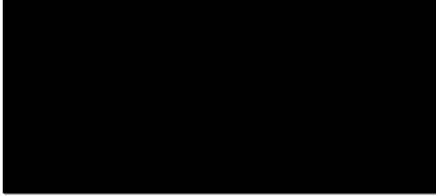




ACT
Government

Environment, Planning and
Sustainable Development



Dear 

**Block 19 Section 46 Division of Turner
Development Application No 201630573**

I refer to the above application. The registration of the Instrument of Variation giving effect to the approval can now proceed.

The Environment, Planning and Sustainable Development Directorate (EPSDD) is required to lodge the instrument with the Land Titles Office (LTO), Access Canberra, for registration. However, all expenses associated with this process are the lessee's responsibility.



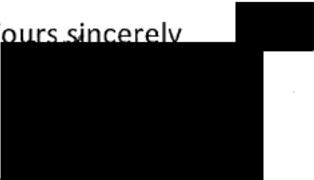
As required by the conditions of approval, registration of the instrument must be undertaken prior to any of the new uses being operated on the block. Please email ACTPLADALEasing@act.gov.au to arrange a meeting to lodge the instrument of variation. DA Leasing attends the LTO on Tuesdays at 2:30pm and Thursdays at 10.00am for pre booked appointments only. Alternative arrangements can be made to meet at the LTO on another day, however a fee will be payable for this service, please see the DA Leasing Attendance Fees at the bottom of this letter. Alternatively, if your Certificate of Title is produced at the LTO, you may wish to provide DA Leasing with a cheque for \$140 (made out to "Access Canberra") so that we can lodge the documents on your behalf.

Please note, payment by personal cheque will delay registration until after the cheque clears. Payment by bank cheque is processed as soon as possible. If you are attending in person you may wish to use cash or credit/eftpos facilities.

The Land Titles Office is located at Access Canberra Shopfront, 16 Challis Street, Dickson ACT. Office hours are 9.00am to 4.30pm weekdays. For lodgement and registration fee information, contact them on (02) 6207 0491 or see website:

- https://www.accesscanberra.act.gov.au/app/answers/detail/a_id/2108/~/land-title-lodgements%2C-registrations-and-searches#ltabs-4.

Yours sincerely


Kobee McLeod
DA Leasing
Planning Delivery
14 February 2018

DA Leasing Attendance Fees

(Attendance Fees Only – Not Land Titles Office fees)

Should your registration be urgent EPSDD can attend LTO outside the normal Thursday scheduled weekly time, however an attendance fee \$392.00 is payable for this service.

Please note that the first attendance for registration at the Land Titles Office (LTO) is free. However, subsequent attendances are subject to fees as follows:

Second attendance	\$241.00
Third attendance	\$279.00
Forth and subsequent attendance	\$372.00

If the above fees apply, the fee must be paid prior to the scheduling a further meeting at the LTO.

Payment Options for (Attendance Fees Only – Not Land Titles Office fees)



In Person (Cash, Cheque, EFTPOS, Bankcard, MasterCard and Visa)

Environment, Planning and Sustainable Development Directorate Customer Service Centre –
Office Hours 8.30am to 4.30pm Monday to Friday 16 Challis Street Dickson ACT 2602



By Post (Cheque made payable to ACT Government)

Environment, Planning and Sustainable Development Directorate GPO Box 158 Canberra
ACT 2601



By Phone (Bankcard, MasterCard and Visa).

Contact Environment, Planning and Sustainable Development Directorate during business hours on telephone (02) 6207 1923.

EPSDD CASHLINK CODE: 34/1511

TO THE MORTGAGEE

**BLOCK 19 SECTION 46 DIVISION OF TURNER
LESSEE [REDACTED]**



On 01 December 2016, I submitted a Development Application (No 201630573) to the Environment, Planning and Sustainable Development Directorate (EPSDD) to vary the lease purpose. The application has been approved.

To enable the Instrument of Variation to be registered against the Crown lease I am required to produce the original Certificate of Title (CT) at the Land Titles Office (LTO) in Canberra. As the Titles are held in your trust, I would be grateful if you could produce it on my behalf.

The Certificate of Title should be produced for an application to vary a Crown lease (AVCL). Please use code 'AVCL' on the required LTO production form.

Please note, once the variation has been processed at the LTO, the updated CT will be sent back to the entity who produced the title.

Should you require any further information on this matter please ring DA Leasing EPSDD on (02) 6207 5403 or email ACTPLADALEasing@act.gov.au.

.....
Name in full

.....
Position (if Company)

.....
Signature

.....
Date



APPLICATION TO VARY A CROWN LEASE

Form 044 - AVCL

Land Titles Act 1925

The Minister or the Delegate of the Planning and Land Authority (the Authority) has agreed to vary the lease as described below, subject to the mortgages, encumbrances and other instruments affecting the land including any created by dealings lodged for registration prior to the lodging of this document. (Note – This form cannot be used to vary a Unit within a Registered Units Plan)

LODGING PARTY DETAILS

Name	Postal Address	Contact Telephone Number

TITLE AND LAND DETAILS

Volume & Folio	District/Division	Section	Block
24:2303	TURNER	46	19

FULL NAME OF REGISTERED PROPRIETOR/S (Surname Last) (ACN required for all companies)	FULL POSTAL ADDRESS
[REDACTED]	[REDACTED]

LEGISLATIVE PROVISION TO VARY CROWN LEASE

I, **Irma Sare**, being a delegate of the Planning and Land Authority, APPLY to you to register the variation which has been made to the Crown lease of the land described. An approval of the Variation of Lease is submitted herewith in accordance with Section 72A of the Land Titles Act 1925.

DETAILS OF DELETED CLAUSES (no longer applicable after registration)

N/A

APPLICATION TO VARY A CROWN LEASE

Form 044 - AVCL

Land Titles Act 1925

IMPORTANT INFORMATION

This form is to be used to lodge an application to vary a crown lease under the *Land Titles Act 1925* (the Act). You can access the Act at www.legislation.act.gov.au. You may also obtain further information and forms at www.act.gov.au/accesscbr.

PRIVACY INFORMATION

The Act authorises the Registrar-General to collect the personal information required by this form for the purposes of issuing a registration under the Act. The Registrar-General prevents any unreasonable intrusion into a person's privacy in accordance with the *Information Privacy Act 2014*. The Registrar-General provides identifiable information to law enforcement and other Directorates that have legal authority to request information under prescribed circumstances. These agencies may also use this information to prepare and sell property sales reports to commercial organisations concerned with the development, sale or marketing of land.

INSTRUCTIONS FOR COMPLETION

- The certificate of title or production of title consenting to the registration of this document is required for lodgement.
- All information should be typed or clearly printed. If completing this form by hand please use a solid black pen only.
- This office will not accept lodgement of this form if it is not completed in full.
- Any alteration to information provided on this form must be struck through with a black pen. Substitute information must be clear and all parties must sign in the margin. Do not use correction fluid or tape.
- Ensure all required documents are attached. If there is insufficient space in any panel, please use an Annexure Sheet.
- Execution by:
 - a) **A Natural Person** – Should be witnessed by an adult person who is not a party to the document.
 - b) **Attorney** – if this document is executed by an Attorney pursuant to a registered power of attorney, it must set out the full name of the attorney and the form of execution must indicate the source of his/her authority e.g. "AB by his/her attorney XY pursuant to Power of Attorney ACT Registration No..... of which he/she has no notice of revocation". (This execution requires a witness).
 - c) **Corporation** – Section 127 of the *Corporations Act* provides that a company may now validly execute a document with or without using a Common Seal if the document is signed by:
 - i. Two directors of the company;
 - ii. A director and a secretary of the company; or
 - iii. Where the company is a proprietary company and has a sole director who is also the sole company secretary, that director. (This execution does not require a witness).
- The following forms of execution are suggested –
 - a) **With A Common Seal**
The common seal of ABC Pty Ltd/Ltd ACN.....
was affixed in the presence of-
.....(signature)
.....(director/secretary)*
(*repeat if necessary i.e. if two directors signing. If signing as sole director and sole secretary, state 'director/secretary') – (This execution does not require a witness).
 - b) **Without A Common Seal**
Signed by ABC Pty Ltd/Ltd ACN.....
.....(signature)
.....(director/secretary)*
(*repeat if necessary i.e. if two directors signing. If signing as sole director and sole secretary, state 'director/secretary') – (This execution does not require a witness).

CONTACT AND LODGEMENT INFORMATION

Email:
actlandtitles@act.gov.au
General Enquiries:
(02) 6207 3000

In Person:
Environment, Planning and Land Shopfront
Ground Floor South, Dame Pattie Menzies House, 16 Challis Street, Dickson
Opening hours - Monday to Friday 8:30am to 4:30pm (*excluding public holidays*)

DETAILS OF VARIATION

AUSTRALIAN CAPITAL TERRITORY PLANNING AND DEVELOPMENT ACT 2007 VARIATION OF A LEASE

Under the Planning and Development Act 2007, I, **Irma Sare**, approve the variation of the Crown lease as specified hereunder:

FORMER PROVISION

1(e) To use the said land for residential purposes only;

AMENDED PROVISION

1(e) To use the said land for the purpose of:

- (i) single dwelling housing; or
- (ii) multi-unit housing of not more than four (4) dwellings;

INSERTED PROVISIONS

Replace the full stop/period (".") at the end of clause 3(h) with a semi-colon (";") and add the following sub clauses

- (i) That in this lease the expression "building" means any building or structure constructed or partially constructed or to be constructed, as the context permits or requires, on or under the land;
- (j) That in this lease the expression "class" for a building or structure, means the class of building or structure under the building code as defined in the Building Act 2004;
- (k) That in this lease the expression "dwelling":
 - (i) means a class 1 building, or a self-contained part of a class 2 building, that:
 - (A) includes the following that are accessible from within the building, or the self-contained part of the building:
 - (1) not more than 2 kitchens;
 - (2) at least 1 bath or shower;
 - (3) at least 1 toilet pan; and
 - (B) does not have access from another building that is either a class 1 building or the self-contained part of a class 2 building; and
 - (ii) includes any ancillary parts of the building and any class 10a buildings associated with the building;
- (l) That in this lease the expression "multi-unit housing" means the use of land for more than one dwelling and includes but is not limited to dual occupancy housing; and
- (m) That in this lease the expression "single dwelling housing" means the use of land for residential purposes for a single dwelling only.

EXECUTION BY ACT PLANNING AND LAND AUTHORITY

Signed by the person duly authorised by the Planning and Land Authority
(Please print full name of authorised signatory)

Irma Sare

SENIOR OFFICER GRADE **C**
POSITION NUMBER **1362**

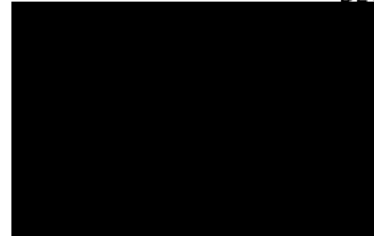


Dated - **17 April 2018**

Print full name and address of witness

Kobee McLeod

ENVIRONMENT, PLANNING AND SUSTAINABLE
DEVELOPMENT DIRECTORATE
16 CHALLIS STREET
DICKSON ACT 2602



Signature of witness

Dated - **17 April 2018**

OFFICE USE ONLY

Lodged by		Certificate of title lodged	
Data entered by		Certificates attached to title	
Registered by		Attachments / Annexures	
Registration date		Production number	

From: [McLeod, Kobee](#)
To: [REDACTED]
Cc: [REDACTED]
Subject: Lodgement of the AVCL for Block 19 Section 46 Turner [SEC=UNCLASSIFIED]
Date: Wednesday, 18 April 2018 12:34:00 PM

Hi Peter

Please see attached receipt for lodgement of the AVCL for Block 19 Section 46 Turner.

DA Leasing lodged this on your behalf yesterday.

There is a contact number on the top left hand side of the receipt if you would like to check how this process is going.

I suggest leaving it a week or so before you call as it takes 5-10 working days to process.

Regards,

Mrs Kobee Tetley | DA Leasing - Planning Support

Planning Delivery | Environment, Planning and Sustainable Development Directorate | **ACT Government**

Dame Pattie Menzies House, 16 Challis Street Dickson | GPO Box 158 Canberra ACT 2601 P **02 6205 4055**

I acknowledge and pay my respects to Elders and Traditional Custodians of this land - past and present, and acknowledge their continuing cultures and connection to Country and community.

00806499

Access Canberra

16 Challis Street
DICKSON ACT 2602

ABN 98 636 852 025 (Departmental)
ABN 41 562 230 918 (Territory)

Enquiries : 02 6207 0491

TAX INVOICE (RECEIPT)

DA LEASING,

Date of Issue 17/04/2018
at 14:33
by SUMM

Application # 00806499

Description	Qty	Cost	GST Amount	GST Incl Amount
AVCL(2149914), 24:2303	1	140.00	0.00	140.00

Total Cost excl GST	\$140.00
Total GST	\$0.00
Total Invoice	\$140.00

Payment Details

EFT - Credit Card

\$140.00

PDL CHECKLIST - AVCL

OFFICER ORIGINATING THIS FORM IRMA Date 7-2-18

BLOCK/SECTION 19/46 Turner

DA NUMBER 201630573

DECISION DATE _____

DECISION IN EFFECT? YES/NO (If 'No' remember to list condition below)

CONDITIONS (YES/NO) / APPEALS (YES/NO) / RECON (YES/NO)

(Briefly detail and indicate if met/concluded)

CUC/LVC

PAYMENT DATE 29-1-18

AMOUNT 27,500

RECEIPT No 316257.1031.9

Checked by IS Date 7-2-18

ADDED TO PDL SPREADSHEET BY _____

Officer IS Date 7-2-18

INSTRUMENTS

*** IMPORTANT! CHECK: IS THE FORM USED UP TO DATE? ***

AVCL or ALUP (circle appropriate)

Completed by KM Date 7-2-18 Checked by IS Date 14-2-18

Sent to Lessee for Owner's Corp signature/seal (if ALUP) by _____ Date _____

REGISTRATION LETTER

Completed by KM Date 7-2-18 Checked by IS Date 14-2-18

REGISTRATION

TITLES PRODUCED? YES/NO Checked by _____ Date _____

BOOKED IN FOR _____ By _____ Date _____

ALL DOCUMENTS SCANNED By _____ Date _____

LTO ATTENDED By _____ Date _____

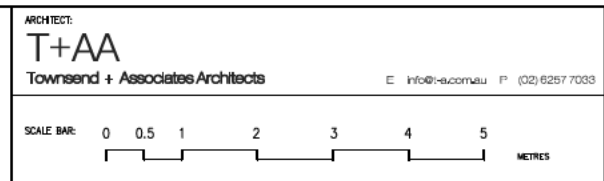


PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 SUBJECT TO THE CONDITIONS SET OUT IN THE
 NOTICE OF DECISION
 PURSUANT TO SECTION 162

Delegate name **WALID ELHASSAN**
 Date **20/11/2017**

ISSUE	DATE	ISSUE	DATE	CONSULTANTS
A	01.08.16	FINAL SKETCH PLAN ISSUE TO SUB-CONSULTANTS	20.06.17	STRUCTURE: KORTHROP
B	18.08.16	ISSUE TO TOWN PLANNER WITH DIMENSIONS	20.09.17	MECHANICAL: RUDDS CONSULTING ENGINEERS
C	20.09.16	ISSUED TO ENERGY CONSULTANT FOR EER & TO ULTIMATE WINDOWS		ELECTRICAL: RUDDS CONSULTING ENGINEERS
D	27.09.16	UPDATED ISSUE TO SUBCONSULTANTS		TRAFFIC/CIVIL: -
E	13.10.16	PRELIMINARY DA ISSUE TO TOWN PLANNER		ACOUSTICS: RUDDS CONSULTING ENGINEERS
F	21.10.16	ISSUED FOR COMMENT TO REAL ESTATE AGENT		ENERGY EFFICIENCY: A/P ENGINEERING
G	01.11.16	LFTY ADDED		BUILDING CERTIFIER: BCA CERTIFIERS
	08.11.16	ISSUE FOR DEVELOPMENT APPROVAL		
		REVISED ISSUE FOR DEVELOPMENT APPROVAL		

ARCHITECT: T+AA Townsend + Associates Architects E info@t-a.com.au P (02) 6257 7033	PROJECT: MULTI-UNIT DEVELOPMENT BLOCK 19 SECTION 46 TURNER ACT (44 MACLEAY STREET)	CLIENT: PETER COVENTRY
--	--	----------------------------------



STAGE: DEVELOPMENT APPLICATION TITLE: FIRST FLOOR PLAN	DRAWN: BT CHECKED: BT VERIFIED: - DATE: JUNE 2016 SCALE: 1:100 @ A3 JOB NO.: 1527	DRAWING NO.: A004 AND: H
---	--	---



THERMAL PERFORMANCE SPECIFICATIONS:

- EXTERNAL WALLS: Cavity Brick with 50mm Foil Backed XPS (including party walls)
- INTERNAL WALLS ADJOINING GARAGE: R2.5
- CEILING: R5 batts
- ROOF: R1.5 blanket (Colourbond)
- GLAZING: Double-glazed units throughout U value < or = 2.9 and SHGC approx. 0.5
- INTERNAL FLOORS: R2.5 to underside of suspended slab (overhanging sections and above garage)
- SLAB ON GROUND: Perimeter insulation and 30mm XPS to underside (except garage)
- SUSPENDED TIMBER FLOOR: R3.5 Underneath

REFER TO SITE PLAN A001-G FOR DRIVEWAY PAVING INFORMATION

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 SUBJECT TO THE CONDITIONS SET OUT IN THE
 NOTICE OF DECISION
 PURSUANT TO SECTION 162
 Delegate name: **WALID ELHASSAN**
 Date: **20/11/2017**

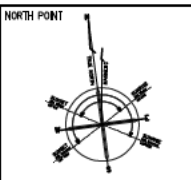
ISSUE	DATE	ISSUE	DATE	CONSULTANTS
A	01.08.16	G	09.03.17	STRUCTURE: NORTHROP
B	20.09.16			MECHANICAL: RUDDS CONSULTING ENGINEERS
C	27.09.16			HYDRAULIC: -
D	13.10.16	H	20.06.17	ELECTRICAL: RUDDS CONSULTING ENGINEERS
E	01.11.16	J	26.09.17	TRAFFIC/CIVIL: -
F	08.11.16			ACOUSTICS: RUDDS CONSULTING ENGINEERS
	09.11.16			ENERGY EFFICIENCY: A/P ENGINEERING
				BUILDING CERTIFIER: BCA CERTIFIERS

ARCHITECT:
T+AA
 Townsend + Associates Architects
 E info@t-a-a.com.au P (02) 6257 7033

PROJECT:
MULTI-UNIT DEVELOPMENT
 BLOCK 19 SECTION 46 TURNER ACT
 (44 MACLEAY STREET)

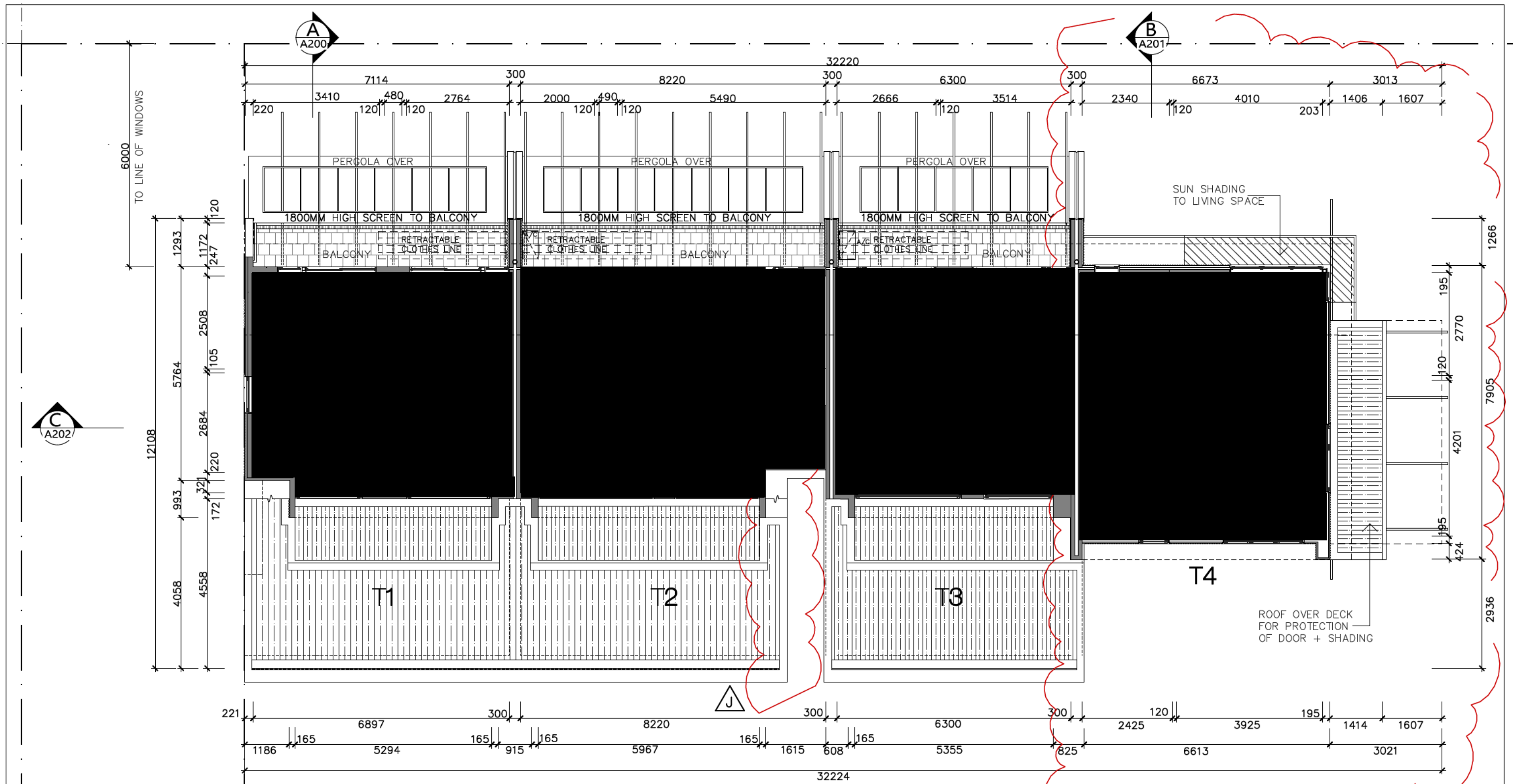
CLIENT:
PETER COVENTRY

STAGE: **DEVELOPMENT APPLICATION**
 TITLE: **GROUND FLOOR PLAN**



DRAWN:	CHECKED:	VERIFIED:	DATE:	SCALE:	JOB NO.:	AND:
BT	BT	-	JUNE 2016	1:100 @ A3	1527	J

DRAWING NO.:
A003



PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 SUBJECT TO THE CONDITIONS SET OUT IN THE
 NOTICE OF DECISION
 PURSUANT TO SECTION 162

Delegate name **WALID ELHASSAN**
 Date **20/11/2017**

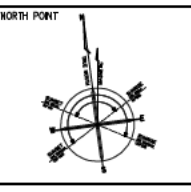
ISSUE	DATE	ISSUE	DATE
A	01.08.16	G1- 2ND FLOOR BALCONY BALUSTRADE TO T1 WEST END MODIFIED TO BE OPEN STEEL BALUSTERS	20.06.17
B	18.08.16	G2- RETRACTABLE CLOTHES LINES ADDED TO T1, T2 & T3 2ND FLOOR BALCONIES	28.09.17
C	20.09.16	G3- A/C CONDENSER UNITS LOCATED ON 2ND FLOOR BALCONIES FOR T2 & T3	
D	27.09.16	H1-T4 SECOND FLOOR REVISED	
E	13.10.16	T2 AND T4 REVISED	
F	21.10.16		
G	01.11.16		
H	09.03.17		

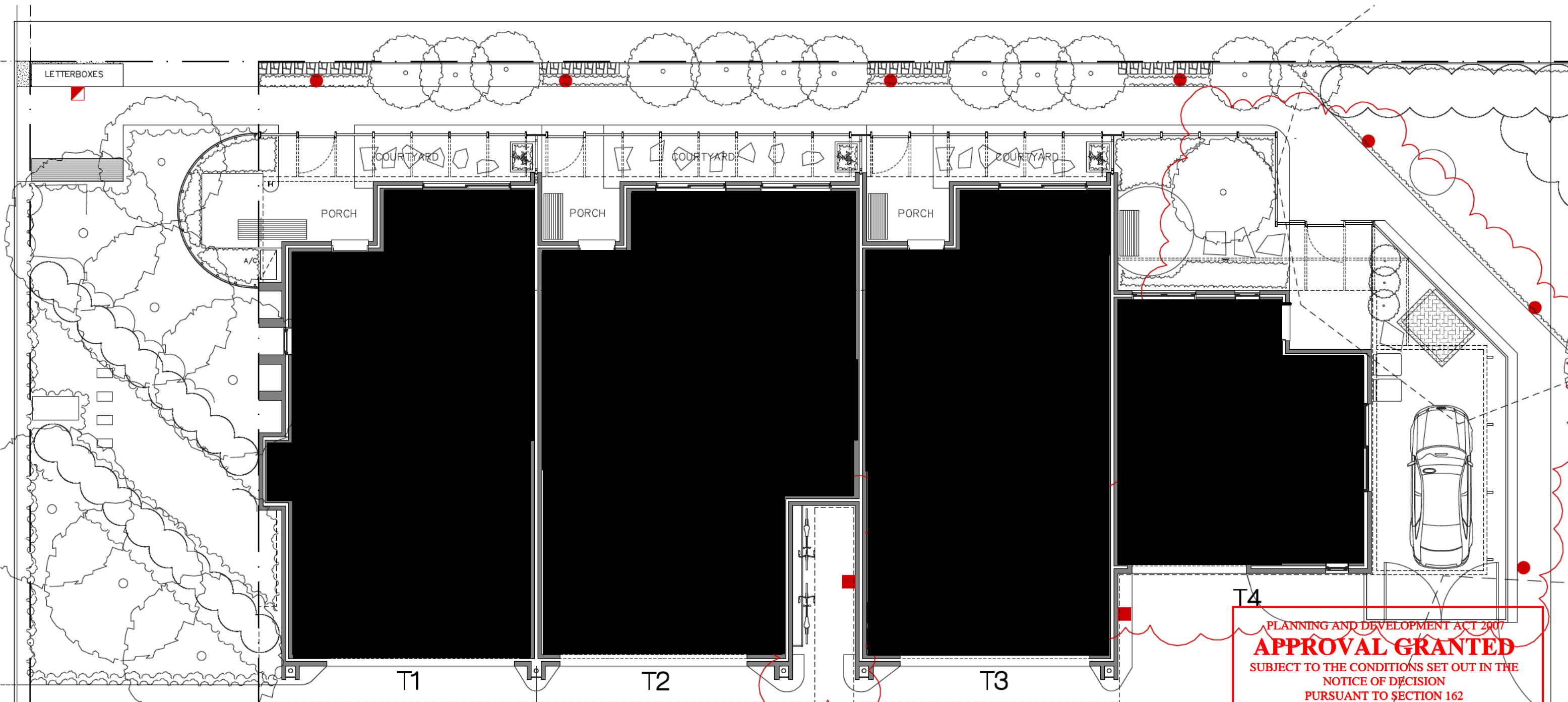
CONSULTANTS	ARCHITECT
STRUCTURE: KORTROP MECHANICAL: RUDDS CONSULTING ENGINEERS HYDRAULIC: - ELECTRICAL: RUDDS CONSULTING ENGINEERS TRAFFIC/CIVIL: - ACUSTICS: RUDDS CONSULTING ENGINEERS ENERGY EFFICIENCY: A/P ENGINEERING BUILDING CERTIFIER: BCA CERTIFIERS	T+AA Townsend + Associates Architects E info@t-a-a.com.au P (02) 6257 7033

PROJECT	CLIENT
MULTI-UNIT DEVELOPMENT BLOCK 19 SECTION 46 TURNER ACT (44 MACLEAY STREET)	PETER COVENTRY

STAGE	TITLE	DRAWN	CHECKED	VERIFIED	DATE	SCALE	JOB NO.	DWG NO.
DEVELOPMENT APPLICATION	SECOND FLOOR PLAN	BT	BT	-	JUNE 2016	1:100 @ A3	1527	J

SCALE BAR
0 0.5 1 2 3 4 5 METRES





PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 SUBJECT TO THE CONDITIONS SET OUT IN THE
 NOTICE OF DECISION
 PURSUANT TO SECTION 162

Delegate name **WALID ELHASSAN**
 Date **20/11/2017**

- LEGEND**
- LED EXTERNAL BOLLARD LIGHT
 - LED EXTERNAL WALL MOUNTED LIGHT (HEIGHT 2.4M ABOVE FINISHED GROUND LEVEL)
 - ◻ LED EXTERNAL RECESSED WALL MOUNTED LIGHT (HEIGHT 1.1M ABOVE FINISHED GROUND LEVEL)
 - ▬ LED EXTERNAL BATTEN LIGHT MOUNTED TO UNDERSIDE OF PERGOLA

GENERAL NOTES

THE LIGHTING DESIGN SHOWN IN THIS DRAWING HAS BEEN DESIGNED:

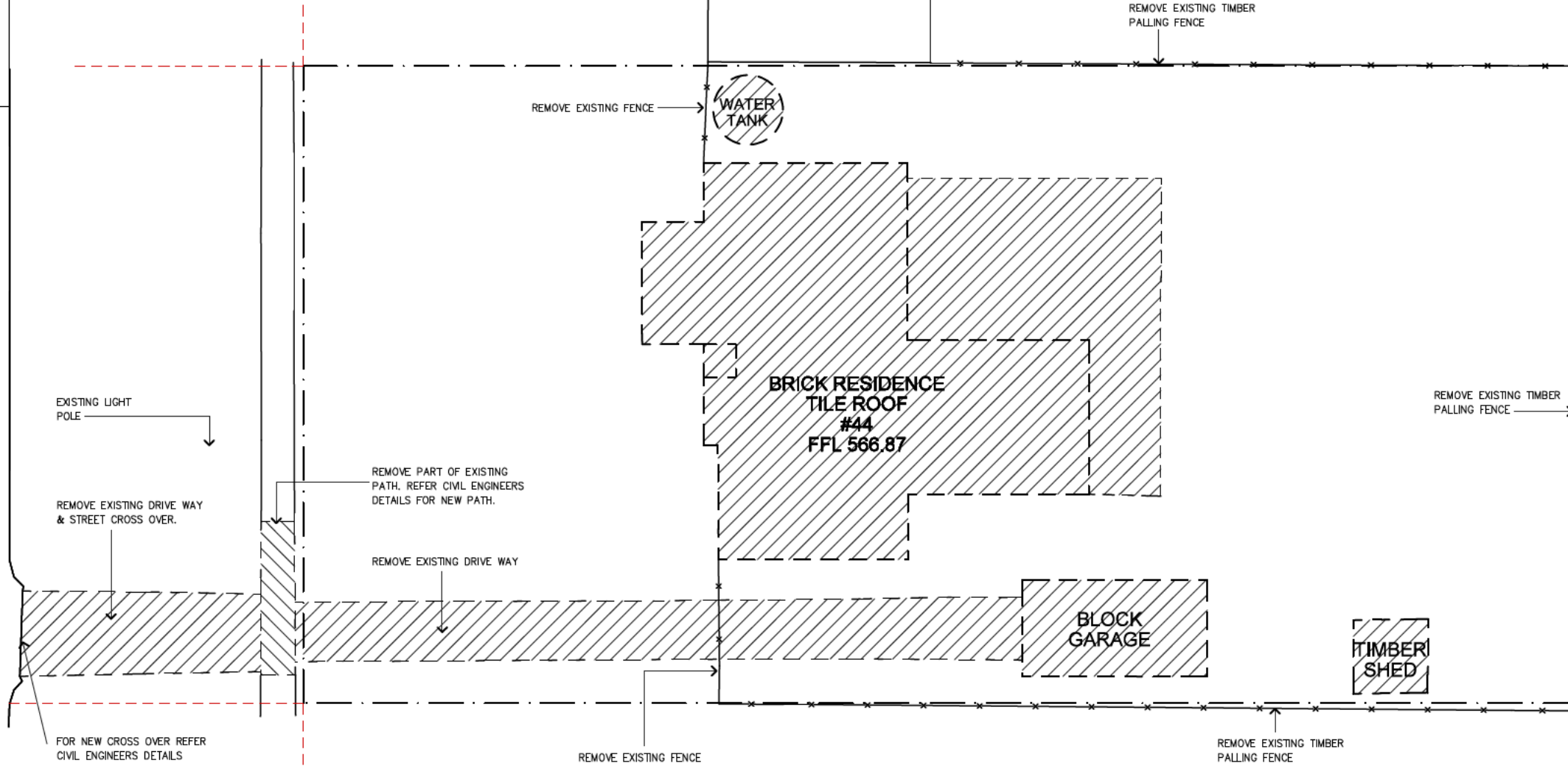
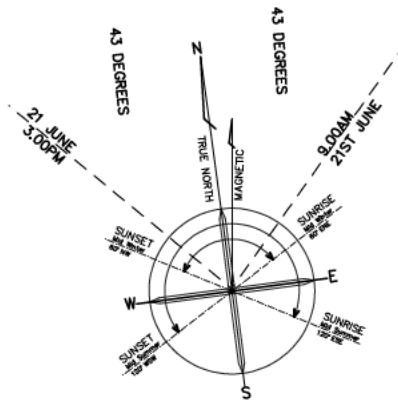
- TO MEET THE REQUIREMENTS OF LIGHTING CATEGORY P4 IN ACCORDANCE WITH AS/NZS 1158.3.1. LIGHTING CATEGORY P4 IS SUITABLE FOR: LOW DEPENDENT OR CYCLE ACTIVITY, LOW RISK OF CRIME AND THE NEED TO ENHANCE PRESTIGE IS NOT APPLICABLE
- IN ACCORDANCE WITH AS 1158 - LIGHTING FOR ROADS AND PUBLIC SPACES PART 2: COMPUTER PROCEDURES FOR THE CALCULATIONS OF LIGHT TECHNICAL PARAMETERS FOR CATEGORY V AND CATEGORY P LIGHTING
- IN ACCORDANCE WITH AS 4282 - THE CONTROL OF OBTRUSIVE EFFECTS OF OUTDOOR LIGHTING, IN THE CASE OF SECURITY LIGHTING; AND
- TO MEET CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN PRINCIPLES

REFER TO SITE PLAN A007-G FOR DRIVEWAY PAVING INFORMATION

ISSUE	DATE	ISSUE	DATE	CONSULTANTS:	ARCHITECT:	PROJECT:	NORTH POINT	STAGE:	DRAWING NO.:
ISSUE FOR DEVELOPMENT APPLICATION	09.11.16	G	09.03.17	STRUCTURE: KORTHOPE MECHANICAL: RIDDIS CONSULTING ENGINEERS ELECTRICAL: RIDDIS CONSULTING ENGINEERS TRAFFIC/CIVIL: - ACOUSTICS: RIDDIS CONSULTING ENGINEERS ENERGY EFFICIENCY: A/P ENGINEERING BUILDING CERTIFIER: BCA CERTIFIERS	T+AA Townsend + Associates Architects E info@t-a.com.au P (02) 6257 7033	MULTI-UNIT DEVELOPMENT BLOCK 19 SECTION 46 TURNER ACT (44 MACLEAY STREET)		DEVELOPMENT APPLICATION	A007
		H	20.06.17			CLIENT:		TITLE:	
		J	26.09.17			PETER COVENTRY		EXTERNAL LIGHTING PLAN	
					SCALE BAR: 0 0.5 1 2 3 4 5 METRES			DRAWN: BT	AND: J
								CHECKED: BT	
								VERIFIED: -	
								DATE: JUNE 2016	
								SCALE: 1:100 @ A3	
								JOB NO.: 1527	

NOTES

- DEMOLITION:**
 1. EXISTING BRICK RESIDENCE, BLOCK GARAGE & TIMBER SHED TO BE DEMOLISHED
 2. EXISTING WATER TANK TO BE DISCONNECTED & REMOVED.
 3. TRY AND RECYCLE ALL DEMOLISHED MATERIAL
 4. ALL FOOTINGS TO BE REMOVED
- ASBESTOS:**
 5. THE EXISTING HOUSE HAS BEEN INSPECTED FOR ASBESTOS. REFER TO REPORT PREPARED FOR INFORMATION
- LANDSCAPE:**
 6. TREES TO BE REMOVED AS SHOWN ON TREE ASSESSMENT & PROTECTION PLAN 301a.
- SERVICES:**
 7. ALL EXISTING SERVICES TO BE DISCONNECTED. PROVIDE TEMPORARY POWER FOR CONSTRUCTION.
 8. ALL DEMOLITION TO BE CO-ORDINATE IN ACCORDANCE WITH WASTE MANAGEMENT PLAN



PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 SUBJECT TO THE CONDITIONS SET OUT IN THE
 NOTICE OF DECISION
 PURSUANT TO SECTION 162

 Delegate name **WALID ELHASSAN**
 Date **20/11/2017**

PRELIMINARY - FOR INFORMATION ONLY

ISSUE	DATE	ISSUE	DATE
A	27.09.16	ISSUE TO SUBCONSULTANTS	
	13.10.16	PRELIMINARY DA ISSUE TO TOWN PLANNER	

CONSULTANTS:
STRUCTURE: RUDDS CONSULTING ENGINEERS
MECHANICAL: RUDDS CONSULTING ENGINEERS
HYDRAULIC: -
ELECTRICAL: RUDDS CONSULTING ENGINEERS
TRAFFIC/CIVIL: -
ACOUSTICS: RUDDS CONSULTING ENGINEERS
ENERGY EFFICIENCY: AP ENGINEERING
BUILDING CERTIFIER: BCA CERTIFIERS

ARCHITECT:
T+AA
 Townend + Associates Architects
 E info@t-a.com.au P (02) 9267 7033

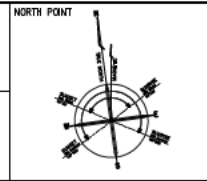
PROJECT:
 MULTI-UNIT DEVELOPMENT
 BLOCK 19 SECTION 46 TURNER ACT
 (44 MACLEAY STREET)

CLIENT:
 PETER COVENTRY

SCALE BAR: 0 1 2 3 4 5 METRES

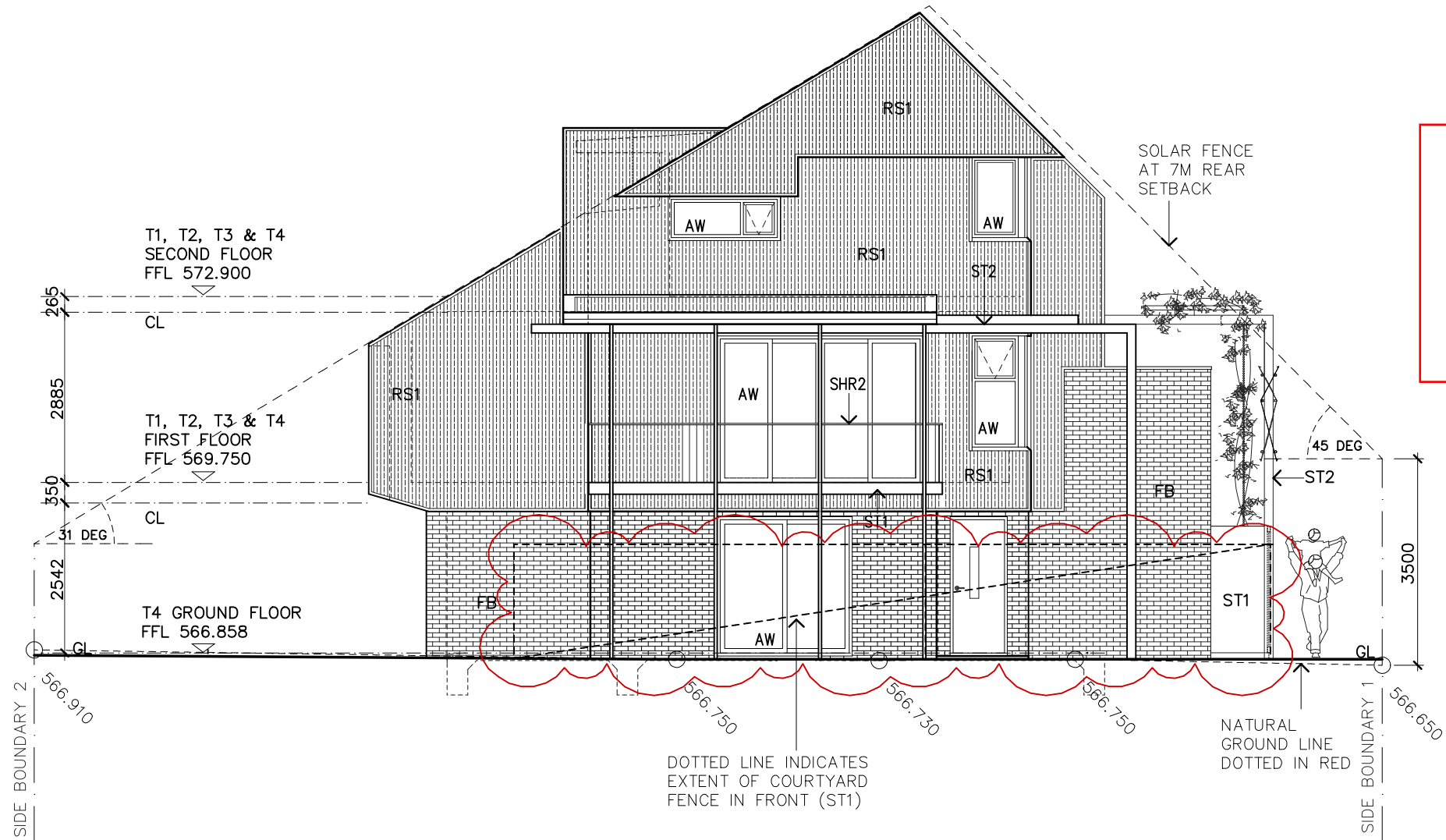
STAGE: DEVELOPMENT APPLICATION
TITLE: DEMOLITION PLAN

DRAWN:	CHECKED:	VERIFIED:	DATE:	SCALE:	JOB NO.:
ZN	BT			1:200 @ A3	1927



DRAWING NO.: A002					
AMD.: A					

12.5M HEIGHT LIMIT PER MULTI UNIT HOUSING CODE



PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 SUBJECT TO THE CONDITIONS SET OUT IN THE
 NOTICE OF DECISION
 PURSUANT TO SECTION 162

Delegate name **WALID ELHASSAN**
 Date **20/11/2017**

EAST ELEVATION

LEGEND

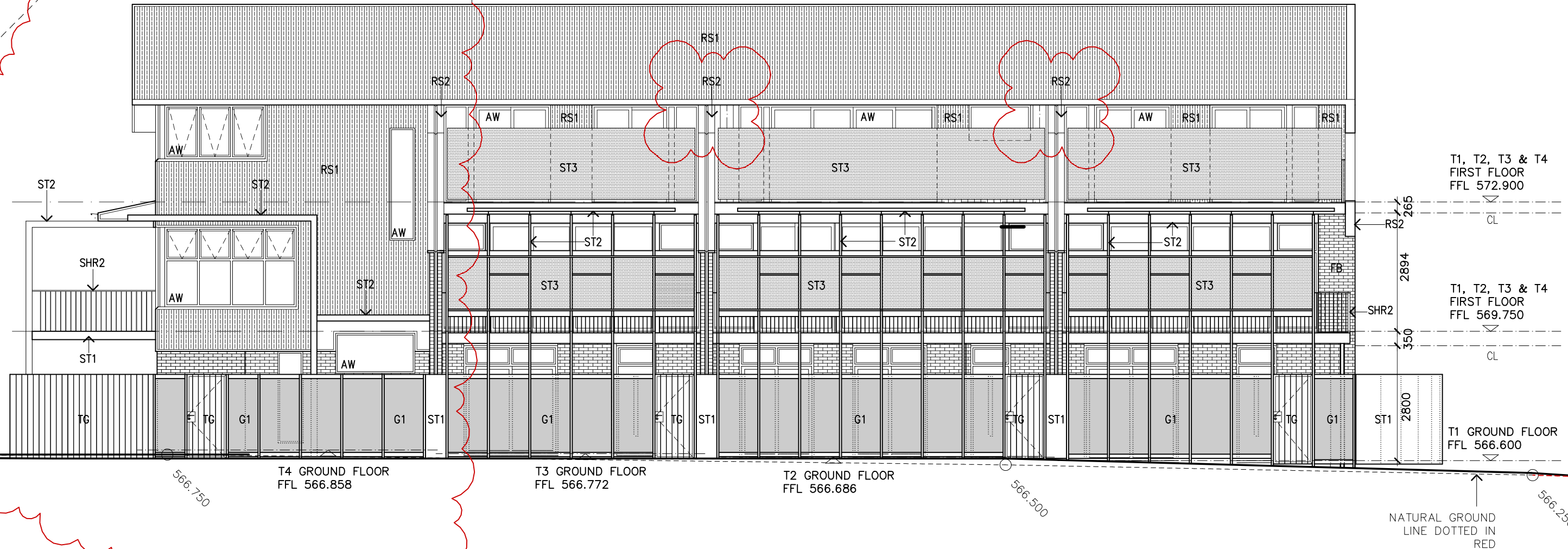
- ST1 — STEELWORK HOT DIPPED GALVANISED FINISH
- ST2 — STEELWORK PAINT FINISH
- ST3 — PERFORATED ANODISED ALUMINUM SCREEN 25% OPEN ON PAINTED STEEL FRAME
- RS1 — ROOF/WALL SHEETING COLORBOND PROFILE LYSAGHT CUSTOM ORB COLOUR: SURF MIST
- RS2 — COLORBOND PARAPET EDGE CAPPING LYSAGHT COLOUR: SURF MIST
- SHR2 — STEEL HANDRAIL 75X25X3 RHS AND STEEL BALUSTERS 50X10 STEEL FLATS FULLY WELDED TO PFC BALCONY EDGE FABRICATE WITH ALL REQUIRED FIXING PLATES AND HOLES ABRASIVE BLAST AND ENSURE HIGH QUALITY HOT DIPPED GALVANISED FINISH
- AW — CLEAR ANODISED ALUMINIUM WINDOW FRAMES WITH DOUBLED GLAZED SEALED UNITS THERMALLY BROKEN FRAMES
- TG — TIMBER GATE ON PAINTED STEEL FRAME TIMBER BLACKBUTT WITH CLEAR FINISH
- ST4 — COPPER INFILL PANEL
- SW — STONE WALL AS SPECIFIED
- P1 — PANEL LIFT GARAGE DOOR. OPAQUE POLYCARBONATE
- FB — FACE BRICKWORK
- G1 — TRANSLUCENT GLASS SCREEN

ISSUE	—	FINAL SKETCH PLAN ISSUE TO SUB-CONSULTANTS	01.08.16	ISSUE	DATE	CONSULTANTS	ARCHITECT:	PROJECT:	NORTH POINT	STAGE:	DEVELOPMENT APPLICATION	DRAWING NO.:										
	A	PRELIMINARY DA ISSUE TO TOWN PLANNER	13.10.16								Townsend + Associates Architects		MULTI-UNIT DEVELOPMENT BLOCK 19 SECTION 46 TURNER ACT (44 MACLEAY STREET)	EAST ELEVATION	A103							
B	ISSUE FOR DEVELOPMENT APPLICATION	01.11.16			STRUCTURE: NORTHROP MECHANICAL: RUDDS CONSULTING ENGINEERS ELECTRICAL: RUDDS CONSULTING ENGINEERS TRAFFIC/CIVIL: — ACOUSTICS: RUDDS CONSULTING ENGINEERS ENERGY EFFICIENCY: AJP ENGINEERING BUILDING CERTIFIER: BCA CERTIFIERS	CLIENT:	PETER COVENTRY	DRAWN:	BT	CHECKED:		BT				VERIFIED:	—	DATE:	JUNE 2016	SCALE:	1:100 ● A3	JOB NO.:
C	C1- SECOND FLOOR REVISED	20.06.17																				
D	T4 REVISED	26.09.17																				

12.5M HEIGHT LIMIT PER MULTI UNIT HOUSING CODE

HIGHEST POINT AT SOLAR FENCE THROUGH SITE

REAR
BOUNDARY
SOLAR
FENCE



NORTH ELEVATION
(COURTYARD WALL SCREENING SHOWN)

LEGEND

- ST1 — STEELWORK HOT DIPPED GALVANISED FINISH
- ST2 — STEELWORK PAINT FINISH
- ST3 — PERFORATED ANODISED ALUMINUM SCREEN 25% OPEN ON PAINTED STEEL FRAME
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- RS2 — COLORBOND PARAPET EDGE CAPPING LYSAGHT CLOUR : SURF MIST
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- ST4 — COPPER INFILL PANEL
- SW — STONE WALL AS SPECIFIED
- P1 — PANEL LIFT GARAGE DOOR. OPAQUE POLYCARBONATE

PLANNING AND DEVELOPMENT ACT 2007
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NOTICE OF DECISION
PURSUANT TO SECTION 162

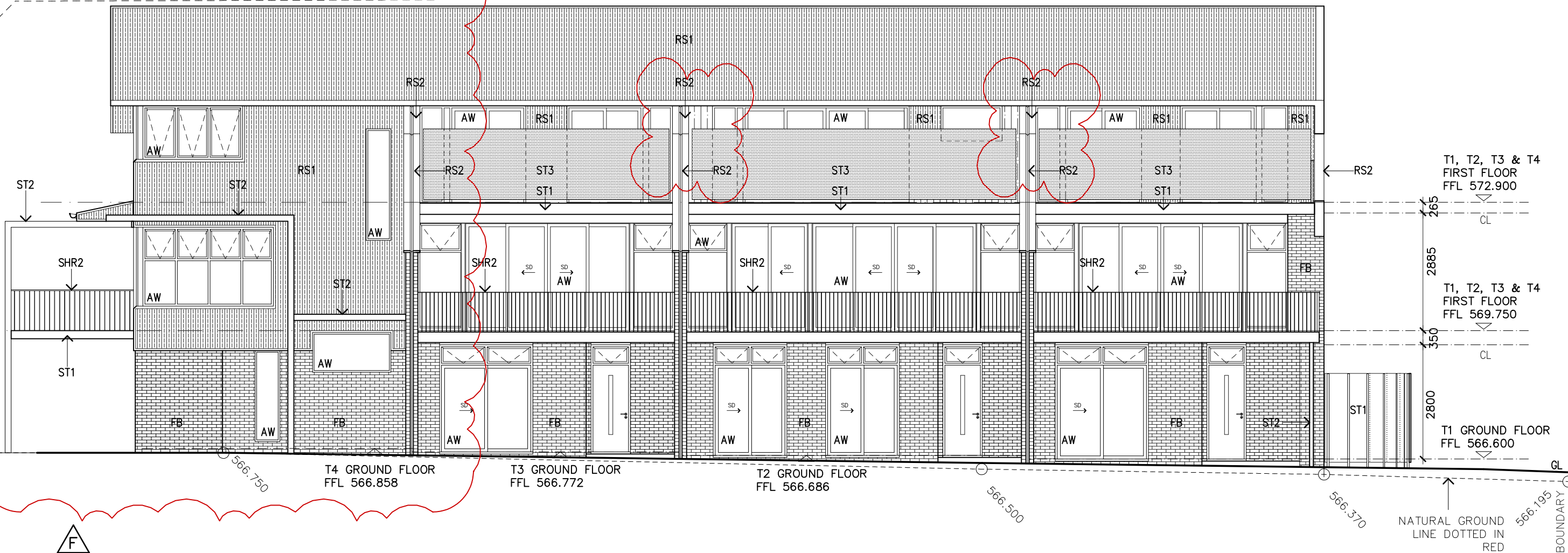
Delegate name **WALID ELHASSAN**
Date **20/11/2017**

ISSUE	DATE	ISSUE	DATE	CONSULTANTS	ARCHITECT:	PROJECT:	NORTH POINT	STAGE:	DRAWING NO.:
A	01.08.16	FINAL SKETCH PLAN ISSUE TO SUB-CONSULTANTS		STRUCTURE: NORTHROP	T+AA	MULTI-UNIT DEVELOPMENT		DEVELOPMENT APPLICATION	A102
B	13.10.16	PRELIMINARY DA ISSUE TO TOWN PLANNER		MECHANICAL: RUDDS CONSULTING ENGINEERS	Townsend + Associates Architects	BLOCK 19 SECTION 46 TURNER ACT (44 MACLEAY STREET)			
C	01.11.16	ISSUE FOR DEVELOPMENT APPROVAL		HYDRAULIC: -					
D	09.03.17	FURTHER INFORMATION		ELECTRICAL: RUDDS CONSULTING ENGINEERS					
E	20.06.17	AMMENDMENT C1 - WEST ELEVATION 2ND FLOOR		TRAFFIC/CIVIL: -					
	26.09.17	BALCONY MODIFIED TO OPEN STEEL BALUSTERS		ACOUSTICS: RUDDS CONSULTING ENGINEERS					
		D1-T4 SECOND FLOOR REVISED		ENERGY EFFICIENCY: A:P ENGINEERING					
		T4 REVISED		BUILDING CERTIFIER: BCA CERTIFIERS					
					SCALE BAR: 0 0.5 1 2 3 4 5 METRES	CLIENT: PETER COVENTRY		DRAWN: BT	CHECKED: BT
								VERIFIED: -	DATE: JUNE 2016
								SCALE: 1:100 @ A3	JOB NO.: 1527
								AMD: E	

12.5M HEIGHT LIMIT PER MULTI UNIT HOUSING CODE

HIGHEST POINT AT SOLAR FENCE THROUGH SITE

REAR
BOUNDARY
SOLAR
FENCE



NORTH ELEVATION
(WITHOUT COURTYARD WALLS)

LEGEND

- ST1 — STEELWORK HOT DIPPED GALVANISED FINISH
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- P1 — PANEL LIFT GARAGE DOOR. OPAQUE POLYCARBONATE
- FB — FACE BRICKWORK
- C1 — TRANSLUCENT GLASS SCREEN

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
SUBJECT TO THE CONDITIONS SET OUT IN THE NOTICE OF DECISION PURSUANT TO SECTION 162

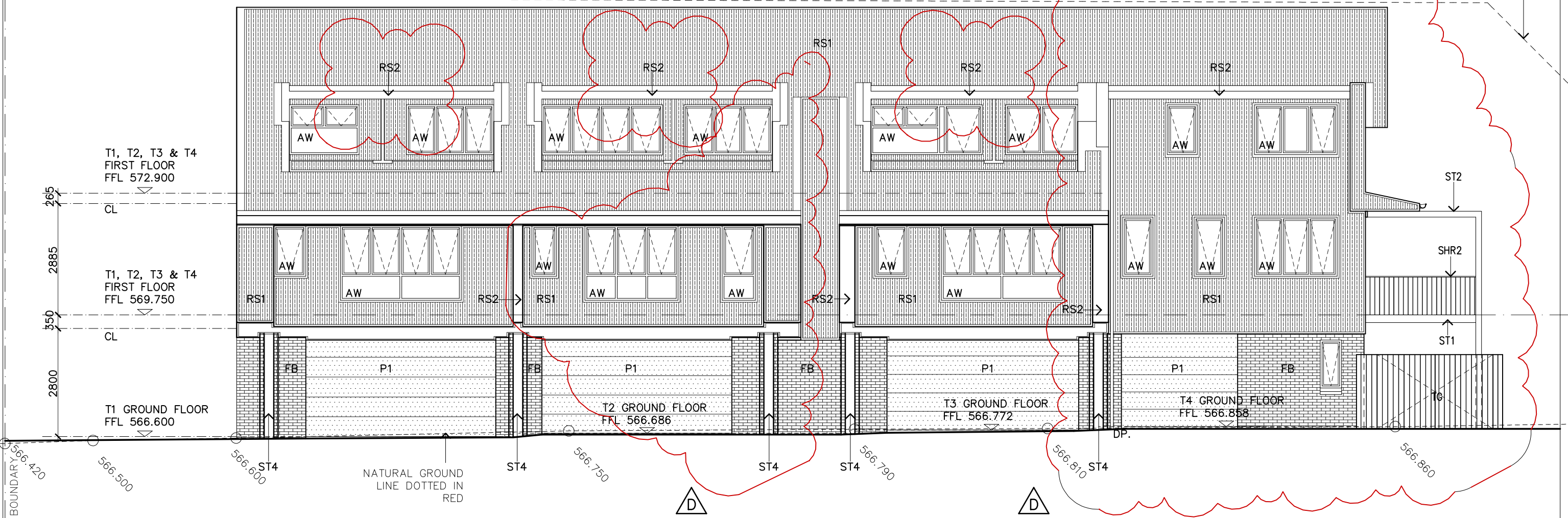
Delegate name **WALID ELHASSAN**
Date **20/11/2017**

ISSUE	FINAL SKETCH PLAN ISSUE TO SUB-CONSULTANTS	01.08.16	DATE	ISSUE	CONSULTANTS	ARCHITECT:	PROJECT:	NORTH POINT	STAGE:	DRAWING NO.:
	PRELIMINARY DA ISSUE TO TOWN PLANNER	13.10.16								
A	ISSUE FOR DEVELOPMENT APPROVAL	01.11.16			MECHANICAL: RUDDS CONSULTING ENGINEERS	T+AA	BLOCK 19 SECTION 46 TURNER ACT		TITLE:	
B	REVISED ISSUE FOR DEVELOPMENT APPROVAL	09.11.16			ELECTRICAL: RUDDS CONSULTING ENGINEERS	Townsend + Associates Architects	(44 MACLEAY STREET)		NORTH ELEVATION	
C	ISSUE FOR DEVELOPMENT APPROVAL REQUEST FOR FURTHER INFORMATION	09.03.17			TRAFFIC/CIVIL: -	E info@t-a.com.au P (02) 6257 7033			DRAWN:	BT / ZN
D	AMMENDMENT 01 - WEST ELEVATION 2ND FLOOR BALCONY MODIFIED TO OPEN STEEL BALUSTERS	20.06.17			ACOUSTICS: RUDDS CONSULTING ENGINEERS		CLIENT:		CHECKED:	BT
E	E1 - T4 SECOND FLOOR REVISED	26.09.17			ENERGY EFFICIENCY: AJP ENGINEERING		PETER COVENTRY		VERIFIED:	-
F	T4 REVISED				BUILDING CERTIFIER: BCA CERTIFIERS				DATE:	JUNE 2016
						SCALE BAR:	0 0.5 1 2 3 4 5 METRES		SCALE:	1:100 @ A3
									JOB NO.:	1527
									AMD.:	F

12.5M HEIGHT LIMIT PER MULTI UNIT HOUSING CODE

HIGHEST POINT AT SOLAR FENCE THROUGH SITE

REAR BOUNDARY SOLAR FENCE



SOUTH ELEVATION

LEGEND

- ST1 — STEELWORK HOT DIPPED GALVANISED FINISH
- ST2 — STEELWORK PAINT FINISH
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- P1 — PANEL LIFT CARAGE DOOR OPAQUE POLYCARBONATE

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 SUBJECT TO THE CONDITIONS SET OUT IN THE NOTICE OF DECISION PURSUANT TO SECTION 162
 Delegate name **WALID ELHASSAN**
 Date **20/11/2017**

ISSUE	DATE	ISSUE	DATE
A	01.08.16	FINAL SKETCH PLAN ISSUE TO SUB-CONSULTANTS	
B	13.10.16	PRELIMINARY DA ISSUE TO TOWN PLANNER	
C	01.11.16	ISSUE FOR DEVELOPMENT APPLICATION	
D	20.06.17	C1-T4 SECOND FLOOR REVISED	
	26.09.17	T2 AND T4 REVISED	

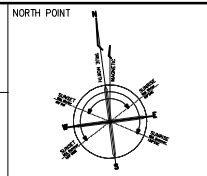
CONSULTANTS	DATE
STRUCTURE: NORTHRUP	
MECHANICAL: RUDDS CONSULTING ENGINEERS	
HYDRAULIC: -	
ELECTRICAL: RUDDS CONSULTING ENGINEERS	
TRAFFIC/CIVIL: -	
ACOUSTICS: RUDDS CONSULTING ENGINEERS	
ENERGY EFFICIENCY: AJP ENGINEERING	
BUILDING CERTIFIER: BCA CERTIFIERS	

ARCHITECT:
T+AA
 Townsend + Associates Architects
 E: info@t-a-a.com.au P: (02) 6257 7033

SCALE BAR: 0 0.5 1 2 3 4 5 METRES

PROJECT:
MULTI-UNIT DEVELOPMENT
 BLOCK 19 SECTION 46 TURNER ACT
 (44 MACLEAY STREET)

CLIENT:
PETER COVENTRY



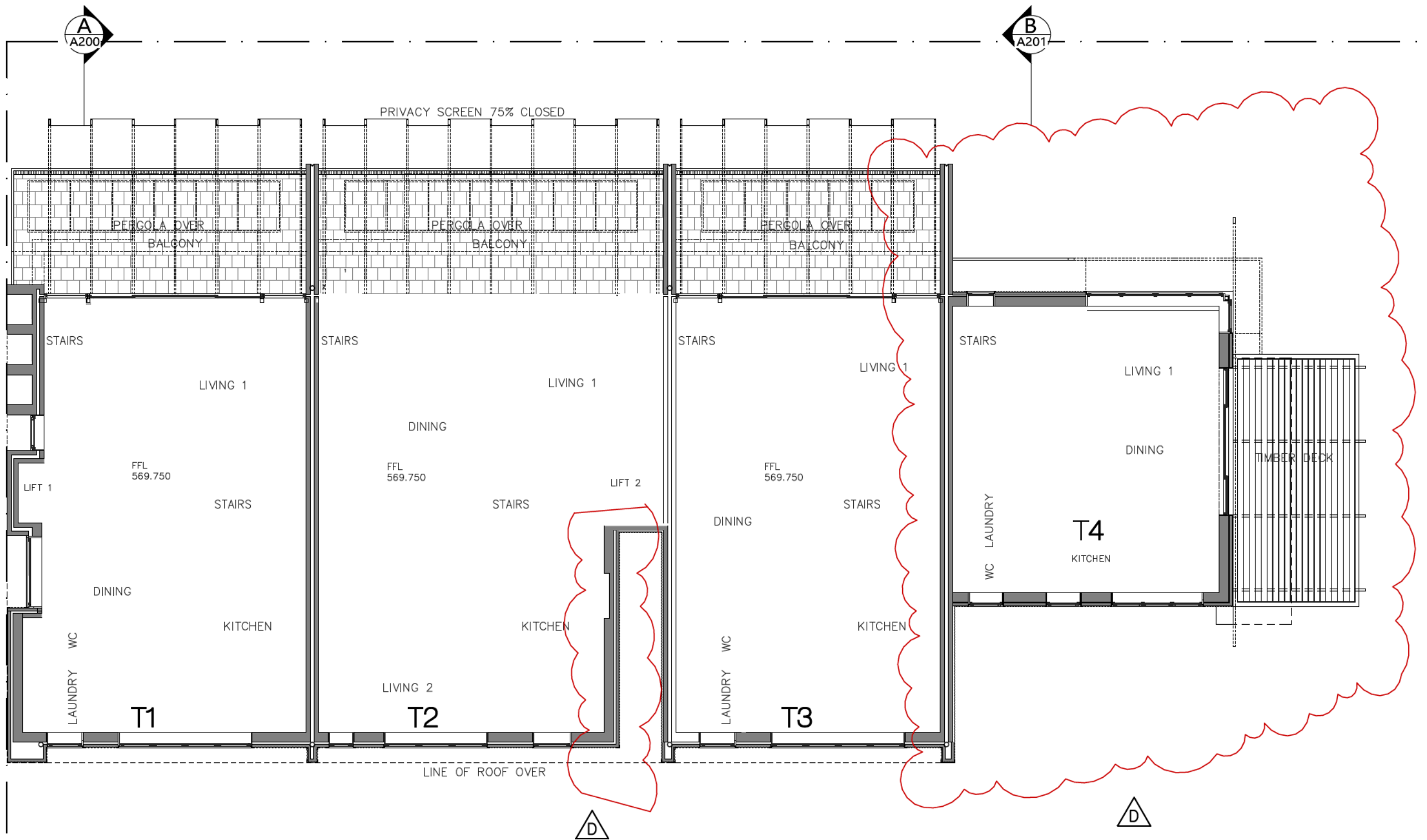
STAGE:		DEVELOPMENT APPLICATION	
TITLE:		SOUTH ELEVATION	
DRAWN:	CHECKED:	VERIFIED:	DATE:
BT	BT	-	JUNE 2016
SCALE:	JOB NO.:	AMD.:	
1:100 @ A3	1527	D	

DRAWING NO.:

A104

AMD.:

D



PLANNING AND DEVELOPMENT ACT 2007
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 PURSUANT TO SECTION 162

Delegate name **WALID ELHASSAN**
 Date **20/11/2017**

ISSUE	DATE	ISSUE
-	13.10.16	PRELIMINARY DA ISSUE TO TOWN PLANNER
A	01.11.16	ISSUE FOR DEVELOPMENT APPROVAL
B	08.11.16	REVISED ISSUE FOR DEVELOPMENT APPROVAL
C	20.06.17	C1-T4 BALCONY REVISED TO TIMBER DECK & SIZE REVISED
D	26.09.17	T2 AND T4 REVISED

DATE	ISSUE
13.10.16	PRELIMINARY DA ISSUE TO TOWN PLANNER
01.11.16	ISSUE FOR DEVELOPMENT APPROVAL
08.11.16	REVISED ISSUE FOR DEVELOPMENT APPROVAL
20.06.17	C1-T4 BALCONY REVISED TO TIMBER DECK & SIZE REVISED
26.09.17	T2 AND T4 REVISED

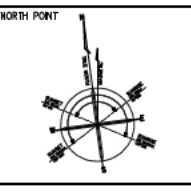
CONSULTANTS:
 STRUCTURE: KORTROP
 MECHANICAL: RIDDIS CONSULTING ENGINEERS
 HYDRAULIC: -
 ELECTRICAL: RIDDIS CONSULTING ENGINEERS
 TRAFFIC/CIVIL: -
 ACOUSTICS: RIDDIS CONSULTING ENGINEERS
 ENERGY EFFICIENCY: AJP ENGINEERING
 BUILDING CERTIFIER: BCA CERTIFIERS

ARCHITECT:
T+AA
 Townsend + Associates Architects
 E info@t-a-a.com.au P (02) 6257 7033

SCALE BAR: 0 0.5 1 2 3 4 5 METRES

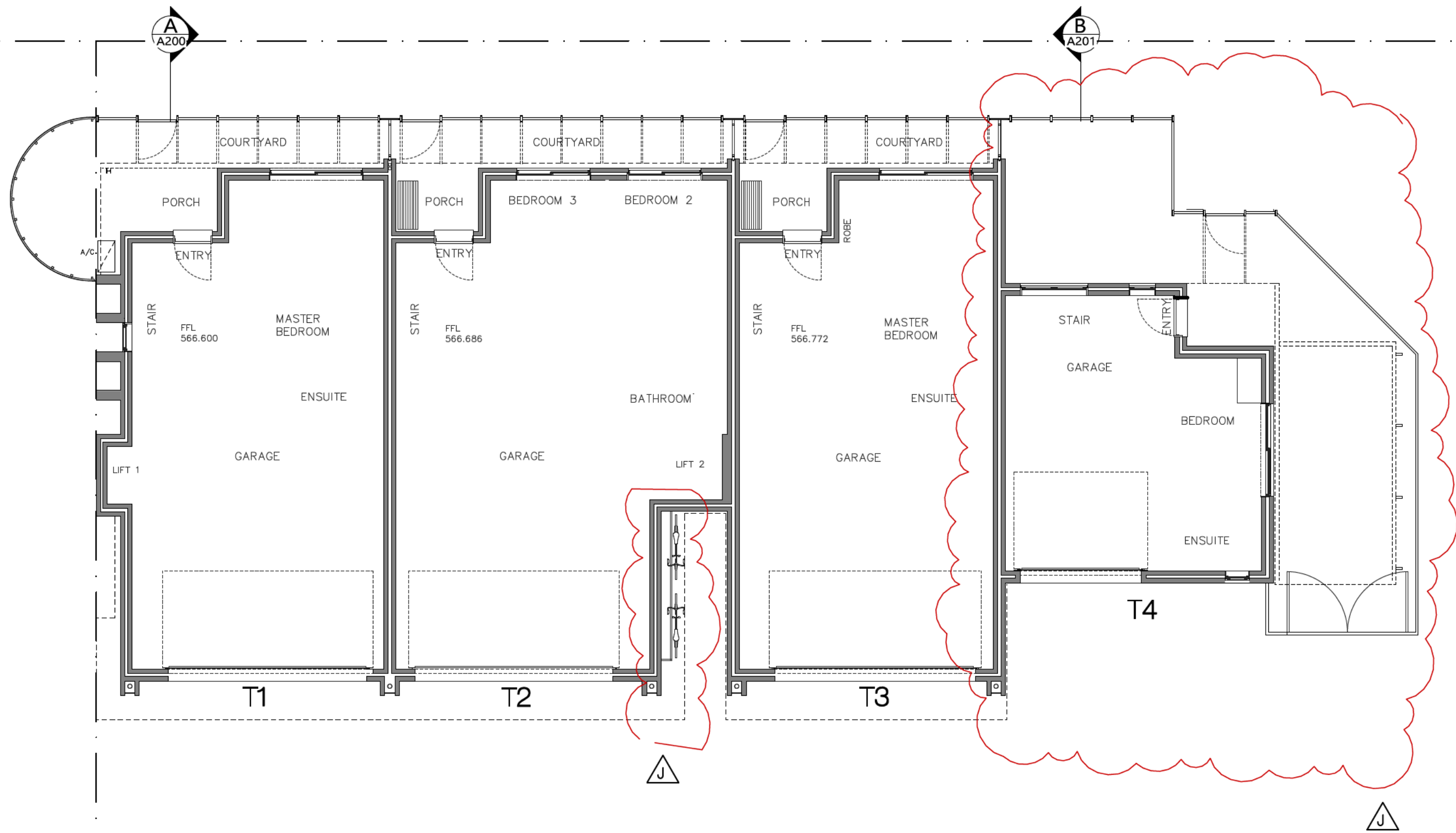
PROJECT:
 MULTI-UNIT DEVELOPMENT
 BLOCK 19 SECTION 46 TURNER ACT
 (44 MACLEAY STREET)

CLIENT:
 PETER COVENTRY



STAGE:	TITLE:	DRAWN:	CHECKED:	VERIFIED:	DATE:	SCALE:	JOB NO.:	DRAWING NO.:
DEVELOPMENT APPLICATION	FIRST FLOOR PLAN	BT	BT	-	JUNE 2016	1:100 @ A3	1527	PN002

DRAWING NO.: **PN002**
 AND: **D**



REFER TO SITE PLAN A001-G FOR DRIVEWAY PAVING INFORMATION

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
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 PURSUANT TO SECTION 162

Delegate name **WALID ELHASSAN**
 Date **20/11/2017**

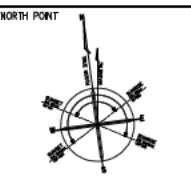
ISSUE	DATE	ISSUE	DATE
A	13.10.16	G	09.03.17
B	21.10.16	H	20.06.17
C	01.11.16	J	26.09.17

CONSULTANTS:
STRUCTURE: KORTHOPE
MECHANICAL: RIDDIS CONSULTING ENGINEERS
ELECTRICAL: RIDDIS CONSULTING ENGINEERS
TRAFFIC/CIVIL: -
ACOUSTICS: RIDDIS CONSULTING ENGINEERS
ENERGY EFFICIENCY: A/P ENGINEERING
BUILDING CERTIFIER: BCA CERTIFIERS

ARCHITECT:
T+AA
Townsend + Associates Architects
E info@t-a-a.com.au F (02) 6257 7033

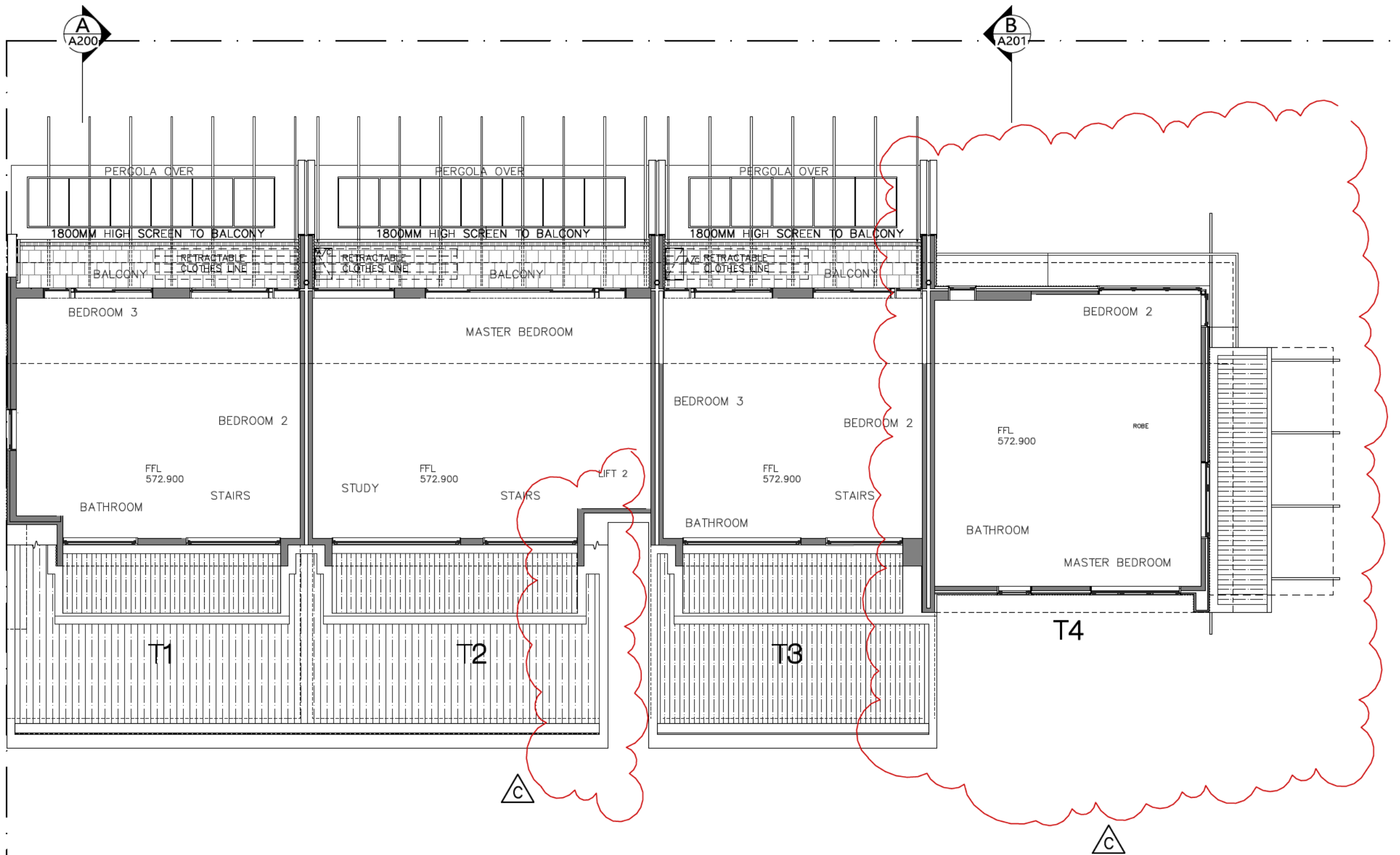
PROJECT:
MULTI-UNIT DEVELOPMENT
BLOCK 19 SECTION 46 TURNER ACT
(44 MACLEAY STREET)
CLIENT:
PETER COVENTRY

STAGE:
DEVELOPMENT APPLICATION
TITLE:
GROUND FLOOR PLAN



DRAWN:	CHECKED:	VERIFIED:	DATE:	SCALE:	JOB NO.:	AND:
BT	BT			1:100 @ A3	1527	J

DRAWING NO.:
PN001



PLANNING AND DEVELOPMENT ACT 2007
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 PURSUANT TO SECTION 162

Delegate name **WALID ELHASSAN**
 Date **20/11/2017**

ISSUE	DATE	ISSUE
-	13.10.16	
A	01.11.16	
B	20.06.17	
C	26.09.17	

DATE	ISSUE
13.10.16	
01.11.16	
20.06.17	
26.09.17	

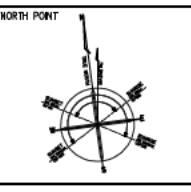
CONSULTANTS:
 STRUCTURE: KORTHOP
 MECHANICAL: RUDDS CONSULTING ENGINEERS
 HYDRAULIC: -
 ELECTRICAL: RUDDS CONSULTING ENGINEERS
 TRAFFIC/CIVIL: -
 ACOUSTICS: RUDDS CONSULTING ENGINEERS
 ENERGY EFFICIENCY: A/P ENGINEERING
 BUILDING CERTIFIER: BCA CERTIFIERS

ARCHITECT:
T+AA
 Townsend + Associates Architects
 E info@t-a-a.com.au P (02) 6257 7033

SCALE BAR: 0 0.5 1 2 3 4 5 METRES

PROJECT:
MULTI-UNIT DEVELOPMENT
 BLOCK 19 SECTION 46 TURNER ACT
 (44 MACLEAY STREET)

CLIENT:
PETER COVENTRY



STAGE:	DEVELOPMENT APPLICATION					
TITLE:	SECOND FLOOR PLAN					
DRAWN:	CHECKED:	VERIFIED:	DATE:	SCALE:	JOB NO.:	AND:
BT	BT	-	JUNE 2016	1:100 @ A3	1527	C

DRAWING NO.:
PN003

PLANT SCHEDULE

Symbol	Species	Size	No.
Trees			
Ase	Acer seiryu	75 litre	6
Abl	Acer 'Bloodgood'	75 litre	7
Lfk	Lagerstroemia fauerei 'Kiowa'	75 litre	6
Mli	Melaleuca linarifolia	300 mm	7
Tla	Tristaniopsis laurina	300 mm	1
Shrubs			
Aku	Azalea kurume varieties	200 mm	8
Aam	Azalea 'Alba Magna'	200 mm	3
Can	Callistemon 'White Anzac'	200 mm	18
Cmm	Callistemon 'Mauve Mist'	200 mm	9
Cgl	Correa glabra	200 mm	13
Do	Daphne odora	200 mm	3
Gvi	Grevillea victoriae	200 mm	3
Lbu	Leptospermum 'Burgundy'	200 mm	18
Osf	Osmanthus x fragrans	200 mm	1
Rop	Raphiolepis 'Oriental Pearl'	200 mm	26
Accent Planting			
Lit	Lomandra 'Tanika'	140 mm	54
Nd	Nandina domestica	140 mm	6
Ndgs	Nandina domestica 'Gulf Stream'	140 mm	57
Opj	Ophiopogon japonicus	140 mm	24
Sno	Scirpus nodosa	140 mm	30
Ground Cover			
Gia	Grevillea lanigera 'Mt Tamboritha form'	140 mm	26
Ho	Helleborus orientalis	140 mm	25
Myp	Myoporum parvifolium	140 mm	48
Rbl	Rosmarinus 'Blue Lagoon'	140 mm	40
Climbers			
Ppa	Pandorea pandorana	200 mm	2
Tj	Trachelospermum jasminoides	200 mm	6

SPECIFICATION

All works to conform to ACT Department of Urban Services Standard Specification for Urban Infrastructure, Edition 1 Revision 0

TECHNICAL EXCEPTION CLAUSES

2.00 EARTHWORKS/DEMOLITION

.1 SUBGRADE LEVELS

Trim and finish site to subgrade levels.

6.00 CONCRETE WORKS

.1 CONCRETE PAVING

Provide 100mm thick broom finished concrete paths over 25mm fine crushed rock base. Compact base to 90% MMDD. Provide F82 mesh centrally in concrete. Concrete to 25MPa. Provide expansion joints against all fixed edges.

9.00 LANDSCAPE

.1 CULTIVATION & GYPSUM

Cultivate garden beds and grassed areas to 300mm depth. Allow to regrade areas to remove humps and hollows and create even and smooth grades. Remove stones >25mm diameter, and any rubbish/organic matter brought to the surface during cultivation.

Spread gypsum at 200gms/m2 and incorporate into subsoil.

.21 TOPSOILING - GARDEN BEDS

Cultivate existing, spread site topsoil, or, if supplies are exhausted, supply and spread type 'S' topsoil such that all mass planted mulched beds have min. 300mm depth topsoil.

.3 TERRACOTTEM

Add 'Terracottem' in accordance with manufacturers directions to all stock as follows:

75 litre trees	1kg
200mm stock	80 gms
140mm stock	40 gms.

.4 PLANTING

Supply and plant as per schedule and details.

.5 MULCHING

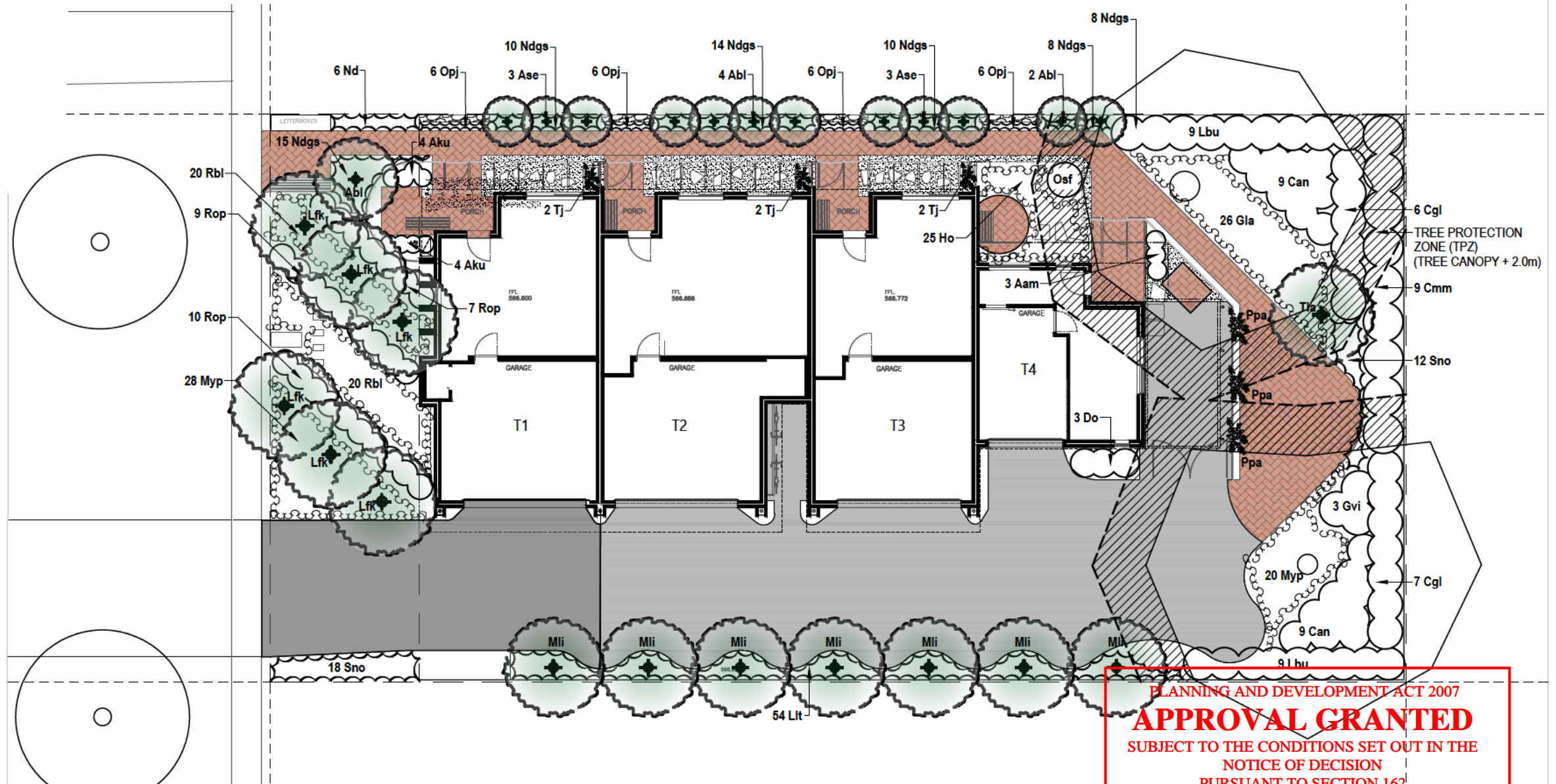
Allow to spread 75mm depth 'Forest Litter' mulch to all garden beds.

.6 CONSOLIDATION

Period to be 13 weeks.

LEGEND

	EXISTING TREES		BITUMEN SURFACE
	PROPOSED TREES		POROUS PAVING TO ENGINEERS SPECIFICATION
	SHRUBS		BRICK PAVING
	ACCENT PLANTING		GRAVEL
	GROUND COVER		
	CLIMBERS		



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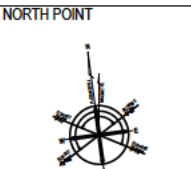
302

ISSUE	DATE
01 FOR REVIEW	15SEP16
02 NEW ARCH BASE	22SEP16
03 NEW ARCH BASE, TREE 14 REMOVED, SURFACE TONES ADDED	28OCT16
04 PAVING AMENDED	09NOV16
05 NEW ARCH BASE, TREE 14 RETAINED, PLANTING AMENDED	09NOV17

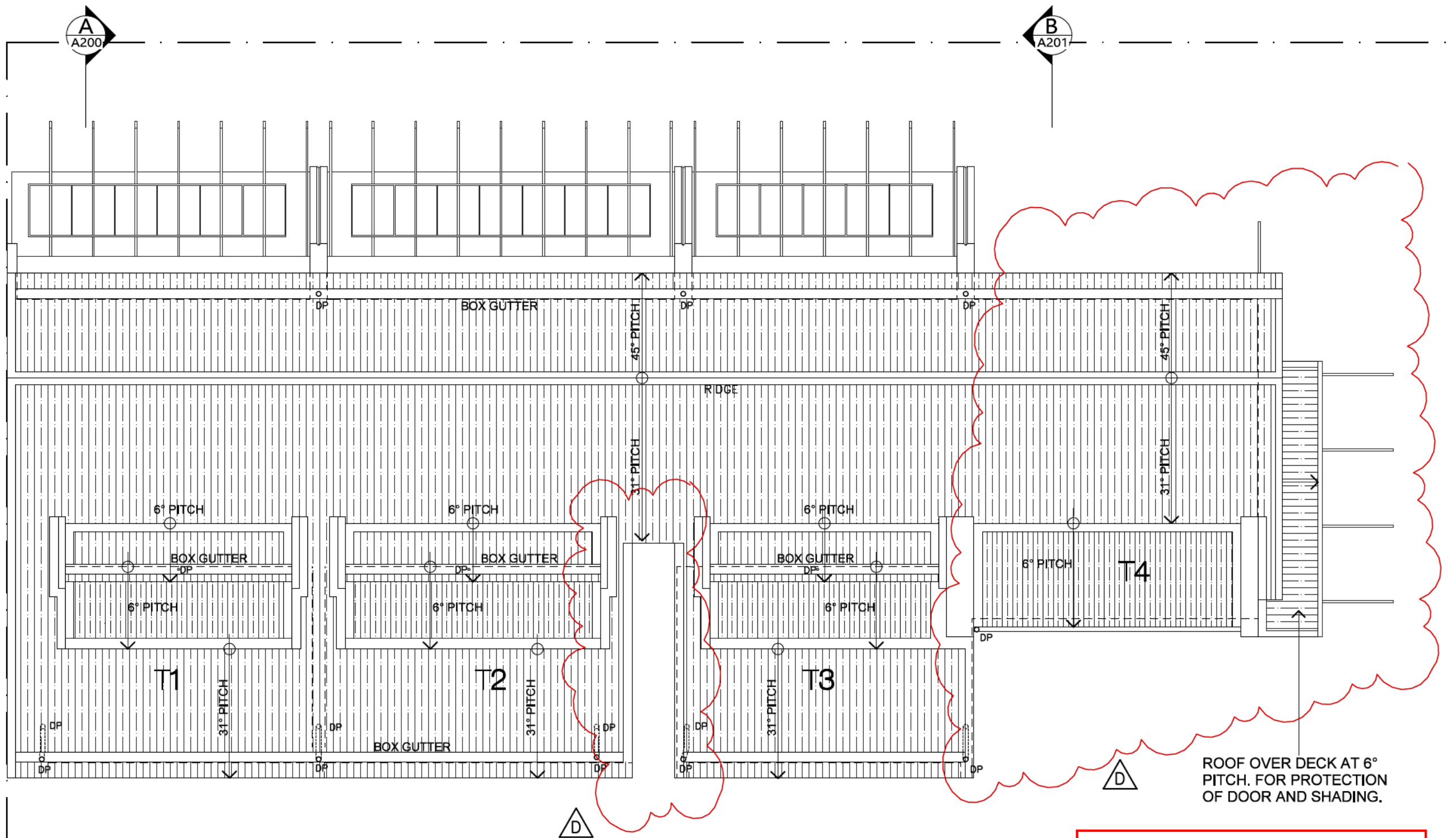
HARRIS HOBBS LANDSCAPES
 Landscape Architecture
 16 Robe Street Telephone: (02) 6273 4661
 DEAKIN ACT 2600 Facsimile: (02) 6273 4233
 Email: hhl@hhl.com.au

ARCHITECT:
T+AA
 Townsend + Associates Architects E info@t-a.com.au P (02) 6257 7033
 SCALE BAR:
 0 1 2 3 4 5 METRES

PROJECT:
MULTI-UNIT DEVELOPMENT
 BLOCK 19 SECTION 46 TURNER ACT
 (44 MACLEAY STREET)
 CLIENT:
PETER COVENTRY



STAGE:	TITLE:	DRAWN:	CHECKED:	VERIFIED:	DATE:	SCALE:	JOB NO.:	AMD.:
Delegate name WALID ELHASSAN	LANDSCAPE PLAN	HA	NH	-	AUG 2016	1:200 @ A3	HHL15129	05



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 SUBJECT TO THE CONDITIONS SET OUT IN THE
 NOTICE OF DECISION
 PURSUANT TO SECTION 162

 Delegate name **WALID ELHASSAN**
 Date **20/11/2017**

ISSUE	DATE	ISSUE
-	27.09.16	PLAN ISSUE TO SUB-CONSULTANTS
A	13.10.16	PRELIMINARY DA ISSUE TO TOWN PLANNER
B	01.11.16	ISSUE FOR DEVELOPMENT APPROVAL
C	20.06.17	T1-T4 SECOND FLOOR REVISED
D	26.09.17	T2 AND T4 REVISED

DATE	ISSUE
27.09.16	PLAN ISSUE TO SUB-CONSULTANTS
13.10.16	PRELIMINARY DA ISSUE TO TOWN PLANNER
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26.09.17	T2 AND T4 REVISED

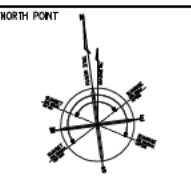
CONSULTANTS:
 STRUCTURE: KORTHOPE
 MECHANICAL: RIDDIS CONSULTING ENGINEERS
 HYDRAULIC: -
 ELECTRICAL: RIDDIS CONSULTING ENGINEERS
 TRAFFIC/CIVIL: -
 ACOUSTICS: RIDDIS CONSULTING ENGINEERS
 ENERGY EFFICIENCY: AJP ENGINEERING
 BUILDING CERTIFIER: BCA CERTIFIERS

ARCHITECT:
T+AA
 Townsend + Associates Architects
 E info@t-a-a.com.au P (02) 6257 7033

 SCALE BAR: 0 0.5 1 2 3 4 5 METRES

PROJECT:
 MULTI-UNIT DEVELOPMENT
 BLOCK 19 SECTION 46 TURNER ACT
 (44 MACLEAY STREET)

CLIENT:
 PETER COVENTRY

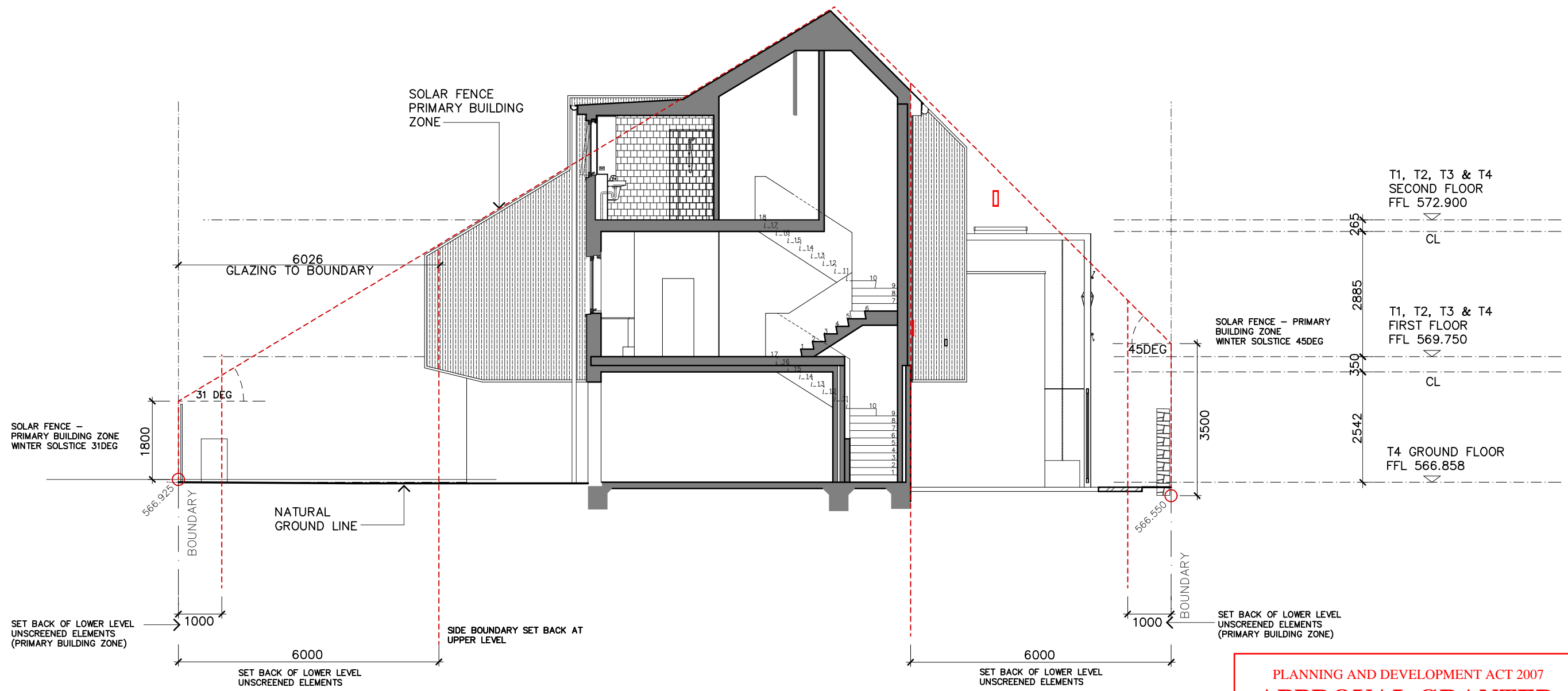


STAGE:	DEVELOPMENT APPLICATION			
TITLE:	ROOF PLAN			
DRAWN:	CHECKED:	VERIFIED:	DATE:	SCALE:
ZN	BT			1:100 @ A3
JOB NO.:				AND:
1527				D

DRAWING NO.:
A006

AND:
D

12.5M HEIGHT LIMIT PER MULTI UNIT HOUSING CODE



SECTION B-B (THROUGH T4)

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 SUBJECT TO THE CONDITIONS SET OUT IN THE
 NOTICE OF DECISION
 PURSUANT TO SECTION 162

Delegate name **WALID ELHASSAN**
 Date **20/11/2017**

ISSUE	DATE	ISSUE	DATE	CONSULTANTS:	ARCHITECT:	PROJECT:	NORTH POINT	STAGE:	DRAWING NO.:					
A PRELIMINARY DA ISSUE TO TOWN PLANNER ISSUE FOR DEVELOPMENT APPROVAL	13.10.16 01.11.16	B SECTION BB REVISED TO MATCH NEW T4 DESIGN	26.09.17	STRUCTURE: NORTHROP MECHANICAL: RUDDS CONSULTING ENGINEERS HYDRAULIC: - ELECTRICAL: RUDDS CONSULTING ENGINEERS TRAFFIC/CIVIL: - ACOUSTICS: RUDDS CONSULTING ENGINEERS ENERGY EFFICIENCY: A.P. ENGINEERING BUILDING CERTIFIER: BCA CERTIFIERS	T+AA Townsend + Associates Architects E info@t-a.com.au P (02) 8257 7033	MULTI-UNIT DEVELOPMENT BLOCK 19 SECTION 46 TURNER ACT (44 MACLEAY STREET)		DEVELOPMENT APPLICATION	A201					
					SCALE BAR: 0 0.5 1 2 3 4 5 METRES	CLIENT: PETER COVENTRY		DRAWN: BN	CHECKED: BT	VERIFIED: -	DATE: JUNE 2016	SCALE: 1:100 @ A3	JOB NO.: 1527	AMD: B

PERSONAL LIFT TO
ENABLE AGING IN
PLACE

12.5M HEIGHT LIMIT PER MULTI UNIT HOUSING CODE

HIGHEST POINT OF SOLAR FENCE THROUGH SITE

REAR BOUNDARY SOLAR
FENCE

T1, T2, T3 & T4
SECOND FLOOR
FFL 572.900

T1, T2, T3 & T4
FIRST FLOOR
FFL 569.750

T1 GROUND FLOOR
FFL 566.600

T2 GROUND FLOOR
FFL 566.686

T3 GROUND FLOOR
FFL 566.772

T4 GROUND FLOOR
FFL 566.858

T4 GROUND FLOOR
FFL 566.858

PERSONAL LIFT TO
ENABLE AGING IN
PLACE

NATURAL
GROUND LINE

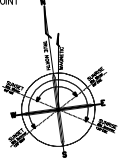
C

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
SUBJECT TO THE CONDITIONS SET OUT IN THE
NOTICE OF DECISION
PURSUANT TO SECTION 162

Delegate name **WALID ELHASSAN**

Date **20/11/2017**

SECTION C-C (LONG SECTION)

ISSUE	DATE	ISSUE	DATE	CONSULTANTS:	ARCHITECT:	PROJECT:	NORTH POINT	STAGE:	DRAWING NO.:									
-	13.10.16	PRELIMINARY DA ISSUE TO TOWN PLANNER		STRUCTURE: NORTHPROP	T+AA	MULTI-UNIT DEVELOPMENT		DEVELOPMENT APPLICATION	A202									
A	01.11.16	ISSUE FOR DEVELOPMENT APPROVAL		MECHANICAL: RUDDO CONSULTING ENGINEERS	Townsend + Associates Architects	BLOCK 19 SECTION 46 TURNER ACT		TITLE:		SECTION C-C								
B	20.06.17	B1 - T4 FIRST FLOOR BALCONY & SECOND FLOOR REVISED		HYDRAULIC: -	E. info@tacom.au P. (02) 9267 7033	(44 MACLEAY STREET)		DRAWN:			BT							
C	26.09.17	T4 REVISED		ELECTRICAL: RUDDO CONSULTING ENGINEERS		CLIENT:	CHECKED:	BT	VERIFIED:	-	DATE:	JUNE 2016	SCALE:	1:100 @ A3	JOB NO.:	1527	AMD.:	C
				TRAFFIC/CIVIL: -														
				ACOUSTICS: RUDDO CONSULTING ENGINEERS														
				ENERGY EFFICIENCY: AJP ENGINEERING														
				BUILDING CERTIFIER: BCA CERTIFIERS														

SITE NOTES
BLOCK AREA: 1045 SQM

RELEVANT CODES
- MULTI UNIT HOUSING DEVELOPMENT CODE
- RESIDENTIAL ZONES DEVELOPMENT CODE
- INNER NORTH PRECINCT CODE
- TURNER PRECINCT CODE
- ZONE: RZ4 MEDIUM DENSITY RESIDENTIAL

PLOT RATIO
- NOT MORE THAN 80% OF TOTAL BLOCK AREA
- TOTAL ALLOWABLE GFA: 836 SQM
- TOTAL PROPOSED GFA IS: 727SQM

MAXIMUM BUILDING HEIGHT
- 12.5M
- 3 STOREYS

RULE 13 (INNER NORTH PRECINCT CODE) - SITE COVERAGE IN REAR ZONE DOES NOT EXCEED 30%
- TOTAL AREA OF REAR ZONE: 634 SQM
- 30% OF REAR ZONE AREA: 190 SQM
- TOTAL PROPOSED AREA IN REAR ZONE IS: 189.8SQM (REFER AREA SHADED GREY)

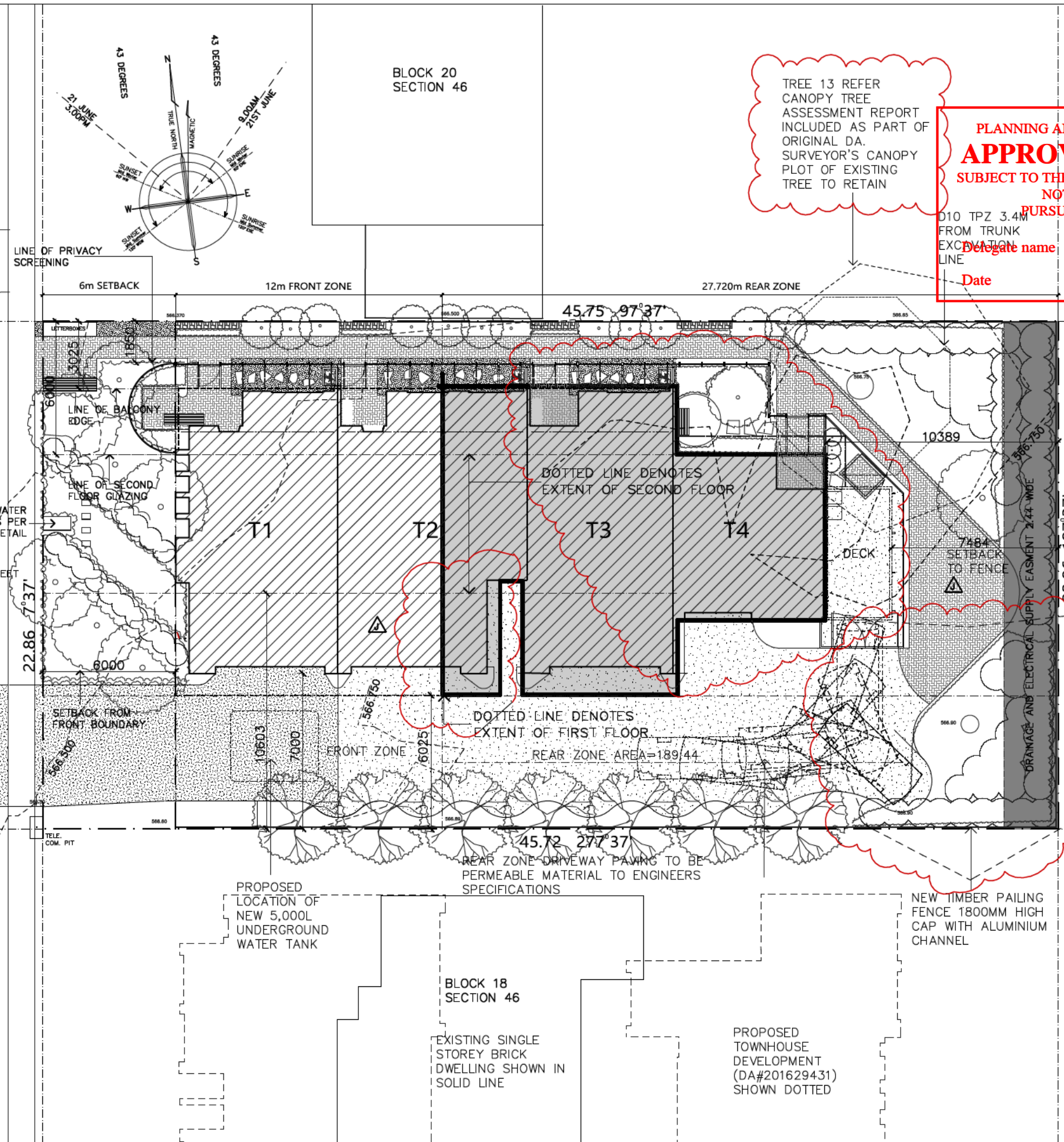
BLOCK 20
SECTION 46

BLOCK 8
SECTION 46

TREE 13 REFER CANOPY TREE ASSESSMENT REPORT INCLUDED AS PART OF ORIGINAL DA. SURVEYOR'S CANOPY PLOT OF EXISTING TREE TO RETAIN

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
SUBJECT TO THE CONDITIONS SET OUT IN THE NOTICE OF DECISION PURSUANT TO SECTION 162
Delegate name: **WALID ELHASSAN**
Date: **20/11/2017**

MACLEAY STREET



BLOCK 9
SECTION 46

TREE 14 REFER CANOPY TREE ASSESSMENT REPORT INCLUDED AS PART OF ORIGINAL DA. SURVEYOR'S CANOPY PLOT OF EXISTING TREE TO RETAIN

BLOCK 10
SECTION 46

ISSUE	DATE
J T2 AND T4 REVISED	26.09.17

DEVELOPMENT AREA SCHEDULE					
NO.	LIVING AREA	GARAGE AREA	TOTAL GFA	BALCONY AREA	COURTYARD AREA
T1	154.12sqm	34.22sqm	188.34sqm	29.63sqm	21.40sqm
T2	182.72sqm	34.75sqm	217.47sqm	35.28sqm	14.10sqm
T3	148.89sqm	34.46sqm	183.35sqm	27.52sqm	11.80sqm
T4	119.66sqm	18.16sqm	137.82sqm	18.00sqm	56.80sqm
TOTAL			726.98sqm	110.43sqm	104.10sqm

<p>ISSUE: FINAL SKETCH PLAN ISSUE TO SUB-CONSULTANTS ISSUE TO TOWN PLANNER WITH DIMENSIONS UPDATED ISSUE TO SUBCONSULTANTS PRELIMINARY DA ISSUE TO TOWN PLANNER ISSUE FOR DEVELOPMENT APPROVAL REVISED ISSUE FOR DEVELOPMENT APPROVAL REVISED ISSUE FOR DEVELOPMENT APPROVAL - AMENDMENT TO SHOW LOCATION OF WATER TANK ISSUED FOR DEVELOPMENT APPROVAL REQUEST FOR FURTHER INFORMATION AMENDMENT</p>	<p>DATE: 01.08.16 18.08.16 27.09.16 13.10.16 01.11.16 08.11.16 28.11.16 09.03.17</p>	<p>ISSUE: G G1- ROOF WATER RE-USE TANK RE-LOCATED OUT OF REAR ZONE G2- T4 POTENTIAL 2ND CAR PARK & MANUEVERING REQUIREMENTS ADDED. DRIVEWAY OUTLINE MODIFIED SLIGHTLY TO AID CAR EXIT. G3- EXTENT OF DRIVEWAY IN REAR ZONE MODIFIED TO BE OF A PERMEABLE MATERIAL TO ENG. SPEC. H1-T4 EXTERNAL CAR PARK AREA REDUCED & TOTAL T4 AREA REDUCED</p>	<p>DATE: 09.03.17 20.06.17</p>	<p>CONSULTANTS: STRUCTURE: NORTHOP MECHANICAL: RUDDS CONSULTING ENGINEERS HYDRAULIC: - ELECTRICAL: RUDDS CONSULTING ENGINEERS TRAFFIC/CIVIL: - ACOUSTICS: RUDDS CONSULTING ENGINEERS ENERGY EFFICIENCY: AJP ENGINEERING BUILDING CERTIFIER: BCA CERTIFIERS</p>	<p>ARCHITECT: T+AA Townsend + Associates Architects E: info@t-a-a.com.au P: (02) 6257 7033</p>	<p>PROJECT: MULTI-UNIT DEVELOPMENT BLOCK 19 SECTION 46 TURNER ACT (44 MACLEAY STREET)</p>	<p>CLIENT: PETER COVENTRY</p>	<p>STAGE: DEVELOPMENT APPLICATION TITLE: SITE PLAN</p>	<p>DRAWING NO.: A001</p>
<p>SCALE BAR: 0 1 2 3 4 5 METRES</p>	<p>NORTH POINT</p>	<p>DRAWN: BT/ZN CHECKED: BT VERIFIED: - DATE: JUNE 2016 SCALE: 1:200 @ A3 JOB NO.: 1527</p>	<p>AMENDMENT: J</p>						

From: [EPD, Customer Services](#)
To: [REDACTED]
Cc: [REDACTED]
Subject: ENDORSEMENT LETTER-201630573-S165D+S165E-19/46 TURNER [SEC=UNCLASSIFIED]
Date: Wednesday, 22 November 2017 11:25:00 AM
Attachments: [ENDORSEMENT LETTER-201630573-S165D+S195E-SIGNED.PDF](#)
[%FLOORASSESS-201630573-S165D-FIRST-01.pdf](#)
[%FLOORASSESS-201630573-S165D-GROUND-01.pdf](#)
[%FLOORASSESS-201630573-S165D-SECOND-01.pdf](#)
[%LIGHTING-201630573-S165D-01.pdf](#)
[DEMO-201630573-01.pdf](#)
[ELEV-201630573-S165D-EAST-01.pdf](#)
[ELEV-201630573-S165D-NORTH-01.pdf](#)
[ELEV-201630573-S165D-NORTH-02.pdf](#)
[ELEV-201630573-S165D-SOUTH-01.pdf](#)
[FLOORREG-201630573-S165D-FIRST-01.pdf](#)
[FLOORREG-201630573-S165D-GROUND-01.pdf](#)
[FLOORREG-201630573-S165D-SECOND-01.pdf](#)
[LSCAPE-201630573-S165E-01.pdf](#)
[ROOF-201630573-S165D-01.pdf](#)
[SECTION-201630573-S165D-01.pdf](#)
[SECTION-201630573-S165D-02.pdf](#)
[SITE-201630573-S165D-01.pdf](#)
[image001.jpg](#)

Good Morning,

Please see attached [Notice of Decision](#) for Block 19 Section 46 Suburb TURNER Development Application No: [201630573-S165D+S165E](#)

For further information please contact [Walid Elhassan](#) on [6205 0912](#) or by email Walid.Elhassan@act.gov.au

Kind Regards

Katherine
Phone 6207 1923

EPDCustomerService@act.gov.au

www.act.gov.au/accesscbr

Access Canberra | ACT Government

16 Challis Street, Dickson | GPO Box 158 Canberra ACT 2601

[cid:image009.jpg@01D31C1B.E0820B30](#)



Access Canberra is an ACT Government service that brings together customer and regulatory services, including the former Environment and Planning Directorates Customer Services Team. Access Canberra has been set up to make it easier for business, community organisations and individuals to work with ACT Government and deliver a more seamless experience.



ACT
Government

Environment, Planning and
Sustainable Development

Canberra Town Planning Pty Ltd
2/220 Challis Street
Dickson ACT 2602

Dear Pieter

BLOCK 19 SECTION 46 - TURNER
Application Number: 201630573
Lessee: Peter Alexander Coventry

I refer to the plans/information you submitted in response to conditions A1. (a) (i), of the Notice of Decision with respect to the above Development Application.

The plans/information now satisfy conditions A1. (a) (i), of the decision and have been endorsed to form part of the above Development Approval.

Enclosed are copies of the approved plans.

Please note that any other outstanding conditions of approval in the Notice of Decision may need to be addressed prior to development commencing on the site.

If you would like to discuss this matter further please telephone me on 62050912.

Yours sincerely

Walid Elhassan
Delegate of the planning and land authority
Environment, Planning and Sustainable Development Directorate

20 November 2017



ACT
Government

Environment, Planning and
Sustainable Development

Lease Variation Charge



Dear 

**BLOCK 19 SECTION 46 TURNER
DEVELOPMENT APPLICATION NUMBER 201630573**

I refer to the Notice of Decision dated 21 July 2017 for the above development approval.

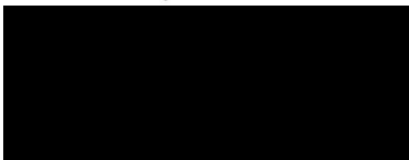
As you are aware, prior to the registration of the lease variation the lessee is required to pay any assessed lease variation charge (LVC).

Please find attached to this letter a Notice of Assessment which outlines the LVC payable. A copy of the Notice of Assessment has also been sent by email to the applicant for the development application for their information.

You should coordinate with each other to ensure that only one payment is made. Payment options can be found on the bottom of the invoice.

Should you require any further information in relation to this matter, my contact details are (02) 6207 5403 or via email actpladaleasing@act.gov.au.

Yours sincerely



Kobee McLeod
DA Leasing
Planning Delivery Division
29 September 2017

CC: 



ACT
Government

Environment, Planning and
Sustainable Development

NOTICE OF ASSESSMENT
LEASE VARIATION CHARGE
Planning and Development Act 2007
Section 276D



Unit	Block	Section	Suburb	Development Application No.
-	19	46	Turner	201630573

Section 276E Chargeable Variation	
Schedule 1 – Specific Charges	
Variation Description	Variation Amount
Vary Lease to specify four (4) dwellings	

Total Lease Variation Charge Payable	
---	--

Payment Options

In Person (Cash, Cheque, EFTPOS, Bankcard, MasterCard and Visa)
Environment, Planning and Sustainable Development Customer Service Centre –
Office Hours 8.30am to 4.30pm Monday to Friday 16 Challis Street Dickson ACT 2602

By Post (Cheque made payable to ACT Government)
Environment, Planning and Sustainable Development GPO Box 158 Canberra ACT 2601

By Phone (Bankcard, MasterCard and Visa).
Contact Environment, Planning and Sustainable Development during business hours on telephone
(02) 6207 1923.

CASHLINK CODE: 341010



Lisa Johnson
Delegate of Commissioner for Revenue

28 September 2017

LVC Checklist – S276E – 15 November 2016

Block/s: 19 Section: 46 Suburb: Turner DA: 201630573

Unit/s: _____

- DATE	Lodged & Approved:	<u>1.12.16</u>	/	<u>21.7.17</u>
- DATE	Recon-Lodged & Approved:	_____	/	_____
(Circle)	Subdivision or Consolidation:	<u>N/A</u>	SUB	CON
(Circle)	Instrument/Surrender Regrant:	<u>Instrument</u>	Surrender Regrant	
- Yes/No	Recently Commenced Lease:	Yes	<u>No</u>	Initial <u>IS</u> Date <u>27.7.17</u>
- Yes/No	Added to Spreadsheet:	Yes	No	_____

Waiting for: -N/A -Conditions of approval -Approval to take effect -Previous DA _____

Appeals Period Any Appeals: Yes No Appeals Completed: Yes No _____

Other/Comments: _____

Done: Yes No

S276E – LVC: (Circle) Schedule 1 Schedule 2 Schedule 3 _____

Determination

(Circle) DI and remission: No Yes NO. _____ % _____

- DATE Determination drafted: 19-9-2017 KM

- NAME Determination checked by: Jrms IS 19.9.17

- CIRCLE with Lisa/Brett to sign: 28-9-2017 LT 28.9.17

- DATE Determination Date: 29-9-2017 KM 29-9-2017

- DATE Sent to Applicant/Lessee: 29-9-2017 KM 29-9-2017

- Info SS/Amount Payable: Yes No / \$ _____ KM 6-2-18

Payment

- DATE Payment received: Nil DATE: 29.1.18

- CIRCLE Receipt Number: Nil Rcpt No. 316257.1031.9

- CIRCLE Updated SS, Receipt in Obj: Nil (SS) (Obj) JU 7.2.18