
From: Dunn, Jennifer
Sent: Tuesday, 3 March 2020 9:48 AM
To: EPD, Customer Services
Subject: Heritage Advice Block 2 Section 41 Forrest
Attachments: 20200302 - Advice - B2 S 41 Forrest - Addition and Alterations - ACTPLA.pdf;
20200303 - Stamped plans.pdf

UNCLASSIFIED

Good morning,

Please find attached for your records, advice from the ACT Heritage Council regarding proposed works to the existing dwelling at Block 2 Section 41 Forrest. This advice has been provided on the basis that the proposed works are unlikely to diminish the heritage significance of the place and in accordance with Section 1.14 of the *Planning and Development Regulation 2008*, in response to exempt development criteria.

Jennifer Dunn

Conservation Officer | Approvals and Advice

Phone 02 6207 9392

ACT Heritage | Environment, Planning and Sustainable Development Directorate | ACT Government

Dame Pattie Menzies House, Challis Street Dickson

GPO Box 158 Canberra ACT 2601 www.environment.act.gov.au





ACT Heritage Council

File ref: Forrest B2 S41
Contact Officer: JD
Phone: 13 22 81
Date Received: 12 February 2020

Dear [REDACTED]

Heritage Advice – Block 2, Section 41, Forrest

Please find attached a copy of ACT Heritage Council (Council) advice to the ACT planning and land authority, regarding proposed works at Block 2, Section 41, Forrest.

The Council notes that Section 1.14 of the *Planning and Development Regulation 2008* provides the following criteria for exempt development in relation to heritage places:

- 1) A development must not contravene the *Heritage Act 2004*, the *Tree Protection Act 2005*, the *Environment Protection Act 1997* or other applicable laws;
- 2) A development (other than a class 10 building or structure) must not be located at a place or on an object included in the heritage register or under a heritage agreement; or cause any part of a building or structure (other than a class 10 building or structure) to be located at a place or on an object included in the heritage register or under a heritage agreement;
- 3) Subsection (2) does not apply if the Council gives the planning and land authority written advice that, in the Council's opinion, the development:
 - a. will not diminish the heritage significance of the place or object; or
 - b. is in accordance with heritage guidelines, or a conservation management plan approved by the Council under Section 61K the *Heritage Act 2004*; or
 - c. is an activity described in a statement of heritage effect approved by the Council under Section 61H of the *Heritage Act 2004*.

The attached Council advice concludes that proposed works will not diminish the heritage significance of the place. However, the Council cannot determine whether any other approval is required for the works, and it is recommended that you also seek advice on whether all exemption criteria have been met.

Yours sincerely

[REDACTED]
Meaghan Russell
**Manager (Approvals and Advice) (as delegate for),
ACT Heritage Council**

2 March 2020

VERGE PROTECTION

INSTALL 1.8m HIGH CONTINUOUS CHAIN MESH FENCE SUPPORTED BY 2.4m TALL STAR STEEL POSTS AROUND VERGE AND EXISTING VEGETATION TO BE RETAINED WITHIN THE BLOCK AS SHOWN ON THE DRAWINGS.

FENCING TO BE ERECTED ON COMMENCEMENT OF SITE WORK AND REMOVED AT COMPLETION OF CONSTRUCTION AND COMMENCEMENT OF VERGE RESTORATION. THE FENCE IS TO REMAIN CONTINUOUS THROUGHOUT THE PROJECT, EXCEPT WHERE APPROVED SERVICE INSTALLATION OCCURS.

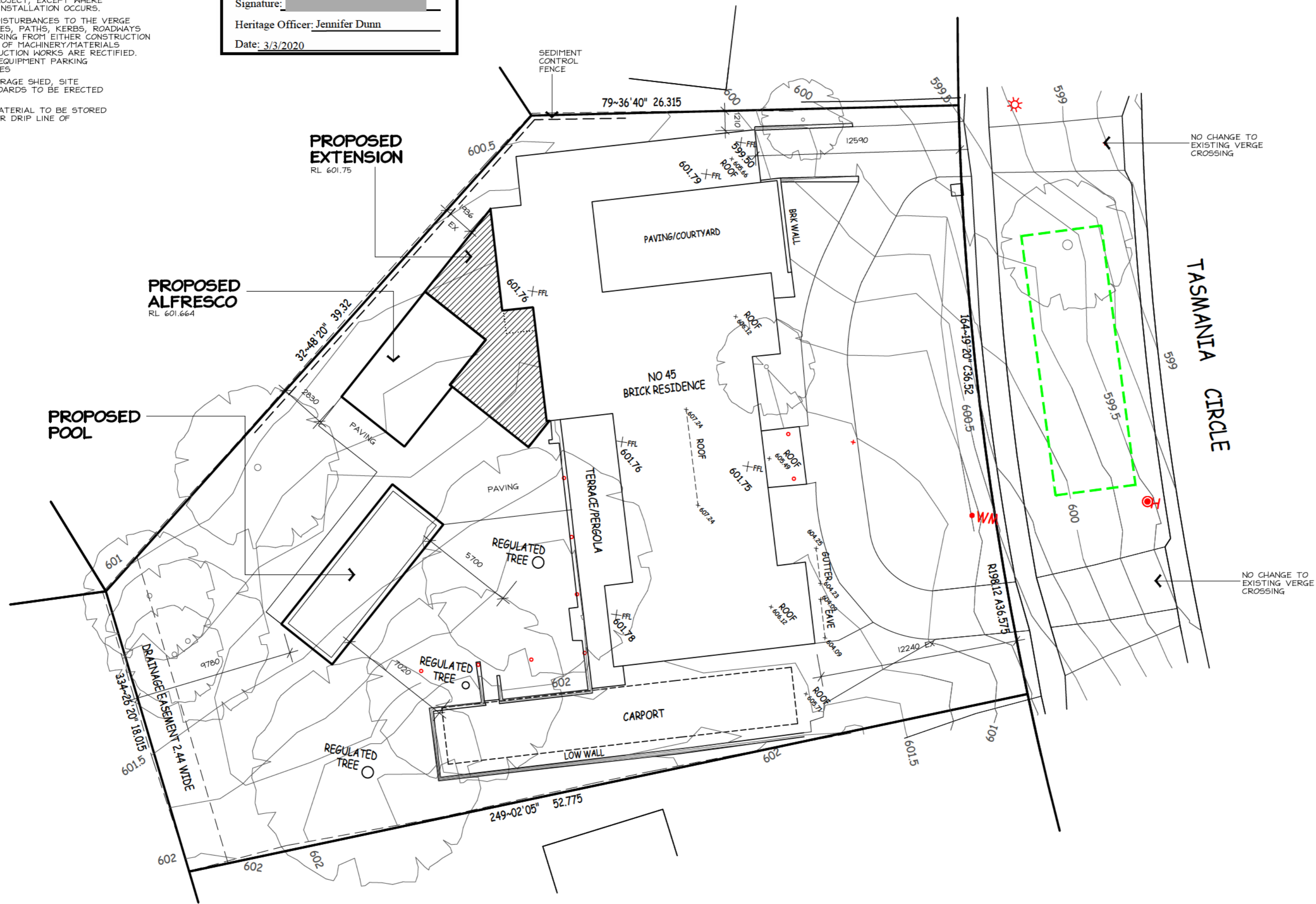
ENSURE THAT ANY DISTURBANCES TO THE VERGE GROUND COVER, TREES, PATHS, KERBS, ROADWAYS OR SERVICES OCCURRING FROM EITHER CONSTRUCTION WORKS OR STORAGE OF MACHINERY/MATERIALS DURING THE CONSTRUCTION WORKS ARE RECTIFIED. NO CARPARKING OR EQUIPMENT PARKING PERMITTED ON VERGES

NO SITE SHEDS, STORAGE SHED, SITE AMENITIES OR BILLBOARDS TO BE ERECTED ON VERGES

NO CONSTRUCTION MATERIAL TO BE STORED ON VERGES OR UNDER DRIP LINE OF RETAINED TREES

Heritage Act 2004
HERITAGE ADVICE PROVIDED

Signature: _____
Heritage Officer: Jennifer Dunn
Date: 3/3/2020



EROSION & SEDIMENT CONTROL PLAN

MAINTAIN AS MANY GRASSED AREAS AS POSSIBLE PARTICULARLY ON THE VERGES TO TRAP SOIL BEFORE IT REACHES THE ROADWAY AND STORMWATER SYSTEM, FENCE OFF UNDISTURBED AREAS

USE ONLY ONE EXIT/ENTRY TO THE SITE. BUILD A STABILISED ACCESS POINT BY USING ROAD BASE, 50mm AGGREGATE, RECYCLED CONCRETE OR SIMILAR

ASSIGN A DESIGNATED PARKING AREA

LIMIT ACCESS TO THE SITE DURING AND IMMEDIATELY AFTER WET WEATHER

KEEP STOCKPILES WITHIN THE SITE AREA AND AWAY FROM THE STORMWATER SYSTEM

INSTALL ON-SITE WASTE COLLECTION

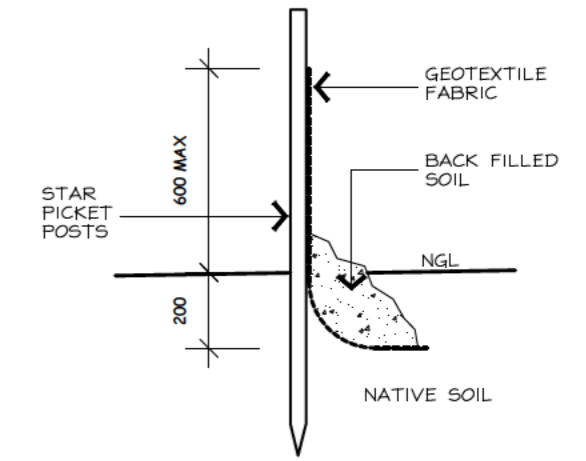
REGULARLY REMOVE ANY SEDIMENT FROM ROADS ADJACENT TO YOUR SITE. DO NOT WASH INTO THE STORMWATER SYSTEM

INSTALL A SEDIMENT CONTROL BARRIER OF GEOTEXTILE FABRIC ON THE LOW SIDE/S OF THE BLOCK (AS NOTED ON THE SITE PLAN AND AS PER DETAIL)

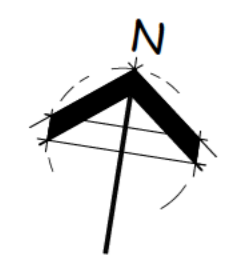
DESIGNATE A BRICK CUTTING AND WASHING AREA AWAY FROM STORMWATER DRAINS. ENSURE THE AREA IS LARGE ENOUGH TO CONTAIN ALL EXCESS WATER, RESIDUES AND WASTE

REGULARLY CHECK AND MAINTAIN POLLUTION CONTROLS THROUGHOUT CONSTRUCTION

ENSURE THAT THE DEVELOPMENT COMPLIES WITH THE ACT ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, MARCH 2010



SEDIMENT CONTROL DETAIL



LMPP & SITE PLAN

BLOCK: 2
SECTION: 41
FORREST




NOTE: UNDERGROUND SERVICES HAVE NOT BEEN LOCATED

AREAS	
BLOCK AREA:	1846m ²
GROUND FLOOR:	346m ²
GARAGE/STORE:	51m ²
NEW EXTENSION:	49.8m ²
NEW ALFRESCO:	40.2m ²
TOTAL GFA:	487.0m ²
PLOT RATIO:	26.38%

RICHARD ULRICH SCHNEIDER
REGISTERED SURVEYOR
(NSW-SURVEYORS ACT 2002)
(ACT-SURVEYORS ACT 2007)

PROPOSED EXTENSION AND ALTERATIONS TO:
BLOCK: 2
SECTION: 41 FORREST
CLIENT: _____ of
45 Tasmania Circle Forrest

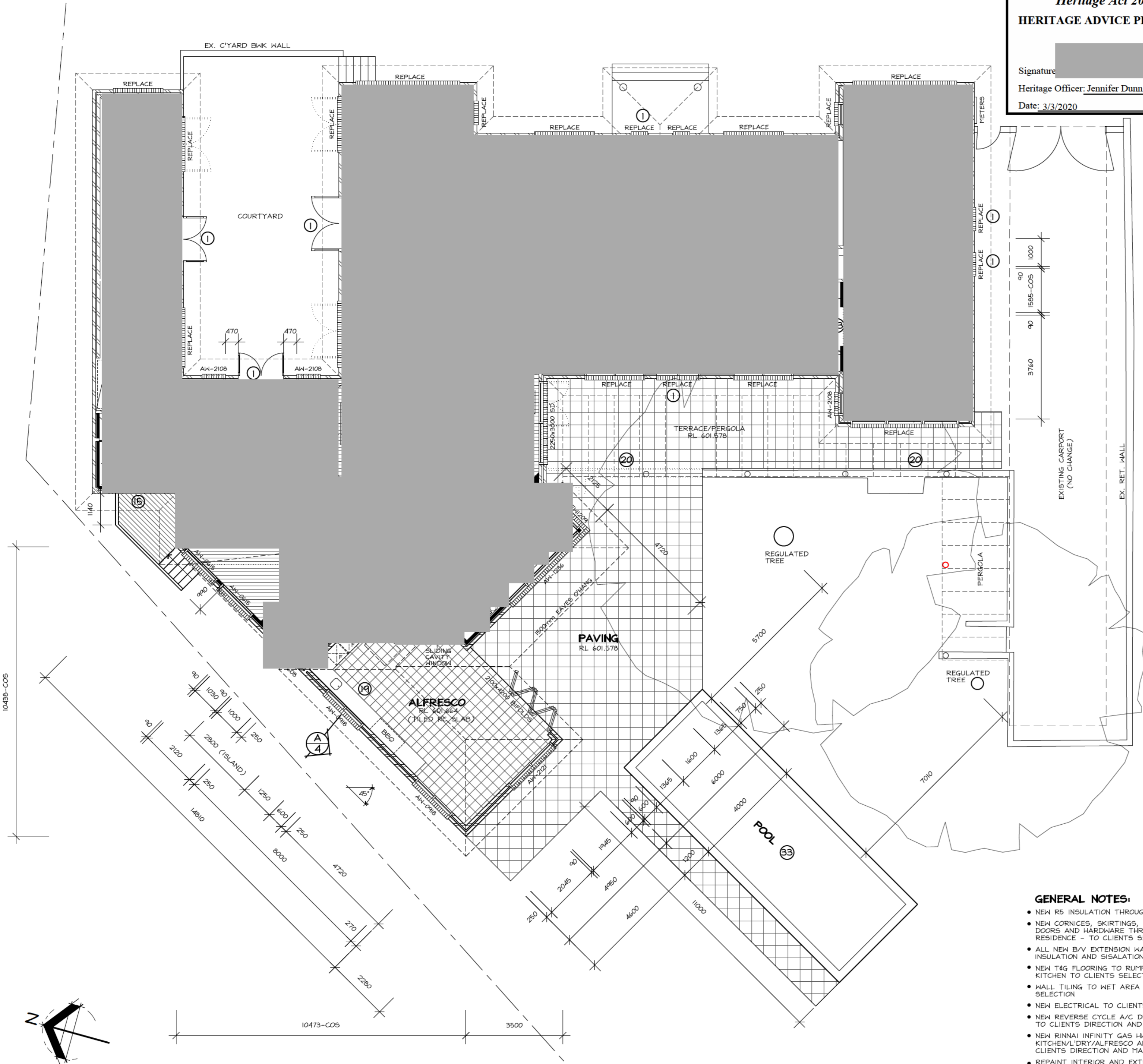

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PO BOX 6121 D'CONNOR ACT 2602
19A FARRER STREET BRADDON
GINA@CARMODYBYDESIGN.COM.AU
PH: 02 6230 1284

DWN: _____
SCALE: 1:200 DATE: 15/1/2020
DWG No.: 1927 SHEET: 1 OF 4

Heritage Act 2004
HERITAGE ADVICE PROVIDED

Signature: _____
 Heritage Officer: Jennifer Dunn
 Date: 3/3/2020

- ALTERATIONS**
- REMOVE EX. TIMBER WINDOW UNITS AND REPLACE WITH DG UPVC AWNING UNITS TO EX. REVEALS - COS. NOTE: PROVIDE COLONIAL BEADING TO UNITS WHERE VISIBLE TO STREET). ALL OTHER UNITS TO BE UNBEADED. OVERALL HEIGHTS OF UNITS TO MATCH NEW SCREEDED/RAISED FFL) MAKE GOOD ALL SURFACES TO MATCH EX. NOTE: ALL DOORS TO HAVE CRIMS SAFE SECURITY SCREENS TO CLIENTS DIRECTION
 - DEMOLISH INTERNAL WALL AND RESUPPORT CUT ROOF OVER TO ENG. SPEC. AND AS1684. MAKE GOOD TO PB CEILING
 - DEMOLISH INFILL BWK OF ORIGINAL KITCHEN COOKING ALCOVE AND INSTALL NEW GAS FIREPLACE AS SELECTED AND FLUE THROUGH COMMON CHIMNEY TO MAN. SPEC. MAKE GOOD ALL SURFACES INCLUDING RENDER.
 - BOOK CASE JOINERY TO OWNERS DIRECTION
 - REMOVE EX. DOOR AND WIDEN OPENING TO SUIT 1500W SLIDING (FOW) DOOR AS SELECTED BY OWNER. MAKE GOOD
 - DEMOLISH EX. KITCHEN AND L'DRY FITOUT AND RESUPPORT ROOF AS REQ'D TO AS1684 AND INSTALL GIRDER TRUSS OVER AND EXTEND AS PER SECTION
 - SCREED EX. PAVED SLAB AND LAY NEW T&G FLOORBOARDS OVER TO CLIENTS SELECTION. INSTALL NEW ARCHITRAVES, SKIRTS AND JAMB SETS. NEW PB CEILING TO KITCHEN/FAMILY ROOM. NEW CORNICES THROUGHOUT.
 - REMOVE EX. THATCHED CEILING AND REMOVE SKYLIGHT. NEW PB CEILING AND CORNICES THROUGHOUT
 - DEMOLISH EX. JOINERY AND CPD AND RELOCATE DOOR TO STUDY AS SHOWN. MAKE GOOD
 - BATTEN OUT EX. BWK AND PROVIDE PB WALL LINING TO RUMPUS ROOM.
 - BRICK UP EX. DOORWAY AND MAKE GOOD
 - DEMOLISH EX. WALLS TO BELOW EX. FFL AND INFILL FLOOR AS SHOWN (STRUCTAFLOR AND CARPET OVER)
 - DEMOLISH TIMBER STAIR AND LANDING FROM BELOW AND INSTALL PLATFORM LIFT TO MAN. SPEC. MAKE GOOD
 - DEMOLISH INTERNAL WALL AND INCREASE WIDTH OF LAUNDRY AS SHOWN. PROVIDE INFILL CAVITY STUDWORK AND WET AREA LINING TO BCA. PROVIDE NEW DRAINAGE AND WPM. FITOUT L'DRY AS DIRECTED BY OWNERS AND MAKE GOOD. RAISE FFL IN TIMBER CONSTRUCTION TO MATCH RUMPUS ROOM FFL.
 - REMOVE EX. DOOR AND DEMOLISH WALL AS REQ'D TO INSTALL NEW SEMI GLAZED DG DOOR AND MAKE GOOD. CONSTRUCT DECK LANDING AS SHOWN
 - REMOVE EX. DOORS AND REPLACE WITH NEW UPVC FIXED DG 'DUMMY DOOR' UNITS TO EX. REVEALS
 - CONSTRUCT NEW LOW PITCH METAL DECK ROOF OVER EXTENDED RUMPUS AND POWDER ROOM TO AVOID BOX GUTTERS AND RE-GRADE EX. GUTTERS AND AMEND SW DRAINAGE TO SUIT
 - NEW KITCHEN DRAINAGE AND FITOUT AS SHOWN AND TO OWNERS DIRECTION. MAKE GOOD
 - NEW DRAINAGE TO OUTDOOR KITCHEN AREA. BBO TO HAVE RANGEHOOD OVER VENTED TO OUTSIDE AIR
 - DEMOLISH EX. STEPS AND PART OF EX. RET. WALL - REPAIR REMAINING EX. LOW BWK RETAINING WALL AND PAVE FROM EX. CARPORT ALONG REAR OF HOUSE AROUND TO NEW POOL AREA AS SHOWN AND TO CLIENTS DIRECTION
 - DEMOLISH EX. BWK WALL AND EXTEND BATHROOM 300mm AND BUILD NEW STUD WALL AND GUT EX. FITOUT NEW FITTINGS AND TILING TO OWNERS DIRECTION. RELOCATE TOILET AND VANITY DRAINAGE AS SHOWN. MAKE GOOD (NOTE: EXISTING CONCRETE FLOOR TO ORIGINAL BATHROOM)
 - BLOCK UP EX. DOORWAY AND MAKE GOOD
 - DEMOLISH EX. DBL BWK WALL AND ROBE AND CREATE NEW WIR/DRESSING ROOM - NEW JOINERY TO CLIENTS DIRECT.
 - DEMOLISH EX. BWK WALL AND EXTEND ENSUITE AS SHOWN. NEW DRAINAGE THROUGHOUT AND WALL TILING TO FCL. NEW CEILINGS AND PROVIDE EXHAUST FAN. PROVIDE 300H x 900W SHAMPOO SHELF TO SHOWER TO CLIENTS DIRECTION
 - GUT EX. GUEST BATHROOM AND MAINTAIN EX. WC AND VANITY LOCATIONS. DEMOLISH EX. CPDS BEHIND AND EXTEND BATHROOMS 1200 AS SHOWN. NEW STUDWORK AND WPM TO BCA. NEW STUD WALL TO HOUSE OSD AS NOTED
 - RELOCATE EX. DOORWAY AND BLOCK UP TO MATCH EX. CONSTRUCT NEW ROBE AS SHOWN. MAKE GOOD
 - DEMOLISH EX. ROBE AND MAKE GOOD
 - PACK UP EXISTING FLOOR WITH NEW 19mm STRUCTAFLOR AND T&G OVER TO CLIENTS DIRECTION.
 - 250mm EXTENSION OF WALL IN BWK. REDO 'SET' PLASTER
 - REMOVE EX. DOOR AND DEMOLISH EXTERNAL WALL AS REQ'D TO INSTALL NEW 2400W UPVC SDU. MAKE GOOD NOTE: PROVIDE CRIMS SAFE SEC. SCREEN TO CLIENTS DIR.
 - DEMOLISH EXTERNAL WALL TO INSTALL NEW UPVC DG AWNING WINDOWS (x3) AS SHOWN. MAKE GOOD
 - REMOVE EX. DOORS AND DEMOLISH EXTERNAL WALL TO INSTALL NEW DG UPVC SLIDING DOOR (WITH SEC. SCREEN) AS NOTED AND TO CLIENTS DIR. MAKE GOOD
 - NEW POOL TO CLIENTS DIRECTION AND MAN. SPEC.



- GENERAL NOTES:**
- NEW R5 INSULATION THROUGHOUT ENTIRE RESIDENCE
 - NEW CORNICES, SKIRTINGS, JAMB SETS, INTERNAL DOORS AND HARDWARE THROUGHOUT ENTIRE RESIDENCE - TO CLIENTS SELECTION
 - ALL NEW B/V EXTENSION WALLS TO HAVE R2.5 INSULATION AND SISALATION
 - NEW T&G FLOORING TO RUMPUS, FAMILY, MEALS AND KITCHEN TO CLIENTS SELECTION
 - WALL TILING TO WET AREA TO FCL TO CLIENTS SELECTION
 - NEW ELECTRICAL TO CLIENTS DIRECTION
 - NEW REVERSE CYCLE A/C DUCTED THROUGH CEILING TO CLIENTS DIRECTION AND MAN. SPEC.
 - NEW RINNAI INFINITY GAS HWS TO SERVICE KITCHEN/L'DRY/ALFRESCO AND POWDER ROOM TO CLIENTS DIRECTION AND MAN. SPEC.
 - REPAINT INTERIOR AND EXTERIOR TO CLIENTS DIRECTION
 - ALL WINDOW AND DOOR UNITS TO BE CONFIRMED ON SITE BEFORE ORDERING

PROPOSED EXTENSION AND ALTERATIONS TO:
BLOCK: 2
SECTION: 41 FORREST
CLIENT: _____ **of**
 45 Tasmania Circle Forrest

CARMODY by DESIGN

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 19A FARRER STREET BRADDON
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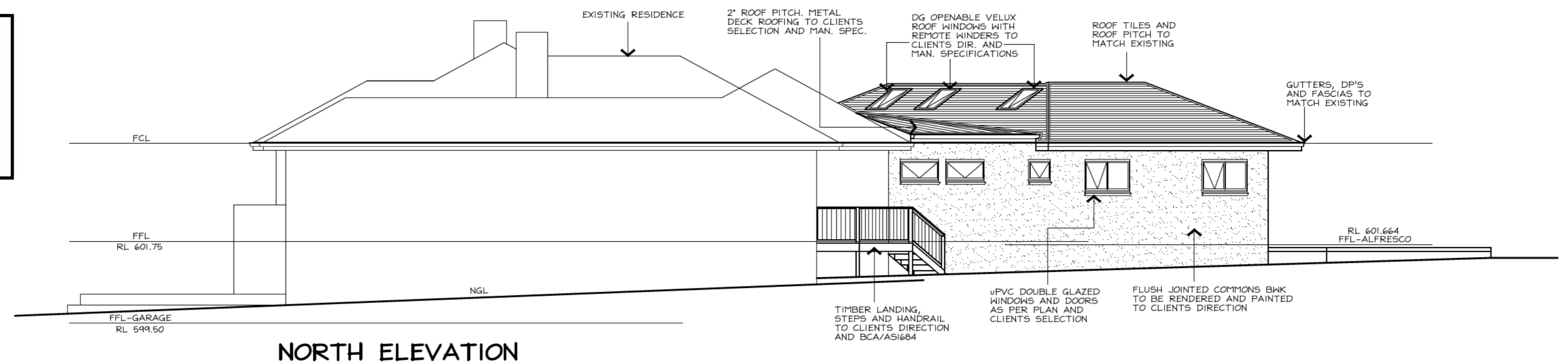
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 SCALE: 1:100 DATE: 15/1/2020
 DWG No.: **1927** SHEET: 2 OF 4

FLOOR PLAN

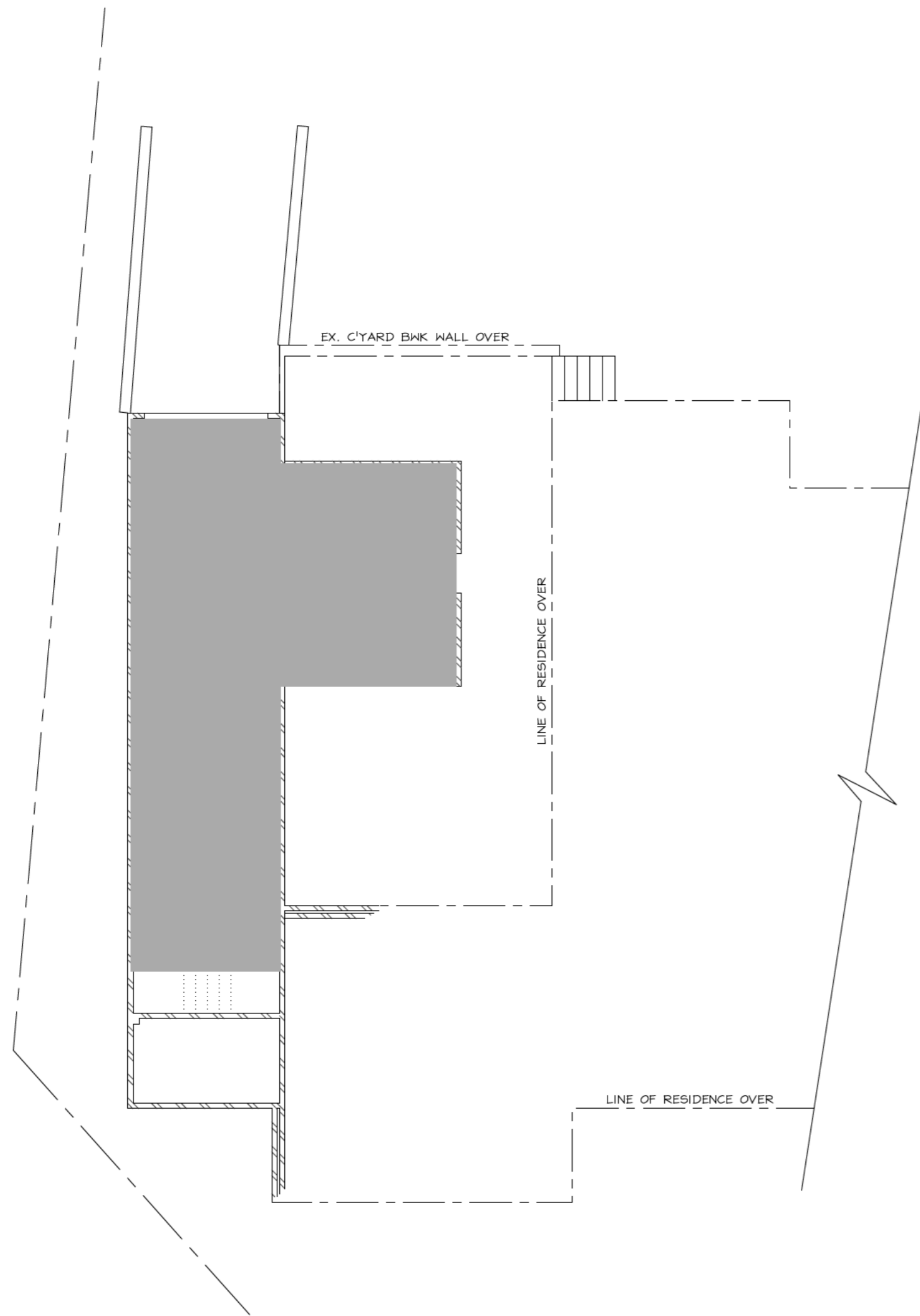


Heritage Act 2004
HERITAGE ADVICE PROVIDED

Signature: _____
 Heritage Officer: Jennifer Dunn
 Date: 3/3/2020



NORTH ELEVATION



BASEMENT FLOOR PLAN

GENERAL NOTES: (WHERE APPLICABLE)

ALL LEVELS, SITE CUTS, GROUND LEVELS, FFL'S TO BE CONFIRMED ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORKS (INCLUDING DRIVEWAY LEVELS)

ANY DISCREPANCIES TO BE DIRECTED TO BUILDER AND/OR DESIGNER IMMEDIATELY

CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT SAA CODES OF PRACTICE IN THE BEST TRADESMAN-LIKE MANNER TO THE APPROVAL OF THE BUILDING CERTIFIER AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT RESTRICTED TO:

- A) ACT GOVERNMENT
- B) NATIONAL CONSTRUCTION CODE
- C) ACT ELECTRICITY AND WATER
- D) AS1684 TIMBER FRAMING CODE AND AS FURTHER SPECIFIED.

ALL DIMENSIONS MUST BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. USE FIGURED DIMENSIONS ONLY AND DO NOT SCALE OFF THE DRAWING

SURVEYOR TO CONFIRM EASEMENT LOCATIONS PRIOR TO COMMENCEMENT OF ANY WORKS

MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH THE NCC, ALL OTHER RELEVANT CODES AND AUSTRALIAN STANDARDS

PROVIDE SMOKE ALARMS IN ACCORDANCE WITH NCC

ALL WINDOWS/GLAZED DOORS TO BE DOUBLE GLAZED UPVC FRAMES (UNLESS NOTED OTHERWISE) AS PER EER

LIGHTING TO COMPLY WITH NCC

ALL TIMBER FRAMING AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST TIMBER FRAMING CODE AS1684 AND NCC

EXTERNAL WALLS TO BE STUDFRAMED/CLAD AS NOTED - WHEN LIGHTWEIGHT CLADDING IS USED IT IS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND SARKED AND INSULATED AS PER THE NCC AND ATTACHED EER.

ALL INSULATION R VALUES AND WINDOW SHGC AND U-VALUES AS PER THE ATTACHED EER.

ALL OPENABLE WINDOWS AND SLIDING DOORS TO HAVE FLYSCREENS TO BE POWDERCOATED ALUMINIUM FRAMES TO MATCH WINDOWS. NOTE: METALLIC FLYSCREENS ARE REQUIRED IN BUSHFIRE PRONE AREAS

REFER TO STRUCTURAL ENGINEER'S ATTACHED DOCUMENTATION FOR ALL STRUCTURAL DETAILS

PROVIDE TERMITE PROTECTION TO CODE AND AS3660-2000 PARTS 1, 2 AND 3

SERVICES/ELECTRICAL/WASTE:

NO INTERNAL DRAINAGE FOR PROPOSED STRUCTURE TO BE LOCATED IN SEWER EASEMENT/PIPE PROTECTION ENVELOPE. ALL WORKS DONE TO ACTEW GUIDELINES/ADVICE

ALL BUILDING WASTE TO BE COLLECTED IN HOPPER LOCATED ON SITE, RESIDENTIAL WASTE TO BE COLLECTED BY ROADSIDE PICKUP AND BINS TO BE LOCATED ON SITE

METER BOX TO BE INSTALLED TO ACTEW AGL SERVICE AND INSTALLATION RULES

WATER HEATER IN HOT WATER SUPPLY SYSTEM TO COMPLY WITH 3.12.5.6 OF THE BCA

STORMWATER AND SEWER AND WATER TIES TO BE LOCATED ON HYDRAULIC/DRAINAGE PLANS

TELSTRA AND GAS TIES TO BE PROVIDED BY GAS FITTER AND ELECTRICIAN


DOWNPIPES TO ROOF PLUMBERS SPECIFICATIONS

ENSURE THAT THE DEVELOPMENT COMPLIES WITH TCCS STATING THAT WASTE FACILITIES AND MANAGEMENT ASSOCIATED WITH THE DEVELOPMENT ARE IN ACCORDANCE WITH THE DEVELOPMENT CONTROL CODE FOR BEST PRACTICE WASTE MANAGEMENT IN THE ACT 1999

WATERPROOFING:

WATER PROOFING OF WET AREAS AS PER BUT NOT LIMITED TO AS 3740 WATERPROOFING NOT LESS THAN 150mm ABOVE FFL TO PENETRATIONS IN SHOWERS, WALL AND FLOOR JUNCTIONS IN SHOWERS NOT LESS THAN 180mm ABOVE FFL IN THE SHOWER AREA. WATERPROOFING NOT LESS THAN 25mm ABOVE MAXIMUM RETAINED WATER LEVEL. SHOWER FLOOR TO FULLY AS PER AS3740.

'DAVCO' WATER PROOFING SYSTEM TO MANUFACTURER'S SPECIFICATIONS AND AS3740

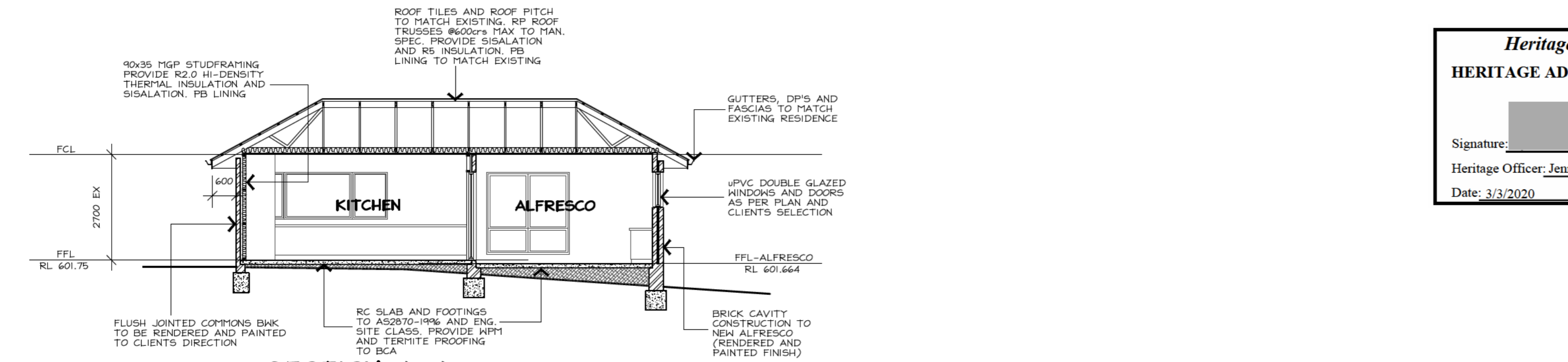


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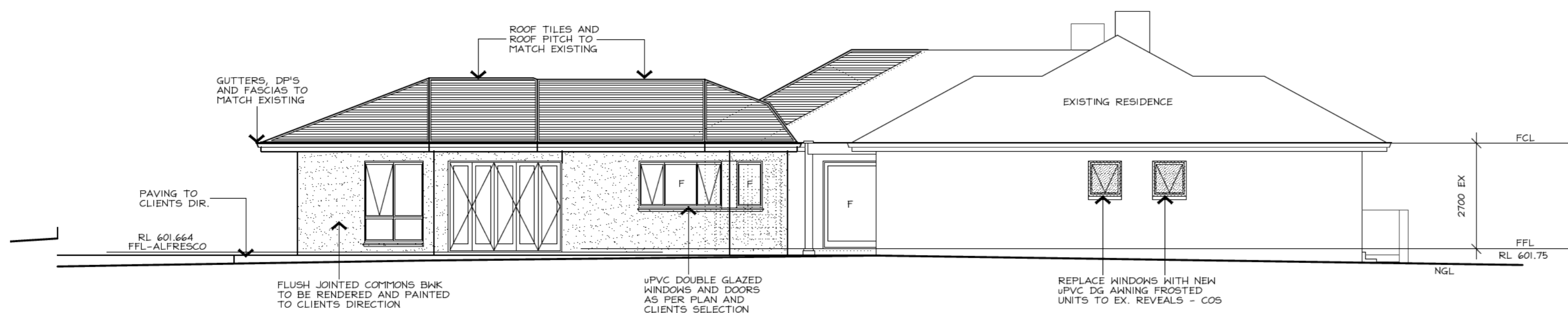
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PROPOSED EXTENSION AND ALTERATIONS TO:
BLOCK: 2
SECTION: 41 FORREST
CLIENT

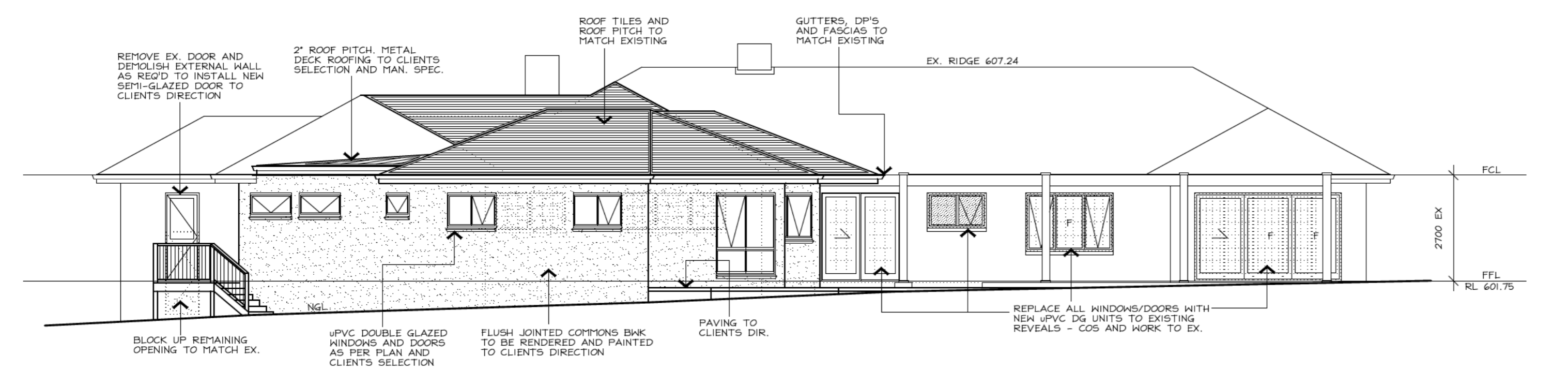
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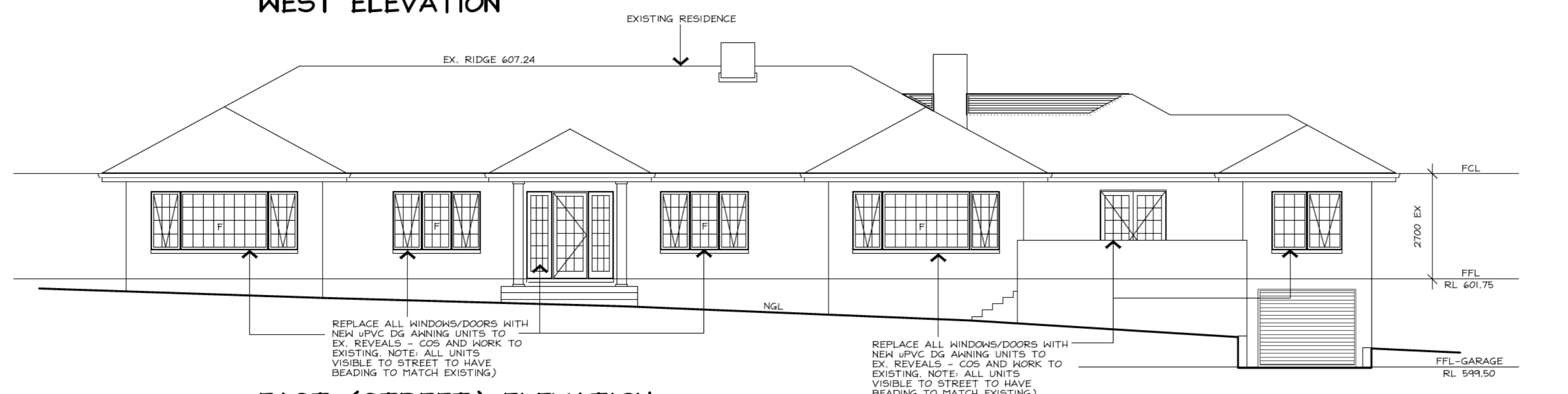
SECTION A-A



SOUTH ELEVATION



WEST ELEVATION



EAST (STREET) ELEVATION

Heritage Act 2004
HERITAGE ADVICE PROVIDED

Signature: _____

Heritage Officer: Jennifer Dunn

Date: 3/3/2020

SECTION NOTES:

ALL STRUCTURAL AND NON-STRUCTURAL TIMBER TO BE IN ACCORDANCE WITH THE TIMBER FRAMING CODE AS1684

ALL STRUCTURAL STEEL COLUMNS, POST, BEAMS ALL TO BE CERTIFIED AND DESIGNED BY STRUCTURAL ENGINEER.

RC SLAB AND FOOTINGS TO COMPLY WITH ENGINEER'S DETAILS AND AS2870.1

PROVIDE CONTINUOUS DAMP-PROOF MEMBRANE UNDER SLAB TO NCC

PROVIDE TERMITE PROTECTION UNDER SLAB TO MAN. SPEC. AND NCC

PROVIDE 90x35 MGP OR 90x45 MGP STUDS AS REQUIRED TO AS1684 AND/OR TO MAN. SPECIFICATIONS.

BRACING AS PER NCC AND ENGINEER'S SPECIFICATIONS

PLASTERBOARD AND FC LININGS TO INTERNAL WALLS AND CEILINGS AS REQUIRED

PRE-FABRICATED ROOF TRUSSES AS PER MAN. SPEC.

LINTELS AS PER TRUSS MANUFACTURERS CHARTS AND ENGINEER'S SPECIFICATIONS

ALL INSULATION AS PER ATTACHED EER

ALL EXTERNAL SWING DOORS AND INTERNAL ACCESS DOORS TO BE FULLY SEALED

WINDOW SPECIFICATIONS AS PER ATTACHED EER

STANDARD METRIC BRICK 230x110x76mm WITH FLUSH IRONED JOINTS & STRETCHER BOND. BRICKS TIES AND ANCHORAGE TO AS4773. MORTAR MIX: M3 MORTAR MIX OF 1-CEMENT, 1-LIME, 6-SAND

ALL LOAD BEARING WALLS AND CONTROL JOINTS SPECIFIED TO ENGINEER'S DETAILS

FLASHING, WEEP HOLES AND DAMP PROOF COURSE TO COMPLY WITH NCC AND AS4773

ROOF AND EXTERNAL WALL MATERIALS AS NOTED ON ELEVATIONS/SECTION.

ALL EAVES AND GUTTERS TO BE COLORBOND QUAD GUTTERING, INSTALLED TO MANUFACTURER'S SPECIFICATIONS.

ALL ROOFING AND BATTEN SPACINGS TO BE INSTALLED TO MAN. SPECIFICATIONS AND NCC

PROVIDE PAINTED FC SHEET LININGS TO ALL EAVES

EAVES OVERHANG AS DIMENSIONED ON ELEVATIONS AND SECTION DIAGRAM

MECHANICAL VENTILATION DUCTED TO EXTERIOR TO COMPLY WITH NCC

SHOWER SCREENS AND WET AREA GLAZING TOUGHENED GLASS AS PER NCC


PROPOSED EXTENSION AND ALTERATIONS TO:

BLOCK: 2

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DWN: _____

SCALE: 1:100 DATE: 15/1/2020

DWG No.: 1927 SHEET: 4 OF 4

Exempt Declaration Form 1N - Submission confirmation

Your submission has been successful. Please keep a copy of this receipt for your records.

Date and time

03 Jun 2020 11:34:32 AM

Reference code

Environment, Planning and Sustainable
Development Directorate

GPO Box 158
Canberra City ACT 2601

Telephone: (02) 6207 1923

Lease/site details

Suburb/District *

FORREST

Section *

41

Block *

2

If you require help with suburb/district, section or block details, visit [ACTMAPI](#).

Address line 1 *

45 TASMANIA CIRCLE

Address line 2

Suburb *

FORREST

State

ACT

Postcode *

2603

Applicant/certifier details

Is the applicant a *

Company

Individual

Contact details

Title Given name * Family name *

Please enter at least one phone number: *

Home phone number

Work phone number

Mobile number

Email address *

Decision and Plans - Your decision and plans will be returned via email. Please ensure your email address provided is correct.

Lessee (Property owners) details

All lessees must be included in this form and **must** sign the Letter of Authority authorising the lodgement of this application. In doing so the lessee gives authority to the applicant to negotiate any dealings in relation to the application through to its determination.

Item Number 1

Same as applicant

Lessee

Is this lessee a *

Company

Individual

Contact details

Title

Given name *

Family name *

Please enter at least one phone number: *

Home phone number

Work phone number

Mobile number

Email address *

Please attach a letter of authority signed by all lessee's. *

File: EX DEC LOA-APP-01.pdf

Rule departure/s

This application seeks approval for the following minor departure/s from the Single Residential Housing Development Code.

Item Number 1

Rule number *

Description of departure *

THE PROPOSED EXTENSION HAS A LENGTH OF 14810 MM BREACH OF THE REAR SETBACK VARYING IN DIMENSION FROM 170MM TO 1064 MM IN DEPTH. THE EXTENSION SETBACK IS CONSISTENT WITH THE EXISTING APPROVED SETBACKS AND IS COMPLIANT WITH BUILDING HEIGHTS/ENVELOPES AND HERITAGE ENDORSED. THE EXTENSION PROVIDES REASONABLE SEPARATION BETWEEN DWELLINGS IS CONSISTENT WITH THE EXISTING CHARACTER. CONTROLLED WINDOW HEIGHTS ACCESS WINTER SUN AND MAINTAIN NEIGHBOR'S PRIVACY

Relevant plans and supporting documentation that clearly identify the rule departure/s must be uploaded as a single PDF. *

File: EX DEC PLANS AND ENDORSEMENT-APP-01.pdf

Is the work detailed in this application currently under construction? *

Yes No

Is this application for an existing structure? *

Yes No

Is the application being considered subject to a current Building Approval? *

Yes No

Is the application subject to a completed Building Approval? *

Yes No

Is this application currently subject to compliance action? *

Yes No

Applicant declaration

I, GINA CARMODY

- declare that all the information given on this form and its attachments is true and complete. ***
- declare that the attached plans clearly show the departure (for example, through using colour), and any other relevant information. ***
- I understand an assessment is only conducted once an application is lodged, and incorrect documentation may result in a refusal. ***



ACT
Government

**LETTER OF AUTHORISATION
FOR APPLICANTS TO OBTAIN PERMISSION FROM
LESSEE/S TO LODGE AN APPLICATION WITH THE
ACT GOVERNMENT ON THEIR BEHALF**

LEASE/SITE DETAILS (Please Print)

If more than one lease/site please attach the following details for each additional lease/site on a separate sheet

Block Section Suburb

Unit No. Street Address

LESSEE(S) DECLARATION if more than two lessees please provide details of each additional lessee on a separate sheet

- I/we declare that I am/we are the lessee(s) of the land described above;
- I/we have been made aware of the declaration clauses, and
- I/we declare that all the information given on this form is true and complete

Print Name Signature Date

Print Name Signature Date

Please tick the applicable box below

This authorisation relates to:

- Certificate of Compliance Extension of Time Exempt Declaration Application
- Land Rent Payout Further Crown Lease Other _____

APPLICANT DECLARATION

- I/we declare that all information given on this form and its attachment is true and correct
if signing on behalf of an organisation;
- I/we the undersigned declare I/we have the appropriate delegation or authority to sign on behalf of the organisation

Applicant Name Organisation Name

Signature Date

Privacy Notice

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Contact Information:

Online www.act.gov.au/accessCBB www.planning.act.gov.au	Phone (02) 62071923 TTY (02) 62072622	In Person Building Services Shopfront – Mitchell Environment, Planning and Land Shopfront - Dickson For opening hours and location details please visit www.act.gov.au/accessCBB or call Access Canberra 13 22 81.
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VERGE PROTECTION

INSTALL 1.8m HIGH CONTINUOUS CHAIN MESH FENCE SUPPORTED BY 2.4m TALL STAR STEEL POSTS AROUND VERGE AND EXISTING VEGETATION TO BE RETAINED WITHIN THE BLOCK AS SHOWN ON THE DRAWINGS.

FENCING TO BE ERECTED ON COMMENCEMENT OF SITE WORK AND REMOVED AT COMPLETION OF CONSTRUCTION AND COMMENCEMENT OF VERGE RESTORATION. THE FENCE IS TO REMAIN CONTINUOUS THROUGHOUT THE PROJECT, EXCEPT WHERE APPROVED SERVICE INSTALLATION OCCURS.

ENSURE THAT ANY DISTURBANCES TO THE VERGE GROUND COVER, TREES, PATHS, KERBS, ROADWAYS OR SERVICES OCCURRING FROM EITHER CONSTRUCTION WORKS OR STORAGE OF MACHINERY/MATERIALS DURING THE CONSTRUCTION WORKS ARE RECTIFIED. NO CARPARKING OR EQUIPMENT PARKING PERMITTED ON VERGES

NO SITE SHEDS, STORAGE SHED, SITE AMENITIES OR BILLBOARDS TO BE ERECTED ON VERGES

NO CONSTRUCTION MATERIAL TO BE STORED ON VERGES OR UNDER DRIP LINE OF RETAINED TREES

EROSION & SEDIMENT CONTROL PLAN

MAINTAIN AS MANY GRASSED AREAS AS POSSIBLE PARTICULARLY ON THE VERGES TO TRAP SOIL BEFORE IT REACHES THE ROADWAY AND STORMWATER SYSTEM, FENCE OFF UNDISTURBED AREAS

USE ONLY ONE EXIT/ENTRY TO THE SITE. BUILD A STABILISED ACCESS POINT BY USING ROAD BASE, 50mm AGGREGATE, RECYCLED CONCRETE OR SIMILAR

ASSIGN A DESIGNATED PARKING AREA

LIMIT ACCESS TO THE SITE DURING AND IMMEDIATELY AFTER WET WEATHER

KEEP STOCKPILES WITHIN THE SITE AREA AND AWAY FROM THE STORMWATER SYSTEM

INSTALL ON-SITE WASTE COLLECTION

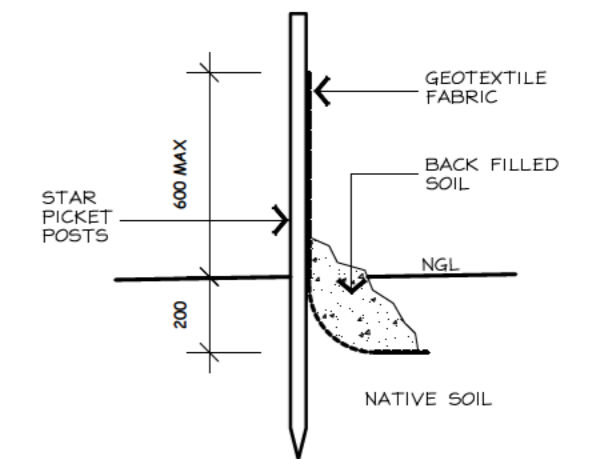
REGULARLY REMOVE ANY SEDIMENT FROM ROADS ADJACENT TO YOUR SITE. DO NOT WASH INTO THE STORMWATER SYSTEM

INSTALL A SEDIMENT CONTROL BARRIER OF GEOTEXTILE FABRIC ON THE LOW SIDE/S OF THE BLOCK (AS NOTED ON THE SITE PLAN AND AS PER DETAIL)

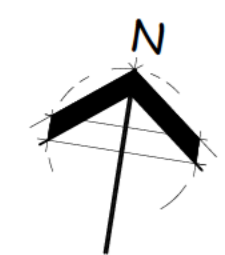
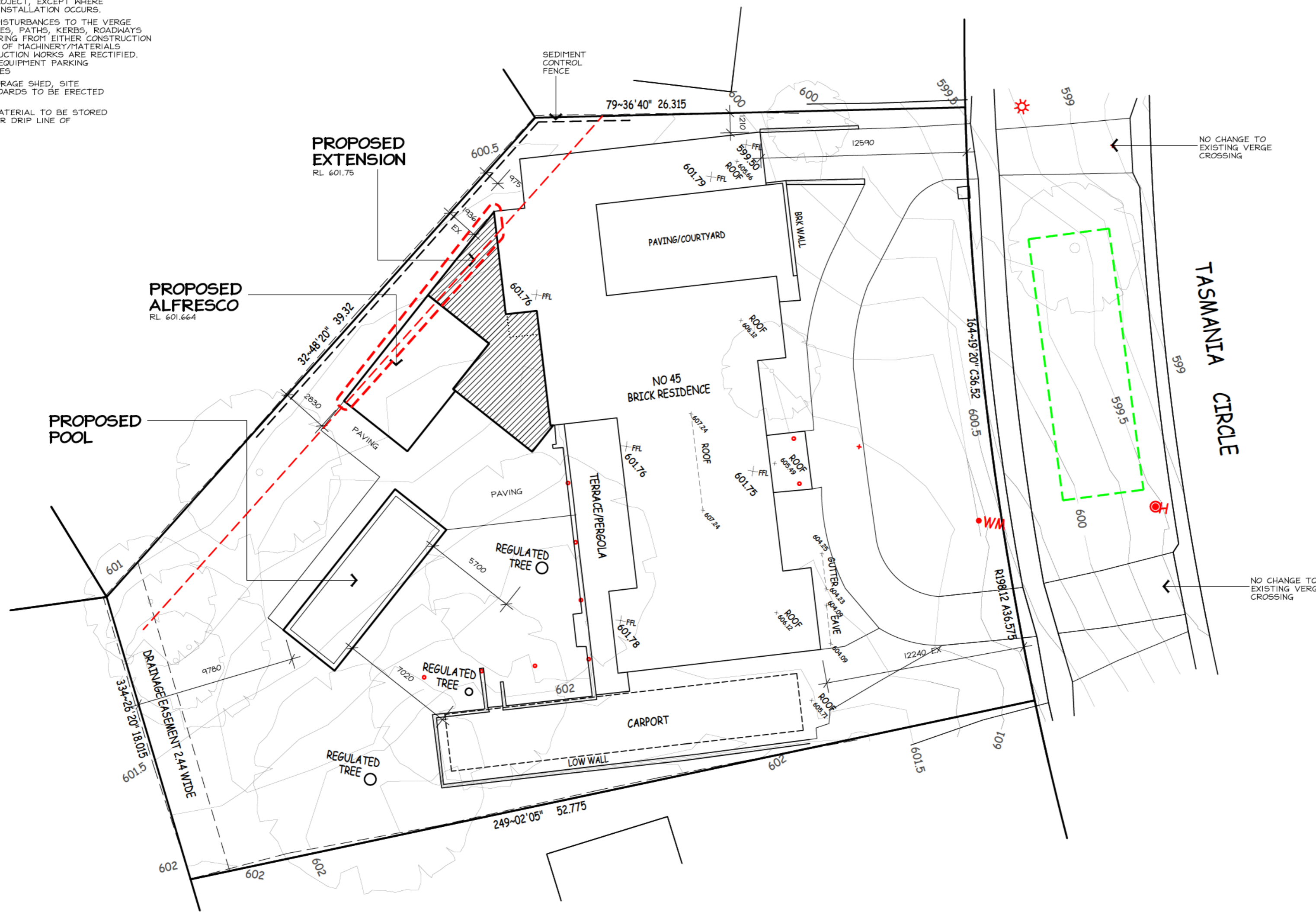
DESIGNATE A BRICK CUTTING AND WASHING AREA AWAY FROM STORMWATER DRAINS. ENSURE THE AREA IS LARGE ENOUGH TO CONTAIN ALL EXCESS WATER, RESIDUES AND WASTE

REGULARLY CHECK AND MAINTAIN POLLUTION CONTROLS THROUGHOUT CONSTRUCTION

ENSURE THAT THE DEVELOPMENT COMPLIES WITH THE ACT ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, MARCH 2010



SEDIMENT CONTROL DETAIL



LMPP & SITE PLAN

BLOCK: 2
SECTION: 41
FORREST



NOTE: UNDERGROUND SERVICES HAVE NOT BEEN LOCATED

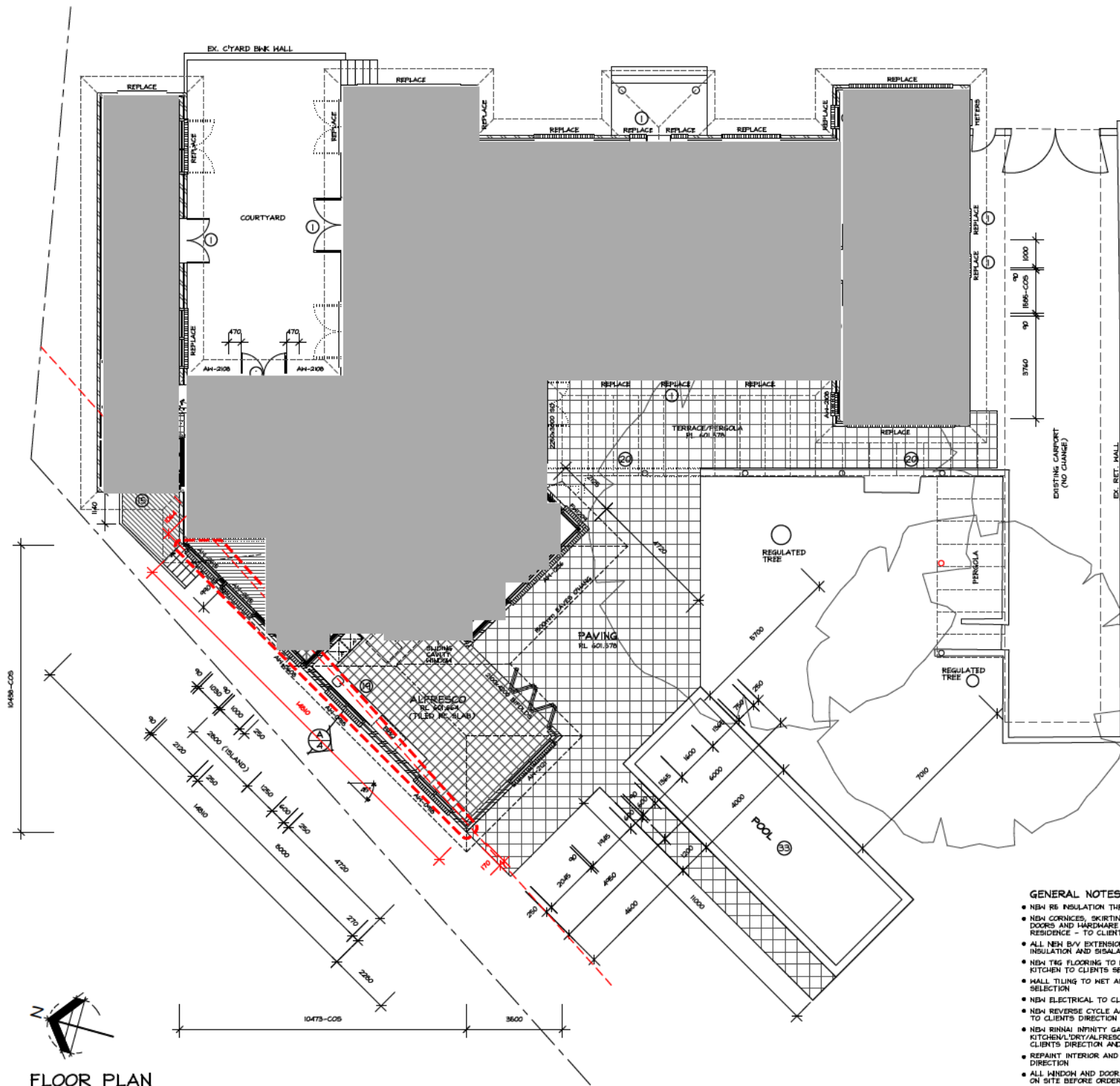
AREAS	
BLOCK AREA:	1846m ²
GROUND FLOOR:	346m ²
GARAGE/STORE:	51m ²
NEW EXTENSION:	49.8m ²
NEW ALFRESCO:	40.2m ²
TOTAL GFA:	487.0m ²
PLOT RATIO:	26.38%
EX. CARPORT:	76m ²

RICHARD ULRICH SCHNEIDER
REGISTERED SURVEYOR
(NSW-SURVEYORS ACT 2002)
(ACT-SURVEYORS ACT 2007)

PROPOSED EXTENSION AND ALTERATIONS TO:
BLOCK: 2
SECTION: 41 FORREST
CLIENT: [REDACTED] of
45 Tasmania Circle Forrest

CARMODY by DESIGN
ABN 58201170896
PO BOX 6121 D'CONNOR ACT 2602
19A FARRER STREET BRADDON
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PH: 02 6230 1284

DWN: [REDACTED]
SCALE: 1:200 DATE: 15/1/2020
DWG No.: 1927 SHEET: 1 OF 4



FLOOR PLAN

ALTERATIONS

- 1 REMOVE EX. TIMBER WINDOW UNITS AND REPLACE WITH DG UPVC FINISH UNITS TO EX. REVEALS - COS. NOTE: PROVIDE COLONIAL BEADING TO UNITS WHERE VISIBLE TO STREET. ALL OTHER UNITS TO BE UNBEADED. OVERALL HEIGHTS OF UNITS TO MATCH NEW SCREED/RAISED FFL. MAKE GOOD ALL SURFACES TO MATCH EX. NETS. ALL DOORS TO HAVE CRIMSAFE SECURITY SCREENS TO CLIENTS DIRECTION
- 2 DEMOLISH INTERNAL HALL AND RESUPPORT CUT ROOF OVER TO ENG. SPEC. AND ASH84. MAKE GOOD TO PB CEILING
- 3 DEMOLISH INFILL BHK OF ORIGINAL KITCHEN COOKING ALCOVE AND INSTALL NEW GAS FIREPLACE AS SELECTED AND FLUE THROUGH COPPER CHIMNEY TO MAN. SPEC. MAKE GOOD ALL SURFACES INCLUDING CEILING
- 4 BOOK CASE JOINERY TO OWNERS DIRECTION
- 5 REMOVE EX. DOOR AND HIDE OPENING TO SUIT 1500mm SLIDING (FOM) DOOR AS SELECTED BY OWNER. MAKE GOOD
- 6 DEMOLISH EX. KITCHEN AND LDRY FITOUT AND RESUPPORT ROOF AS RESPD TO ASH84 AND INSTALL GIRDER TRUSS OVER AND EXTEND AS PER SECTION
- 7 SCREED EX. PAVED SLAB AND LAY NEW T&G FLOORBOARDS OVER TO CLIENTS SELECTION. INSTALL NEW ARCHITRAVES, SKIRTS AND JAMB SETS. NEW PB CEILING TO KITCHEN/FAMILY ROOM. NEW CORNICES THROUGHOUT.
- 8 REMOVE EX. THATCHED CEILING AND REMOVE SKYLIGHT. NEW PB CEILING AND CORNICES THROUGHOUT
- 9 DEMOLISH EX. JOINERY AND CPD AND RELOCATE DOOR TO STUDY AS SHOWN. MAKE GOOD
- 10 BATTEN OUT EX. BHK AND PROVIDE PB HALL LINING TO RUFFUS ROOM.
- 11 BRICK UP EX. DOORWAY AND MAKE GOOD
- 12 DEMOLISH EX. HALLS TO BELOW EX. FFL AND INFILL FLOOR AS SHOWN (STRUCTAFLOR AND CARPET OVER)
- 13 DEMOLISH TIMBER STAIR AND LANDING FROM BELOW AND INSTALL PLATFORM LIFT TO MAN. SPEC. MAKE GOOD
- 14 DEMOLISH INTERNAL HALL AND INCREASE WIDTH OF LAUNDRY AS SHOWN. PROVIDE INFILL CAVITY STUDWORK AND NET AREA LINING TO BCA. PROVIDE NEW DRAINAGE AND HPF. FITOUT LDRY AS DIRECTED BY OWNERS AND MAKE GOOD. RAISE FFL IN TIMBER CONSTRUCTION TO MATCH RUFFUS ROOM FFL.
- 15 REMOVE EX. DOOR AND DEMOLISH WALL AS RESPD TO INSTALL NEW BEH GLAZED DOOR AND MAKE GOOD. CONSTRUCT DECK LANDING AS SHOWN
- 16 REMOVE EX. DOORS AND REPLACE WITH NEW UPVC FIXED DG 'DIRTY' DOOR UNITS TO EX. REVEALS
- 17 CONSTRUCT NEW LOW PITCH METAL DECK ROOF OVER EXTENDED RUFFUS AND PONDER ROOM TO AVOID BOX GUTTERS AND RE-GRADE EX. GUTTERS AND ATTEND SM DRAINAGE TO SUIT
- 18 NEW KITCHEN DRAINAGE AND FITOUT AS SHOWN AND TO OWNERS DIRECTION. MAKE GOOD
- 19 NEW DRAINAGE TO OUTDOOR KITCHEN AREA. BBO TO HAVE RANGEHOOD OVER VENTED TO OUTSIDE AIR
- 20 DEMOLISH EX. STEPS AND PART OF EX. SET. WALL - REPAIR RETAINING EX. LOW BHK RETAINING WALL AND PAVE FROM EX. CARPORT ALONG REAR OF HOUSE AROUND TO NEW POOL AREA AS SHOWN AND TO CLIENTS DIRECTION
- 21 DEMOLISH EX. BHK HALL AND EXTEND BATHROOM 300mm AND BUILD NEW STUD HALL AND GUT EX. FITOUT NEW FITTINGS AND TILING TO OWNERS DIRECTION. RELOCATE TOILET AND VANITY DRAINAGE AS SHOWN. MAKE GOOD (NOTE: EXISTING CONCRETE FLOOR TO ORIGINAL BATHROOM)
- 22 BLOCK UP EX. DOORWAY AND MAKE GOOD
- 23 DEMOLISH EX. DEL BHK HALL AND ROBE AND CREATE NEW WARDROBING ROOM - NEW JOINERY TO CLIENTS DIRECT.
- 24 DEMOLISH EX. BHK HALL AND EXTEND ENSUITE AS SHOWN. NEW DRAINAGE THROUGHOUT AND WALL TILING TO FCL. NEW CEILING AND PROVIDE EXHAUST FAN. PROVIDE 300mm x 900mm SHAPROOF SHELF TO SHOWER TO CLIENTS DIRECTION
- 25 GUT EX. GUEST BATHROOM AND MAINTAIN EX. NC AND VANITY LOCATIONS. DEMOLISH EX. CPDS BB4ND AND EXTEND BATHROOM 200 AS SHOWN. NEW STUDWORK AND HPF TO BCA. NEW STUD HALL TO HOUSE CSO AS NOTED
- 26 RELOCATE EX. DOORWAY AND BLOCK UP TO MATCH EX. CONSTRUCT NEW ROBE AS SHOWN. MAKE GOOD
- 27 DEMOLISH EX. ROBE AND MAKE GOOD
- 28 PACK UP EXISTING FLOOR WITH NEW 19mm STRUCTAFLOR AND T&G OVER TO CLIENTS DIRECTION.
- 29 250mm EXTENSION OF WALL IN BHK. REDO 'SET' PLASTER
- 30 REMOVE EX. DOOR AND DEMOLISH EXTERNAL WALL AS RESPD TO INSTALL NEW 2400mm UPVC EDU. MAKE GOOD NOTE: PROVIDE CRIMSAFE SEC. SCREEN TO CLIENTS DIR.
- 31 DEMOLISH EXTERNAL WALL TO INSTALL NEW UPVC DG FINISH HINDGAS (x3) AS SHOWN. MAKE GOOD
- 32 REMOVE EX. DOORS AND DEMOLISH EXTERNAL WALL TO INSTALL NEW DG UPVC SLIDING DOOR (WITH SEC. SCREEN) AS NOTED AND TO CLIENTS DIR. MAKE GOOD
- 33 NEW POOL TO CLIENTS DIRECTION AND MAN. SPEC.

GENERAL NOTES:

- NEW RE INSULATION THROUGHOUT ENTIRE RESIDENCE
- NEW CORNICES, SKIRTINGS, JAMB SETS, INTERNAL DOORS AND HARDWARE THROUGHOUT ENTIRE RESIDENCE - TO CLIENTS SELECTION
- ALL NEW B.V. EXTENSION HALLS TO HAVE R2.5 INSULATION AND ISOLATION
- NEW T&G FLOORING TO RUFFUS, FAMILY, MEALS AND KITCHEN TO CLIENTS SELECTION
- HALL TILING TO MET AREA TO FCL TO CLIENTS SELECTION
- NEW ELECTRICAL TO CLIENTS DIRECTION
- NEW REVERSE CYCLE A/C DUCTED THROUGH CEILING TO CLIENTS DIRECTION AND MAN. SPEC.
- NEW RINNAI INFINITY GAS HWS TO SERVICE KITCHEN/DRY/ALFRESCO AND PONDER ROOM TO CLIENTS DIRECTION AND MAN. SPEC.
- REPAINT INTERIOR AND EXTERIOR TO CLIENTS DIRECTION
- ALL WINDOW AND DOOR UNITS TO BE CONFIRMED ON SITE BEFORE ORDERING

PROPOSED EXTENSION AND ALTERATIONS TO:

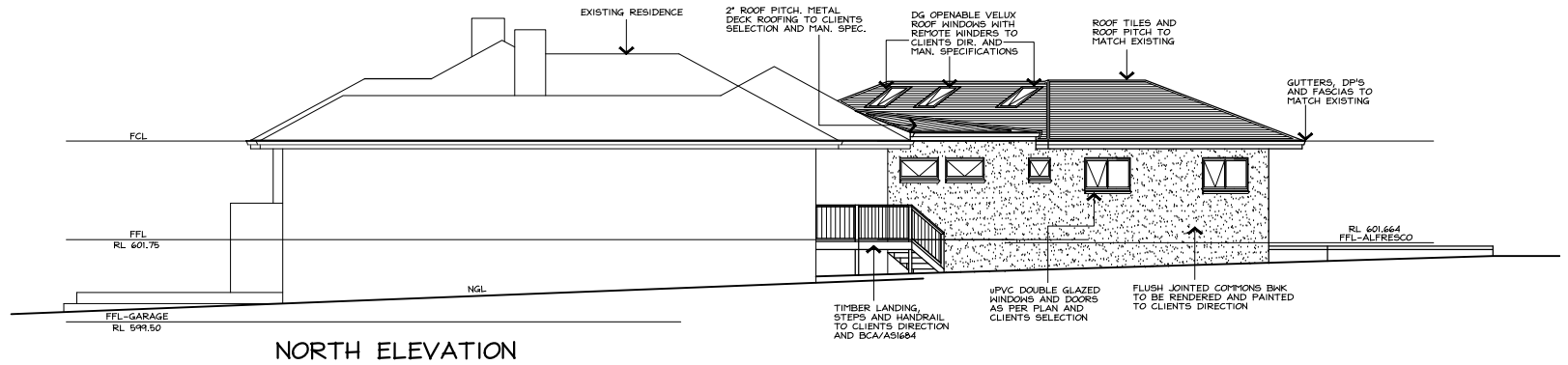
BLOCK: 2
SECTION: 41 FORREST
CLIENT: [REDACTED] of
 45 Tasmania Circle Forrest

CARMODY DESIGN
 ABN 58201170896
 PO BOX 6121 GLENHORN ACT 2603
 15A FARBER STREET BRADSHAW
 0262262000
 02 623631244

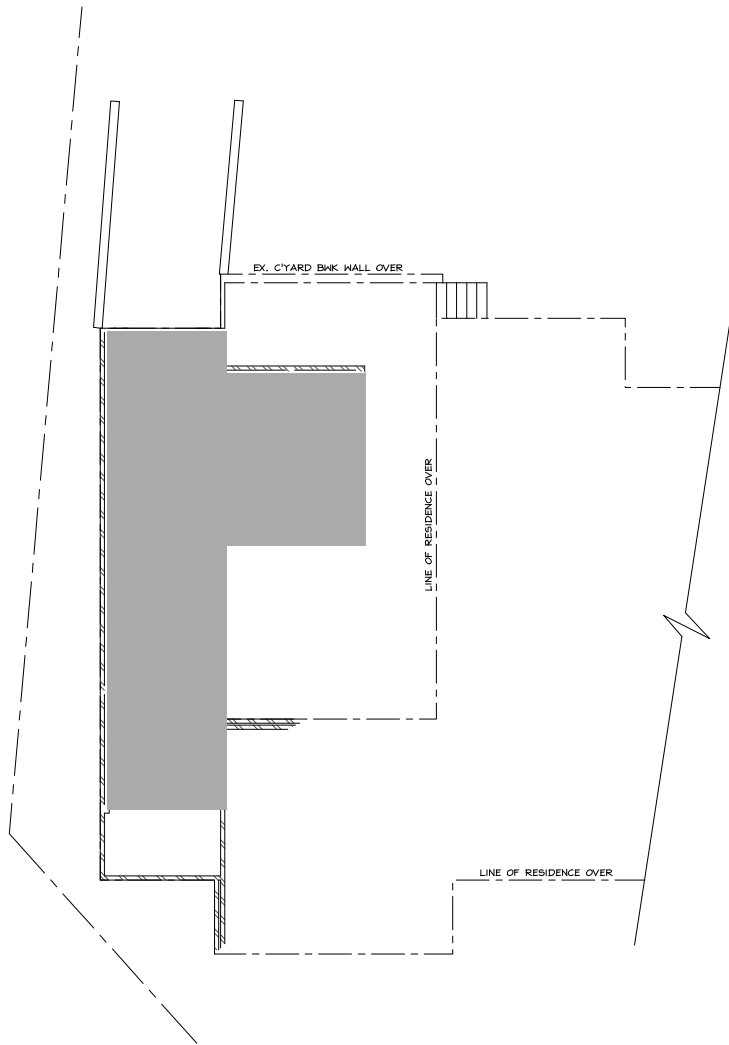
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SCALE: 1:100 DATE: 15/1/2020

DWG No.: 1927 SHEET: 2 OF 4



NORTH ELEVATION



BASEMENT FLOOR PLAN

GENERAL NOTES: (WHERE APPLICABLE)

ALL LEVELS, SITE CUTS, GROUND LEVELS, FFL'S TO BE CONFIRMED ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORKS (INCLUDING DRIVEWAY LEVELS)

ANY DISCREPANCIES TO BE DIRECTED TO BUILDER AND/OR DESIGNER IMMEDIATELY

CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT SAA CODES OF PRACTICE IN THE BEST TRADESMAN-LIKE MANNER TO THE APPROVAL OF THE BUILDING CERTIFIER AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT RESTRICTED TO:

- A) ACT GOVERNMENT
- B) NATIONAL CONSTRUCTION CODE
- C) ACT ELECTRICITY AND WATER
- D) AS1684 TIMBER FRAMING CODE AND AS FURTHER SPECIFIED.

ALL DIMENSIONS MUST BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. USE FIGURED DIMENSIONS ONLY AND DO NOT SCALE OFF THE DRAWING

SURVEYOR TO CONFIRM EASEMENT LOCATIONS PRIOR TO COMMENCEMENT OF ANY WORKS

MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH THE NCC, ALL OTHER RELEVANT CODES AND AUSTRALIAN STANDARDS

PROVIDE SMOKE ALARMS IN ACCORDANCE WITH NCC

ALL WINDOWS/GLAZED DOORS TO BE DOUBLE GLAZED UPVC FRAMES (UNLESS NOTED OTHERWISE) AS PER EER

LIGHTING TO COMPLY WITH NCC

ALL TIMBER FRAMING AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST TIMBER FRAMING CODE AS1684 AND NCC

EXTERNAL WALLS TO BE STUDFRAMED/CLAD AS NOTED - WHEN LIGHTHEIGHT CLADDING IS USED IT IS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND SARKED AND INSULATED AS PER THE NCC AND ATTACHED EER.

ALL INSULATION R VALUES AND WINDOW SHGC AND U-VALUES AS PER THE ATTACHED EER.

ALL OPENABLE WINDOWS AND SLIDING DOORS TO HAVE FLYSCREENS TO BE POWDERCOATED ALUMINUM FRAMES TO MATCH WINDOWS. NOTE: METALLIC FLYSCREENS ARE REQUIRED IN BUSHFIRE PRONE AREAS

REFER TO STRUCTURAL ENGINEER'S ATTACHED DOCUMENTATION FOR ALL STRUCTURAL DETAILS

PROVIDE TERMITE PROTECTION TO CODE AND AS3660-2000 PARTS 1, 2 AND 3

SERVICES/ELECTRICAL/WASTE:

NO INTERNAL DRAINAGE FOR PROPOSED STRUCTURE TO BE LOCATED IN SEWER EASEMENT/PIPE PROTECTION ENVELOPE. ALL WORKS DONE TO ACTEN GUIDELINES/ADVISE

ALL BUILDING WASTE TO BE COLLECTED IN HOPPER LOCATED ON SITE, RESIDENTIAL WASTE TO BE COLLECTED BY ROADSIDE PICKUP AND BINS TO BE LOCATED ON SITE

METER BOX TO BE INSTALLED TO ACTEN AGL SERVICE AND INSTALLATION RULES

WATER HEATER IN HOT WATER SUPPLY SYSTEM TO COMPLY WITH 3.12.5.6 OF THE BCA

STORMWATER AND SEWER AND WATER TIES TO BE LOCATED ON HYDRAULIC/DRAINAGE PLANS

TELSTRA AND GAS TIES TO BE PROVIDED BY GAS FITTER AND ELECTRICIAN

DOWNPIPES TO ROOF PLUMBERS SPECIFICATIONS

ENSURE THAT THE DEVELOPMENT COMPLIES WITH TCCS STATING THAT WASTE FACILITIES AND MANAGEMENT ASSOCIATED WITH THE DEVELOPMENT ARE IN ACCORDANCE WITH THE DEVELOPMENT CONTROL CODE FOR BEST PRACTICE WASTE MANAGEMENT IN THE ACT 1999

WATERPROOFING:

WATER PROOFING OF NET AREAS AS PER BUT NOT LIMITED TO AS 3740 WATERPROOFING NOT LESS THAN 150mm ABOVE FFL TO PENETRATIONS IN SHOWERS, WALL AND FLOOR JUNCTIONS IN SHOWERS NOT LESS THAN 150mm ABOVE FFL IN THE SHOWER AREA. WATERPROOFING NOT LESS THAN 25mm ABOVE MAXIMUM RETAINED WATER LEVEL. SHOWER FLOOR TO FULLY AS PER AS3740.

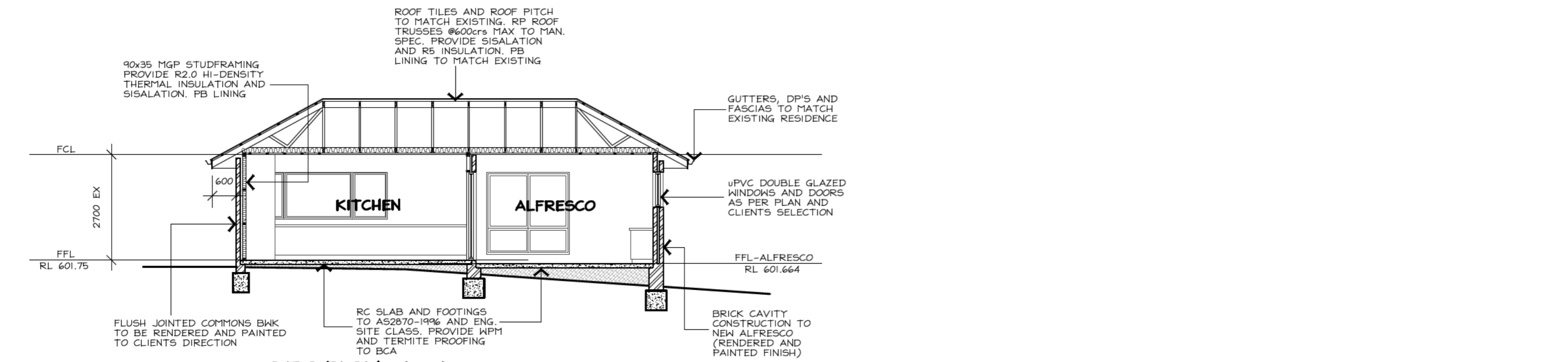
'DAVCO' WATER PROOFING SYSTEM TO MANUFACTURER'S SPECIFICATIONS AND AS3740



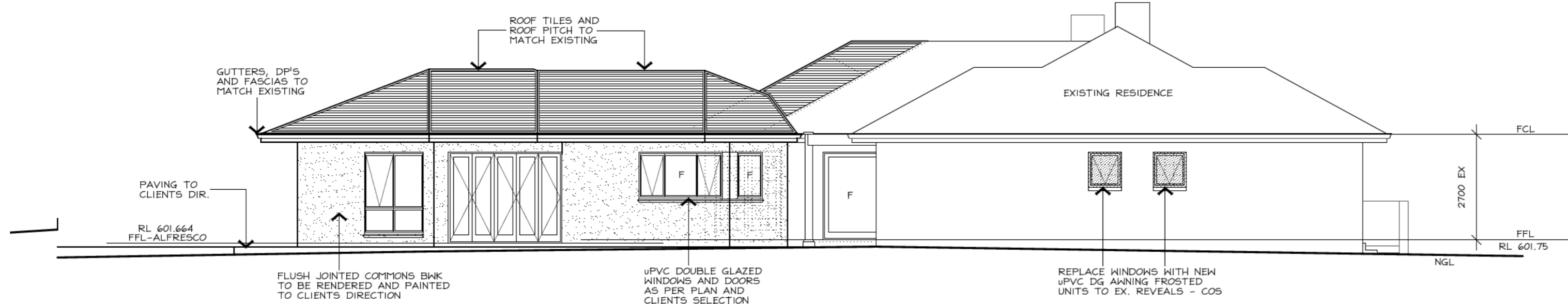
CARMODY by DESIGN
 A/BN 5820 170896
 PO BOX 6121 DUNDAS ACT 2812
 19A FARRER STREET BRADDON
 GINA@CARMODYBYDESIGN.COM.AU
 PH 02 6230 1284

PROPOSED EXTENSION AND ALTERATIONS TO:
BLOCK: 2
SECTION: 41 FORREST
CLIENT:

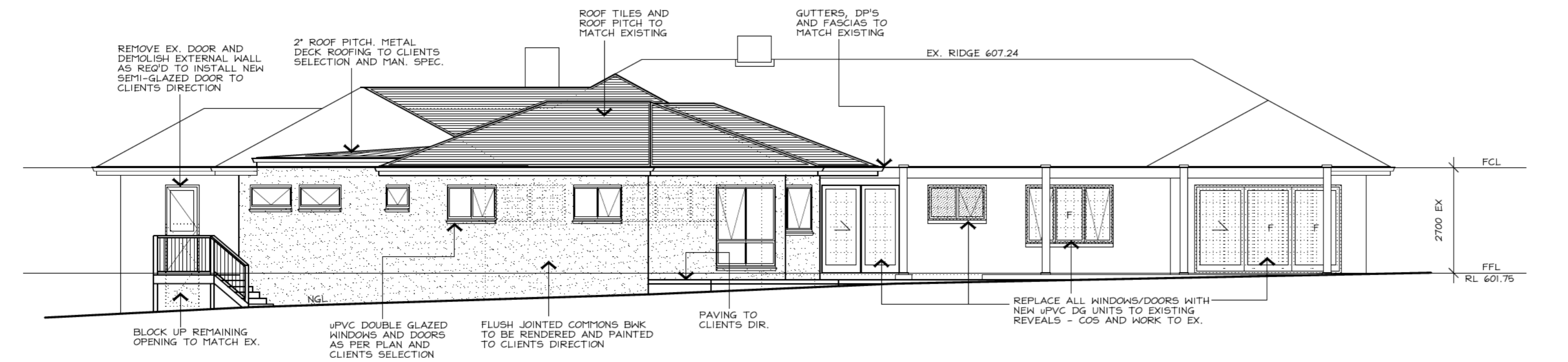
DRAWN:
SCALE: 1:100 **DATE: 15/1/2020**
DWG No.: 1927 **SHEET: 3 OF 4**



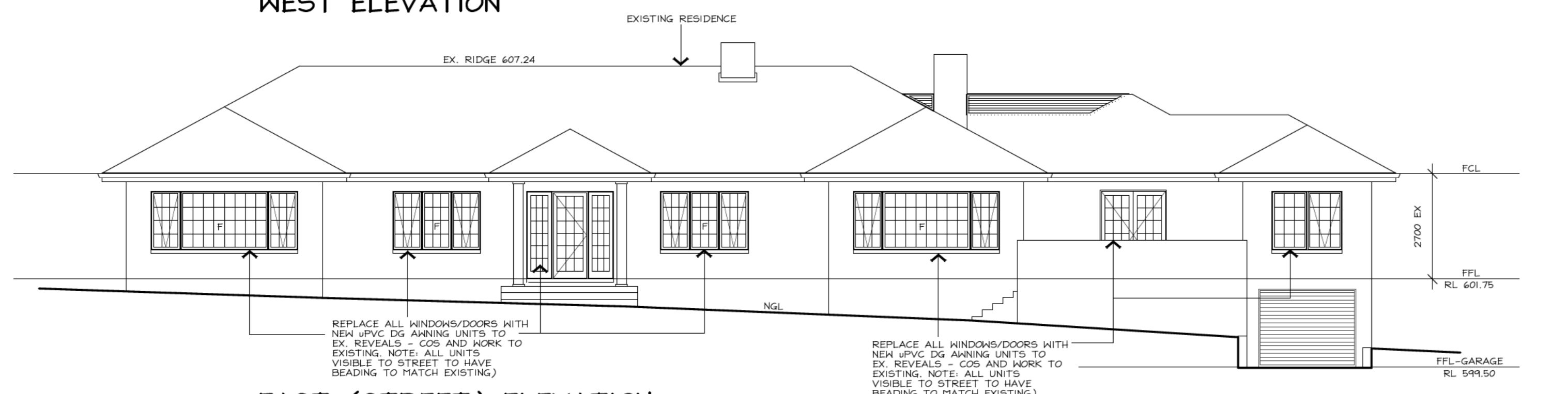
SECTION A-A



SOUTH ELEVATION



WEST ELEVATION



EAST (STREET) ELEVATION

SECTION NOTES:

- ALL STRUCTURAL AND NON-STRUCTURAL TIMBER TO BE IN ACCORDANCE WITH THE TIMBER FRAMING CODE AS1684
- ALL STRUCTURAL STEEL COLUMNS, POST, BEAMS ALL TO BE CERTIFIED AND DESIGNED BY STRUCTURAL ENGINEER.
- RC SLAB AND FOOTINGS TO COMPLY WITH ENGINEER'S DETAILS AND AS2870.1
- PROVIDE CONTINUOUS DAMP-PROOF MEMBRANE UNDER SLAB TO NCC
- PROVIDE TERMITE PROTECTION UNDER SLAB TO MAN. SPEC. AND NCC
- PROVIDE 90x35 MGP OR 90x45 MGP STUDS AS REQUIRED TO AS1684 AND/OR TO MAN. SPECIFICATIONS.
- BRACING AS PER NCC AND ENGINEER'S SPECIFICATIONS
- PLASTERBOARD AND FC LININGS TO INTERNAL WALLS AND CEILINGS AS REQUIRED
- PRE-FABRICATED ROOF TRUSSES AS PER MAN. SPEC. LINTELS AS PER TRUSS MANUFACTURERS CHARTS AND ENGINEER'S SPECIFICATIONS
- ALL INSULATION AS PER ATTACHED EER
- ALL EXTERNAL SWING DOORS AND INTERNAL ACCESS DOORS TO BE FULLY SEALED
- WINDOW SPECIFICATIONS AS PER ATTACHED EER
- STANDARD METRIC BRICK 230x110x76mm WITH FLUSH IRONED JOINTS & STRETCHER BOND. BRICKS TIES AND ANCHORAGE TO AS4773. MORTAR MIX: M3 MORTAR MIX OF 1-CEMENT, 1-LIME, 6-SAND
- ALL LOAD BEARING WALLS AND CONTROL JOINTS SPECIFIED TO ENGINEER'S DETAILS
- FLASHING, WEEP HOLES AND DAMP PROOF COURSE TO COMPLY WITH NCC AND AS4773
- ROOF AND EXTERNAL WALL MATERIALS AS NOTED ON ELEVATIONS/SECTION.
- ALL EAVES AND GUTTERS TO BE COLORBOND QUAD GUTTERING, INSTALLED TO MANUFACTURER'S SPECIFICATIONS.
- ALL ROOFING AND BATTEN SPACINGS TO BE INSTALLED TO MAN. SPECIFICATIONS AND NCC
- PROVIDE PAINTED FC SHEET LININGS TO ALL EAVES
- EAVES OVERHANG AS DIMENSIONED ON ELEVATIONS AND SECTION DIAGRAM
- MECHANICAL VENTILATION DUCTED TO EXTERIOR TO COMPLY WITH NCC
- SHOWER SCREENS AND WET AREA GLAZING TOUGHENED GLASS AS PER NCC

PROPOSED EXTENSION AND ALTERATIONS TO:

BLOCK: 2
SECTION: 41 FORREST
CLIENT: [REDACTED] of
45 Tasmania Circle Forrest



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 PD BOX 6121 D'CONNOR ACT 2602
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DWN: [REDACTED]

SCALE: 1:100 DATE: 15/1/2020

DWG No.: 1927 SHEET: 4 OF 4



TASMANIA CIRCLE

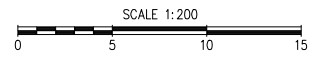
NO CHANGE TO EXISTING VERGE CROSSING

NO CHANGE TO EXISTING VERGE CROSSING

PROPOSED EXTENSION AND ALTERATIONS TO:
BLOCK: 2
SECTION: 41 FORREST
CLIENT: [REDACTED] of
45 Tasmania Circle Forrest



SITE COVERAGE PLAN
 BLOCK: 2
 SECTION: 41
 FORREST



- = SITE COVERAGE AREA (522m²) = **28.28%**
- = AREA OF SOFT LANDSCAPING (437m²) = **50.76%**
- = AREA OF PERMEABLE PAVING AND POOL (174m²)
- = EXISTING DRIVEWAY AND VEHICULAR TURNING (200m²) = **10.83%**



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DWN: [REDACTED]
 SCALE: 1:200 DATE: 15/1/2020
 DWG No.: 1927 SHEET: 1 OF 1



ACT
Government

Transport Canberra and
City Services



NOTICE OF DECISION
Tree Protection Act 2005

Dear 

This letter is notice of the Conservator of Flora and Fauna's decision regarding an application for a proposed activity under the *Tree Protection Act 2005* (the Act) at **45 TASMANIA CIRCLE, FORREST**. The notice is issued in accordance with section 26(2) of the Act. The location of the relevant tree/s and reasons are set out in the attached Conservator's decision, dated **19 May 2020**.

Where approval for an activity has been granted, it is a condition of approval that the activity cannot commence before **Monday 8 June 2020** and is to be completed as soon as practicable after commencement, but in any case, no later than **Saturday 7 June 2025**. If the approved activity is not carried out before this date a new application or request for extension needs to be submitted to the Tree Protection Unit for this activity to occur.

The Conservator's Decision (attached) is internally reviewable. You may apply for reconsideration of the decision under section 107 of the Act. The application must be in writing and must set out the grounds upon which reconsideration of the decision is sought.

An electronic (Application for Reconsideration) "Smartform" is available to download via the [Access Canberra website](http://www.tccs.act.gov.au/city-living/trees/tree_activity_application_forms) link: http://www.tccs.act.gov.au/city-living/trees/tree_activity_application_forms. The application must be made within **14 days** of the date of this notice by **Friday 5 June 2020**. An application for internal review will suspend any regular activity on tree/s subject to the reconsideration appeal. The review process may take 60 days and may confirm, vary or set aside the first decision.

If you do not agree with the reconsidered decision, you may apply to the *ACT Civil and Administrative Tribunal* for review of the decision. You may also seek review of the decision under the *Administrative Decisions (Judicial Review) Act, 1989*. You may also contact the *ACT Ombudsman* if you have concerns about the decision.

If you would like to discuss any aspect of the application, please contact the Tree Protection Unit on telephone (02) 6207 6203 during business hours.

Yours sincerely



Samantha Ning
Assistant Director, Tree Protection Unit
Delegate of the Conservator of Flora and Fauna
Urban Treescapes, City Presentation
Transport Canberra and City Services Directorate

19 May 2020

CONSERVATOR'S DECISION
Tree Protection Act 2005

Applicant(s): [REDACTED]

Address of Activity: 45 TASMANIA CIRCLE
FORREST ACT 2603

Application ID: 41414 **Block:** 2 **Section:** 41

Tree(s) 1: Liquidambar styraciflua

TREE ADDRESS: 45 TASMANIA CIRCLE

LOCATION ON BLOCK: Beside rear patio.

DECISION SUMMARY:

The request for approval of groundwork within the tree protection zone of this tree is granted subject to the condition(s) listed below.

As provided in Sections 27(1) and 27(2) of the Tree Protection Act 2005, this approval takes effect on the date stated in the notice ('Notice of Decision').

There must be strict compliance with these conditions, failure to do so may constitute an offence against the Tree Protection Act 2005 which may attract a court imposed penalty of up to \$56,000 for an individual and up to \$280,000 for a corporation.

TREE DAMAGING ACTIVITY: GROUNDWORK

CONSERVATOR'S DECISION: GRANTED WITH CONDITIONS

CONDITIONS:

1. The tree shall be fenced off by a continuous 1800 mm high chain wire fence, no closer than a minimum distance of 4m, unless otherwise agreed to in writing by the Conservator.
2. The fence shall be erected prior to the commencement of any demolition/construction works on any part/stage of the development and is to remain in place until all demolition/construction works are completed.
3. No work, that includes but is not limited to, excavation (e.g. for services including gas, water, sewer, stormwater, electricity, telecommunications, footings and irrigation) or modification of existing ground levels is to occur within the fenced area/tree protection zone.
4. Services that need to be installed within the fenced area/tree protection zone of the tree shall be under bored unless otherwise approved in writing by the Conservator.
5. If root pruning/removal is required, roots shall be cut cleanly (not pulled, torn or ripped).
6. Exposed roots shall be kept damp and backfilled as soon as possible.
7. Excavation for footings within the tree protection zone shall be undertaken by hand, and any roots uncovered with a diameter greater than 20mm are to be bridged over.
8. That mulching and irrigation within the Tree Protection Zone be undertaken during the period of development to sustain the tree, particularly over the summer months.

BASIS FOR DECISION:

The groundwork will have minimal impact on the tree if the groundwork complies with the conditions stated in the approval.

READ CONDITION(S) CAREFULLY

CONSERVATOR'S DECISION

Tree Protection Act 2005

Tree(s) 2: *Ulmus parvifolia*

TREE ADDRESS: 45 TASMANIA CIRCLE

LOCATION ON BLOCK: Northern side of carport.

DECISION SUMMARY:

The request for approval of groundwork within the tree protection zone of this tree is granted subject to the condition(s) listed below.

As provided in Sections 27(1) and 27(2) of the Tree Protection Act 2005, this approval takes effect on the date stated in the notice ('Notice of Decision').

There must be strict compliance with these conditions, failure to do so may constitute an offence against the Tree Protection Act 2005 which may attract a court imposed penalty of up to \$56,000 for an individual and up to \$280,000 for a corporation.

TREE DAMAGING ACTIVITY: GROUNDWORK

CONSERVATOR'S DECISION: GRANTED WITH CONDITIONS

CONDITIONS:

1. The tree shall be fenced off by a continuous 1800 mm high chain wire fence, no closer than a minimum distance of 4m, unless otherwise agreed to in writing by the Conservator.
2. The fence shall be erected prior to the commencement of any demolition/construction works on any part/stage of the development and is to remain in place until all demolition/construction works are completed.
3. No work, that includes but is not limited to, excavation (e.g. for services including gas, water, sewer, stormwater, electricity, telecommunications, footings and irrigation) or modification of existing ground levels is to occur within the fenced area/tree protection zone.
4. Services that need to be installed within the fenced area/tree protection zone of the tree shall be under bored unless otherwise approved in writing by the Conservator.
5. If root pruning/removal is required, roots shall be cut cleanly (not pulled, torn or ripped).
6. Exposed roots shall be kept damp and backfilled as soon as possible.
7. Excavation for footings within the tree protection zone shall be undertaken by hand, and any roots uncovered with a diameter greater than 20mm are to be bridged over.
8. That mulching and irrigation within the Tree Protection Zone be undertaken during the period of development to sustain the tree, particularly over the summer months.

BASIS FOR DECISION:

The groundwork will have minimal impact on the tree if the groundwork complies with the conditions stated in the approval.

CONSERVATOR'S DECISION

Tree Protection Act 2005

Tree(s) 3: *Eucalyptus bicostata*

TREE ADDRESS: 45 TASMANIA CIRCLE

LOCATION ON BLOCK: Behind carport in back yard.

DECISION SUMMARY:

The request for approval of groundwork within the tree protection zone of this tree is granted subject to the condition(s) listed below.

As provided in Sections 27(1) and 27(2) of the Tree Protection Act 2005, this approval takes effect on the date stated in the notice ('Notice of Decision').

There must be strict compliance with these conditions, failure to do so may constitute an offence against the Tree Protection Act 2005 which may attract a court imposed penalty of up to \$56,000 for an individual and up to \$280,000 for a corporation.

TREE DAMAGING ACTIVITY: GROUNDWORK


CONSERVATOR'S DECISION: GRANTED WITH CONDITIONS

CONDITIONS:

1. The tree shall be fenced off by a continuous 1800 mm high chain wire fence, no closer than a minimum distance of 4m, unless otherwise agreed to in writing by the Conservator.
2. The fence shall be erected prior to the commencement of any demolition/construction works on any part/stage of the development and is to remain in place until all demolition/construction works are completed.
3. No work, that includes but is not limited to, excavation (e.g. for services including gas, water, sewer, stormwater, electricity, telecommunications, footings and irrigation) or modification of existing ground levels is to occur within the fenced area/tree protection zone.
4. Services that need to be installed within the fenced area/tree protection zone of the tree shall be under bored unless otherwise approved in writing by the Conservator.
5. If root pruning/removal is required, roots shall be cut cleanly (not pulled, torn or ripped).
6. Exposed roots shall be kept damp and backfilled as soon as possible.
7. Excavation for footings within the tree protection zone shall be undertaken by hand, and any roots uncovered with a diameter greater than 20mm are to be bridged over.
8. That mulching and irrigation within the Tree Protection Zone be undertaken during the period of development to sustain the tree, particularly over the summer months.

BASIS FOR DECISION:

The groundwork will have minimal impact on the tree if the groundwork complies with the conditions stated in the approval.


Delegate of the Conservator
19 May 2020

From: Exemptdec
Sent: Wednesday, 3 June 2020 1:54 PM
To: EPD, Customer Services
Subject: FW: Exempt Declaration Form 1N, [REDACTED], FORREST-S41-B2
[SEC=UNCLASSIFIED, DLM=Sensitive: Personal]
Attachments: EXEMPTION-DECLARATION-2-41-FORREST-APPLICATION-01.xml; EXEMPTION-DECLARATION-2-41-FORREST-APPLICATION-01.pdf; ex dec plans and endorsement-app-01.pdf; ex dec loa-app-01.pdf

UNCLASSIFIED

Plans are sufficient.

From: smartforms@act.gov.au <smartforms@act.gov.au>
Sent: Wednesday, 3 June 2020 11:37 AM
To: Exemptdec <Exemptdec@act.gov.au>
Subject: Exempt Declaration Form 1N, 56MNHW, FORREST-S41-B2 [SEC=UNCLASSIFIED, DLM=Sensitive: Personal]

Exempt Declaration Form 1N

Form data summary

Submission ID [REDACTED]
Reference code [REDACTED]

For issues or questions relating to SmartForms please contact the Payment Services Integration Team on *5 4607 or email smartforms.admin@act.gov.au.

From: EPD, Customer Services
Sent: Thursday, 4 June 2020 10:30 AM
To: [REDACTED]
Subject: FEE ADVICE-EXEMPTION DECLARATION-2-41-FORREST [SEC=UNCLASSIFIED]

Good morning,

We have received and completed our initial check of the Exemption Declaration Application for Block 2 Section 41 FORREST, it is ready to proceed to assessment once payment is received.

Please click the link below and complete the online form for payment of **\$600.00**

<https://form.act.gov.au/smartforms/landing.htm?formCode=1215>

Alternatively, payment can be made via EFT or cheque at the ACT Government shopfront, 16 Challis Street Dickson.

Regards,

Jason | Customer Coordination | Environment, Land and Planning shopfront
Phone: 02 6207 1923 | **Email:** epdcustomerservices@act.gov.au
Access Canberra | Chief Minister Treasury and Economic Development Directorate | ACT Government
16 Challis St, Dickson | GPO BOX 158, Canberra City ACT 2601 | www.act.gov.au/accessCBR



Fee Advice Payments - EPSDD - Tax receipt

This transaction will appear on your credit card statement as ACCESS CBR INTERNET CANBERRA.

Date and time	Reference code	Payment receipt number	Total amount paid
04 Jun 2020 4:13:06 PM			\$600.00

Environment, Planning and Sustainable
Development Directorate
ABN 31 432 729 493

GPO Box 158
Canberra ACT 2601

Email: epdcustomerservices@act.gov.au
Phone: 02 6207 1923

Fee Advice Payments - EPSDD

This payment is for: *

Exempt declaration

Property 1

Suburb/District *

FORREST

Section *

41

Block *

2

Unit

If you require help with suburb/district, section or block details, visit [ACTMAPi](#).

Reference

I declare that the payment is being made in accordance with the fee advice I have received by Environment, Planning and Sustainable Development Directorate. *

Payer name *

Phone number *

Email *

Payment amount

\$600.00

ADMIN CHECK LIST - EXEMPTION DECLARATION – FORM 1N

Block: 2 Section: 41 Suburb: FORREST

Are the Lessee/s details correct (Use Tarquin) NO YES

- If the LDA is the land custodian, an authorisation letter must be provided, made attention to the applicant and give authority to lodge an Exemption Declaration Application
- Use PALM to perform the below checks:

Does the block and section match the street address? NO YES

Is it Heritage? (If yes, a letter from heritage is required, except Moncrieff/Throsby/Taylor/Lawson) NO YES

Is there Compliance action? (If yes add comment to the 'Ready for Assessment' email) NO YES

Save e-mail to objective under Development Application B/S/S Exemption Declaration YES

Comments:

Check Completed by: Jason

Date Processed: 04/06/2020

Fee Advice Sent by: Jason

Date Sent: 04/06/2020

PAYMENT

Receipt Attached:

Date Sent to Assessing Officer: 05/06/2020

Payment Method: smartform

Date Due (10 working days): 19/06/2020

**ASSESSMENT OF PROPOSAL
DETERMINATION UNDER SECTION 1.100A OF THE
PLANNING AND DEVELOPMENT REGULATION 2008**

Description of extended distance:

Rule 12 - Side boundary setback departure of a maximum 1064mm for a length of 14810mm

Assessment:

PASS

FAIL

Is the non-compliance minor?

Yes

No

Will building the dwelling other than in accordance with the relevant rules:

- Adversely affect someone other than the applicant?

No

Yes

- Increase the environmental impact of the dwelling more than minimally?

No

Yes

Plans provided adequately identify departures?

Yes

No

Comments:

Considered to be minor in context

Plans stamped:

Approved

Refused

Delegate of

Environment, Planning and Sustainable Development Directorate: Matt Davis 05/06/2020

From: EPD, Customer Services
Sent: Friday, 5 June 2020 10:16 AM
To: Exemptdec
Subject: READY FOR ASSESSMENT:EXEMPTION DECLARATION-2-41-FORREST
[SEC=UNCLASSIFIED]
Attachments: EXEMPTION DECLARATION.obr

From: Exemptdec
Sent: Friday, 5 June 2020 2:20 PM
To: Exemptdec
Subject: APPROVED :EXEMPTION DECLARATION-2-41-FORREST [SEC=UNCLASSIFIED]
Attachments: EXEMPTION DECLARATION.obr

UNCLASSIFIED

Approved by delegate (Matt Davis)

From: EPD, Customer Services <EPDCustomerServices@act.gov.au>
Sent: Friday, 5 June 2020 10:16 AM
To: Exemptdec <Exemptdec@act.gov.au>
Subject: READY FOR ASSESSMENT:EXEMPTION DECLARATION-2-41-FORREST [SEC=UNCLASSIFIED]

VERGE PROTECTION

INSTALL 1.8m HIGH CONTINUOUS CHAIN MESH FENCE SUPPORTED BY 2.4m TALL STAR STEEL POSTS AROUND VERGE AND EXISTING VEGETATION TO BE RETAINED WITHIN THE BLOCK AS SHOWN ON THE DRAWINGS.

FENCING TO BE ERECTED ON COMMENCEMENT OF SITE WORK AND REMOVED AT COMPLETION OF CONSTRUCTION AND COMMENCEMENT OF VERGE RESTORATION. THE FENCE IS TO REMAIN CONTINUOUS THROUGHOUT THE PROJECT, EXCEPT WHERE APPROVED SERVICE INSTALLATION OCCURS.

ENSURE THAT ANY DISTURBANCES TO THE VERGE GROUND COVER, TREES, PATHS, KERBS, ROADWAYS OR SERVICES OCCURRING FROM EITHER CONSTRUCTION WORKS OR STORAGE OF MACHINERY/MATERIALS DURING THE CONSTRUCTION WORKS ARE RECTIFIED. NO CARPARKING OR EQUIPMENT PARKING PERMITTED ON VERGES

NO SITE SHEDS, STORAGE SHED, SITE AMENITIES OR BILLBOARDS TO BE ERECTED ON VERGES

NO CONSTRUCTION MATERIAL TO BE STORED ON VERGES OR UNDER DRIP LINE OF RETAINED TREES

EROSION & SEDIMENT CONTROL PLAN

MAINTAIN AS MANY GRASSED AREAS AS POSSIBLE PARTICULARLY ON THE VERGES TO TRAP SOIL BEFORE IT REACHES THE ROADWAY AND STORMWATER SYSTEM, FENCE OFF UNDISTURBED AREAS

USE ONLY ONE EXIT/ENTRY TO THE SITE. BUILD A STABILISED ACCESS POINT BY USING ROAD BASE, 50mm AGGREGATE, RECYCLED CONCRETE OR SIMILAR

ASSIGN A DESIGNATED PARKING AREA

LIMIT ACCESS TO THE SITE DURING AND IMMEDIATELY AFTER WET WEATHER

KEEP STOCKPILES WITHIN THE SITE AREA AND AWAY FROM THE STORMWATER SYSTEM

INSTALL ON-SITE WASTE COLLECTION

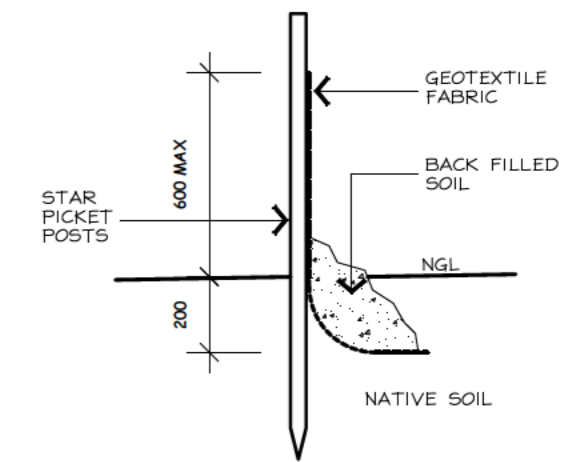
REGULARLY REMOVE ANY SEDIMENT FROM ROADS ADJACENT TO YOUR SITE. DO NOT WASH INTO THE STORMWATER SYSTEM

INSTALL A SEDIMENT CONTROL BARRIER OF GEOTEXTILE FABRIC ON THE LOW SIDE/S OF THE BLOCK (AS NOTED ON THE SITE PLAN AND AS PER DETAIL)

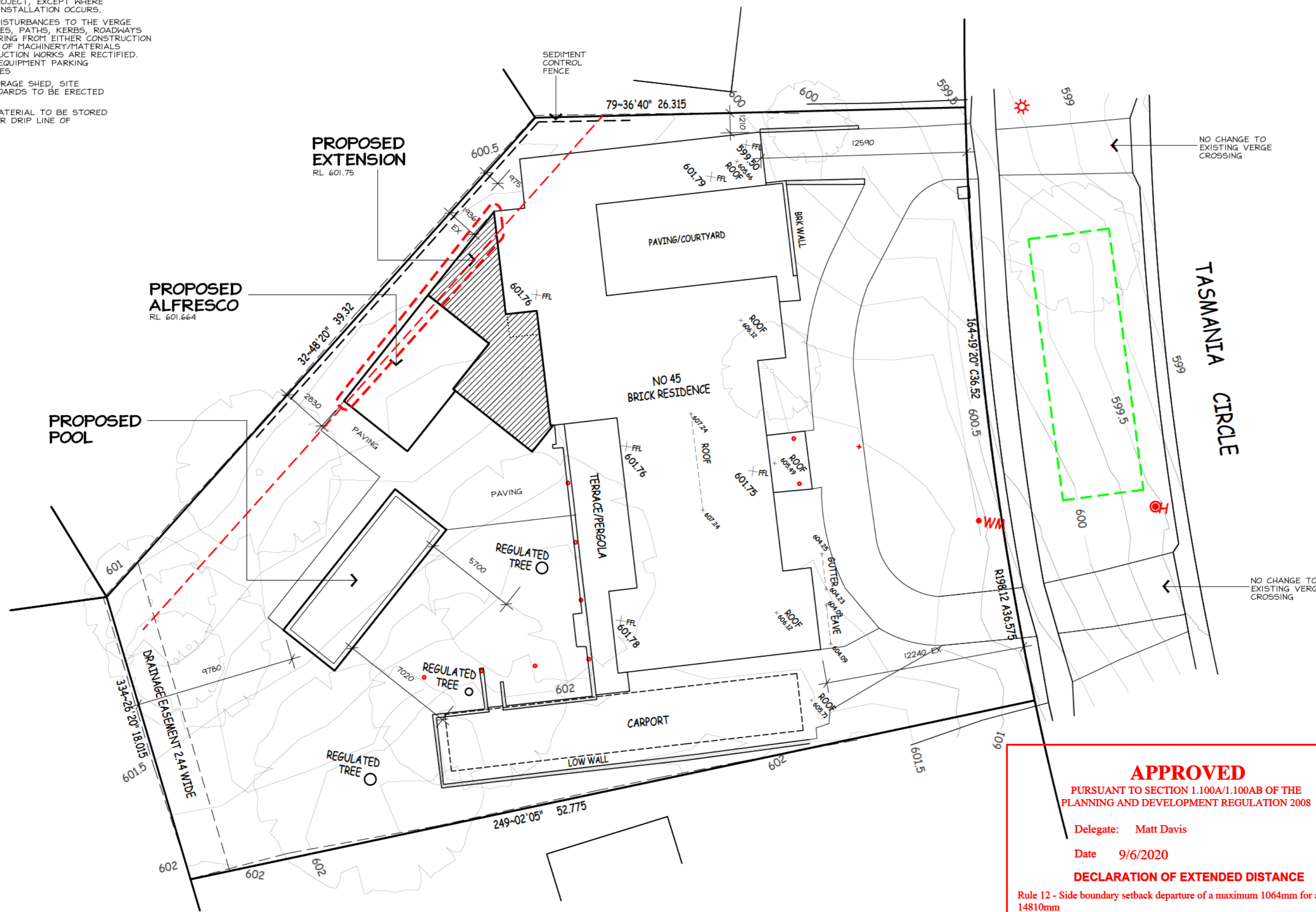
DESIGNATE A BRICK CUTTING AND WASHING AREA AWAY FROM STORMWATER DRAINS. ENSURE THE AREA IS LARGE ENOUGH TO CONTAIN ALL EXCESS WATER, RESIDUES AND WASTE

REGULARLY CHECK AND MAINTAIN POLLUTION CONTROLS THROUGHOUT CONSTRUCTION

ENSURE THAT THE DEVELOPMENT COMPLIES WITH THE ACT ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, MARCH 2010



SEDIMENT CONTROL DETAIL



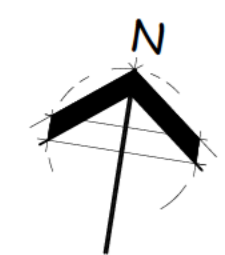
APPROVED
 PURSUANT TO SECTION 1.100A/1.100AB OF THE
 PLANNING AND DEVELOPMENT REGULATION 2008

Delegate: Matt Davis
 Date 9/6/2020

DECLARATION OF EXTENDED DISTANCE

Rule 12 - Side boundary setback departure of a maximum 1064mm for a length of 14810mm

PROPOSED EXTENSION AND ALTERATIONS TO:
 BLOCK: 2
 SECTION: 41 FORREST
 CLIENT: [REDACTED] of
 45 Tasmania Circle Forrest



LMPP & SITE PLAN

BLOCK: 2
 SECTION: 41
 FORREST



NOTE: UNDERGROUND SERVICES HAVE NOT BEEN LOCATED

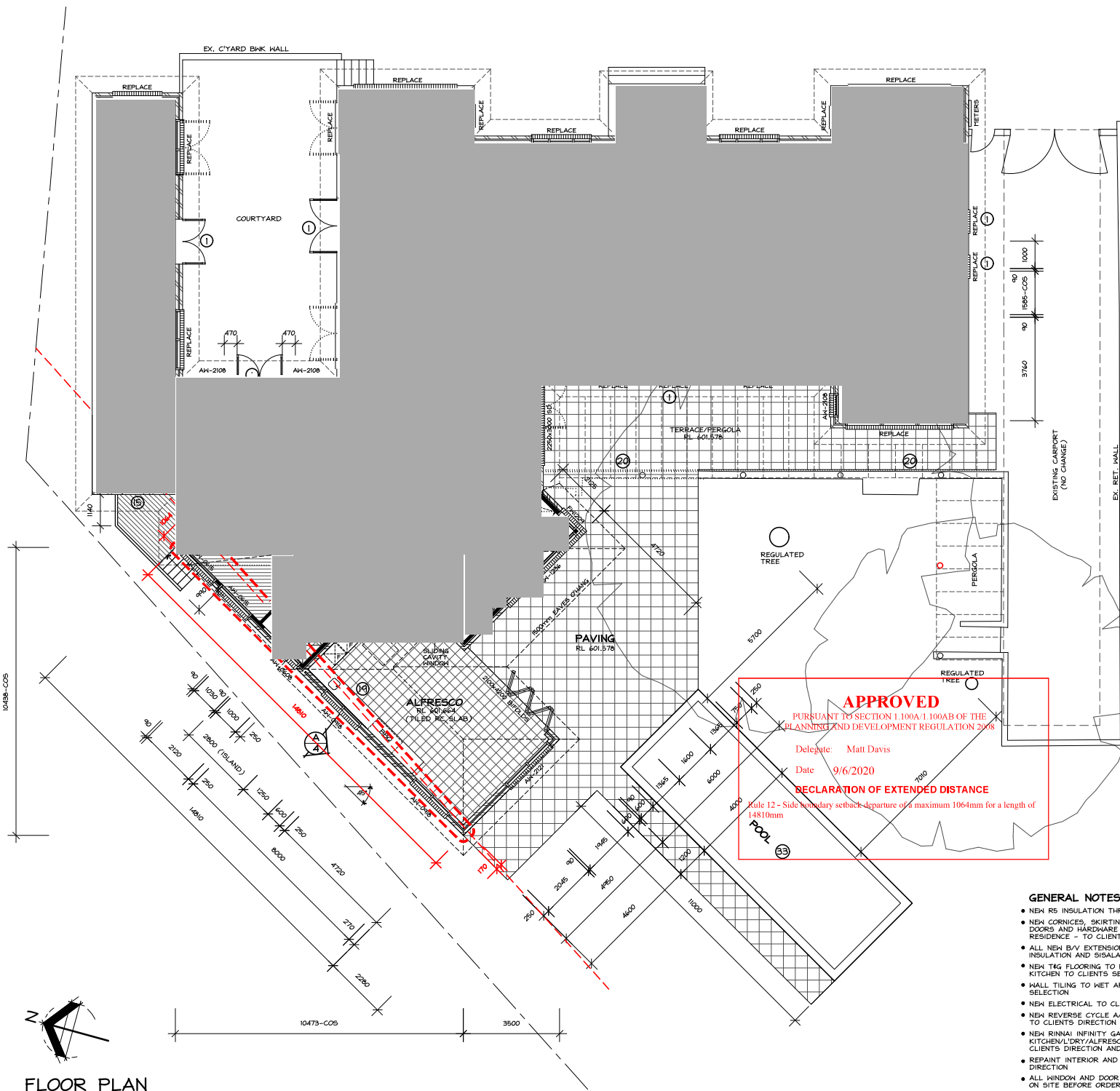
AREAS	
BLOCK AREA:	1846m ²
GROUND FLOOR:	346m ²
GARAGE/STORE:	51m ²
NEW EXTENSION:	49.8m ²
NEW ALFRESCO:	40.2m ²
TOTAL GFA:	487.0m ²
PLOT RATIO:	26.38%
EX. CARPORT:	76m ²

RICHARD ULRICH SCHNEIDER
 REGISTERED SURVEYOR
 (NSW-SURVEYORS ACT 2002)
 (ACT-SURVEYORS ACT 2007)

CARMODY by DESIGN

ABN 58201170896
 PD BOX 6121 D'CONNOR ACT 2602
 19A FARRER STREET BRADDON
 GINA@CARMODYBYDESIGN.COM.AU
 PH: 02 6230 1284

DWN: [REDACTED]
 SCALE: 1:200 DATE: 15/1/2020
 DWG No.: 1927 SHEET: 1 OF 4



ALTERATIONS

- 1 REMOVE EX. TIMBER WINDOW UNITS AND REPLACE WITH DG UPVC ANNING UNITS TO EX. REVEALS = COS. NOTE: PROVIDE COLONIAL BEADING TO UNITS (WHERE VISIBLE TO STREET). ALL OTHER UNITS TO BE UNBEADED. OVERALL HEIGHTS OF UNITS TO MATCH NEW SCREEDED/RAISED FFL) MAKE GOOD ALL SURFACES TO MATCH EX. NOTE: ALL DOORS TO HAVE CRIMSAFE SECURITY SCREENS TO CLIENTS DIRECTION
- 2 DEMOLISH INTERNAL WALL AND RESUPPORT CUT ROOF OVER TO ENG. SPEC. AND ASH84. MAKE GOOD TO PB CEILING
- 3 DEMOLISH INFILL BKW OF ORIGINAL KITCHEN COOKING ALCOVE AND INSTALL NEW GAS FIREPLACE AS SELECTED AND FLUE THROUGH COPPER CHIMNEY TO MAN. SPEC. MAKE GOOD ALL SURFACES INCLUDING RUMFUS.
- 4 BOOK CASE JOINERY TO OWNERS DIRECTION
- 5 REMOVE EX. DOOR AND HIDDEN OPENING TO SUIT 1500W SLIDING (FOK) DOOR AS SELECTED BY OWNER. MAKE GOOD
- 6 DEMOLISH EX. KITCHEN AND L'DRY FITOUT AND RESUPPORT ROOF AS REQ'D TO ASH84 AND INSTALL GIRDER TRUSS OVER AND EXTEND AS PER SECTION
- 7 SCREED EX. PAVED SLAB AND LAY NEW T&G FLOORBOARDS OVER TO CLIENTS SELECTION. INSTALL NEW ARCHITRAVES, SKIRTS AND JAMB SETS. NEW PB CEILING TO KITCHEN/FAMILY ROOM. NEW CORNICES THROUGHOUT.
- 8 REMOVE EX. THATCHED CEILING AND REMOVE SKYLIGHT. NEW PB CEILING AND CORNICES THROUGHOUT
- 9 DEMOLISH EX. JOINERY AND CPD AND RELOCATE DOOR TO STUDY AS SHOWN. MAKE GOOD
- 10 BATTEN OUT EX. BKW AND PROVIDE PB WALL LINING TO RUMFUS ROOF.
- 11 BRICK UP EX. DOORWAY AND MAKE GOOD
- 12 DEMOLISH EX. WALLS TO BELOW EX. FFL AND INFILL FLOOR AS SHOWN (STRUCTAFLOL AND CARPET OVER)
- 13 DEMOLISH TIMBER STAIR AND LANDING FROM BELOW AND INSTALL PLATFORM LIFT TO MAN. SPEC. MAKE GOOD
- 14 DEMOLISH INTERNAL WALL AND INCREASE WIDTH OF LAUNDRY AS SHOWN. PROVIDE INFILL CAVITY STUDWORK AND NET AREA LINING TO BCA. PROVIDE NEW DRAINAGE AND WPH. FITOUT L'DRY AS DIRECTED BY OWNERS AND MAKE GOOD. RAISE FFL IN TIMBER CONSTRUCTION TO MATCH RUMFUS ROOM FFL.
- 15 REMOVE EX. DOOR AND DEMOLISH WALL AS REQ'D TO INSTALL NEW SEPI GLAZED DG AND MAKE GOOD. CONSTRUCT DECK LANDING AS SHOWN
- 16 REMOVE EX. DOORS AND REPLACE WITH NEW UPVC FIXED DG 'PUFFY' DOOR UNITS TO EX. REVEALS
- 17 CONSTRUCT NEW LOW FITCH METAL DECK ROOF OVER EXTENDED RUMFUS AND POWDER ROOM TO AVOID BOX GUTTERS AND RE-GRADE EX. GUTTERS AND AMEND SW DRAINAGE TO SUIT
- 18 NEW KITCHEN DRAINAGE AND FITOUT AS SHOWN AND TO OWNERS DIRECTION. MAKE GOOD
- 19 NEW DRAINAGE TO OUTDOOR KITCHEN AREA. BBO TO HAVE RANGEHOOD OVER VENTED TO OUTSIDE AIR
- 20 DEMOLISH EX. STEPS AND PART OF EX. RET. WALL - REPAIR REPAIRING EX. LOW BKW RETAINING WALL AND PAVE FROM EX. CARPORT ALONG REAR OF HOUSE AROUND TO NEW POOL AREA AS SHOWN AND TO CLIENTS DIRECTION
- 21 DEMOLISH EX. BKW WALL AND EXTEND BATHROOM 300mm AND BUILD NEW STUP WALL AND GUT EX. FITOUT NEW FITTINGS AND TILING TO OWNERS DIRECTION. RELOCATE TOILET AND VANITY DRAINAGE AS SHOWN. MAKE GOOD (NOTE: EXISTING CONCRETE FLOOR TO ORIGINAL BATHROOM)
- 22 BLOCK UP EX. DOORWAY AND MAKE GOOD
- 23 DEMOLISH EX. DEL BKW WALL AND ROBE AND CREATE NEW NI/DRESSING ROOM - NEW JOINERY TO CLIENTS DIRECT.
- 24 DEMOLISH EX. BKW WALL AND EXTEND ENSUITE AS SHOWN. NEW DRAINAGE THROUGHOUT AND WALL TILING TO FCL. NEW CEILINGS AND PROVIDE EXHAUST FAN. PROVIDE 300H x 900H SHAMPOO SHELF TO SHOWER TO CLIENTS DIRECTION
- 25 GUT EX. GUEST BATHROOM AND MAINTAIN EX. WC AND VANITY LOCATIONS. DEMOLISH EX. CPDS BEHIND AND EXTEND BATHROOMS 1200 AS SHOWN. NEW STUDWORK AND WPH TO BCA. NEW STUP WALL TO HOUSE CSO AS NOTED
- 26 RELOCATE EX. DOORWAY AND BLOCK UP TO MATCH EX. CONSTRUCT NEW ROBE AS SHOWN. MAKE GOOD
- 27 DEMOLISH EX. ROBE AND MAKE GOOD
- 28 PACK UP EXISTING FLOOR WITH NEW 19mm STRUCTAFLOL AND T&G OVER TO CLIENTS DIRECTION.
- 29 250mm EXTENSION OF WALL IN BKW. REDO 'SET' PLASTER
- 30 REMOVE EX. DOOR AND DEMOLISH EXTERNAL WALL AS REQ'D TO INSTALL NEW 2400W UPVC 5DU. MAKE GOOD NOTE: PROVIDE CRIMSAFE SEC. SCREEN TO CLIENTS DIR.
- 31 DEMOLISH EXTERNAL WALL TO INSTALL NEW UPVC DG ANNING WINDOWS (x3) AS SHOWN. MAKE GOOD
- 32 REMOVE EX. DOORS AND DEMOLISH EXTERNAL WALL TO INSTALL NEW DG UPVC SLIDING DOOR (WITH SEC. SCREEN) AS NOTED AND TO CLIENTS DIR. MAKE GOOD
- 33 NEW POOL TO CLIENTS DIRECTION AND MAN. SPEC.

APPROVED

PURSUANT TO SECTION 1.100A.1.100AB OF THE PLANNING AND DEVELOPMENT REGULATION 2008

Delegate: Matt Davis
Date: 9/6/2020

DECLARATION OF EXTENDED DISTANCE


Rule 12 - Side boundary setback separation of a maximum 1064mm for a length of 14810mm

GENERAL NOTES:

- NEW R5 INSULATION THROUGHOUT ENTIRE RESIDENCE
- NEW CORNICES, SKIRTINGS, JAMB SETS, INTERNAL DOORS AND HARDWARE THROUGHOUT ENTIRE RESIDENCE - TO CLIENTS SELECTION
- ALL NEW EX. EXTENSION WALLS TO HAVE R2.5 INSULATION AND SIGILLATION
- NEW T&G FLOORING TO RUMFUS, FAMILY, MEALS AND KITCHEN TO CLIENTS SELECTION
- WALL TILING TO WET AREA TO FCL TO CLIENTS SELECTION
- NEW ELECTRICAL TO CLIENTS DIRECTION
- NEW REVERSE CYCLE A/C DUCTED THROUGH CEILING TO CLIENTS DIRECTION AND MAN. SPEC.
- NEW RINNAI INFINITY GAS HWS TO SERVICE KITCHEN/DRY/ALFRESCO AND POWDER ROOM TO CLIENTS DIRECTION AND MAN. SPEC.
- REPAINT INTERIOR AND EXTERIOR TO CLIENTS DIRECTION
- ALL WINDOW AND DOOR UNITS TO BE CONFIRMED ON SITE BEFORE ORDERING

PROPOSED EXTENSION AND ALTERATIONS TO:

BLOCK: 2
SECTION: 41 FORREST
CLIENT: _____ of
45 Tasmania Circle Forrest


CARMODY DESIGN

ABN 5820 170896
PO BOX 6121 GOONHORN ACT 2602
114 FARRER STREET BRADSDEN
BINA@CARMODYDESIGN.COM.AU
PH: 02 6230 1284

DATE: _____
SCALE: 1:100 DATE: 15/1/2020
DWG No.: 1927 SHEET: 2 OF 4

FLOOR PLAN

From: EPD, Customer Services
Sent: Wednesday, 10 June 2020 9:46 AM
To: [REDACTED]
Cc: [REDACTED]
Subject: EXEMPTION DECLARATION AND APPROVED PLANS - B2/S41 FORREST
[SEC=UNCLASSIFIED]
Attachments: EXEMPTION-DECLARATION-2-41-FORREST-APPLICATION-01.pdf; EXEMPTION-DECLARATION-2-41-FORREST-PLANS-01.pdf; EXEMPTION DECLARATION-S041-B0002-FORREST-ASSESSMENT CHECKLIST.pdf

Good morning,

Please see attached Exemption Declaration Application & Approved Plans.

For further information please contact the DA Gateway Team on 6205 2888 or email exemptdec@act.gov.au

Regards,

Jason | Customer Coordination | Environment, Land and Planning shopfront
Phone: 02 6207 1923 | Email: epdcustomerservices@act.gov.au Access Canberra | Chief Minister Treasury and Economic Development Directorate | ACT Government
16 Challis St, Dickson | GPO BOX 158, Canberra City ACT 2601 | www.act.gov.au/accessCBR