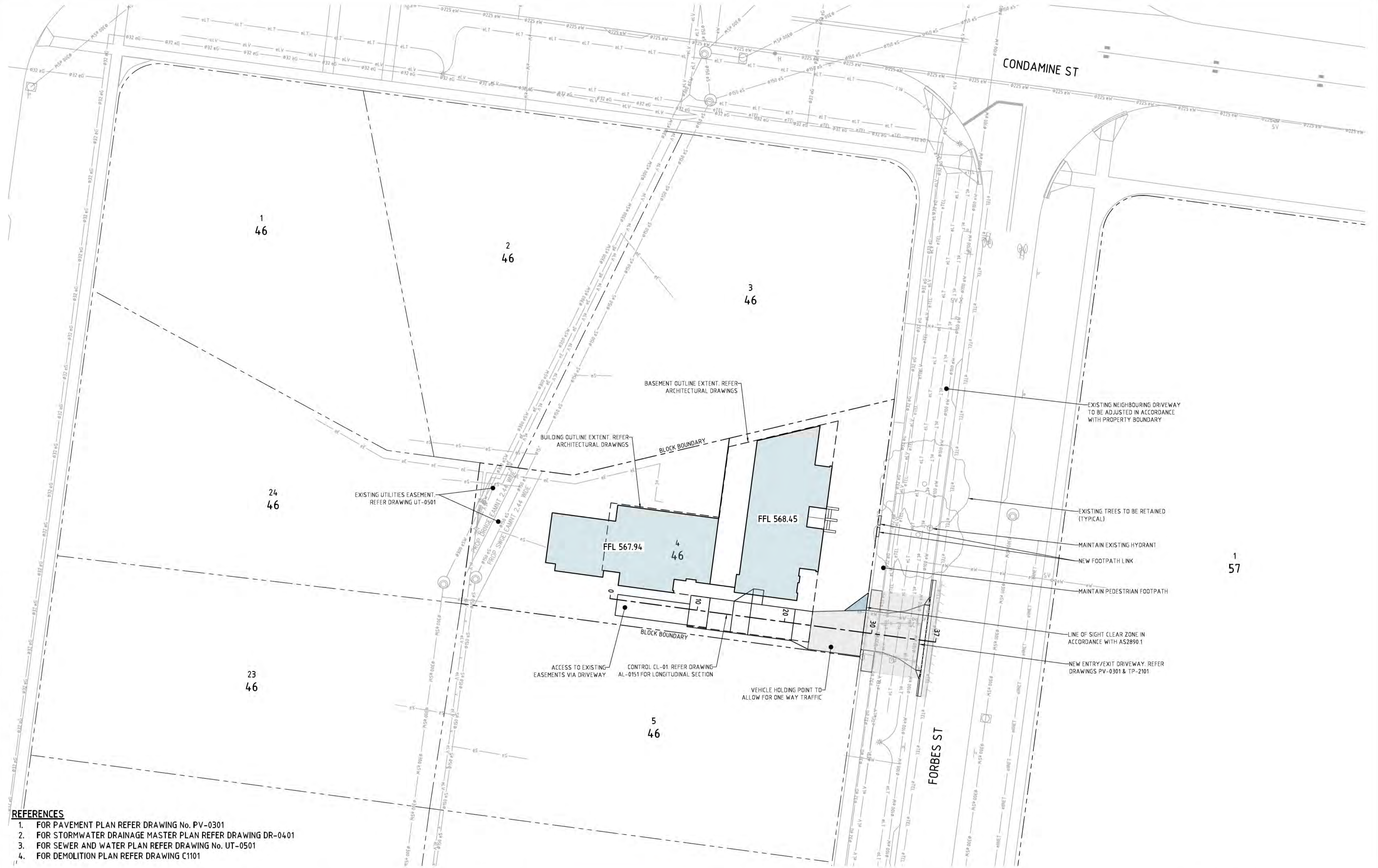
STORMWATER DRAINAGE NOTES

- D2 PIPES 300 DIA AND LARGER TO BE REINFORCED CONCRETE CLASS "AS SPECIFIED" APPROVED SPIGOT AND SOCKET WITH RUBBER RING JOINTS U.N.O.
- D3 PIPES UP TO 300 DIA SHALL BE SEWER GRADE UPVC WITH SOLVENT WELDED JOINTS.
- D4 EQUIVALENT STRENGTH VCP OR FRC PIPES MAY BE USED SUBJECT TO APPROVAL.
- D5 PRECAST PITS MAY BE USED EXTERNAL TO THE BUILDING SUBJECT TO APPROVAL.
- D6 ENLARGERS, CONNECTIONS AND JUNCTIONS TO BE PRECAST FITTINGS WHERE PIPES ARE LESS THAN 300 DIA.
- D8 GRATES AND COVERS SHALL CONFORM WITH AS 3996-1992
- D9 PIPES ARE TO BE INSTALLED IN ACCORDANCE WITH AS 3725. ALL BEDDING TO BE TYPE H2 U.N.O. OR H53 UNDER ROADS
- D10 CARE IS TO BE TAKEN WITH LEVELS OF STORMWATER LINES. GRADES SHOWN ARE NOT TO BE REDUCED WITHOUT APPROVAL.

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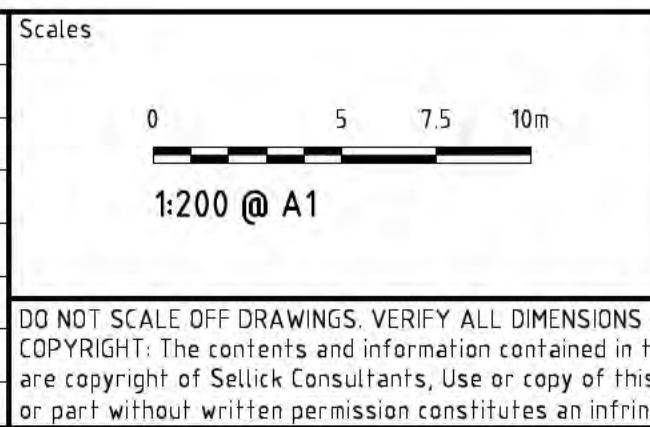
<table border="1"> <tr> <td>Rev</td> <td>Description</td> <td>Date</td> <td>Approved</td> </tr> <tr> <td>E</td> <td>REVISED FOR DEVELOPMENT APPROVAL</td> <td>21.08.18</td> <td>BC</td> </tr> <tr> <td>D</td> <td>REVISED FOR DEVELOPMENT APPROVAL</td> <td>27.06.18</td> <td>BC</td> </tr> <tr> <td>C</td> <td>REVISED FOR DEVELOPMENT APPROVAL</td> <td>08.03.18</td> <td>BC</td> </tr> <tr> <td>B</td> <td>FOR DEVELOPMENT APPROVAL</td> <td>09.02.18</td> <td>BC</td> </tr> <tr> <td>A</td> <td>FOR REVIEW</td> <td>23.10.17</td> <td>BC</td> </tr> </table>		Rev	Description	Date	Approved	E	REVISED FOR DEVELOPMENT APPROVAL	21.08.18	BC	D	REVISED FOR DEVELOPMENT APPROVAL	27.06.18	BC	C	REVISED FOR DEVELOPMENT APPROVAL	08.03.18	BC	B	FOR DEVELOPMENT APPROVAL	09.02.18	BC	A	FOR REVIEW	23.10.17	BC	<p>Scales</p> <p>1:200 @ A1</p> <p>DO NOT SCALE OFF DRAWINGS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO WORK. COPYRIGHT: The contents and information contained in this document are copyright of Sellick Consultants, Use or copy of this document in whole or part without written permission constitutes an infringement of copyright.</p>	<p>North</p>	<p>www.sellickconsultants.com.au</p>	<p>Client Logo</p>	<p>Status</p> <p>NOT FOR CONSTRUCTION</p> <table border="1"> <tr> <td>Original Size</td> <td>A1</td> <td>Drawn By</td> <td>RT</td> <td>Drafting Check</td> <td>DA</td> </tr> <tr> <td>Date Plotted</td> <td>21-Aug-18</td> <td>Designed By</td> <td>AM</td> <td>Design Check</td> <td>BC</td> </tr> <tr> <td>Coordinate System</td> <td>STROMLO GRID</td> <td>Approved</td> <td>BC</td> <td>Approved Date</td> <td>20.10.17</td> </tr> <tr> <td>Height Datum</td> <td>AHD</td> <td colspan="4">Approved Signature</td> </tr> </table>	Original Size	A1	Drawn By	RT	Drafting Check	DA	Date Plotted	21-Aug-18	Designed By	AM	Design Check	BC	Coordinate System	STROMLO GRID	Approved	BC	Approved Date	20.10.17	Height Datum	AHD	Approved Signature				<p>Project Name and Location</p> <p>TOWNHOUSE DEVELOPMENT BLOCK 4, SECTION 46, TURNER</p> <p>Drawing Title</p> <p>GENERAL NOTES AND LEGEND</p> <table border="1"> <tr> <td>Project Number</td> <td>Type</td> <td>Discipline</td> <td>Sub-Discipline</td> <td>Drg No.</td> <td>Rev</td> </tr> <tr> <td>170904</td> <td>DRG</td> <td>CIV</td> <td>GN</td> <td>0002</td> <td>E</td> </tr> </table>	Project Number	Type	Discipline	Sub-Discipline	Drg No.	Rev	170904	DRG	CIV	GN	0002	E
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- REFERENCES**
1. FOR PAVEMENT PLAN REFER DRAWING No. PV-0301
 2. FOR STORMWATER DRAINAGE MASTER PLAN REFER DRAWING DR-0401
 3. FOR SEWER AND WATER PLAN REFER DRAWING No. UT-0501
 4. FOR DEMOLITION PLAN REFER DRAWING C1101

Rev	Description	Date	Approved
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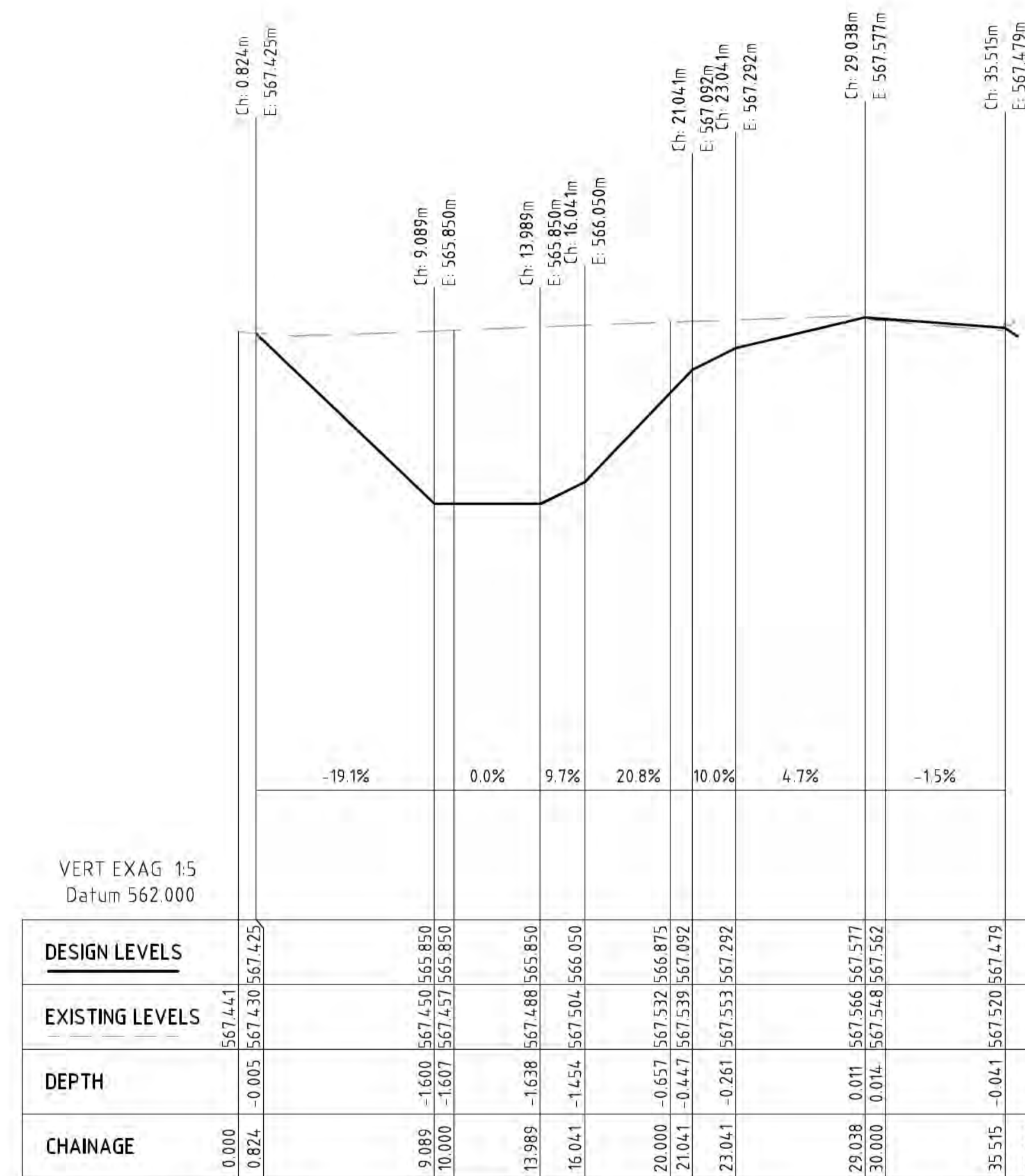


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Project Name and Location					
TOWNHOUSE DEVELOPMENT					
BLOCK 4, SECTION 46, TURNER					
Drawing Title					
GENERAL ARRANGEMENT PLAN					
Project Number	Type	Discipline	Sub-Discipline	Dwg No.	Rev
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CL-1 LONG SECTION

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Scales

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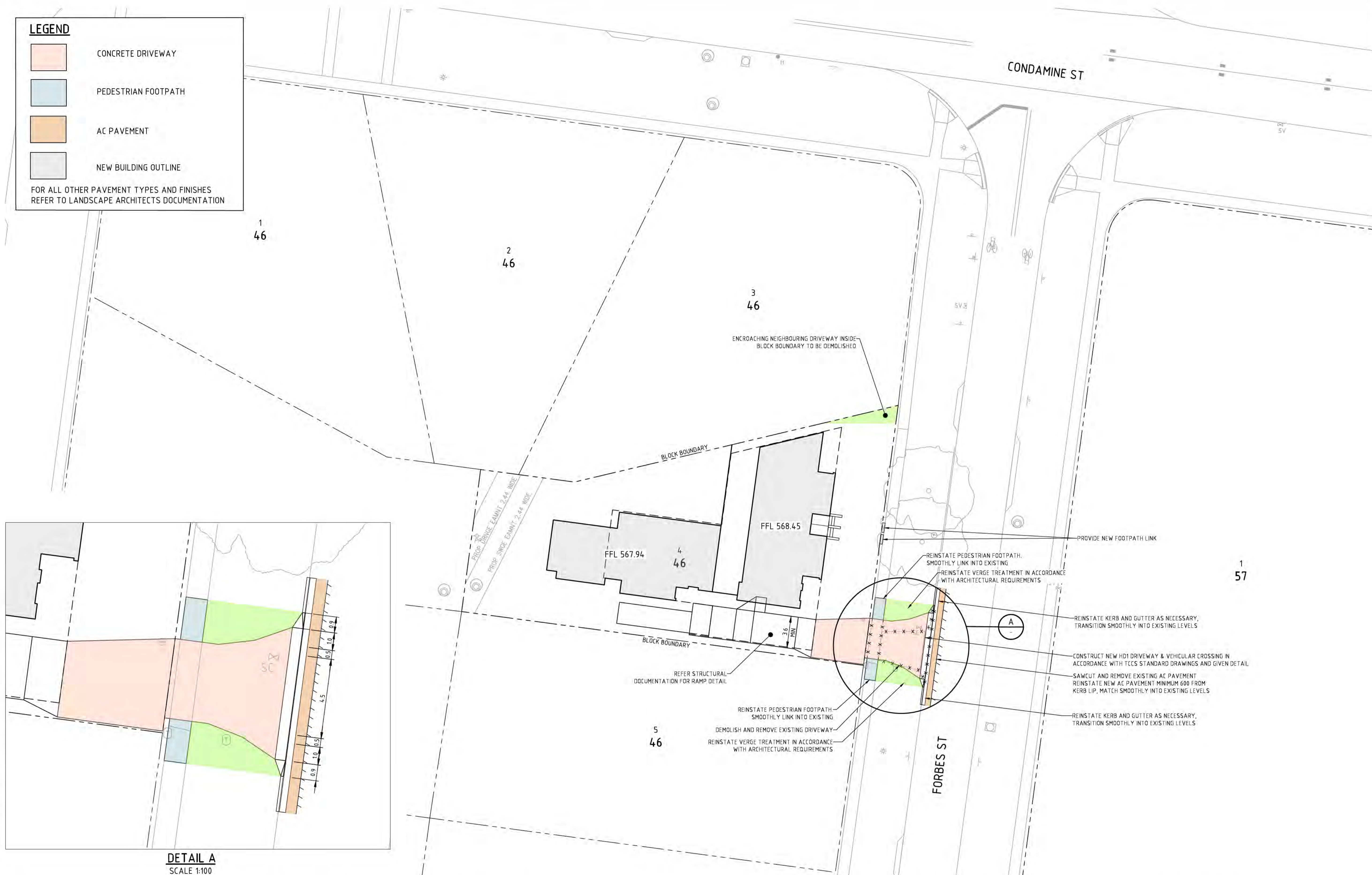
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Project Name and Location						
TOWNHOUSE DEVELOPMENT						
BLOCK 4, SECTION 46, TURNER						
Drawing Title						
GRADING PLAN						
Project Number	Type	Discipline	Sub-Discipline	Drw No.	Rev	
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LEGEND

- CONCRETE DRIVEWAY
- PEDESTRIAN FOOTPATH
- AC PAVEMENT
- NEW BUILDING OUTLINE

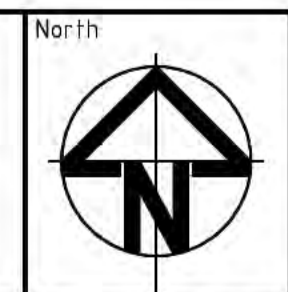
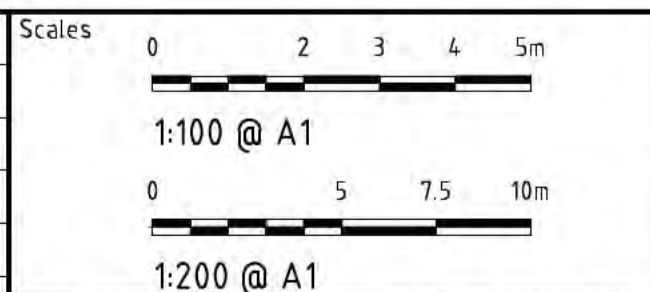
FOR ALL OTHER PAVEMENT TYPES AND FINISHES REFER TO LANDSCAPE ARCHITECTS DOCUMENTATION



DETAIL A
SCALE 1:100

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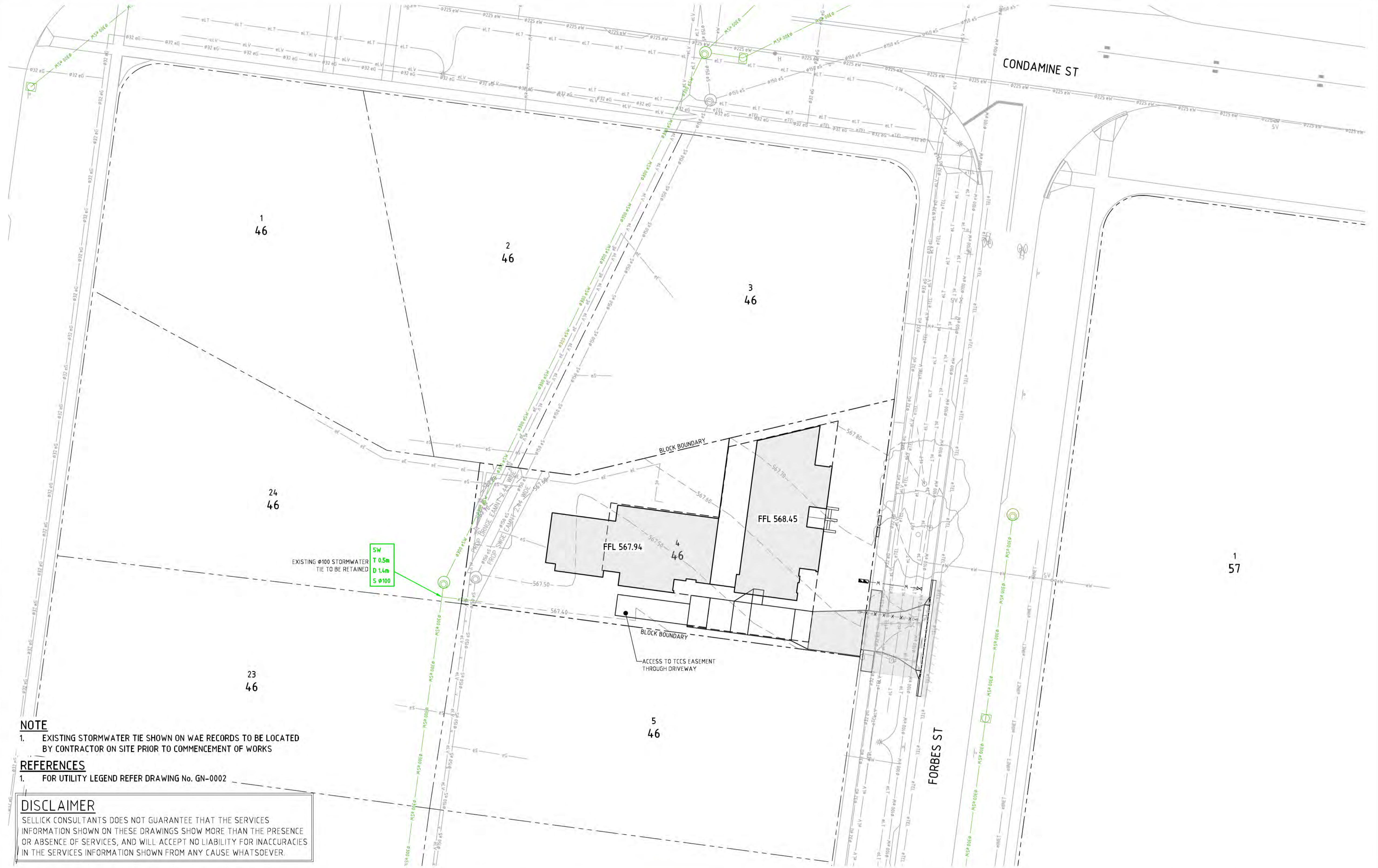
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Drawing Title					
PAVEMENT PLAN					
Project Number	Type	Discipline	Sub-Discipline	Drg No.	Rev
170904	DRG	CIV	PV	0301	G

File Name: P:\2017\170904_84-546-Turner\04_CAD\4_2_Drawings\CIV\170904-drg-civ-dr-0401.dwg



NOTE

- EXISTING STORMWATER TIE SHOWN ON WAE RECORDS TO BE LOCATED BY CONTRACTOR ON SITE PRIOR TO COMMENCEMENT OF WORKS

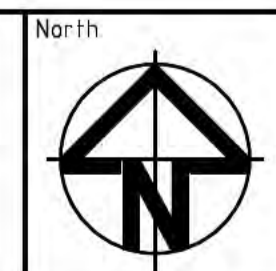
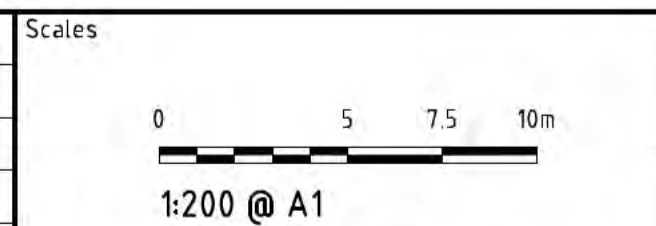
REFERENCES

- FOR UTILITY LEGEND REFER DRAWING No. GN-0002

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Rev	Description	Date	Approved
F	REVISED FOR DEVELOPMENT APPROVAL	21.08.18	BC
E	REVISED FOR DEVELOPMENT APPROVAL	27.06.18	BC
D	REVISED FOR DEVELOPMENT APPROVAL	08.03.18	BC
C	FOR DEVELOPMENT APPROVAL	09.02.18	BC
B	REVISED FOR REVIEW	17.11.17	BC



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Status

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Original Size	A1	Drawn By	RT	Drafting Check	DA
Date Plotted	21-Aug-18	Designed By	AM	Design Check	BC
Coordinate System	STROMLO GRID	Approved	BC	Approved Date	20.10.17
Height Datum	AHD	Approved Signature			

Project Name and Location

**TOWNHOUSE DEVELOPMENT
BLOCK 4, SECTION 46, TURNER**

Drawing Title
STORMWATER DRAINAGE PLAN

Project Number	170904	Type	DRG	Discipline	CIV	Sub-Discipline	DR	Dwg No.	0401	Rev	F
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NOTE;
STORMWATER PLAN PREPARED ONLY FOR THE SITE PORTION COVERED BY THIS DEVELOPMENT 973m². FUTURE PROPOSALS FOR DEVELOPMENT ALONG NEIGHBOURING PROPERTIES TO BE PART OF A SEPARATE STORMWATER MANAGEMENT PLAN.

MULTI UNIT HOUSING DEVELOPMENT CODE: RULE 86
40% REDUCTION IN MAINS WATER CONSUMPTION COMPARED TO AN EQUIVALENT DEVELOPMENT CONSTRUCTED IN 2003

REFER BELOW FOR WATER REDUCTION SUMMARY AND ACTPLA WATER CALCULATION SPREDSHEETS

TOTAL DEVELOPMENT WATER REDUCTION			
	PROPOSED	PRE2003	REDUCTION
DEVELOPMENT TOTAL	1,224	2,040	40.00%

SUMMARY AND RESPONSE TO ASSESSABLE RULES:
CURRENT SITE ZONING: R22.SUBURBAN CORE
RELEVANT CODE: MULTI UNIT HOUSING DEVELOPMENT CODE

MULTI UNIT HOUSING DEVELOPMENT CODE: RULE 87:
PROVISION OF THE RETENTION OF STORMWATER IS EQUIVALENT TO AT LEAST 1.4KL PER 100m² OF IMPERVIOUS AREA

AS SITE IS LESS THAN 2000m² THIS RULE IS NOT APPLICABLE TO THIS DEVELOPMENT

MULTI UNIT HOUSING DEVELOPMENT CODE: RULE 88
THE AVERAGE ANNUAL STORMWATER POLLUTANT EXPORT IS REDUCED FOR ALL THE FOLLOWING:

- A) SUSPENDED SOLIDS BY AT LEAST 60%
- B) TOTAL PHOSPHORUS BY AT LEAST 45%
- C) TOTAL NITROGEN BY AT LEAST 40%

AS THE SITE IS LESS THAN 5000m² THIS RULE IS NOT APPLICABLE TO THIS DEVELOPMENT

MULTI UNIT HOUSING DEVELOPMENT CODE: RULE 89
THE CAPACITY OF THE EXISTING PIPE (MINOR) STORMWATER CONNECTION IS NOT EXCEEDED IN THE 1 IN 10 YEAR STORM EVENT AND THE CAPACITY OF THE EXISTING MAJOR OVERLAND STORMWATER SYSTEM IS NOT EXCEEDED IN THE 1 IN 100 YEAR STORM EVENT, OR

THE 1 IN 5 AND 1 IN 100 YEAR STORMWATER PEAK RUN OFF DOES NOT EXCEED PRE-DEVELOPMENT LEVELS

AS THE SITE IS LESS THAN 2000m² THIS RULE IS NOT APPLICABLE TO THIS DEVELOPMENT

This spread sheet is an online tool for individuals, designers and developers to gauge possible methods of reducing mains water consumption on Multi-unit developments. Please enter ALL the relevant information for your development before using the reduction percentage.

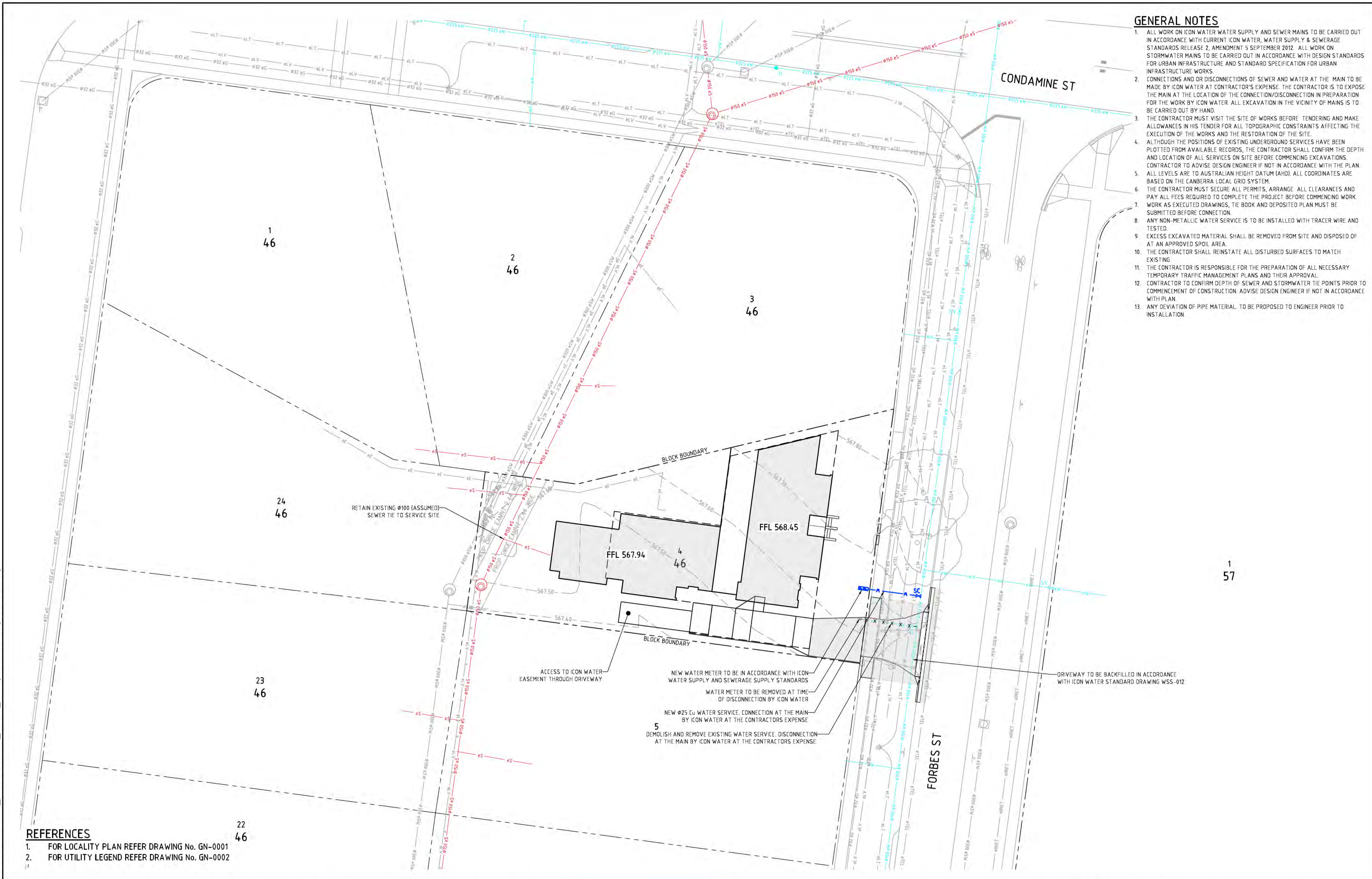
Percentage Reduction =	40%
Indoor information	
Number of bedrooms in the entire complex	11
What is the water rating of the shower heads?	4 Star
What is the water rating of the clothes washing machines?	3 Star
What is the water rating of the dishwashers?	4 Star
What is the water rating of the toilets?	5 Star
Site information	
Site area (m ²)?	973
Total Roof area (m ²)?	400
Lawn area (m ²)?	150
Irrigated garden area (m ²)?	123
Imperveous pavement or driveway (m ²)?	300
Rain water tank information	
Are there going to be water tanks installed?	Yes
What is the total size of all the tanks (L)?	6,000
What is the total roof area flowing into the tanks (m ²)?	400
What will be the use for the water in the tanks?	Garden
Grey Water information	
What type of grey water system is installed?	None
What is the size of the grey water storage tank (L)?	0
Where will the grey water be collected from?	
What will be the use for the grey water?	
Pool, Spa or Pond information	
Is there going to be a pool, spa, or pond?	Spa
Is there going to be a cover on the pool or spa?	Yes
Average depth of the pool, spa or pond (m)?	1.4
Average length of the pool, spa or pond (m)?	4.2
Average width of the pool, spa or pond (m)?	4
The volume of the pool, spa or pond is (L) =	23,520

REFER ARCHITECTURALS FOR LOCATION OF 3x2kL TANKS

File Name: P:\2017\170904_B4-S46-Turner\04_CAD\4_2_Drawings\CIV\170904-drg-civ-df-0441.dwg

Scales		North		Client Logo		Status		Project Name and Location	
						NOT FOR CONSTRUCTION		TOWNHOUSE DEVELOPMENT BLOCK 4, SECTION 46, TURNER	
DO NOT SCALE OFF DRAWINGS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO WORK. COPYRIGHT: The contents and information contained in this document are copyright of Sellick Consultants, Use or copy of this document in whole or part without written permission constitutes an infringement of copyright.		www.sellickconsultants.com.au		STRATAGEM CAPITAL GROUP		Original Size: A1 Date Plotted: 21-Aug-18 Coordinate System: STROMLO GRID Height Datum: AHD		Drawing Title: WSUD GENERAL NOTES & LEGEND	
Revised For Development Approval Revised For Development Approval Revised For Development Approval For Development Approval For Review		21.08.18 27.06.18 08.03.18 09.02.18 23.10.17		BC BC BC BC BC		Drawn By: RT Designed By: AM Approved: BC Approved Signature:		Drafting Check: DA Design Check: BC Approved Date: 20.10.17	
Rev	Description	Date	Approved	Project Number	Type	Discipline	Sub-Discipline	Drg No.	Rev
				170904	DRG	CIV	DR	0441	E

File Name: P:\2017\170904_04_S46-Turner\04_CAD\4_2_Drawings\CIV\170904-drg-civ-ut-0501.dwg



- ### GENERAL NOTES
1. ALL WORK ON ICON WATER SUPPLY AND SEWER MAINS TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT ICON WATER, WATER SUPPLY & SEWERAGE STANDARDS RELEASE 2, AMENDMENT 5 SEPTEMBER 2012. ALL WORK ON STORMWATER MAINS TO BE CARRIED OUT IN ACCORDANCE WITH DESIGN STANDARDS FOR URBAN INFRASTRUCTURE AND STANDARD SPECIFICATION FOR URBAN INFRASTRUCTURE WORKS.
 2. CONNECTIONS AND OR DISCONNECTIONS OF SEWER AND WATER AT THE MAIN TO BE MADE BY ICON WATER AT CONTRACTOR'S EXPENSE. THE CONTRACTOR IS TO EXPOSE THE MAIN AT THE LOCATION OF THE CONNECTION/DISCONNECTION IN PREPARATION FOR THE WORK BY ICON WATER. ALL EXCAVATION IN THE VICINITY OF MAINS IS TO BE CARRIED OUT BY HAND.
 3. THE CONTRACTOR MUST VISIT THE SITE OF WORKS BEFORE TENDERING AND MAKE ALLOWANCES IN HIS TENDER FOR ALL TOPOGRAPHIC CONSTRAINTS AFFECTING THE EXECUTION OF THE WORKS AND THE RESTORATION OF THE SITE.
 4. ALTHOUGH THE POSITIONS OF EXISTING UNDERGROUND SERVICES HAVE BEEN PLOTTED FROM AVAILABLE RECORDS, THE CONTRACTOR SHALL CONFIRM THE DEPTH AND LOCATION OF ALL SERVICES ON SITE BEFORE COMMENCING EXCAVATIONS. CONTRACTOR TO ADVISE DESIGN ENGINEER IF NOT IN ACCORDANCE WITH THE PLAN.
 5. ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM (AHD). ALL COORDINATES ARE BASED ON THE CANBERRA LOCAL GRID SYSTEM.
 6. THE CONTRACTOR MUST SECURE ALL PERMITS, ARRANGE ALL CLEARANCES AND PAY ALL FEES REQUIRED TO COMPLETE THE PROJECT BEFORE COMMENCING WORK.
 7. WORK AS EXECUTED DRAWINGS, THE BOOK AND DEPOSITED PLAN MUST BE SUBMITTED BEFORE CONNECTION.
 8. ANY NON-METALLIC WATER SERVICE IS TO BE INSTALLED WITH TRACER WIRE AND TESTED.
 9. EXCESS EXCAVATED MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF AT AN APPROVED SPOIL AREA.
 10. THE CONTRACTOR SHALL REINSTATE ALL DISTURBED SURFACES TO MATCH EXISTING.
 11. THE CONTRACTOR IS RESPONSIBLE FOR THE PREPARATION OF ALL NECESSARY TEMPORARY TRAFFIC MANAGEMENT PLANS AND THEIR APPROVAL.
 12. CONTRACTOR TO CONFIRM DEPTH OF SEWER AND STORMWATER TIE POINTS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ADVISE DESIGN ENGINEER IF NOT IN ACCORDANCE WITH PLAN.
 13. ANY DEVIATION OF PIPE MATERIAL, TO BE PROPOSED TO ENGINEER PRIOR TO INSTALLATION.

- ### REFERENCES
1. FOR LOCALITY PLAN REFER DRAWING No. GN-0001
 2. FOR UTILITY LEGEND REFER DRAWING No. GN-0002

Rev	Description	Date	Approved
F	REVISED FOR DEVELOPMENT APPROVAL	21.08.18	BC
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B	REVISED FOR REVIEW	17.11.17	BC

Scales

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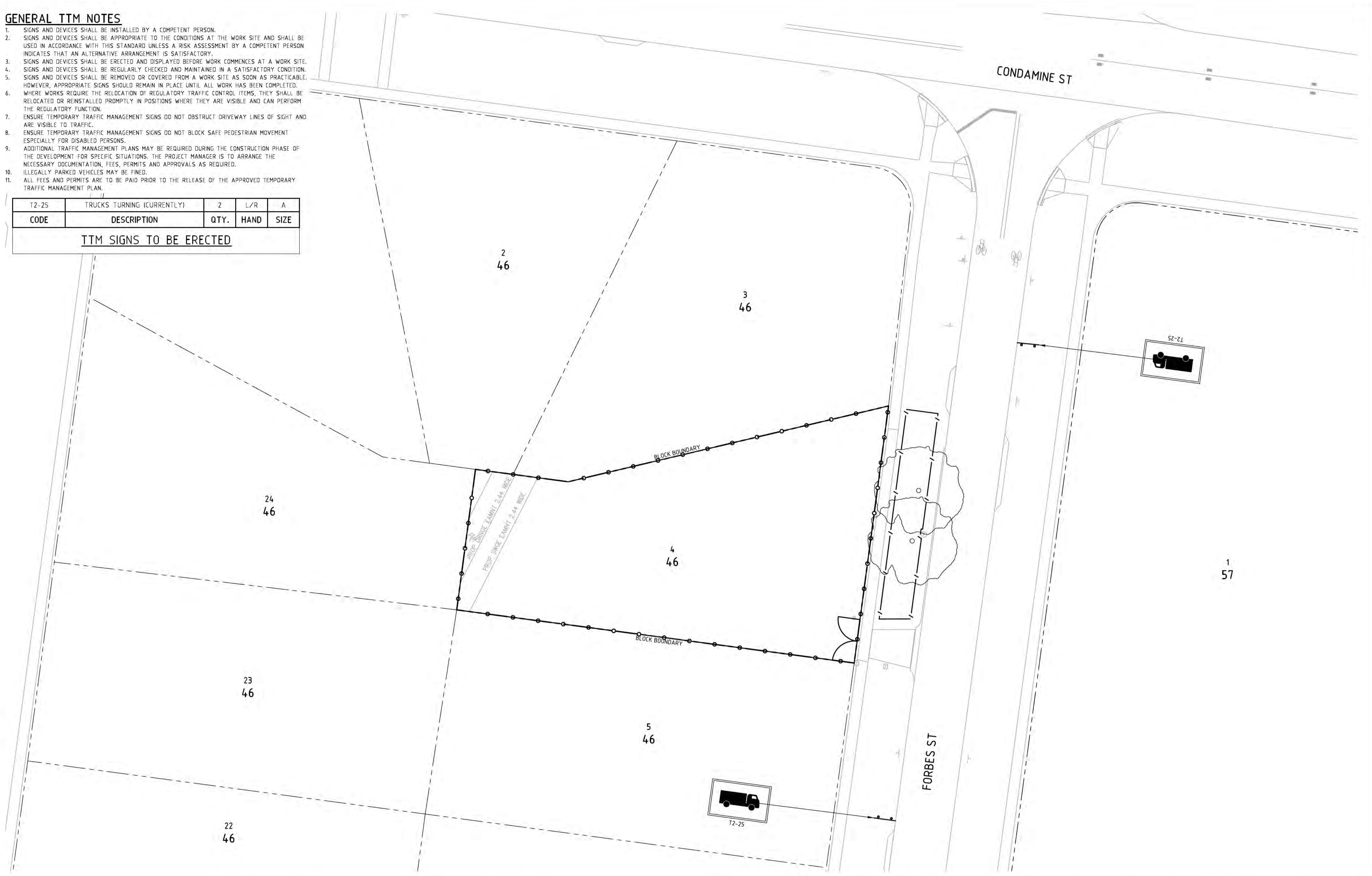
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Date Plotted	21-Aug-18	Designed By	AM
Coordinate System	STROMLO GRID	Approved	BC
Height Datum	AHD	Approved Date	20.10.17
		Approved Signature	

Project Name and Location					
TOWNHOUSE DEVELOPMENT					
BLOCK 4, SECTION 46, TURNER					
Drawing Title					
SEWER, WATER & UTILITIES PLAN					
Project Number	Type	Discipline	Sub-Discipline	Drw No.	Rev
170904	DRG	CIV	UT	0501	F

GENERAL TTM NOTES

1. SIGNS AND DEVICES SHALL BE INSTALLED BY A COMPETENT PERSON.
2. SIGNS AND DEVICES SHALL BE APPROPRIATE TO THE CONDITIONS AT THE WORK SITE AND SHALL BE USED IN ACCORDANCE WITH THIS STANDARD UNLESS A RISK ASSESSMENT BY A COMPETENT PERSON INDICATES THAT AN ALTERNATIVE ARRANGEMENT IS SATISFACTORY.
3. SIGNS AND DEVICES SHALL BE ERECTED AND DISPLAYED BEFORE WORK COMMENCES AT A WORK SITE.
4. SIGNS AND DEVICES SHALL BE REGULARLY CHECKED AND MAINTAINED IN A SATISFACTORY CONDITION.
5. SIGNS AND DEVICES SHALL BE REMOVED OR COVERED FROM A WORK SITE AS SOON AS PRACTICABLE. HOWEVER, APPROPRIATE SIGNS SHOULD REMAIN IN PLACE UNTIL ALL WORK HAS BEEN COMPLETED.
6. WHERE WORKS REQUIRE THE RELOCATION OF REGULATORY TRAFFIC CONTROL ITEMS, THEY SHALL BE RELOCATED OR REINSTALLED PROMPTLY IN POSITIONS WHERE THEY ARE VISIBLE AND CAN PERFORM THE REGULATORY FUNCTION.
7. ENSURE TEMPORARY TRAFFIC MANAGEMENT SIGNS DO NOT OBSTRUCT DRIVEWAY LINES OF SIGHT AND ARE VISIBLE TO TRAFFIC.
8. ENSURE TEMPORARY TRAFFIC MANAGEMENT SIGNS DO NOT BLOCK SAFE PEDESTRIAN MOVEMENT ESPECIALLY FOR DISABLED PERSONS.
9. ADDITIONAL TRAFFIC MANAGEMENT PLANS MAY BE REQUIRED DURING THE CONSTRUCTION PHASE OF THE DEVELOPMENT FOR SPECIFIC SITUATIONS. THE PROJECT MANAGER IS TO ARRANGE THE NECESSARY DOCUMENTATION, FEES, PERMITS AND APPROVALS AS REQUIRED.
10. ILLEGALLY PARKED VEHICLES MAY BE FINED.
11. ALL FEES AND PERMITS ARE TO BE PAID PRIOR TO THE RELEASE OF THE APPROVED TEMPORARY TRAFFIC MANAGEMENT PLAN.

T2-25	TRUCKS TURNING (CURRENTLY)	2	L/R	A
CODE	DESCRIPTION	QTY.	HAND	SIZE
TTM SIGNS TO BE ERECTED				



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C	REVISED FOR DEVELOPMENT APPROVAL	08.03.18	BC
B	FOR DEVELOPMENT APPROVAL	09.02.18	BC
A	FOR REVIEW	23.10.17	BC

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Height Datum	AHD	Approved Date	20.10.17
		Approved Signature	

Project Name and Location					
TOWNHOUSE DEVELOPMENT					
BLOCK 4, SECTION 46, TURNER					
Drawing Title					
CONCEPT TEMPORARY TRAFFIC MANAGEMENT PLAN					
Project Number	Type	Discipline	Sub-Discipline	Drg No.	Rev
170904	DRG	CIV	TM	0801	E

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C	REVISED FOR DEVELOPMENT APPROVAL	08.03.18	BC
B	FOR DEVELOPMENT APPROVAL	09.02.18	BC
A	FOR REVIEW	23.10.17	BC

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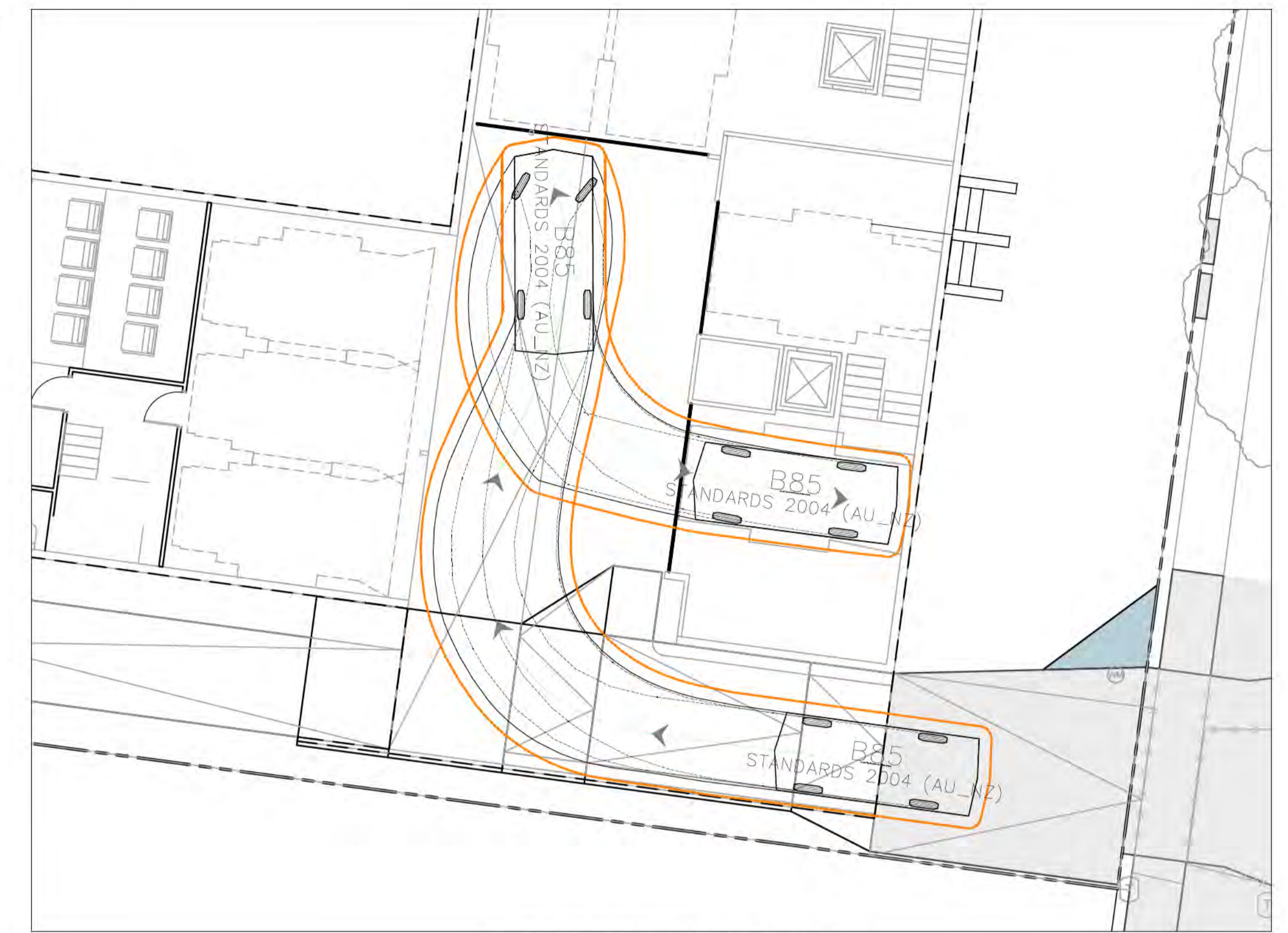
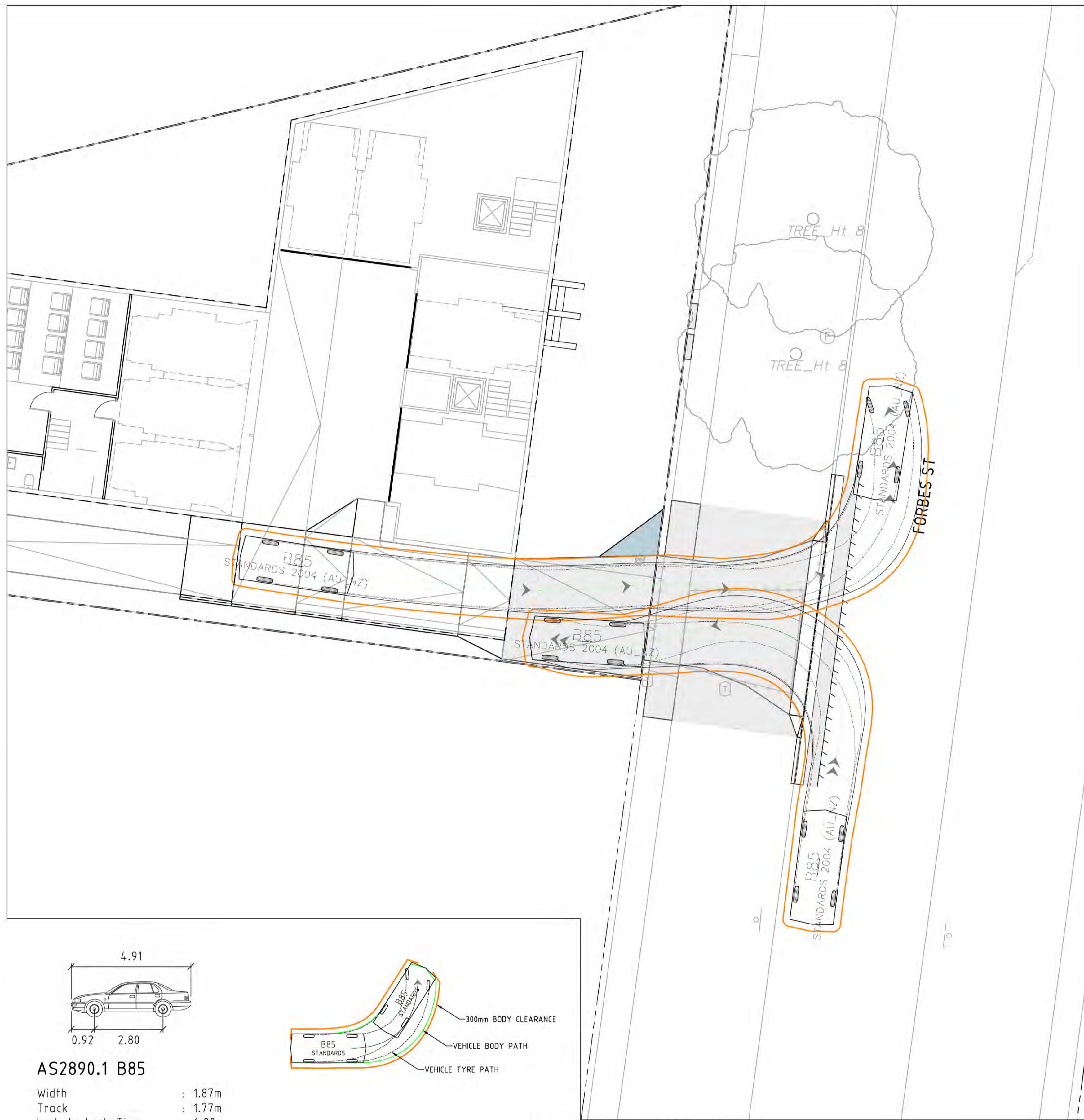
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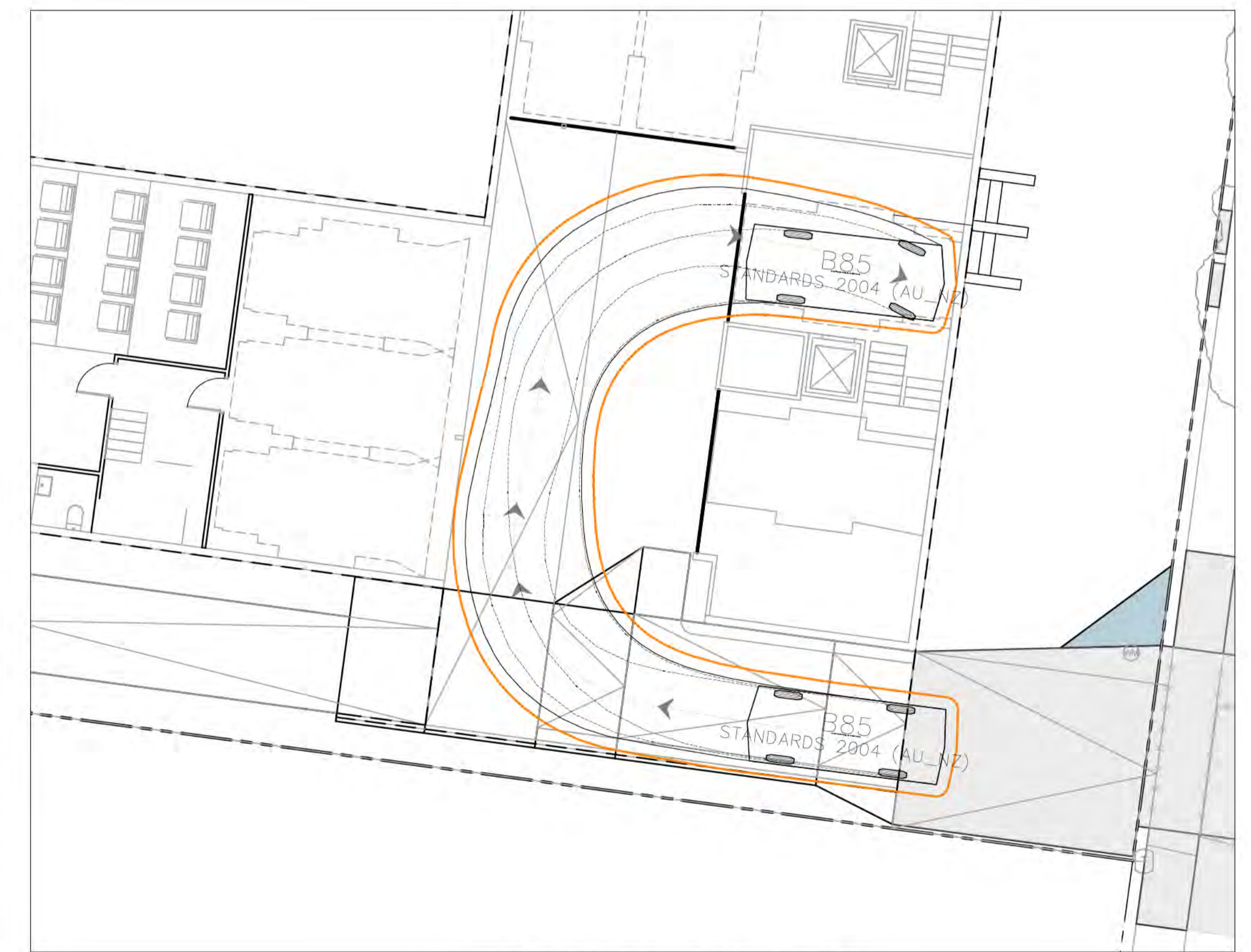
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		Approved Signature	

Project Name and Location						
TOWNHOUSE DEVELOPMENT						
BLOCK 4, SECTION 46, TURNER						
Drawing Title						
CONCEPT ENVIRONMENTAL MANAGEMENT						
SEDIMENT EROSION CONTROL PLAN						
Project Number	Type	Discipline	Sub-Discipline	Drg No.	Rev	
170904	DRG	CIV	EV	0901	E	

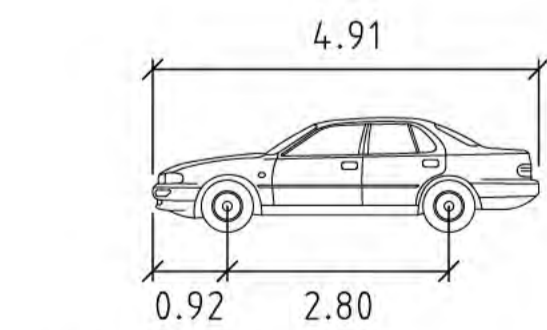
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B85 REVERSE INTO PARKING BAY
SCALE 1:100

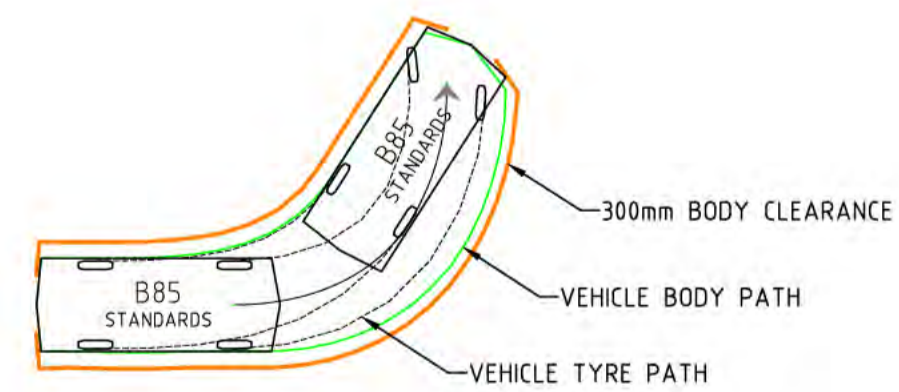


B85 FORWARD INTO PARKING BAY
SCALE 1:100



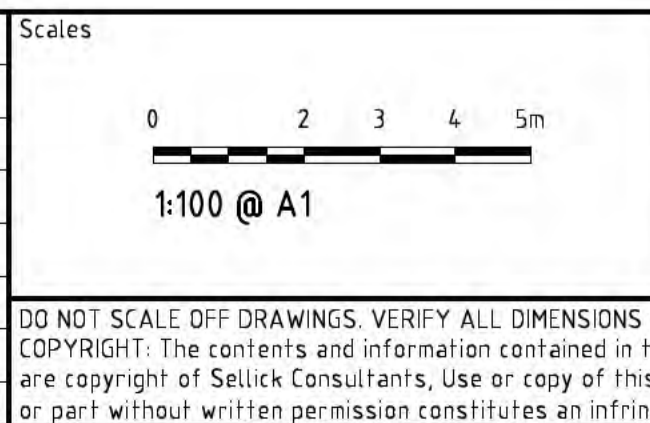
AS2890.1 B85

Width : 1.87m
Track : 1.77m
Lock to Lock Time : 6.00s
Steering Angle : 38.00°



B85 ENTRY/EXIT INTO BASEMENT
SCALE 1:100

Rev	Description	Date	Approved
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E	REVISED FOR DEVELOPMENT APPROVAL	27.06.18	BC
D	REVISED FOR DEVELOPMENT APPROVAL	08.03.18	BC
C	FOR DEVELOPMENT APPROVAL	09.02.18	BC
B	REVISED FOR REVIEW	17.11.17	BC

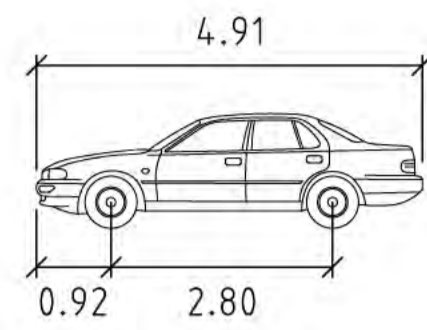


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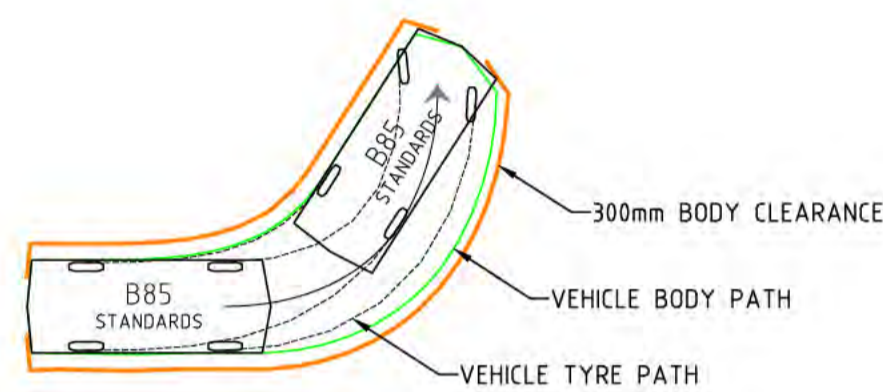
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Coordinate System	STROMLO GRID	Approved	BC
Height Datum	AHD	Drafting Check	DA
		Design Check	BC
		Approved Date	20.10.17
		Approved Signature	

Project Name and Location						
TOWNHOUSE DEVELOPMENT						
BLOCK 4, SECTION 46, TURNER						
Drawing Title						
VEHICLE TURNING PATH						
PLAN SHEET 1						
Project Number	Type	Discipline	Sub-Discipline	Dwg No.	Rev	
170904	DRG	CIV	TP	2101	F	

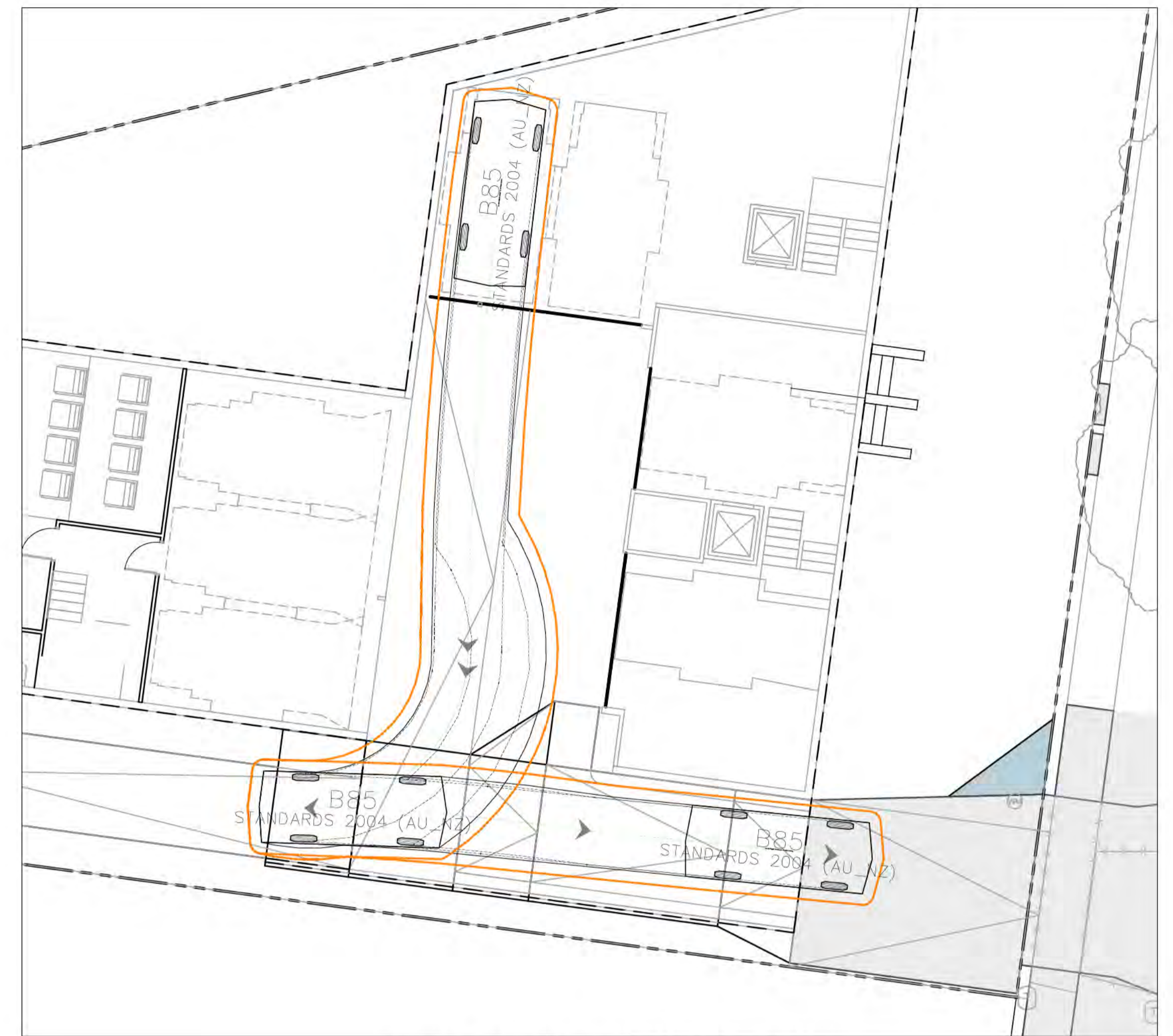


AS2890.1 B85

- Width : 1.87m
- Track : 1.77m
- Lock to Lock Time : 6.00s
- Steering Angle : 38.00°



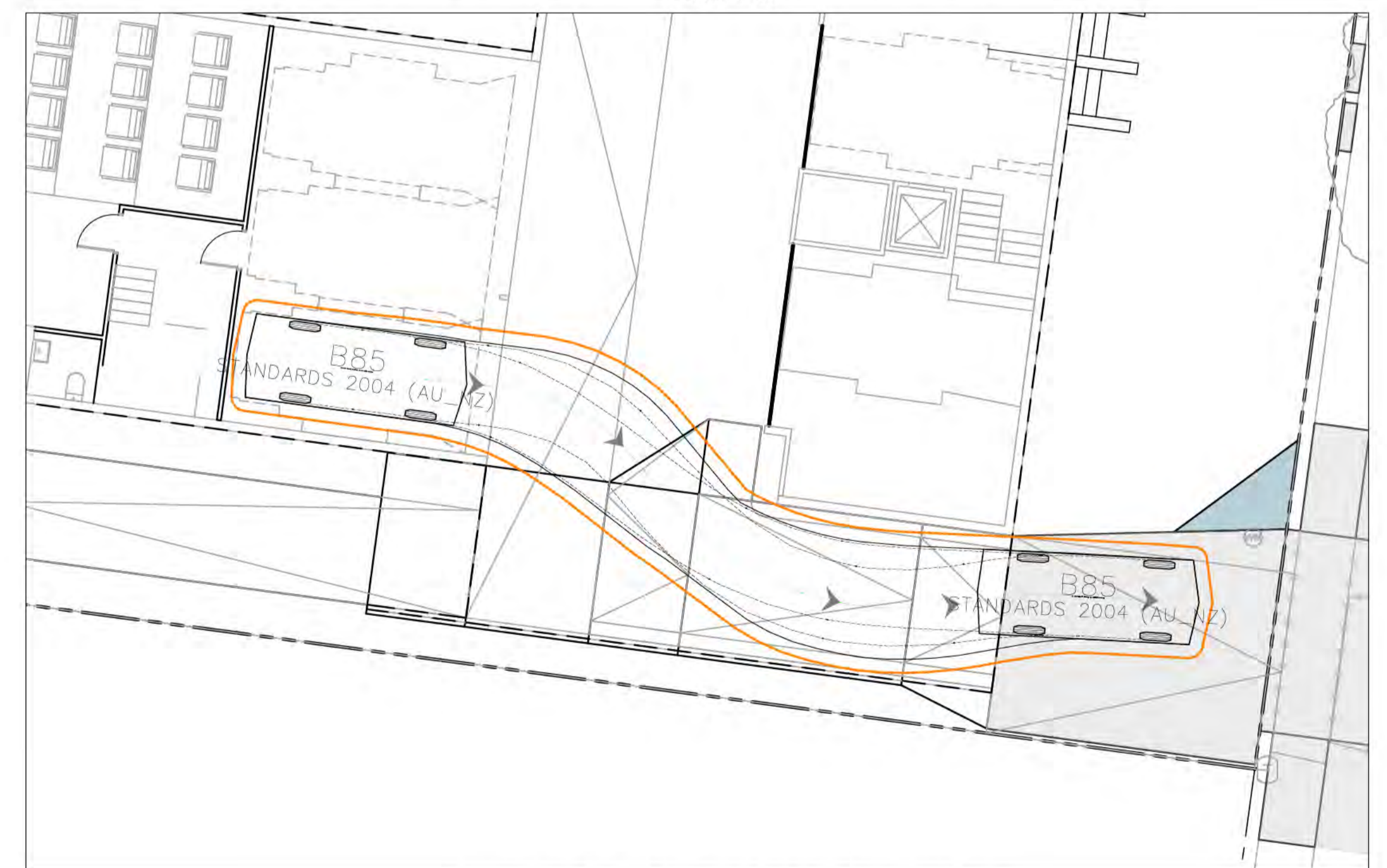
B85 REVERSE INTO PARKING BAY
SCALE 1:100



B85 REVERSE EXIT FROM PARKING BAY
SCALE 1:100



B85 FORWARD INTO PARKING BAY
SCALE 1:100



B85 FORWARD EXIT FROM PARKING BAY
SCALE 1:100

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Rev	Description	Date	Approved
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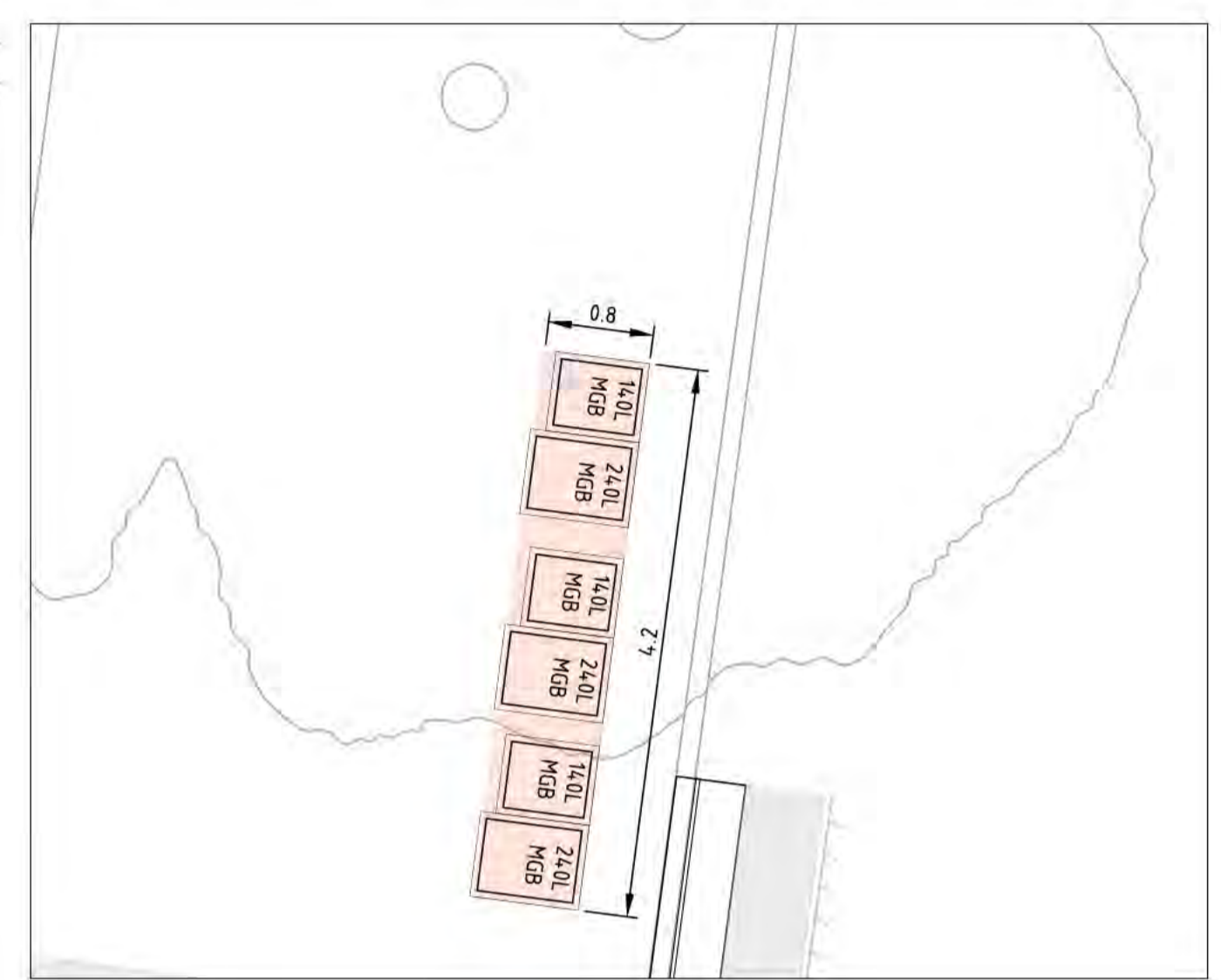
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Height Datum	AHD	Drafting Check	DA
		Design Check	BC
		Approved Date	20.10.17
		Approved Signature	

Project Name and Location						
TOWNHOUSE DEVELOPMENT						
BLOCK 4, SECTION 46, TURNER						
Drawing Title						
VEHICLE TURNING PATH						
PLAN SHEET 2						
Project Number	Type	Discipline	Sub-Discipline	Drg No.	Rev	
170904	DRG	CIV	TP	2102	A	



WASTE REQUIREMENTS					
RESIDENTIAL					
NO. OF UNITS	WASTE/UNIT /WEEK (LITRES)	TOTAL WASTE (m ³)	BIN SIZE	NO. OF COLLECTIONS /WEEK	WEEKLY CAPACITY (m ³)
3	0.140	0.42	3 x 0.140m ³	1	0.42

RECYCLING REQUIREMENTS					
RESIDENTIAL					
NO. OF UNITS	RECYCLING/UNIT /WEEK (LITRES)	TOTAL RECYCLING (m ³)	BIN SIZE	NO. OF COLLECTIONS /WEEK	WEEKLY CAPACITY (m ³)
3	0.120	0.36	3 x 0.240m ³	0.5	0.36



DETAIL A
SCALE 1:50

File Name: P:\2017\170904_B4-S46-Turner\04_CAD\4_2_Drawings\CIV\170904-drg-civ-wm-2201.dwg

Rev	Description	Date	Approved
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D	REVISED FOR DEVELOPMENT APPROVAL	08.03.18	BC
C	FOR DEVELOPMENT APPROVAL	09.02.18	BC
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		Approved Signature	

Project Name and Location					
TOWNHOUSE DEVELOPMENT					
BLOCK 4, SECTION 46, TURNER					
Drawing Title					
WASTE MANAGEMENT PLAN					
Project Number	Type	Discipline	Sub-Discipline	Drg No.	Rev
170904	DRG	CIV	WM	2201	F

INITIAL ADMINISTRATION CHECKLIST – S144

(All failure reasons to go onto the lodgement checklist)

Unit(s): Block(s): Section: Suburb:

ORIGINAL DA Number: 201833361

1. eDevelopment

- Click on the Development Application – Application Menu.
- Click on 'My Work List' and click on the S144 Amendment which should have the status of 'Waiting for Completeness Check', or search for the DA and allocate the S144 application to yourself for processing.
- Add the amendment details to the "2015-2017-Amendments Lodged" Spreadsheet.
- The amendment will be automatically created in objective (i.e.S144x subfolder), and DARTS.

2. Intellex

- Create and save the S144 Initial Administration Checklist
- Create and save and complete the 'S144 Lodgement Checklist' into the 'S144' subfolder
(save as: **LODGEMENTCHECKLIST-201XXXXX-S144X-01**)

3. Documentation - Task

a) Can all uploaded documents be opened and are correctly showing in objective?	Yes
b) Has the applicant listed all amendments on the DA Form and clearly identified amendments on plans? (Identified each amendment, labelled them, and area on plan clouded where change to occur.)	Yes
c) Are the plans correctly named and been orientated correctly?	Yes
d) Has a Public Register Floor Plan been submitted (only for residential)? <i>Note: Any plans with internal layout MUST have a corresponding plan submitted without the layout</i>	Yes

4. Application Form and Lessee Requirements - Tarquin

a) Check lessee details are correct – Check that the applicant/lessee have not changed from the original DA lodgement form	Yes
b) Correct letter of Authorisation (Form 4) from the Applicant/Lessee been provided.	Yes

INITIAL ADMINISTRATION CHECKLIST – S144
(All failure reasons to go onto the lodgement checklist)

5. ACTMAPi

c) Check that the street address matches the block and section on the form.	Select
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6. General Information

Exclusion from Public Register (Has the Applicant previously applied for exemption of part of the Development Application under sections S411/S412)	No – Allocate to the original Assessing Officer		
Is/was this a “Mr Fluffy” Asbestos affected block Has the Asbestos affected block Lease been de-registered. DO NOT refer to the Taskforce if de-registered	No Select		
Processed by:	KAREN	DATE:	31/8/18

- Save the ‘Initial Checklist’ into the S144 subfolder
(save as: **INITIALCHECKLIST-201XXXXX-S144X-01**)
- Move all the S144 Plans and Supporting documents into the Plans and Supporting documents folders
- Send the S144 Lodgement received email with a reference for the ‘Application Lodged’ folder, to the Assessment Officer and save the email into the ‘Assessment’ folder.
(save as: ‘**YYYYMMDD-S144 LODGEMENT FOR DA201XXXXX-S141X-B/S/SUBURB-01**’)
- Update the 2015-2017-Amendments Lodged Spreadsheet with task completed.



ACT
Government

Environment, Planning and
Sustainable Development

CHECKLIST

S144 Amendment Submission

DA: 201833361

UNIT:

BLOCK/S: 4

SECTION/S: 46

SUBURB: TURNER

~~~~~  
**CUSTOMER SERVICES TO COMPLETE PARTS A & B**

**Part A: Further information requests**

**INITIAL CHECK BY CUSTOMER SERVICES**

**Pass**

**Fail**

**OFFICER KAREN**

**DATE 31/8/18**

**Initial Check Failure Reasons**

Resubmission

Accepted? List each failure reason separately

1.

2.

**Comments**

**Exemption S411/412:**

Has the Applicant previously requested exemption for part of the original DA? **NO**

Is this a “**Mr Fluffy**” Asbestos affected block **NO**

Is this a “**Mr Fluffy**” private sale **NO**

Has the Asbestos affected block’s Lease been surrendered **Make Selection**

Has the Asbestos affected block been deregistered. **Make Selection**

**Part B(i): Public Notification Requirements**

Does this amendment require public notification?

Major - S155

IF MAJOR NOTIFICATION: Number of **additional small** signs required is

0

Number of **additional large** signs required is

0

**Part B(ii): Public Notification Wording**

Customer Services to complete - Insert wording for public notification:

Notification wording:

AMENDMENT TO DA201833361 - PROPOSAL FOR MULTI UNIT DEVELOPMENT.

Amendment to development application for proposal for multi unit development which is still

under consideration - the amendment is for removal of one unit, re-alignment of driveway, amendments to windows, reduction in envelope encroachment and deletion of visitor parking

Public Notification wording checked by DA officer   
Public Notification wording checked by DA Leasing officer

**Part C: Leasing Check (Not Required)**

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CASE OFFICER TO COMPLETE FROM THIS POINT FORWARD

Part D: DA Case Officer further information requests

Case Officer: Hayden Pini **DATE:** 10/09/2018

INITIAL CHECK BY DEVELOPMENT ASSESSMENT **Pass** **Fail**

Case Officer Failure reasons

Resubmission

Accepted? List each failure reason separately

1.

2.

Comments

Please include Customer Services and DA Leasing failure reasons to edevelopment if applicable.

Referral to DA Leasing required

Part E: General and requirements under Section 144 of the Act

Are the amendments applied for substantially the same as the development applied for originally? **Yes**

Is this consistent with what was stated by the applicant on the s144 application form? **Yes**

Comment:

Will the assessment track for the application change if the application is amended? **No**

Is this consistent with what was stated by the applicant on the s144 application form? **Yes**

Comment:

Public notification wording checked and amended (if required) by DA officer **YES**

If public notification is not required select no under part B(i)

Part F: Entity Referrals

Refer to Work Instruction – Entity Referrals for guidance.

If no entity referrals are required check box

Indicate referral requirements by checking appropriate box/es:

Entity	Provide Reason for Referral
<input type="checkbox"/> Refer to all entities as per original application	
<input checked="" type="checkbox"/> Asset Acceptance (TaMS)	
<input checked="" type="checkbox"/> ICON WATER/ACTEW Corporation	
<input type="checkbox"/> Australian Valuation Office (AVO)	
<input type="checkbox"/> Conservator of Flora and Fauna	
<input type="checkbox"/> City Renewal Authority cityrenewal@act.gov.au	
<input type="checkbox"/> Custodian of the Land	
<input type="checkbox"/> Environment Protection Agency	
<input type="checkbox"/> Heritage	
<input type="checkbox"/> ESDD Transport Planning	
<input type="checkbox"/> Tree Protection	
<input type="checkbox"/> Water Policy EPD <input type="checkbox"/> WSUD Code Requirements water.policy@act.gov.au	
<input type="checkbox"/> Worksafe Worksafe asbestos@act.gov.au Cc: Matthew.Colman@act.gov.au	<input type="checkbox"/> Private demolition of loose fill affected residence
Asbestos Response Task force Coordinator General artmaintenance@act.gov.au CC: sarah.radford@act.gov.au	<input type="checkbox"/> Asbestos affected "Mr Fluffy" block (Do not refer if the block has been deregistered) Notes for referral:
<input type="checkbox"/> Other (please specify)	

Part G: Development Fees

Does the s144 amendment entail a fee? **Yes**

A fee is not required when requested by the ACT Planning and Land Authority or the ACT Civil and Administrative Tribunal (A letter from the Authority or the ACAT requesting the information must be shown when lodging the amendment).

Type of Amendment -

Number of Amendments (or number of blocks affected by the amendment for EDP's)

COMPLETENESS CHECK FEE =

DEVELOPMENT FEE PAYABLE =

NOTIFICATION FEE PAYABLE =

LEASE VARIATION FEE PAYABLE =

Note: development proposals on individual residential units within a unit complex will be charged the single residential amendment fee.

Part H: Resubmissions (if application to be failed)

- Resubmission to be checked by Customer Services
- Resubmission to be checked by DA Leasing
- Resubmission to be checked by DA Case Officer

Number of Completeness Check failures: