



1 Feltus Place KAMBAH Coversheet

In addition to the site-specific information contained in this form, the following information is relevant to all surrendered properties in the Taskforce's Demolition Program:

- all properties are contaminated with loose fill asbestos insulation
- all properties are likely to also contain asbestos containing materials including bonded asbestos products and/or asbestos pipe lagging
- given the Scheme rules permit owners to abandon unwanted goods in surrendered houses or garages/sheds, there may be household contents present (including inside cupboards in the property) that are contaminated with asbestos, or otherwise pose a safety risk
- the Territory is in possession of historical information in relation to the original remediation program and additions and alterations to the properties over time which may be relevant to the demolition process or provide information about the location and amount of loose fill asbestos contamination. This information is available to head contractors at no charge on request.

General Information				
Taskforce house code Kambah 038			ACTMAPI block key 66011020014	
District TUGGERANONG	Division KAMBAH	Section 102	Block 14	Unit
Street No. 1	Street name Feltus	Street type Place	Suburb KAMBAH	
Alternate street address (where applicable) 45 Bacchus Circuit				

Block Details and Surrounds	
Block size (m2) 928	Block topography (where available) 1m rise from front boundary to rear boundary.
Heritage property or precinct: No Details -	
Is the block located close to a school, shop, community/public facility? Yes Details - Approximately: 250m from a fire station. 280m from an ambulance station. 340m from a church. 680m from a church. 715m from a childcare. 760m from schools. 790m from a childcare.	

Affected Dwelling			
Single storey: brick veneer			
House 230 sqm	Outdoor area 60 sqm	Car/vehicle areas 23 sqm	Total sqm

Easements (if present)		
(Building file)	Yes	Type/s – Electrical, Storm Water
(ACTMAPi)	Yes	Type/s – Electrical, Storm Water

Other special considerations
<p>Is there any additional information or special considerations to take into account about the block or surrounds? [including in relation to registered/regulated trees on the site, or overhanging the site from next door]</p> <p style="text-align: center;"> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No </p> <p>Details – Building materials, bricks etc left on property. Large, possibly regulated tree overhanging house in backyard.</p>

Certificate/s of Occupancy and Use (including additions and alterations where applicable)		
Date 7/8/1974	For: Original dwelling	Primary construction type Brick Veneer Main floor material Timber
Date	For Carport & shed	Primary construction type Metal Main floor material Earth
Date 9/5/1983	For Extension to residence	Primary construction type Brick Veneer Main floor material Concrete
Date 2/5/1992	For Asbestos removal	Primary construction type Main floor material
Date 31/10/2014	For Additions to residence	Primary construction type Brick Veneer Main floor material
Date	For	Primary construction type Main floor material

Date	For	Primary construction type Main floor material
Comments: COU2 - date illegible. No COU for approved plan B20135405 - Asbestos removal		

Additional Supporting Information
<p>Is there any additional information from other databases or sources held within the Taskforce or within the Territory that should be identified for this property (either house or land) and be taken into account prior to demolition?</p>

Internal checklist (Taskforce Reference Only)

Indicate whether the following data sources have been checked

- Surrender Deed (First Right of Refusal election) Yes No
- Building File checked (unapproved structures)
- Easements confirmed (ACTMAPi/Building File)
- Plan of Sanitary Drainage (Building File)
- Taskforce Pre-settlement Inspection Report
- ACT Property Group Handover Works Checklist
- First Right of Refusal Confirmed by PST Yes No *Pending*

Prepared by <i>PETER MIDDLETON</i> Position <i>Admin Assistant</i>	Date <i>9/10/15</i>	Reviewed by <i>[Redacted]</i> Position <i>DEMO PROGRAM</i>	Date <i>23/10/15</i>
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Attachments for Provision to Contractors

- Demolition Site Scope (including site map)
- Asbestos Assessment Report
- Taskforce Pre-settlement Inspection Report
- ACT Property Group Handover Works Checklist
- Plan of Sanitary Drainage

The information contained in this document and the attachments accurately reflects the knowledge held by the Asbestos Response Taskforce in relation to this property, including in relation to known hazards and potential safety risks.

This property is released for demolition.

Signed <i>[Redacted]</i>	Date <i>23-10-15</i>	Position <i>DIRECTOR</i>
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Asbestos Response Taskforce

Street num: 1 Street name: Feltus Pl Suburb: Kambah
Block: 1 Section: 14 Block area: _____

SITE SCOPE	
Inspected by: Dave	Date of inspection:

Further information (if required)		
Has ART provided a list of any 'special considerations' for this site due to former owner aiming to repurchase the site?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	All assets to be retained Tree protection only
SITE		
Does the block have a significant fall to street or neighbour which may create run off issues?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Slight fall to street.
Does the roof appear to be relatively straight forward to access (i.e simple scaffold access)?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Will there be any permanent fencing that needs to be replaced due to demolition (i.e building being on boundary, site access)?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Is there any other fencing that may need to be replaced due to demolition	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Are there stormwater pits or similar on block which may need to be bundled?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	(If yes, see plan)
Is there a swimming pool or pond?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Are there any structures that should be retained?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	(If yes, see plan)
LANDSCAPING (TREES & FENCING)		
Are there any trees/shrubs on site that should remain?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	(If yes, see plan)
Does the drip line of any trees from neighbouring blocks encroach within the demolition zone? Can this be fenced off within drip line?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Are there any street trees that have the potential to be damaged by machinery?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

Additional comments:

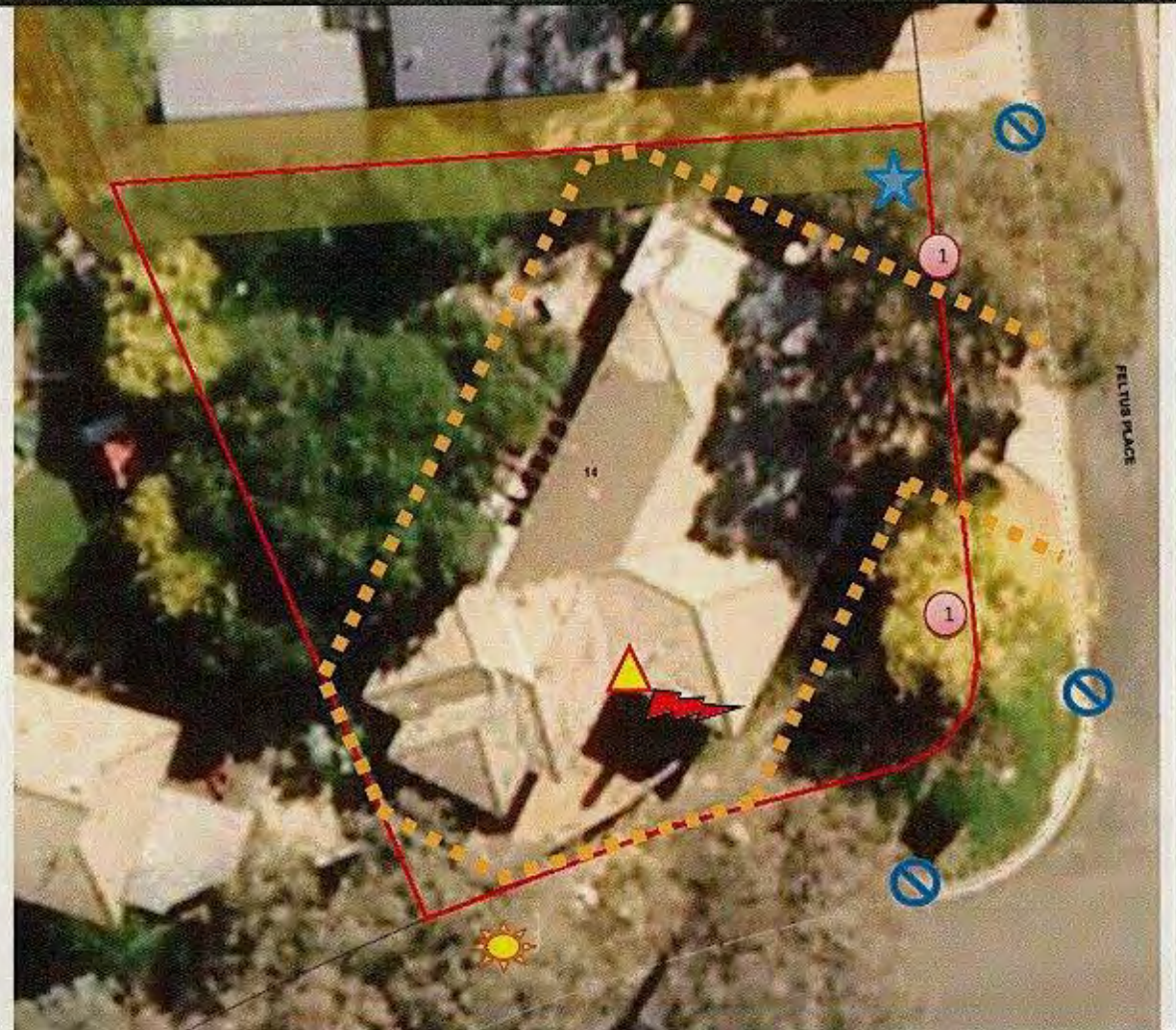


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Street num: 1 Street name: Feltus Pl Suburb: Kambah
 Block: 1 Section: 14 Block area: _____

PLAN



KEY

	Note reference number		Tree identified for removal
	Gas meter		Overhead powerlines
	Power meter		Storm Water manhole
	Water meter		SV Fire Hydrant
	Exclusion zone		PME (Telstra) PIT
	Solar (PV) Power Meter		Street Light Pole
	Electricity Power Pole		HP Gas Box

NOTE REFERENCE NUMBERS:

1. Retain trees




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Street num: 1 Street name: Feltus Pl Suburb: Kambah
Block: 1 Section: 14 Block area: _____

SITE PHOTOS

1		Retain trees.
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1		Retain trees.
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PO Box 104
NARKABUNDAH ACT 2604
Lic. No: 2007933
Lic. No: 19884486
ABN: 24 128 822 284
ACN: 128 822 284

Email: office@ozbestos.com

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Asbestos Survey of

1 Feltus Pl Kambah ACT

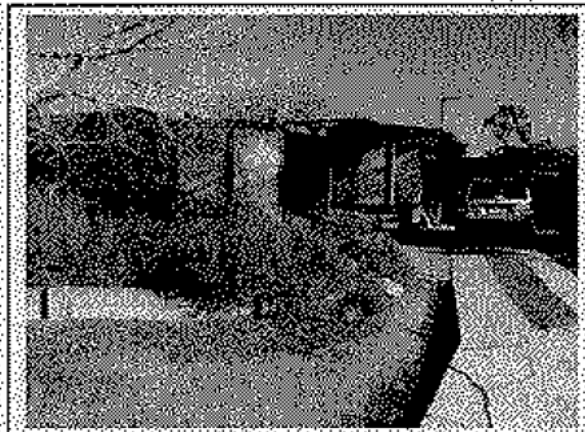
Prepared for:



Date of Inspection:


18/7/2014

"Warning X Mr Fluffy House"



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Job No:	P398
Date of Inspection:	18/7/2014
Inspection of:	1 Feltus Pl Kambah ACT
Survey conducted by:	Peter Hengst (Lic No 19884486)
Signature:	

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Scope:

The scope of this survey is to inspect any building products from the premises that may be an asbestos containing material (ACM) and report on its condition and give recommendations on the management of the ACM.

Purpose:

This Asbestos Survey has been conducted by Peter Hengst Class A Asbestos Assessor (19884486) of Ozbestos Pty Ltd will allow the owner or the person in control of the premises to inform all tenants, maintenance personal and other trades are informed about the location of the ACM and control measures

Ozbestos Pty Ltd was employed to conduct an asbestos survey of 1 Feltus Pl Kambah ACT Peter Hengst Class A Asbestos Assessor surveyed the premises and have the following results.

Asbestos Analysis of Samples:

Sample No	Sample Type	Location of Sample	Result
Friable Asbestos			
398 - A1	Dust	Return air	No asbestos
398 - A2	Dust	Family room heater vent	No asbestos
398 - A3	Dust	Bedroom 1 dust in cupboard floor	Amosite asbestos
498 - A4	Dust	Bedroom 3 dust in cupboard	Amosite asbestos
498 - A5	Dust	Bedroom 2 dust in cupboard top shelf	No asbestos
498 - A6	Dust	Entrance cupboard top shelf	No asbestos
498 - A7	Dust	Sub-floor adj. access	Amosite asbestos
498 - A8	Dust	Lounge heater vent	No asbestos
498 - A9	Dust	Kitchen door frame	No asbestos
Bonded Asbestos			
VA1	Sheet	Eaves	ACM

VA2	Sheet	Laundry walls	ACM
VA3	Sheet	Toilet walls	ACM

VA = Visually Assessed
ACM = Asbestos Containing Material

Condition Rating: ACM

1	Severe	Friable: Easily accessible, deteriorated surface in extremely poor condition
2	Poor	Friable: Unstable ACM that is relatively accessible Bonded: Readily accessible, deteriorated surface
3	Normal	Friable: Stable asbestos that is relatively inaccessible Bonded: accessible surface in fair condition
4	Good	Bonded: Well sealed in stable condition surfaces inaccessible

Risk Rating: ACM

A	Very High	Minor disturbance will create an extreme airborne asbestos exposure
B	High	Significant disturbance of an ACM
C	Medium	During normal building use it is unlikely to be exposed to asbestos
D	Low	During normal building use there is no exposure during normal building use

Asbestos Results:

Sample No	Photo No	ACM Type	Location	Condition Rating	Risk Rating	Management Recommendations
498 - A3	-	Dust	Bedroom 1 dust in cupboard floor	3	C	Remediate
498 - A4	-	Dust	Bedroom 3 dust in cupboard floor	3	C	Remediate
498 - A7	-	Dust	Sub-floor adj. access	4	D	Restrict access
VA1	-	Sheet	Eaves	4	D	Maintain
VA2	1	Sheet	Laundry walls	4	D	Maintain
VA3	2	Sheet	Toilet walls	4	D	Maintain

VA = Visually Assessed

Plans:

Recommendations:

This house was under the Asbestos Removal Program in the 1980s to 1990s. For this reason any demolition or opening of any wall cavities must be under the supervision of a Class A Asbestos Removalist using appropriate equipment and Air Monitoring.

Access to the sub-floor should be restricted to maintenance only wearing the appropriate PPE (disposable suite and mask) as there is asbestos contamination not readily visible.

The bedroom cupboards in room 1 & 3 need remediation by a class A asbestos removalist it is possible the contents are contaminated and may need to be disposed as asbestos waste.

It is recommended the cornice be inspected regularly for cracks and if found they should be sealed with No More Gaps or similar sealant.

All bonded ACM is in good condition may remain in situ but it must be managed to ensure it remains in good condition.

Control Recommendations:



All asbestos can only be removed by an ACT Licensed Asbestos Removalist. There are two types of license in the ACT, A Class can remove Friable Asbestos a B Class can only remove Bonded Asbestos. All ACM products in the premise must be identified for all occupants and all trades that may modify or do maintenance on this premise where asbestos is present.

Exclusions:

While Ozbestos has taken all care to ensure that this report includes the most accurate information available, where it uses test results prepared by other persons it relies on the accuracy of the test results in preparing this report. In providing this report Ozbestos does not warrant the accuracy of such third party test results.

It should be noted that while the survey attempted to identify all asbestos and ACMs at the premises, there is a possibility that some of these materials may exist in inaccessible areas which may only be found during demolition. If any other asbestos is discovered during demolition all works are to stop and the asbestos removed.

Pictures:

	
Laundry walls	Toilet walls

Risk Assessment:

If the recommendations are followed there is no risk to the occupants under normal use after remediation.

The sub-floor access should be restricted to maintenance only wearing PPE (mask & disposable suite).

Any asbestos can only be removed by licensed Asbestos Removalists

A risk assessment should be undertaken by a Class A Assessor to determine any Air Monitoring requirements for any disturbance of any asbestos products.

Health Aspects of Exposure to Airborne Asbestos Fibres

Asbestos is a known carcinogen. The inhalation of asbestos fibres is known to cause Mesothelioma, lung cancer and asbestosis. Malignant mesothelioma is a cancer of the outer covering of the lung (the pleura) or the abdominal cavity (the peritoneum). It is usually fatal. Mesothelioma is caused by the inhalation of needle-like asbestos fibres deep into the lungs where they can damage mesothelial cells, potentially resulting in cancer.

The latency period is generally between 35 and 40 years, but it may be longer, and the Disease is very difficult to detect prior to the onset of illness. Mesothelioma was once rare, but its incidence is increasing throughout the industrial world as a result of past exposures to asbestos. Australia has the highest incidence rate in the world.

Lung cancer has been shown to be caused by all types of asbestos. The average latency period of the disease, from the first exposure to asbestos, ranges from 20 to 30 years. Lung cancer symptoms are rarely felt until the disease has developed to an advanced stage.

Asbestosis is a form of lung disease (pneumoconiosis) directly caused by inhaling asbestos fibres, causing a scarring (fibrosis) of the lung tissue which decreases the ability of the lungs to transfer oxygen to the blood. The latency period of asbestosis is generally between 15 and 25 years. Asbestos poses a risk to health by inhalation whenever asbestos fibres become airborne and people are exposed to these fibres.

Accordingly, exposure should be prevented. The NES of 0.1 fibres/mL should never be exceeded, and control measures should be reassessed whenever air monitoring indicates the 'control level' of 0.01 fibres/mL has been reached. The Code of Practice

for the Safe Removal of Asbestos [NOHSC: 2002(2005)] provides additional information on control levels.

ACM can release asbestos fibres into the air whenever they are disturbed, and especially during the following activities:

- Any direct action on ACM, such as drilling, boring, cutting, filing, brushing, grinding, Sanding, breaking, smashing or blowing with compressed air (State and Territory legislation prohibits most of these actions, and the relevant laws should be checked before performing any activity on ACM);
- The inspection or removal of ACM from workplaces (including vehicles, plant and Equipment);
- The maintenance or servicing of materials from vehicles, plant, equipment or Workplaces;
- The renovation or demolition of buildings containing ACM.

Non friable ACM that has been subjected to extensive weathering or deterioration also has a higher potential to release asbestos fibres into the air.

References:

- ACT Work Health & Safety Act 2011
- Construction Occupations (Licensing) Act 2004 and regulation;
- Dangerous Substances Act 2004;
- Code of Practice for the Safe Removal of Asbestos (2005)

Environmental Certification Certificate of Analysis

Laboratory Report Number: 3002-0233

Analyst: [Redacted]

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Sample No.	Client Ref.	Location / Material	Method	Units	Result	Remarks
14426-A3	3002-A3	Location 3 dust in roadway adjacent	Dust	µg	<10	No Asbestos Detected
14426-A8	3002-A8	Location 8 dust on top of shed	Dust	µg	<10	No Asbestos Detected
14426-A7	3002-A7	Location 7 soil samples	Dust	µg	<10	Asbestos Notation Detected
14426-A6	3002-A6	Location 6 water tank	Dust	µg	<10	No Asbestos Detected
14426-A5	3002-A5	Location 5 soil sample	Dust	µg	<10	No Asbestos Detected



Approved Analyst



Nu. 9183



Approved Director

Statement based on evidence with full NATA accreditation requirements and without other constraints and does not in any way limit liability.



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'Mr Fluffy' Property Pre-settlement Checklist

Property address: 1 FELTUS PLACE KAMOHY
Date of inspection: 14/01/15
Estimated handover date: 16/01/15 or 23/01/15
Inspected by:

C. CHILVERS & D. HICKEY

Is the property vacant? YES / NO

GOODS STILL TO BE REMOVED

Is the property in good condition? YES / NO

UNFINISHED BUILDING WORKS.

Is the land free from rubbish? YES / NO

NUMBER OF ITEMS LEFT ON THE LAND
INC BUILDING MATERIALS, BRICK, TIMBER ETC

Do the grounds need maintenance? YES / NO

(e.g. mow lawns, remove trees etc)

FRONT YARD IS MAINLY WEEDS } BRUSH CUT NEEDED - BOTH ARE IN VERY POOR CONDITION
BACKYARD HAS BEEN LET GO

Are there any unsafe structures? YES / NO

TRIP HAZARD FROM UNFINISHED BUILDING WORKS

Are there external goods that will need de-facing? YES / NO

(e.g. instant hot water & a/c units)

CAS HEATER

Utility meters

- Water
- Distribution board
- Gas - was this easily located?

NEW / OLD - COULD NOT LOCATE

NEW / OLD

YES / NO

Fencing

Is the boundary fencing in good condition? YES / NO EXCEPT FOR FRONT

Is temp fencing required? YES / NO

FRONT FENCE NEEDS 25m OF TEMP FENCE TO COVER UNSAFE AREAS OF LOT.

Pools / water catchments

Are there any pools or spas? YES / NO

Are there any other water catchment possibilities? YES / NO

If YES, details:

Attachments / comments:

EXPAND FOAM NEEDED FOR CRACKS IN EXTERNAL WALLS / CAS BEHIND WINDOWS.
A LOT OF WORK TO BE COMPLETED AT THIS PROPERTY.



1 FELTUS PLACE - KAMBAM

Scope of works for handover of "ART" houses to CMTEDD for ongoing maintenance.

- CMTEDD Project Manager to induct all contractors & Day Labour Staff.
- Is asset in good condition internally, to be checked by CMTEDD Project Managers, if in poor condition, leave the building and change "scope of works".
- CMTEDD Project Managers to deface portable & attractive items as directed by "ART" Rep.
- CMTEDD Project Managers to photograph internal rooms of the building.
- CMTEDD Project Managers to assess the external of the building & yard and note any issues. *Rubbish in the back yard*
- CMTEDD Project Managers to place stickers on front & rear doors and any low level window on side of buildings for extra protection.
- CMTEDD Project Managers to place locks on Switchboards and 2 external lockable taps.
- CMTEDD Project Managers to talk to the neighbours (instructed by "ART") and letter box drop to the ones that are not at home, approved letter with information & contacts to be issued by "ART".

Asbestos Contractors (A Class Licence holder)

- N/A Timber Floors. Screw fix at the base of each external door, a piece of 90 x 45 Pine, approximately 700mm long. Front doors, side doors and sliders are to be screw fixed at the base, rear door to be rekeyed by others. Note: there is to be no penetration into the cavity.
- Concrete Floors. Screw fix the door shut where possible, if not possible screw fix across the internal of the door into the frame approx 900mm off the floor, a piece of 90 x 45 Pine. Screw shut all other doors other than the rear door which will be rekeyed by others. Note: no penetration into the cavity.
- N/A Screw shut windows if required, CMTEDD Project Manager to instruct if required.
- N/A Seal/block off all Dog & Cat doors with plywood on timber doors & silicone seal on glass doors a piece of aluminium angle.
- Empty any rubbish in the 2 garbage bins and dispose of as contaminated waste, then place bins inside the building.
- Fill all sinks/floor wastes etc with a sand & cement mix to stop any escape of Methane Gas, house without a pool will require the ORG (overflow relief gully) which will be at the rear tap, to be filled as well. House with a pool will require the ORG to be left clear.



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Security Systems

Install approved security system, place in an approved area. Security Company to be responsible for the isolation of all power circuits other than the one to supply power to the security system, if they have had to open the switchboard they need to lock the board on completion of the works. Lock must be an ACTEW lock so they can access the meter.

Locksmith works.

Rekey rear door or other door specified by CMTEDD Project Manager

Provide keyed alike lock to subfloor doors

locks were already on, screwed shut as well.

N/A Rekey Granny Flats

Provide 2 padlocks keyed to same system to be placed on external water taps.

Provide a padlock to be installed on the electrical switchboard, this key must be keyed alike to the ACTEW system. (Possible for some houses to have 2 boards).

Fencing works.

Check all boundary fencing for any gates through to neighbours yards, if possible screw shut, if not place temporary fencing to these areas.

2 areas across the front fenced off.

Check condition of boundary fencing, if in poor condition place a 1880 high temporary fence.

Check for side gates, if none place 1800 temporary fencing.

N/A

Pool fencing "ART" to inform if pool is staying. If no fence place 1800 high temporary fence around the pool, base is to be filled in to stop any child from crawling under. If a pool fence is present check for compliance, if noncompliant, place 1800 high fence around. If compliant lock gate with chain and padlock.

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Pools/Spa's & other water storage units.

- N/A Check requirements from "ART", empty pool into the sewer, (ORG) at the rear tap, pop open the static valve at the bottom of the pool when empty to let any water in or out through this valve.
- N/A Place approved ladder beams across the pool and cover with plywood or other approved surface, this must be fixed down in a way that it won't blow away in heavy storms. (Must be done by Licence Scaffolding Company).
- N/A In ground Spa's are to be treated the same as above.
- N/A Natural water traps, holes in backyards, that could hold water. Fill with sand.
- N/A In ground water tanks, place lock on lid (if applicable), if not seek approval from "ART" on filling with sand or leaving it the way it is.
- N/A Above Ground water tanks, check if it has a lid access, if applicable empty tank to stormwater system then leave base plug out. Check that this will not flood neighbours yards, if possible alter the water course.

Plumbing works

Note: no plumber is to go inside the building or under the subfloor at any time.

- Provide lockable taps to front and rear taps over ORG.
- Any other taps cap off.
- N/A Empty pools into sewer system, ORG at rear tap.
- N/A Gutter cleaning if required.
- N/A Disconnect hot water tanks/quick recovery units, cap off lines as close as possible to the external wall. Place items in rear shed or leave at back door to be placed inside. *De faced Hot Water Unit.*
- Isolate Gas line at Meter, if possible lock off.

Telecom disconnection.

- N/A Check if "ART" want the line disconnected or wait till demolition.

Gas disconnection.

- N/A Check if "ART" want the gas cut back to main line and capped off or leave line isolated at meter.

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Electrical disconnection.

N/A If and when required. *locked off at the board*

External wall mounted Oil Tanks.

N/A Check if empty, if still full of heating oil drain fluid with approved recovery company. Check if "ART" want them removed or left on site for demolition.

External AC Unit split systems.

N/A Check if "ART" want them removed or left as is. If removal is required, degas system by approved method, disconnect external unit and place in rear shed or at the back door.

Letter boxes

Block off openings to stop build up of mail/junk mail.

Vermin Issues.

N/A Address if and when required.

Ongoing Ground Maintenance

Mow front lawns, trim trees/shrubs, wiper snipper edging as per "ART" requirements.

Check trees & large shrubs for any possible damage that may cause injury or damage to neighbours and their properties.

Poison rear yard if requested by "ART", do not poison in windy weather or to cause damaged to neighbours plants & lawns.

Whipper snipper rear yard when required.

Notify CMTEDD Project Manager of any other issues arising from visits, EG: vandal damage, gutters falling down, water leaks etc.

Remove and dispose of any external attractive and portable items in the yard that may cause injury or damaged to neighbours and their property. EG: rotten structures, unsafe out buildings, small concrete/masonry structures that may fall over.

CMTEDD Project Managers are Peter Folkard & Chris Chilvers

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PLAN OF SANITARY & STORMWATER DRAINAGE

Designed to AS3500 Drainage Plan Number: 24307

WAE

Owner: [REDACTED]

Block: 14 Section: 102

Suburb: Kambah

FIXTURES

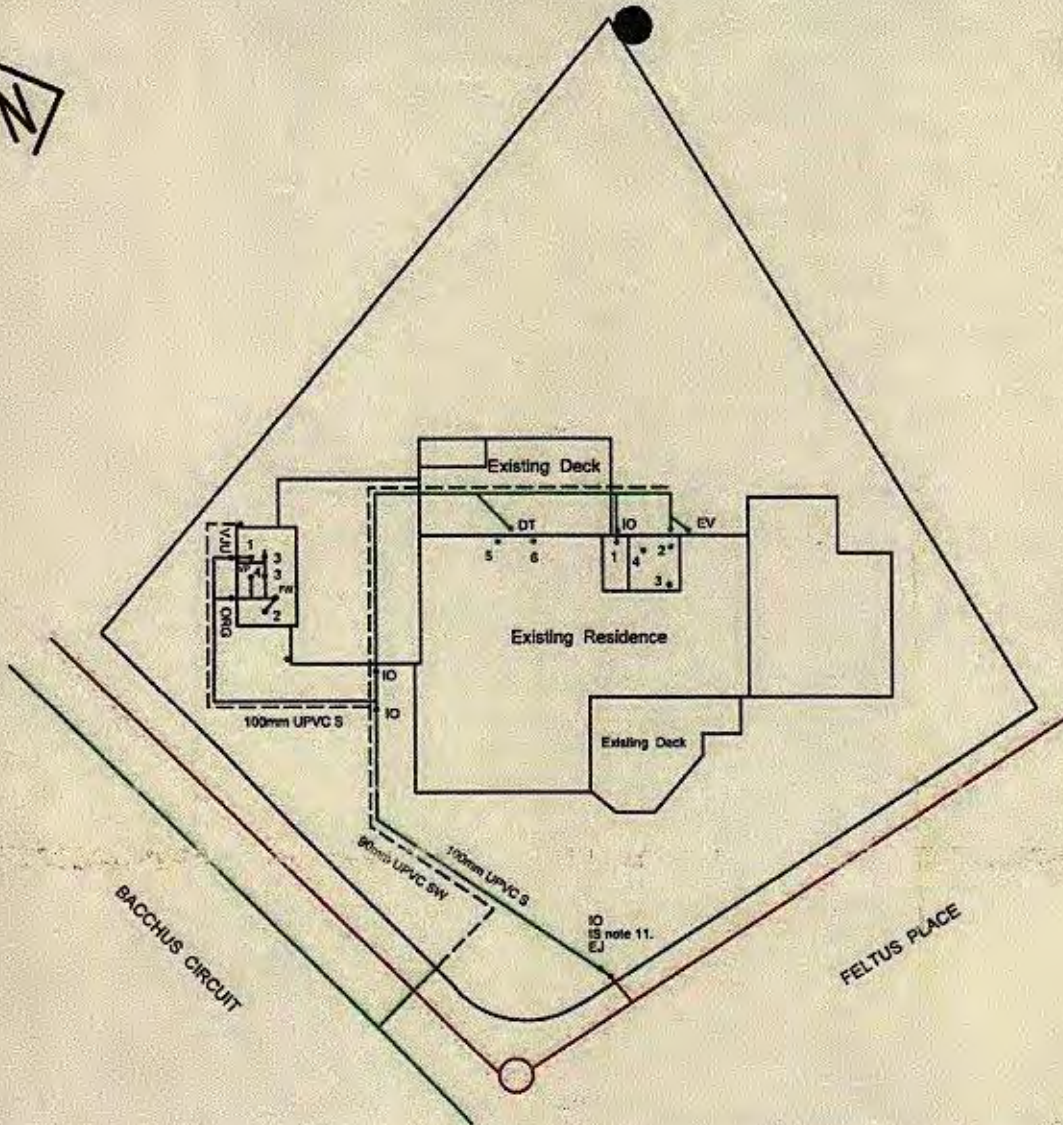
1 WC	(2)	7 Urinal	(-)
2 Bath	(2)	8 Cleaner's sink	(-)
3 Basin	(3)	9 Bidet	(-)
4 Shower	(2)	11 Dishwasher	(-)
5 Kitchen sink	(1)	12 Washing machine	(-)
6 Laundry trough	(1)		

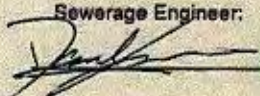
REFERENCE

CO	Clear out	DP	Downpipe
FW	Floor waste	GT	Gully trap
IO	Inspection Opening	IS	Inspection shaft
MH	Manhole	ORG	Overflow relief gully
SMH	Sewer manhole	SVP	Soil vent pipe
UPVC	Unplasticised Polyvinyl Chloride		
VCP	Vitrified Clay Pipe	VJU	Vertical jump up
VP	Vent pipe	WS	Waste stack

NOTES

1. Drains to be laid are shown in blue lines.
2. Existing drains 'x'ed in red are to be removed.
3. Existing drains are shown in green lines.
4. Sewer mains are shown in red lines.
5. Water mains are shown in blue lines.
6. Stormwater mains are shown in green lines.
7. Sewer and stormwater ties to be located on site prior to commencement of work.
8. Copper pipes to comply with AS 1432-1973 table 2 type B tubes.
9. UPVC drains to comply with AS 2032 and the Canberra Code of Practice.
10. ORG levels to comply with AS3500.2 clause 4.6.6.6. and 4.6.6.7.
11. IS at property boundary to be raised to ground level.
12. Any stormwater drains laid under the concrete floor construction must be 100mm.
13. Cover to comply with AS3500.3.2-1998.
14. This plan to be read in conjunction with approved building plans and specifications.
15. All work to comply with Canberra Sewerage and Water Supply Regulations.



Sewer tie	1.676	SCALE 1:200	Stormwater tie	2.85	JIM TAYLOR PLUMBING PO BOX 7065, CMC ACT 2610 Phone: 6161 2511 Fax: 6162 2501 Designed: November 2013	Sewerage Engineer:  25-7-2013
Depth	1.829		Depth	1.2		
Ch	4.5		Ch	4.5		

INCHES 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50



PLAN OF SANITARY DRAINAGE

DRAINAGE PLAN No. 24507

OWNER FAIRLANE CANBERRA P/L

BLOCK 13-15 SECTION 102 KAMBAH A.C.T.

REFERENCE

DT. Disconnector Trap	S.P.D. Stoneware Pipe Drain	IC. Inspection Chamber	F.T. Floor Trap
EV. Educt Vent	C.I.P. Cast Iron Pipe	M.H. Man Hole	S.V.P. Soil Vent Pipe
G.T. Gully Trap	I.O. Inspection Opening	V.P. Ventilating Pipe	V.R. Vertical Riser
FP. Fixed Point	E.J. Expansion Joint		

NOTE: All work to be executed in accordance with Canberra Sewerage & Water Supply Regulations

SCALE METRIC 1:500

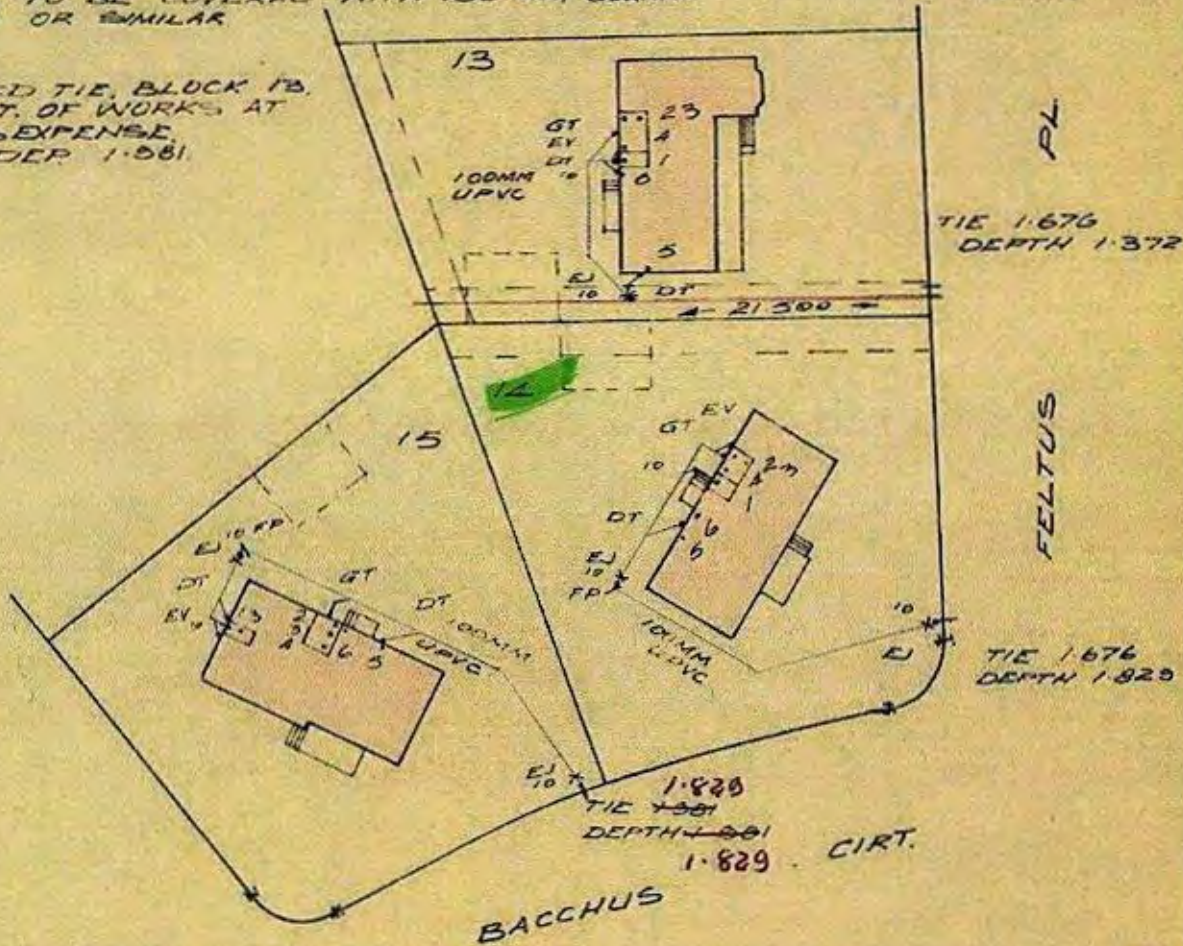
U.P.V.C. UNPLASTICISED POLY VINYL CHLORIDE DRAINS TO BE LAID IN U.P.V.C PIPE AND FITTINGS IN ACCORDANCE WITH A.S.A. CA 67-1972. MIN COVER OVER DRAIN 600MM. (2'0") X EXPANSION JOINT - TO BE SLEEVED WITH POLYTHENE AND TAPED ONTO PIPE. 1 FP FIXED POINT TO BE DRIVEN THROUGH TRENCH BOTTOM 150MM. BEDDING MIN 75MM. QUARRY FINES OR SIMILAR. DRAINS TO BE COVERED WITH 150MM QUARRY FINES OR SIMILAR.



FIXTURES

1. WATER CLOSET
2. BATH
3. BASIN
4. SHOWER
5. SINK
6. TROUGHS

PROPOSED TIE, BLOCK 13, BY DEPT. OF WORKS AT OWNER'S EXPENSE, APP. DEP. 1-581



NOTES DRAINS TO BE LAID ARE SHOWN IN BLUE LINES THIS PLAN TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL PLANS AND SPECIFICATIONS DRAINS TO BE DELETED SHOWN BY RED X. EXISTING DRAINS SHOWN IN GREEN LINES. POSITION OF BRANCH TO BE LOCATED BEFORE ANY WORK IS COMMENCED

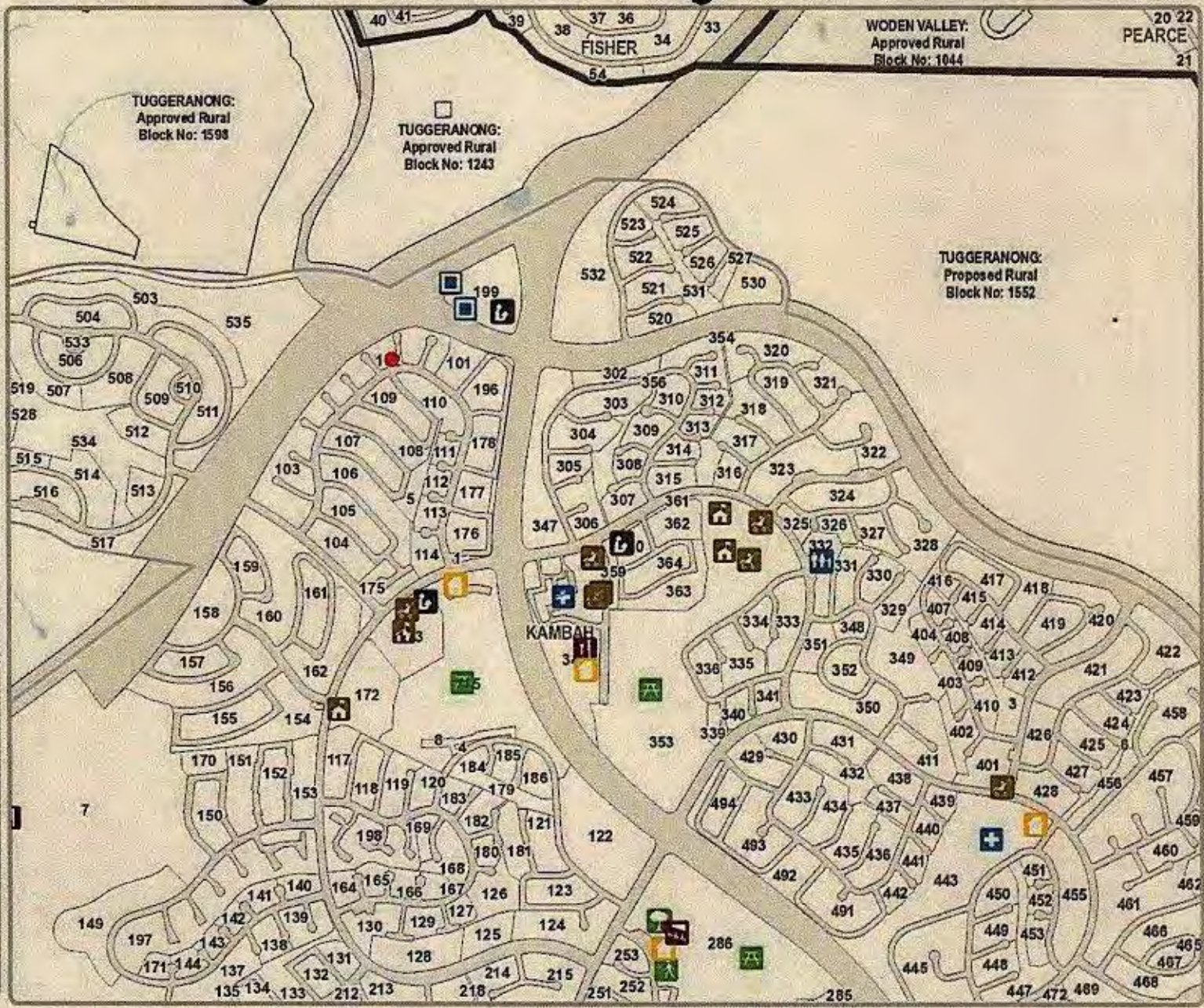
Designed by G. MOORE & N. SMITH. Phone 959236
 Plumbing & Drainage Consultants
 DRAWN G. Moore REF H225

W. J. Todd
 SEWERAGE ENGINEER
 5.4.74

TUGGERANONG:
Approved Rural
Block No: 1598

TUGGERANONG:
Approved Rural
Block No: 1243

TUGGERANONG:
Proposed Rural
Block No: 1552



1: 15,391



DISCLAIMER

The map is a user generated static output from an internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current or otherwise reliable.



Legend

-  Accommodation
-  Aged Care
-  Arts and Culture
-  Cemeteries
-  Child Care
-  Community Facilities
-  Community Gardens
-  Correctional Services
-  Education
-  Health and Medical
-  Hospitality and Sporting Clubs
-  Parks and Gardens
-  Places of Worship
-  Police and Emergency Services
-  Public Transport Terminals
-  Residential Care
-  Social and Welfare Assistance
-  Sports and Recreation
-  Tourist Information
-  Rural Registered Blocks
-  Rural Approved Blocks
-  Rural Proposed Blocks
-  Rural Occupied Blocks

1: 15,391



DISCLAIMER

The map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current or otherwise reliable.

08-Sep-2015

Page 2 of 2



Street num: 1 Street name: Feltus Pl Suburb: Kambah
 Block: 1 Section: 14 Block area: _____

SITE SCOPE

Inspected by: Dave and Steve Date of inspection: 02-11-15

Further information (if required)

Has ART provided a list of any 'special considerations' for this site due to former owner aiming to repurchase the site?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	All assets to be retained
--	------------------------------	-----------------------------	---------------------------

SITE

Does the block have a significant fall to street or neighbour which may create run off issues?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Slight fall to street.
Does the roof appear to be relatively straight forward to access (i.e simple scaffold access)?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	
Will there be any permanent fencing that needs to be replaced due to demolition (i.e building being on boundary, site access)?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Is there any other fencing that may need to be replaced due to demolition	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Are there stormwater pits or similar on block which may need to be bundled?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	(If yes, see plan)
Is there a swimming pool or pond?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Are there any structures that should be retained?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	(If yes, see plan)

LANDSCAPING (TREES & FENCING)

Are there any trees/shrubs on site that should remain?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	(If yes, see plan)
Does the drip line of any trees from neighbouring blocks encroach within the demolition zone? Can this be fenced off within drip line?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Are there any street trees that have the potential to be damaged by machinery?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	

Additional comments:



Street num: 1 Street name: Feltus Pl Suburb: Kambah
 Block: 1 Section: 14 Block area: _____

PLAN



KEY

	Note reference number		Tree identified for removal
	Gas meter		Overhead powerlines
	Power meter		Storm Water manhole
	Water meter		SV Fire Hydrant
	Exclusion zone		PME (Telstra) PIT
	Solar (PV) Power Meter		Street Light Pole
	Electricity Power Pole		HP Gas Box

NOTE REFERENCE NUMBERS:



Street num: 1 Street name: Feltus Pl Suburb: Kambah
Block: 1 Section: 14 Block area: _____

SITE PHOTOS

<p>1</p>		<p>Retain trees.</p>
<p>1</p>		<p>Retain trees.</p>

WHS Checklist for Stage 1 Part A – Pre-Engagement of Head Contractor for demolition phase, for the purpose of designing the demolition.

ART Project Officer: Alf Moscaritolo

Part A - Pre-engagement of Head Contractor (as designer). This checklist should be completed by the ART Project Officer prior to PCW issuing a draft work order (under the existing Panel Deed) to the Head Contractor.

REQUIREMENT	HAS THE REQUIREMENT BEEN MET?		
<p>1. Does the schedule list the properties and note that:</p> <ul style="list-style-type: none"> • all properties by definition are affected (to varying degrees) by loose fill asbestos insulation • all properties given their age are likely to contain asbestos containing materials including bonded asbestos products and/or asbestos pipe lagging • given the Scheme rules permit affected owners to abandon unwanted goods in surrendered houses, there is also likely to be other substances present that may represent a safety risk including asbestos contaminated household goods left in cupboards • all properties are affected by above ground and/or underground services which may include gas, water, sewer and power 	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
<p>If 'No' why not? If N/A explain why and how this requirement will be met. (please be specific)</p>			
<p>2. The designer will be engaged under contractual arrangements requiring compliance with design specific WHS requirements.</p>	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
<p>Note – Head Contractor is already in a contract (via Panel Deed) that meets this requirement</p>			
<p>3. The Taskforce is preparing information specific to the Scheduled houses including:</p> <ul style="list-style-type: none"> • asbestos assessment reports undertaken as part of the assistance phase of the Scheme • relevant information from the formal Building File and Removal Files from the original remediation program that may assist with identifying the location of loose fill asbestos insulation, building construction type and age • ACT Property Group's pre-settlement inspection report • ACT Property Group's post-settlement report (which provides 	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A

information on the property and safety and security issues that have been identified and/or rectified as part of making the property safe and secure pending demolition)

- a property snapshot that will include summary information from the valuation reports.

If 'No' why not? If N/A explain why and how this requirement will be met. (please be specific)

Date PART A of checklist completed:

Signed by ART Project Officer

Name: Alf Moscaritolo

Based on the information provided and to the best of my knowledge, I agree as follows (strike out the ones that do not apply):

- the draft work order can be issued; or
- the following WHS issues now need to be addressed before the draft work order can be issued;
 -
 -
- The following issues should be raised with the Head of Taskforce / ESSC to inform it of current WHS issues:
 -

Director – Acquisition, Maintenance and Sales, Asbestos Response Taskforce

Name: Clint Peters

Date: 3. 11. 15

Loose-fill Asbestos Insulation (“Mr. Fluffy”) Contaminated Property Pre-demolition Survey

1 Feltus Place

Block 14 Section 102 Kambah

ACT 2902

16/12/2015

**Prior to accessing this property refer to page 4 for
important safety advice**



Prepared for the ACT Government – Procurement & Capital Works

Level 2 Annex, Macarthur House

12 Wattle Street Lyneham

ACT 2602



No. 3181

**Accredited for compliance with
ISO/IEC 17020**

Certificate of Approval for Issue of Documents

Document: 9900350_ACT_1 Feltus Place_MFPDS_20151222

Title: Loose-fill Asbestos Insulation (“Mr. Fluffy”) Contaminated Property Pre-demolition Survey
1 Feltus Place
Block 14 Section 102 Kambah
ACT 2902

Date of Issue: 23/12/15

Client: Procurement & Capital Works

	Assessor	Position	Signature
Surveyed by:	Andrew Dibb, under supervision of Shane Conaghan - Licensed Asbestos Assessor #LAA001071	Hazardous Materials Consultant & Manager Hazardous Materials & Laboratory Services	
Approved by:	Shane Conaghan - Licensed Asbestos Assessor #LAA001071	Manager Hazardous Materials & Laboratory Services	
Released by:	Shane Conaghan - Licensed Asbestos Assessor #2013831	Manager Hazardous Materials & Laboratory Services	

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Procurement & Capital Works	Ben McDuff	1	23/12/15
Robson Environmental Pty Ltd	John Robson	2	23/12/15

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Introduction

It is understood that the ceiling space of the premises was insulated in the 1970s with friable asbestos loose-fill insulation. This asbestos insulation was subsequently removed during a programme operated by the ACT and Federal Government. However restrictions applied to these removal works due to the inability of the removalists to access all areas of the property where the material is likely to have migrated without undertaking considerable demolition of parts of the property. These areas include but are not limited to; wall cavities, above built in cupboards, behind cornices and sub-floor areas.

It has subsequently been determined that this remaining asbestos contamination poses an ongoing potential health risk to occupants of the building and tradespeople doing work on the premises. Taking into account the degree of destructive work required to remove the contamination and the fact that even following unrestricted destructive removal contamination still remains, it has been deemed impracticable to thoroughly remove all remaining asbestos loose-fill without comprehensive demolition of the house. Accordingly, the ACT government has initiated a programme to purchase these contaminated properties where the homeowners accept, safely remove Asbestos Containing Materials (ACM) and materials which may be contaminated with asbestos from the properties, demolish the structure under controlled conditions and render the land suitable for future occupation.

Safely Entering These Premises

This structure contains loose fill asbestos. Only persons who are authorised and who have undergone the appropriate training should enter.

The use of respirators, disposable overalls, overshoes, gloves and hard hats is mandatory. Dry decontamination procedures must be undertaken prior to leaving and all respirators and tools must be thoroughly decontaminated.

Disposable PPE items must be placed in an asbestos waste bag, double bagged, sealed and disposed of as asbestos waste.

No items or building material may be removed from the premises except by the nominated asbestos removalist or assessor under the relevant safety requirements and with the written permission of the Client.

Purpose & Scope

In light of the above, ACT government Procurement & Capital Works has commissioned Robson Environmental to conduct a thorough intrusive investigation of the property to determine the nature and extent of all ACM and potentially asbestos contaminated items within 1 Feltus Place, Block 14 Section 102 Kambah ACT 2902, and to prepare this report summarising this information to be provided to asbestos removalists as guidance in preparing tenders, Asbestos Removal Control Plans (ARCP) and scopes of works.

In line with these purposes, and because the property is no longer occupied, this report differs substantially from a standard residential asbestos survey. It does not include a risk assessment, as the only use of the building that is anticipated to occur before demolition is asbestos removal and related works. It should not be used as an asbestos management plan.

Survey Methodology

Andrew Dibb, under the supervision of Shane Conaghan, NSW Licensed Asbestos Assessor conducted an inspection of the property on 16/12/2015. A thorough visual inspection was conducted, including any outbuildings such as garages or sheds. Photographs from the inspection, particularly photographs of ACM, can be found in Appendix A, and site plans are attached as Appendix C. Where an item was considered to possibly be asbestos containing and where it was safe and possible to do so, a sample was taken. Samples were then analysed in the NATA accredited laboratory (No. 3181) of Robson Environmental to determine if asbestos was present. The findings of this analysis are presented in Appendix B. Any materials that were inaccessible, could not be sampled safely, or were visually consistent with other ACM identified on site were presumed as being ACM or were referred (RA) to a confirmed ACM.

The assessor also noted any furnishings, non-asbestos insulation or other items which should be presumed as being contaminated with asbestos. The assessor has made a judgement as to the likely extent of the contamination, and this report indicates which items will need to be treated as friable asbestos waste, non-friable asbestos waste and which can be treated as asbestos impacted waste. See Appendix E for a summary of the relevant legislation, and Appendix D for a glossary of terms.

This report also includes an approximate evaluation of the construction methods and materials used in the property. However, this report is not a comprehensive building assessment and the findings presented should be used only as a guide to the techniques and materials used for the bulk of the structure.

Limitations & Exclusions

This report should only be used or reproduced in full and for the purpose indicated above. It is not an asbestos management plan or a building inspection report, and it should not be used as such.

The statements and methods within this report are accurate as at 22/12/2015. Robson Environmental is not responsible for updating this report to reflect changes in legislation or policy, and it is the responsibility of the client and/or any person or organisation to whom the client issues this report to ensure that they at all times comply with all relevant legislation and policy. Care should also be taken to ensure that the property and/or the materials contained within have not changed in condition or extent since the inspection.

Whilst intrusive in nature, there are some areas the inspection did not cover. Soil samples were not taken, nor was an inspection of the soil included. No excavation works were undertaken, and there may therefore be ACM or asbestos contaminated items concealed underground, such as asbestos cement formwork and conduit pipes. Where taking a sample or assessing an area was unsafe, illegal, or would in the judgement of the assessor have compromised the structural integrity of the building or otherwise endangered the safety of others or the environment, this activity was not undertaken. Accordingly ACM or asbestos contaminated items may be concealed in some areas which are not included in this report.

Construction Summary

The property is of brick veneer construction, with a timber frame and pitch roof with tiles.

Material Register

Sample Number	Item Number	Location description	Material	Condition	Asbestos type	Treatment type	Removal timing
E1224	-	Bathroom walls	Sheet	-	No asbestos detected	Asbestos impacted waste	During friable removal works
E1225	1	Laundry walls	Sheet	3	Chrysotile asbestos	Non-friable asbestos waste	During friable removal works
E1226	-	Seal to lounge room fireplace door	Rope	-	No asbestos detected	Asbestos impacted waste	During friable removal works
E1227	-	En-suite floor	Sheet	-	No asbestos detected	Asbestos impacted waste	During friable removal works
E1228	2	Eaves – original	Sheet	3	Chrysotile asbestos	Non-friable asbestos waste	Prior to demolition works
E1229	-	Eaves to extension	Sheet	-	No asbestos detected	Asbestos impacted waste	During demolition works
E1230	-	Outside around extension	Sheet debris	-	No asbestos detected	Asbestos impacted waste	During demolition works
E1231	-	To laundry window	Putty	-	No asbestos detected	Asbestos impacted waste	During demolition works
VA01	3	Sub-floor	Flexible ducting	-	-	Asbestos impacted waste	During friable removal works
VA02	4	Sub-floor – packers to piers	Sheet	-	Presumed asbestos	Non-friable asbestos waste	During friable removal works (where accessible and safe to do so), remaining packers during demolition works

Sample Number	Item Number	Location description	Material	Condition	Asbestos type	Treatment type	Removal timing
VA03	5	Roof space	Batts	-	-	Asbestos impacted waste	During friable removal works
VA04	6	Wall cavities of extension	Batts	-	-	Asbestos impacted waste	During friable removal works
VA05	7	Exterior – electrical switchboard backing	Sheet	-	Presumed asbestos	Non-friable asbestos waste	Prior to demolition works

Asbestos containing material
Presumed asbestos containing material
Asbestos contaminated material
Non-asbestos containing material

RA – Referred as being consistent with a material confirmed to contain asbestos

VA – Visually Assessed as being presumed to contain asbestos

ACM Condition Rating		
1	Severe	Deteriorated surface in extremely poor condition
2	Poor	Deteriorated material
3	Normal	Stable asbestos with little damage
4	Good	Well sealed stable surfaces in accessible locations

Conclusions, Recommendations & Site Observations

Roof space

Synthetic Mineral Fibre (SMF) batt insulation was identified in the roof space of the property. This insulation has been installed post any loose fill asbestos remediation work at this property and may therefore be removed as asbestos impacted waste as long as it is removed prior to any inaccessible or concealed areas where visible amounts of loose fill asbestos may be present.

The PVA applied during the original removal programme is flaking and in poor condition.

Living areas

SMF batt insulation was identified within the extension exterior wall spaces during the assessment. As the extension appears to have been added after the original removal programme, this can be disposed of as asbestos impacted waste in the manner outlined for roof space insulation above.

Numerous household fixtures/items remain within the property, including but not limited to multiple mattresses, clothing, cardboard boxes, multiple sofas and white goods. Fitted units are present throughout the kitchen and bathrooms.

Soft furnishings including carpets and curtains remain within the property (excluding wet areas). All soft furnishings should be sprayed with PVA solution prior to being wrapped and sealed in polythene plastic. These items can then be removed from the property and placed in the designated asbestos waste skip/bin prior to friable asbestos removal works beginning.

All hard standing surfaced items not fixed to walls or ceilings can be wiped down by a Class A licensed Asbestos Removalist and removed from the property prior to the asbestos removal works beginning, these items should then be disposed of in the appropriate manor. Any hard standing surfaced items that are removed during the asbestos removal works must be disposed of as asbestos impacted waste, or stored in the designated asbestos waste room within the removal enclosure (if applicable).

Sub-floor

The sub-floor ranges in height between 350-550mm.

Flexible ducting is present in the sub-floor area. A substantial amount of Geofabric was also observed in the sub-floor. No packers were observed to piers, however they should be assumed to be present concealed beneath metal capping until shown otherwise.

At a minimum the sub-floor should be exposed to the cavity walls of all living areas to the property 500-750mm (approximately) to allow these areas to be sufficiently cleaned of any asbestos loose-fill insulation contamination prior to demolition.

Exterior

A timber deck was observed to the rear of the house, and a metal shed is present.




No access was possible to the electrical switchboard as it was padlocked shut. The possibility of an asbestos containing backing sheet being present should be considered.



Approximate Ordering Of Works

The following is presented as a guide only, and should not be taken as binding or definitive.

Process	Items
Prior to friable removal works	Sofas, curtains and carpets Stored items
During friable removal works	Roof space insulation Wall cavity insulation Packers to piers (where accessible and safe to do so) Laundry walls Flexible ducting in sub-floor
Prior to demolition	Eave soffit sheets to original building Electrical switchboard backing sheet (if ACM)
During demolition	Eaves to extension Packers to piers

Appendix A – Photographs & Site Findings

Item Number	Location Description	Material	Photograph
1	Laundry walls	Sheet	
2	Eaves – original	Sheet	
3	Sub-floor	Flexible ducting	

Item Number	Location Description	Material	Photograph
4	Sub-floor – packers to piers	Sheet	NO PHOTOGRAPH
5	Roof space	Batts	
6	Wall spaces of extension	Batts	

Item Number	Location Description	Material	Photograph
-	Throughout living areas	Stored items	
			
			

Appendix B – Fibre Identification Certificate of Analysis

Fibre Identification Certificate Of Analysis			
Report Number: 9900350	Date of Report: 21.12.2015	Samples Taken by: Robson Environmental	Page 1 of 2
Client Details		Laboratory Details	
Client: Procurement & Capital Works		Address: 140 Gladstone Street, Fyshwick, Canberra 2609	
Attention: Ben McDuff		Manager: [REDACTED]	
Received: 17.12.2015		Telephone: 02 6239 5656	
Client Reference: 1 Feltus Place, Kambah		Fax: 02 6239 5669	
Email: benmcduff@act.gov.au		Email: hazmat@robsonenviro.com.au	
Test Specification(s) Employed: AS4964 (2004) & In-House Procedure No.2			
Methodology Summary			
[REDACTED]			
Client Supplied Samples			
Robson Environmental is not responsible for the accuracy or competence of sampling carried by third parties. Sample location(s) and/or sample type(s) of third party samples delivered to the laboratory are given by the client at the time of delivery. Under these circumstances, Robson Environmental cannot be held responsible for the interpretation of the results shown. When the test certificate indicates that bulk samples were taken by the client, they are outside the scope of our NATA Accreditation for sampling. Robson Environmental takes responsibility of information reported only when a staff member takes the sample(s).			
Reporting of Results			
'Asbestos Detected': Asbestos detected by Polarised Light Microscopy (PLM) , including Dispersion Staining (DS)			
'No Asbestos Detected': No Asbestos detected by Polarised Light Microscopy (PLM) , including Dispersion Staining (DS)			
'UMF Detected': Mineral fibres of unknown type detected by Polarised Light Microscopy (PLM) , including Dispersion Staining (DS) . Confirmation by another independent analytical technique may be necessary.			
Hand-picked refers to small discrete amounts of asbestos unevenly distributed in a large body of non-asbestos material.			
Limit of Detection & Reporting Limit			
Known limitations of the test procedure using Polarised Light Microscopy (PLM) are:			
<ul style="list-style-type: none"> • PLM is a qualitative technique only; • It does not cover identification of airborne or water-borne asbestos; • The less encountered asbestos mineral fibres actinolite, anthophyllite and tremolite exhibit a wide range of optical properties that preclude unequivocal identification by PLM and Dispersion Staining (DS). Thus, the method is used to positively identify the three major asbestos minerals: amosite ("brown"), chrysotile ("white") and crocidolite ("blue"); • Valid identification requires that the sample material contains a sufficient quantity of the unknown fibres in excess of the practical detection limit used (in this case, PLM and Dispersion Staining, which has a calculated practical detection limit of 0.01-0.1% equivalent to 0.1-1g/kg (AS4946-2004:App. A4). 			
Results relate only to the sample(s) submitted for testing.			
Test report must not be reproduced except in full.			
Accredited for compliance with ISO/IEC 17025			

Sample No.	Client Ref.	Location	Physical Structure	Sample Description	Analysis of Fibrous Content
E1224	N/A	Bathroom wall	Sheet	5grams	No Asbestos Detected
E1225	N/A	Laundry wall	Sheet	<1gram	Chrysotile Asbestos Detected
E1226	N/A	Seal to lounge room fireplace door	Rope	1gram	No Asbestos Detected

[REDACTED]
Robson Approved Signatory



No. 3181

[REDACTED]
Robson Approved Identifier

Accredited for compliance with ISO/IEC 17025

The results of the tests, calibrations and/or measurements included in this document are traceable to Australian/national standards

Robson Environmental Pty Ltd ~ ABN: 55 008 660 900 ~ www.robsonenviro.com.au
p: 02 6239 5656 ~ f: 02 6239 5669 ~ admin@robsonenviro.com.au
PO Box 112 Fyshwick ACT 2609 ~ 140 Gladstone Street Fyshwick ACT 2609

Client: Procurement

9900350_Fibre ID res_20151221



Fibre Identification Certificate of Analysis

Laboratory Report Number: 9900350 **Analyst:** [REDACTED] **Page 2 of 2**

Sample No.	Client Ref.	Location	Physical Structure	Sample Description	Analysis of Fibrous Content
E1227	N/A	Ensuite floor	Sheet	12grams	No Asbestos Detected
E1228	N/A	Eaves – original	Sheet	6grams	Chrysotile Asbestos Detected
E1229	N/A	Eaves to extension	Sheet	6grams	No Asbestos Detected
E1230	N/A	Outside around extension	Sheet debris	42grams	No Asbestos Detected
E1231	N/A	To laundry window	Window putty	6grams	No Asbestos Detected

[REDACTED]
 Robson Approved Signatory
 [REDACTED]

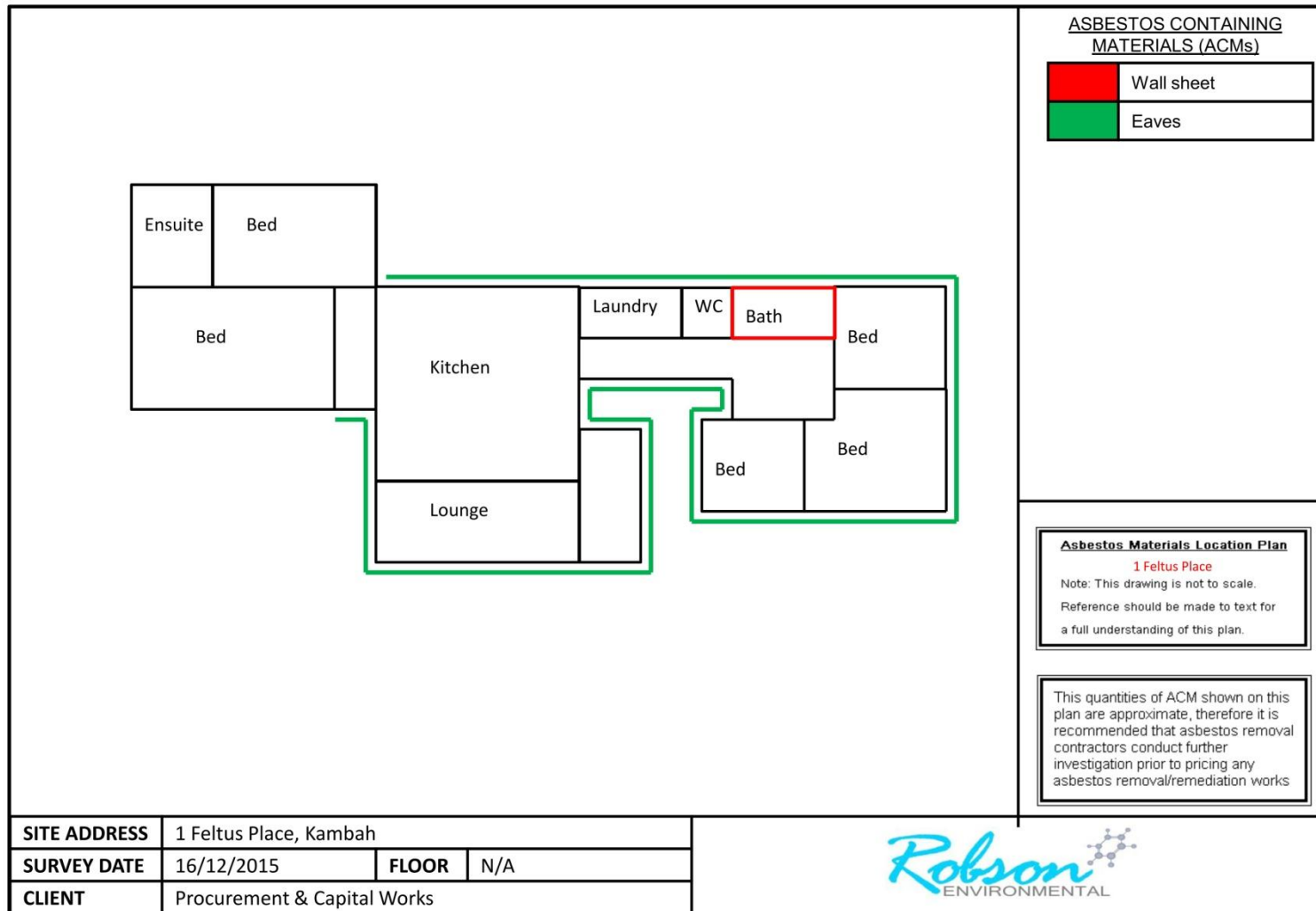


No. 3181

Accredited for compliance with ISO/IEC 17025

[REDACTED]
 Robson Approved Identifier
 [REDACTED]

Appendix C - Plans



Appendix D - Glossary of Terms

Non Friable Asbestos	Non friable asbestos is material that contains asbestos firmly bound into a matrix. It may consist of cement or various resins/binders and cannot be reduced to a dust by hand pressure. As such it does not present an exposure hazard unless cut, abraded, sanded or otherwise disturbed. Therefore, the exposure risk from non friable ACM is negligible during normal building occupation.
Friable Asbestos	Friable asbestos material can be crumbled or reduced to a dust by hand pressure when dry. It can represent a significant exposure hazard as a consequence of minor disturbance. Pipe lagging, loose-fill asbestos, millboard and severely damaged non friable asbestos are examples of friable asbestos.
Asbestos Impacted Waste	Materials to be disposed of that have been deemed to be contaminated with asbestos, but to a lesser extent than asbestos contaminated waste, with differing disposal requirements.
Chrysotile	White asbestos is least hazardous asbestos type but still classified as Group 1 carcinogen.
Amosite	Grey or brown asbestos
Crocidolite	Blue asbestos, the most hazardous asbestos type
ACM	Asbestos containing material. Any material or thing that contains asbestos as part of its design.
ARCP	Asbestos Removal Control Plan. A document detailing the safe methodology for undertaken particular asbestos removal works.
COC	Chain of Custody
SWMS	Safe Work Method Statement. A document detailing the safe methodology for high risk construction work.
Building Certifier	A professional who ensures the building plans and work is completed in accordance with the building legislation and the Building Code of Australia.

Appendix E - Regulations & Codes of Practice

How to Safely Remove Asbestos Code of Practice.

How to Manage and Control Asbestos in the Workplace Code of Practice.

Work Health and Safety Act 2011

Work Health and Safety Regulations 2011

Dangerous Substances Act 2004

Dangerous Substances (General) Regulation 2004

Information Sheet Number 5 - Contaminated Sites - Requirements for Transport and Disposal of Asbestos Contaminated Wastes ESDD (Feb 2014)

Information Sheet Number 6 - Contaminated Sites - Management of Small Scale, Low Risk Soil Asbestos Contamination ESDD (Feb 2014)

Statement of Limitations

Robson Environmental has taken care to ensure that this report includes the most accurate information available. The material assessments, recommendations and/or conclusions contained in this report must not be used to excuse a person of their responsibility to work in accordance with relevant Statutory Requirements, Codes of Practice, Guidelines, Safety Data Sheets, Work Instructions or reasonable work practices.

The findings contained within this report are the result of the interpretation of discrete/specific sampling methodologies used in accordance with normal practices and standards. To the best of Robson's knowledge, our assessment of the data represents a reasonable interpretation of the general condition of the site. Unless specifically noted, the survey did not cover exterior ground surfaces and sub-surfaces (e.g. infill/soil).

THIS REPORT MUST NOT BE REPRODUCED EXCEPT IN FULL

Gas Supply Abolishment Completion Letter

Dear Customer

ActewAGL Distribution would like to advise that, the gas service at the site has been disconnected from the gas network and the meter has now been removed.

Site

Block: 14

Section: 102

Address: 1 Feltus Pl

Suburb: KAMBAH

These services were disconnected on:

16 February 2016

Additional live assets not included in the disconnection request may be present on or adjacent to this site. If construction or demolition work is going to be carried out outside the existing building line, please call '*Dial Before You Dig*' on 1100 or visit their website at www.1100.com.au prior to the commencement of any such works.

If you have any further questions regarding this letter please do not hesitate to contact Zinfra (ActewAGL Distribution's sub-contractor) on (02) 6192 6218 or Canberra.Planner@zinfra.com.au

Yours sincerely



Gas Networks Manager

ActewAGL Distribution

IMPORTANT – The contents of this communication may be privileged and confidential. The information contained in this communication is intended for the named addressees only. Any unauthorised use of the contents is expressly prohibited. If you have received this communication in error, please advise the sender by telephone immediately and then destroy the message and any printed copies. Thank you.

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