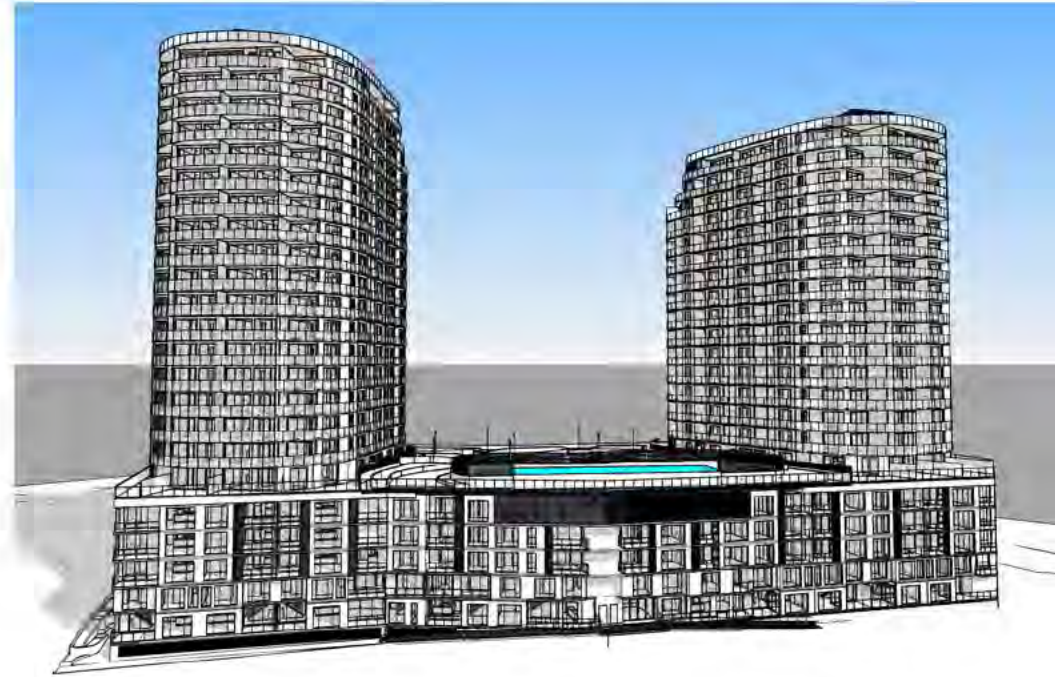


BLOCKS 2 & 3, SECTION 209 GUNGAHLIN DA AMENDMENT



UNIT TYPE SCHEDULE				UNIT TYPE SCHEDULE			
UNIT NAME	NO. OF BEDROOMS	NO. OF BATHROOMS	COUNT	UNIT NAME	NO. OF BEDROOMS	NO. OF BATHROOMS	COUNT
NT-A	1	1	2	SP-B	1	1	2
NT-B	1	1	2	SP-C	3	2	2
NT-C	1	1	2	SP-D	1	1	2
NT-D	1	1	2	SP-E	1	1	2
NT-E	2	2	2	SP-F	2	2	2
NT-F	2	2	2	SP-G	1	1	2
P-A	3	3	1	SP-H	2	2	2
P-B	2	2	1	SP-I	1	1	2
P-C	1	1	4	SP-J	3	2	2
P-D	2	1	4	T-A	1	1	30
P-E	1	1	4	T-B	1	1	30
P-F	1	1	3	T-C	2	2	30
P-G	1	1	3	T-D	2	2	30
P-H	1	1	3	T-E	2	2	30
P-I	1	1	3	T-F	1	1	26
P-J	1	1	13	T-G	2	2	26
P-K	1	1	2	T-H	1	1	26
P-L	1	1	3	T-I	2	2	26
P-M	1	1	3	T-J	1	1	30
P-N	1	1	3	T-K	1	1	30
P-O	1	1	9	Ter-A	3	3	6
PH-A	3	3	2	Ter-B	3	3	1
PH-B	3	3	2	Ter-C	3	2	1
PH-C	3	3	2	Ter-D	3	3	1
PH-D	3	3	2	Ter-E	3	3	1
PH-E	3	3	2	Ter-F	3	3	1
SP-A	1	1	2	TOTAL UNITS:			426

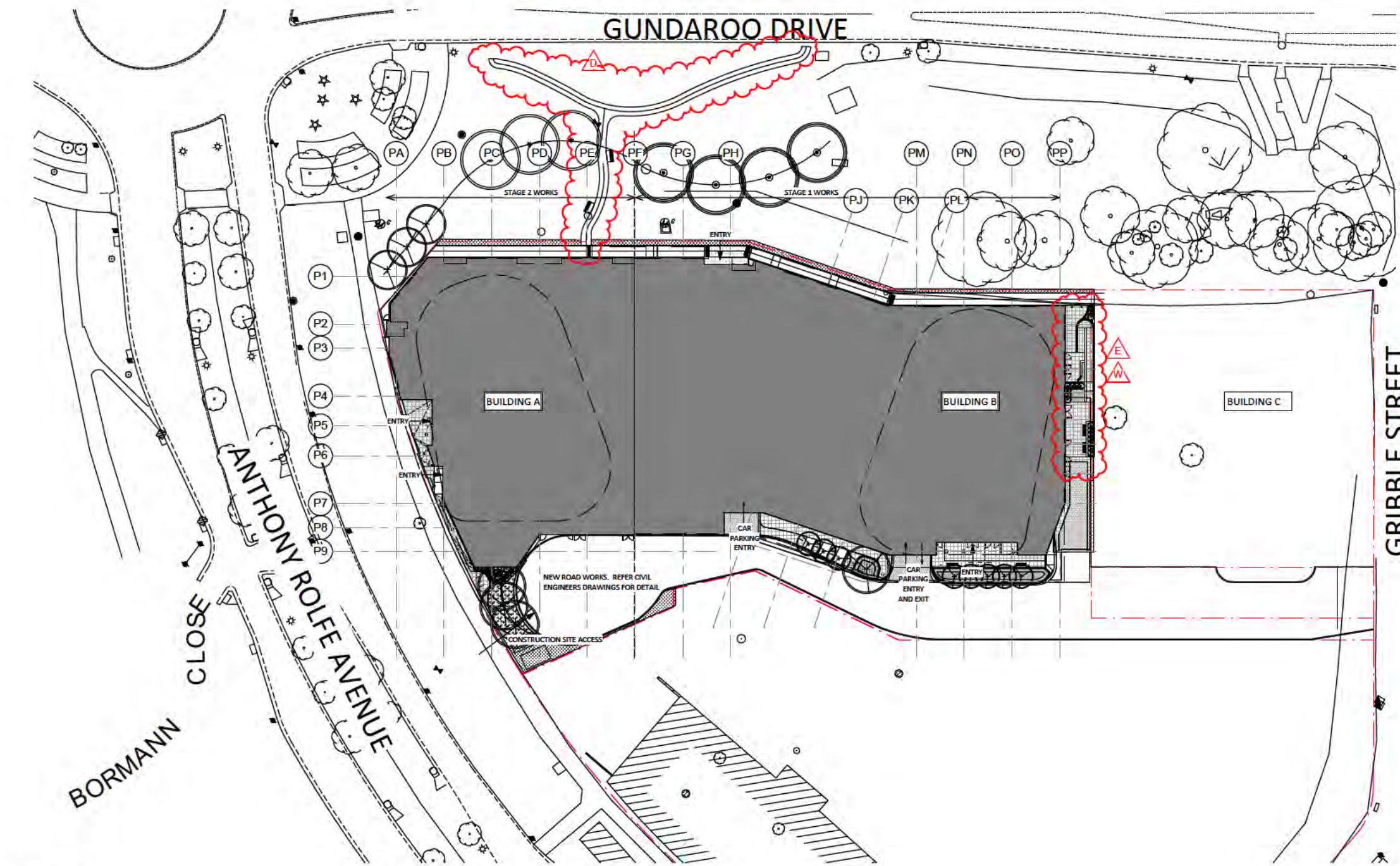
PARKING SCHEDULE	
Description	Count
BASEMENT	
Accessible, 5400 x 2400mm	6
Parallel, 6300 x 2300mm	1
Standard, 5400 x 2400mm	117
GROUND LEVEL	
Accessible, 5400 x 2400mm	10
Standard, 5400 x 2400mm	42
LEVEL 1	
Accessible, 5400 x 2400mm	5
Standard, 5400 x 2400mm	89
LEVEL 2	
Accessible, 5400 x 2400mm	8
Standard, 5400 x 2400mm	90
LEVEL 3	
Accessible, 5400 x 2400mm	8
Standard, 5400 x 2400mm	89
LEVEL 4	
Accessible, 5400 x 2400mm	8
Standard, 5400 x 2400mm	87
Grand total	560

PARKING STORAGE CAGES	
Level	Count
BASEMENT	109
GROUND LEVEL	34
LEVEL 1	63
LEVEL 2	63
LEVEL 3	63
LEVEL 4	94
Grand total: 426	426

DRAWING LIST	
NUMBER	DRAWING TITLE
DA-D001	COVER SHEET
DA-D010	SITE PLAN
DA-D099	BASEMENT PLAN
DA-D100	GROUND PLAN
DA-D101	LEVEL 1 PLAN
DA-D102	LEVEL 2 PLAN
DA-D103	LEVEL 3 PLAN
DA-D104	LEVEL 4 PLAN
DA-D105	LEVEL 5 PLAN
DA-D106	LEVEL 6-17 PLAN
DA-D107	LEVEL 18 PLAN
DA-D108	LEVEL 19 PLAN
DA-D109	LEVEL 20 PLAN
DA-D110	LEVEL 21 PLAN
DA-D111	LEVEL 22 PLAN
DA-D112	ROOF PLAN
DA-D200	NORTH ELEVATION
DA-D201	EAST ELEVATION
DA-D202	SOUTH ELEVATION
DA-D203	WEST ELEVATION
DA-D204	BUILDING B - WEST ELEVATION
DA-D205	BUILDING A - EAST ELEVATION
DA-D300	SECTION A
DA-D301	SECTION B
DA-D302	SECTION C
DA-D400	MATERIAL PALETTE SCHEDULE

DA AMENDMENTS	
A	UNIT TYPE NAMES MODIFIED
B	LAYOUT AND NUMBER OF STORAGE CAGES UPDATED
C	LAYOUT AND NUMBER OF CARPARKING SPACES CHANGED
D	LANDSCAPING DRIVE FOOTPATH REVISED
E	LANDSCAPING FOOTPATHS, EXTERNAL RAMPS REVISED
F	PEDESTRIAN RAMP REVISED
G	EXTERNAL RAMP ADDED
H	BASEMENT LAYOUT ENLARGED AND REVISED
I	GROUND FLOOR LAYOUT REVISED
J	VEHICULAR RAMP AND DRIVEWAYS MODIFIED
K	LAND LEVELS UPDATED, OVERALL BUILDING HEIGHT REVISED
L	LAYOUT UPDATED TO SUIT SERVICES AND CONSTRUCTION REQUIREMENTS
M	CORE AREA MODIFIED AS PER REQUIREMENT
N	SALLISTRATES AND SCREENS REFINED
O	EXTERNAL CLADDING ON BALCONIES CHANGED
P	ELEVATION TREATMENT REVISED
R	SERVICE AREAS ADDED
S	SERVICE AREAS REVISED
T	ROOF PLANT ROOM SCREEN CHANGED AS PER MECH REQUIREMENT
U	BUILDING INFILLS ON THE TOWERS CHANGED
V	EXTERNAL COLUMNS CHANGED FROM SQUARE TO ROUND
W	SHARED PATH DESIGN CHANGED
Y	POOLUM POOL VENUE RAISED

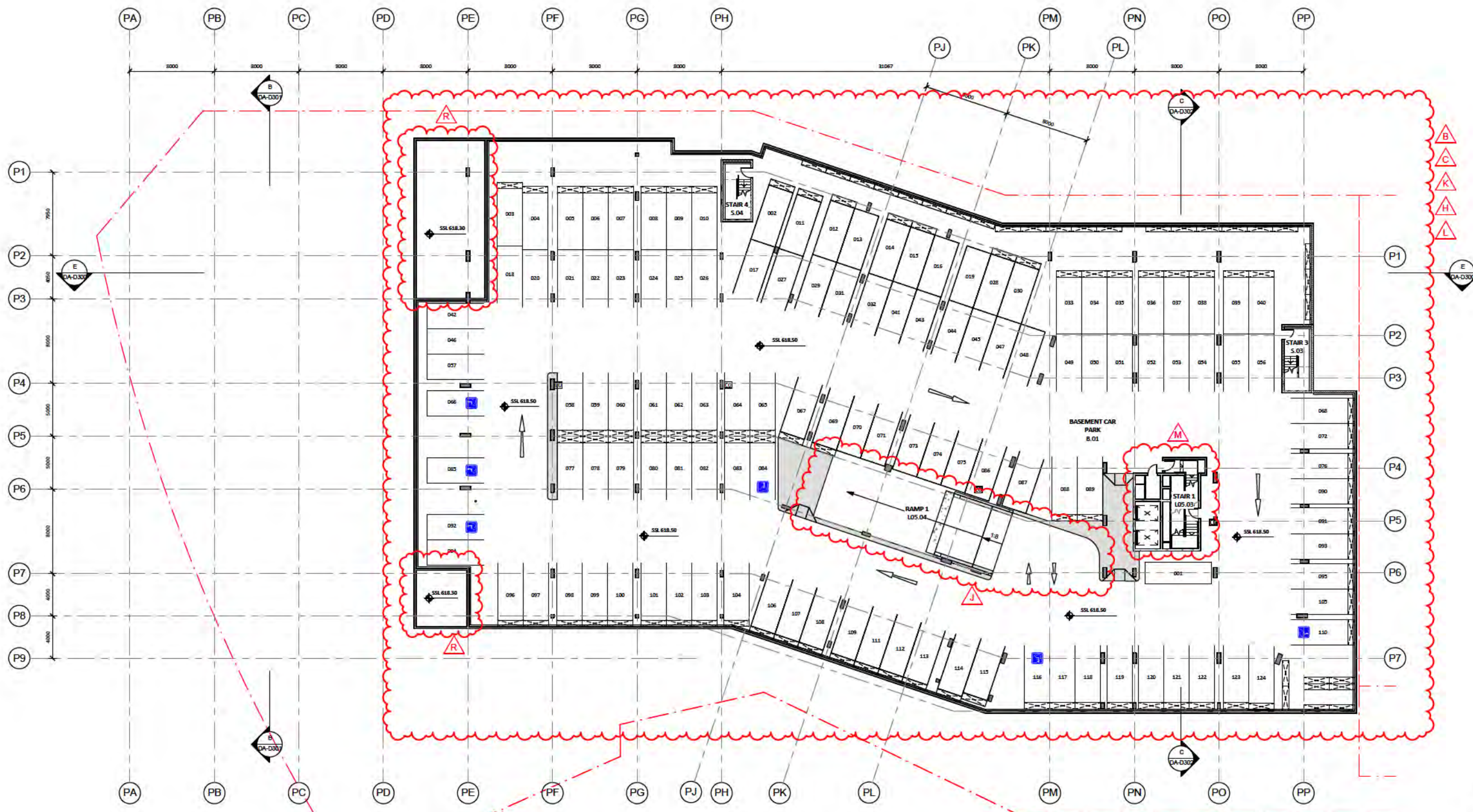
DA AMENDMENT



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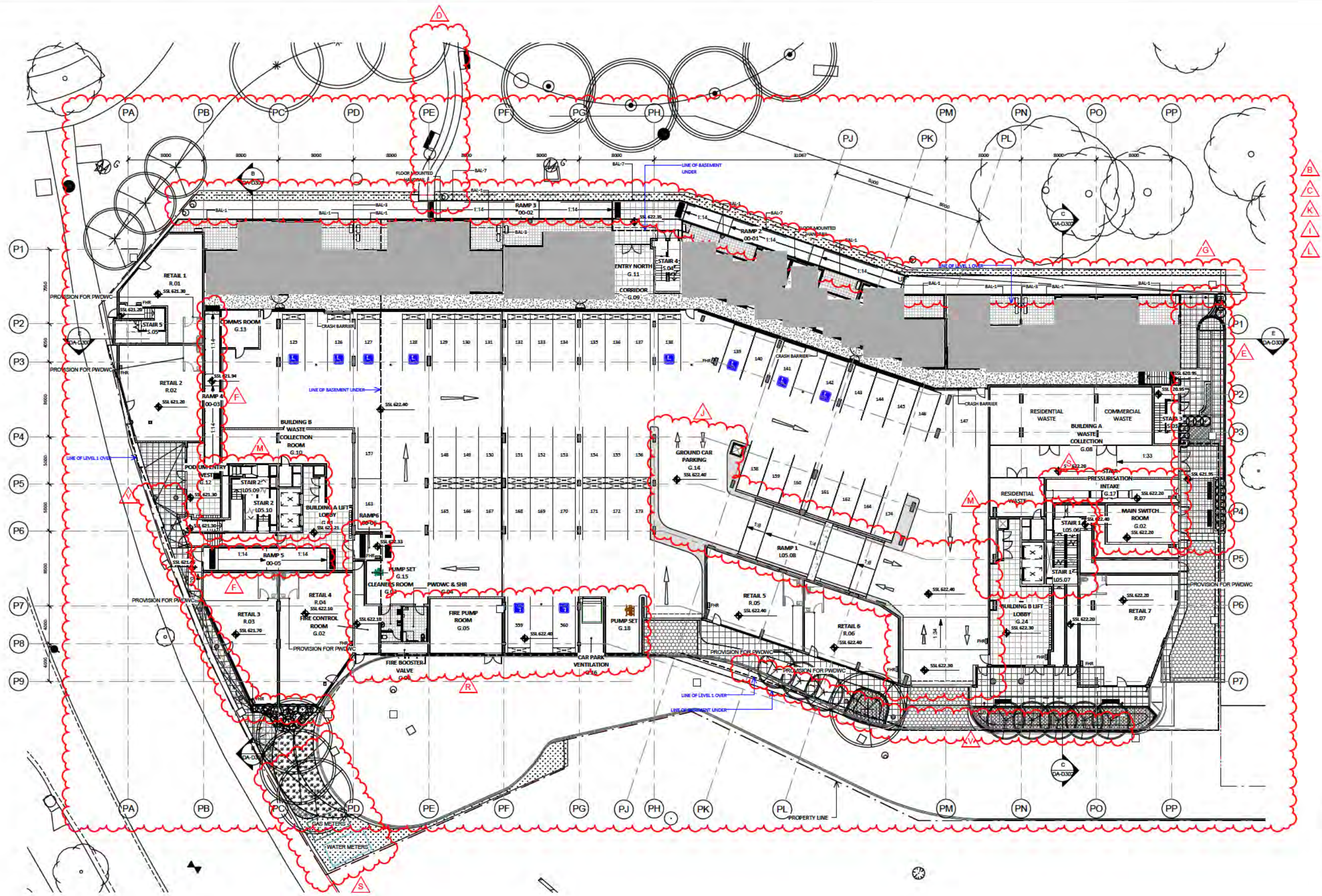
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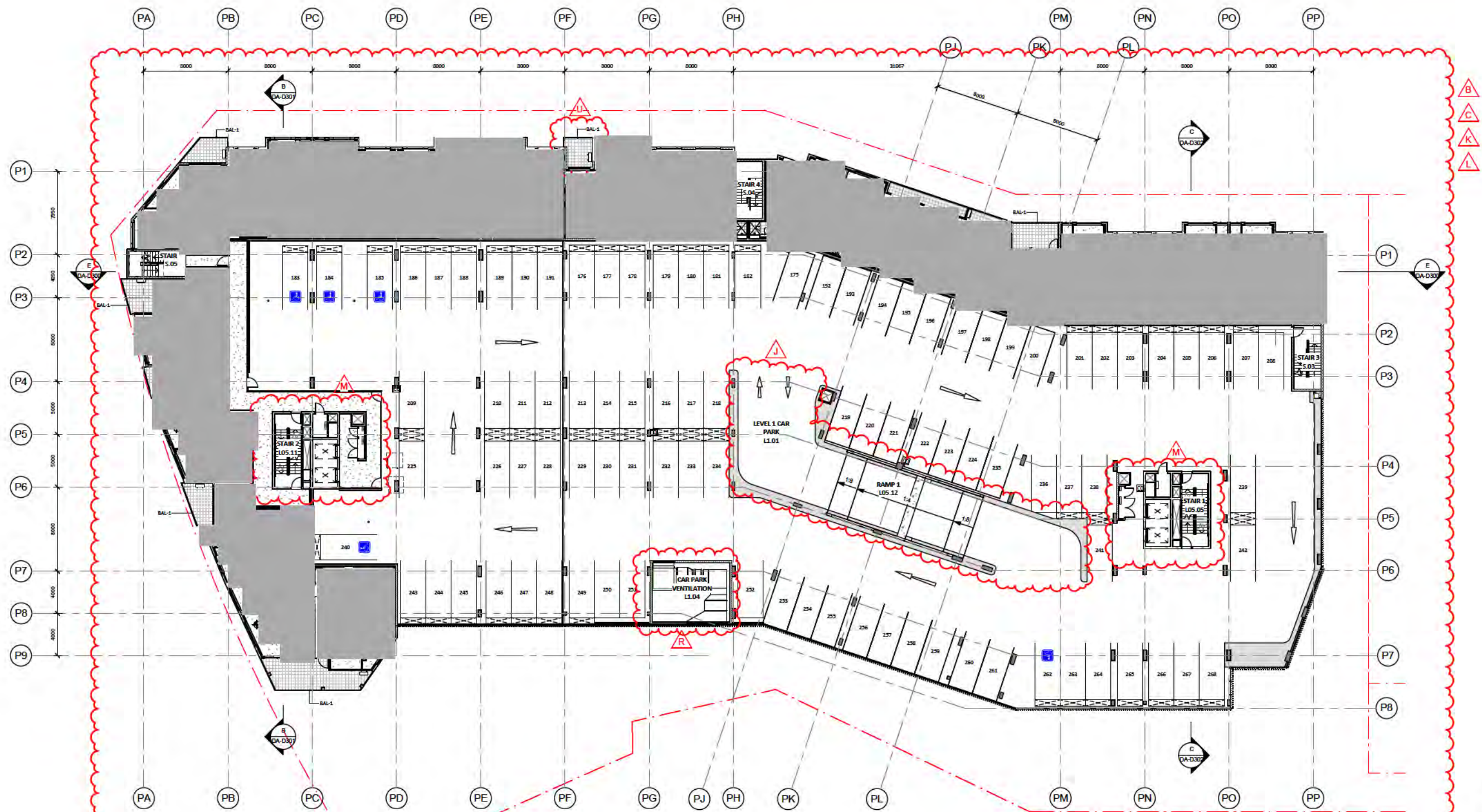
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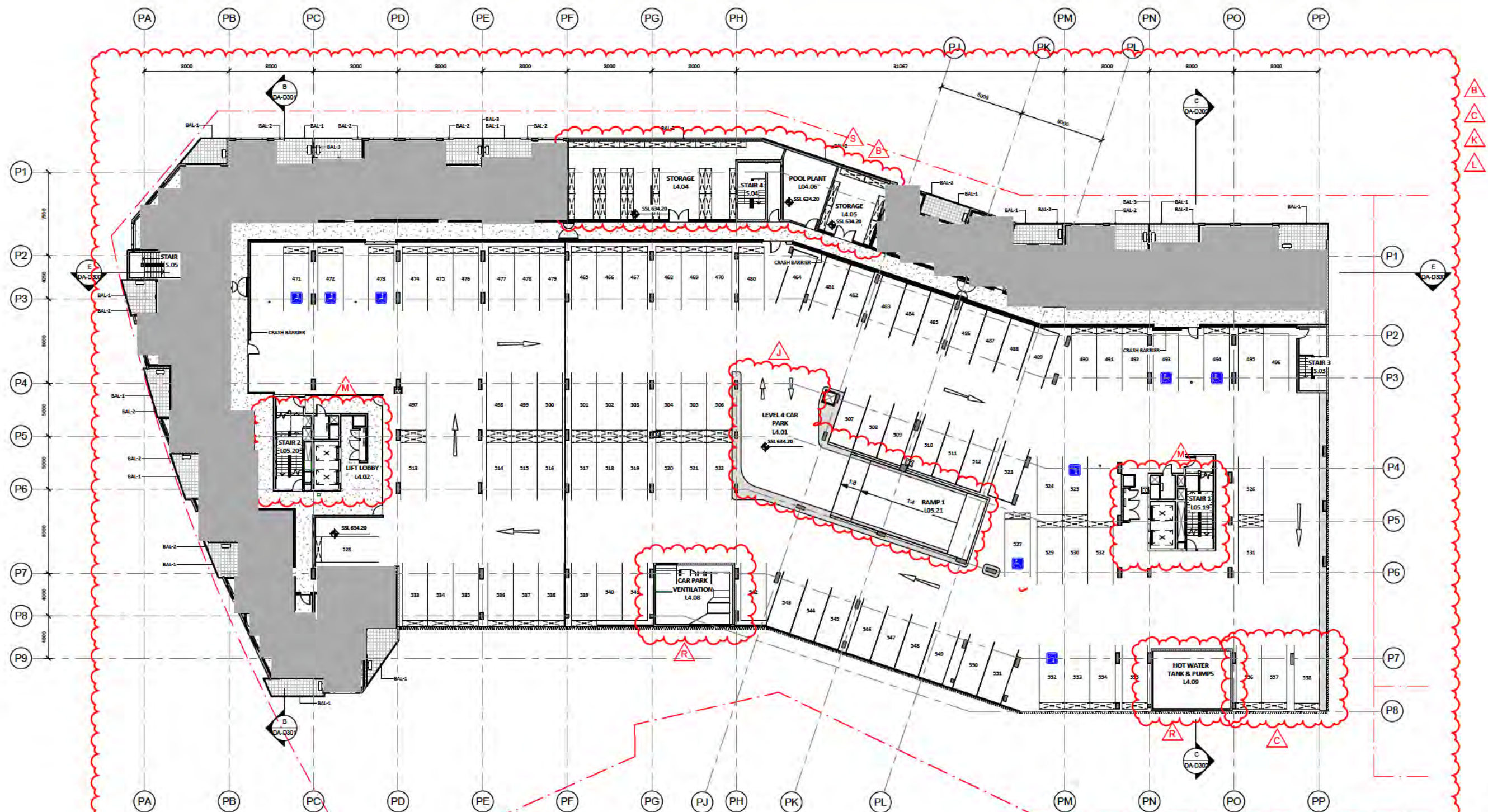
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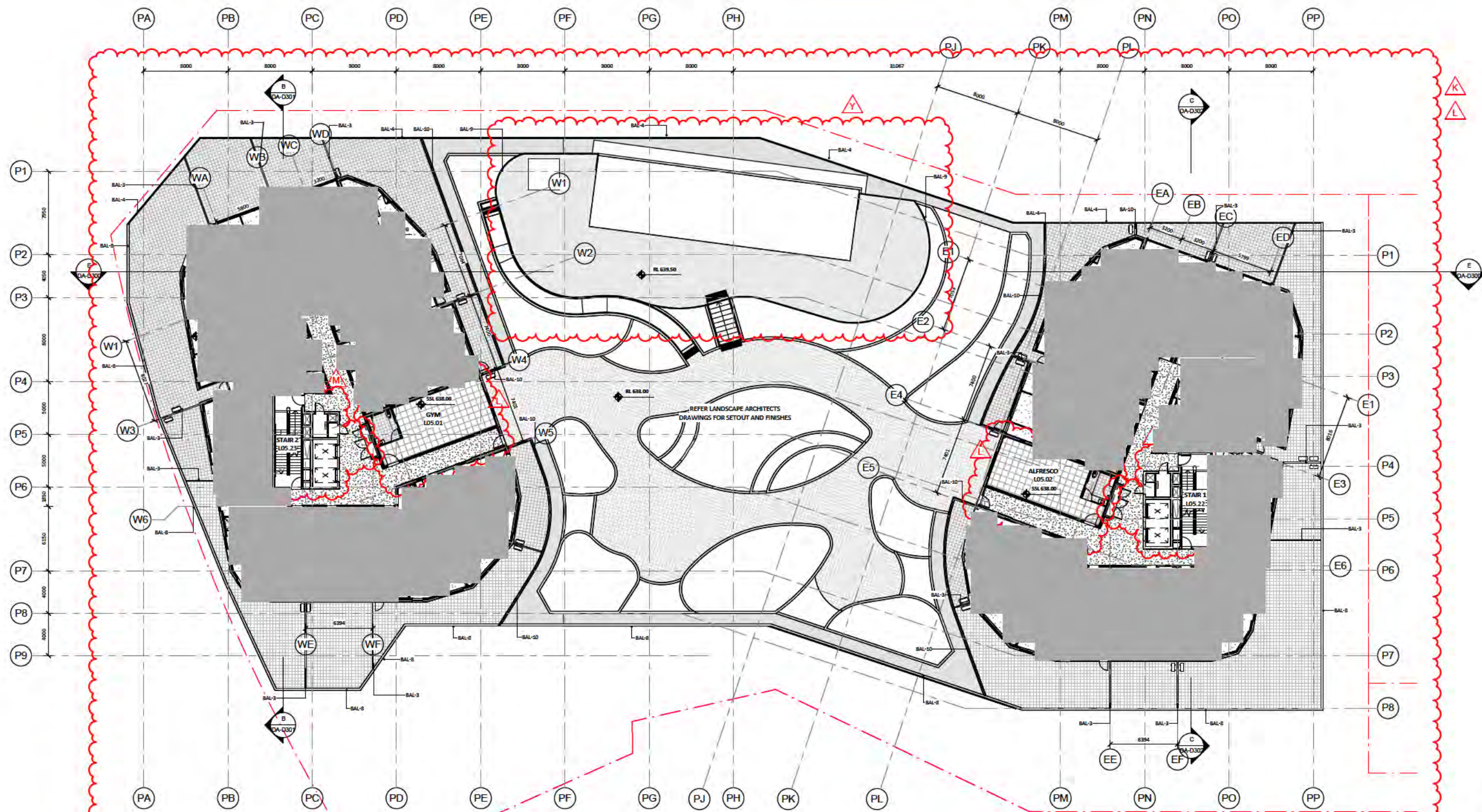
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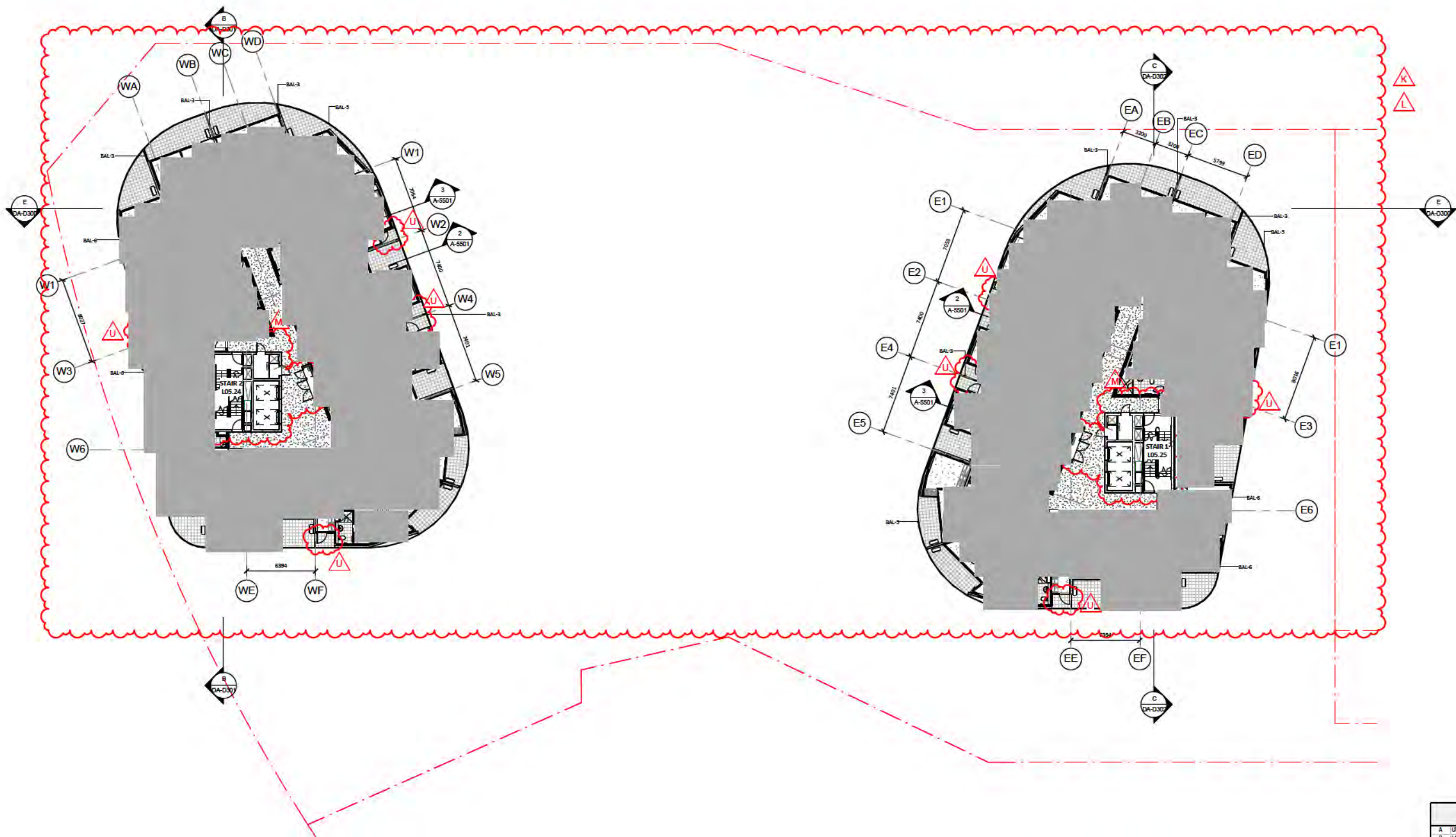
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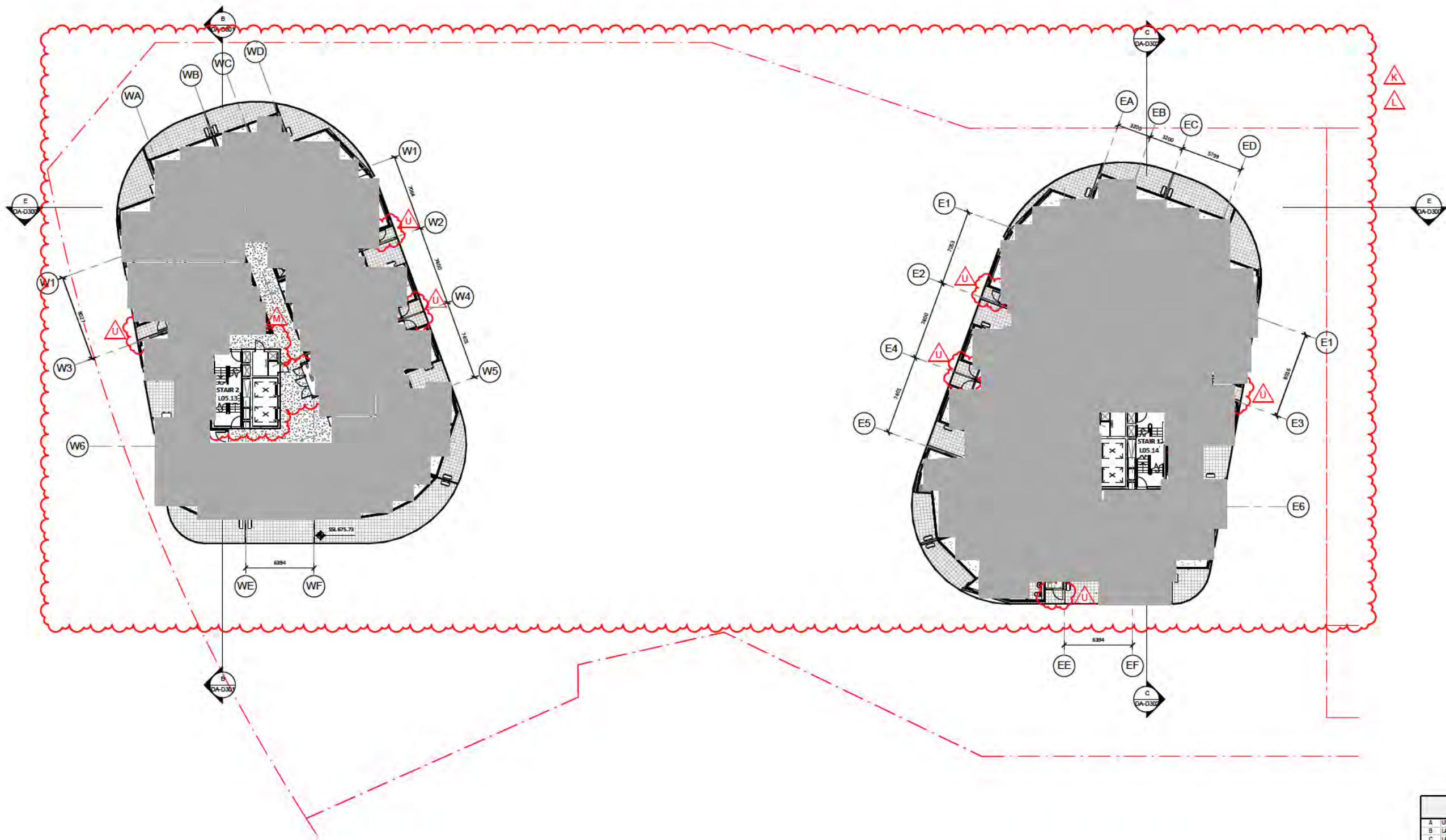
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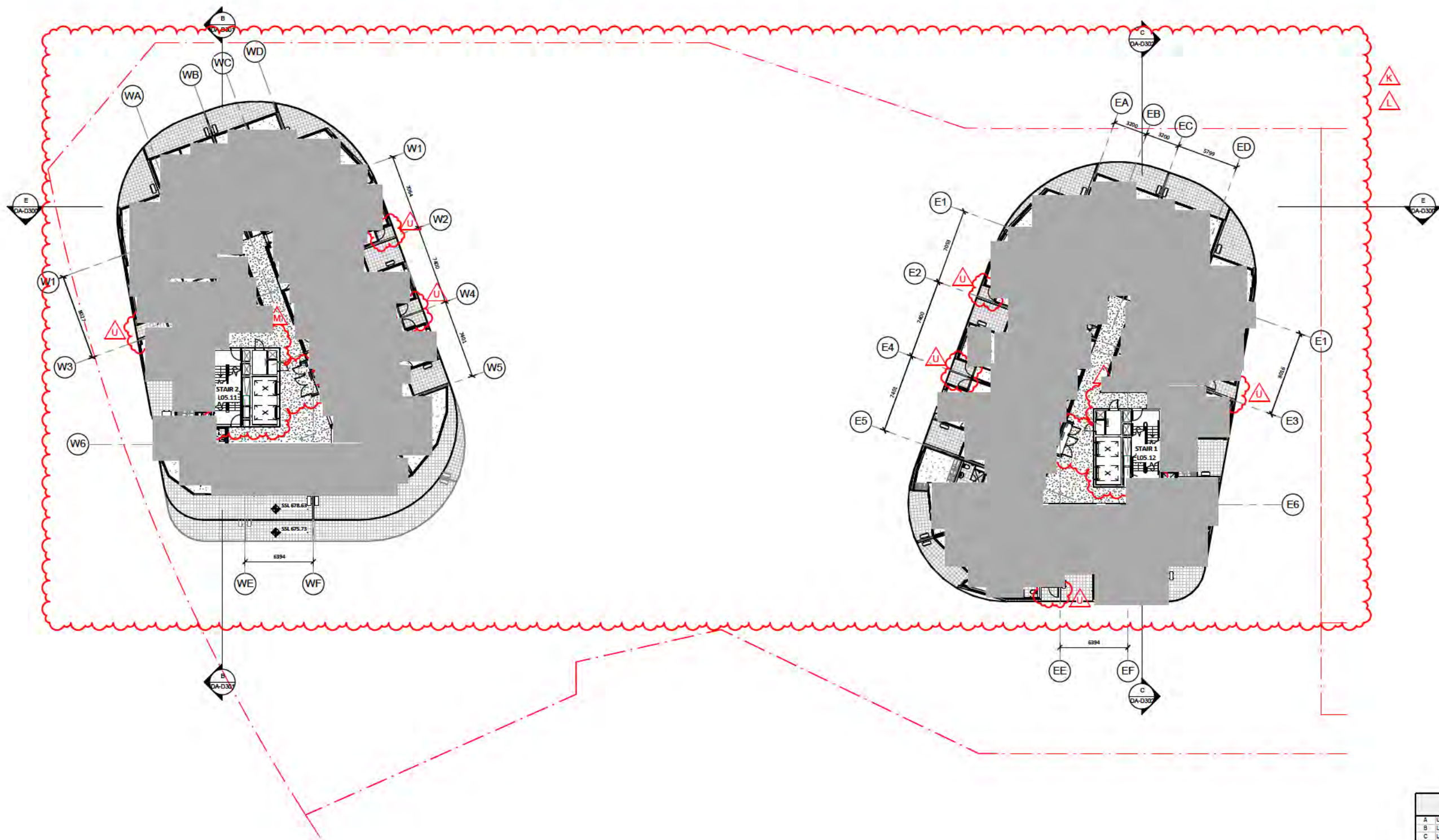
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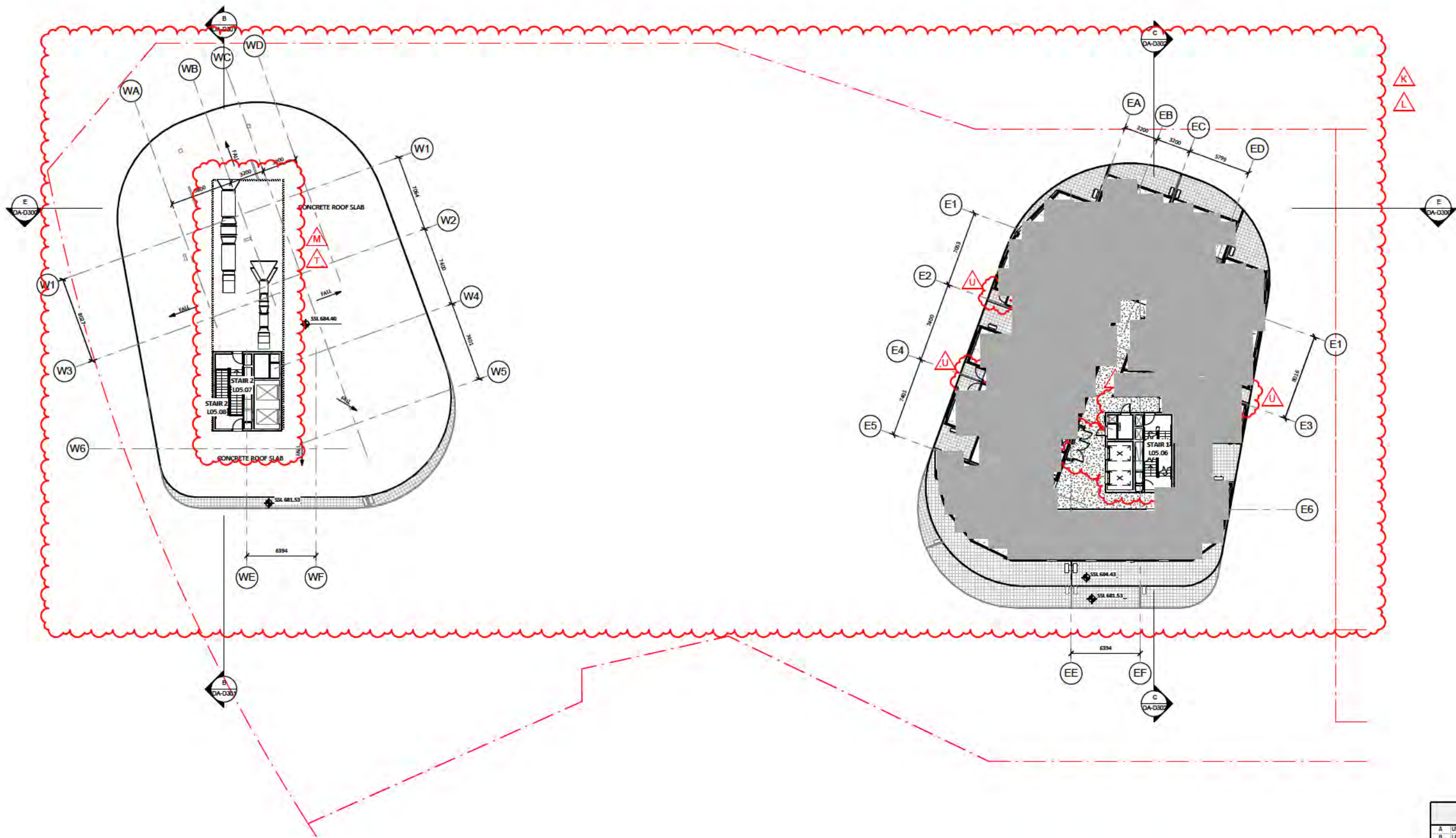
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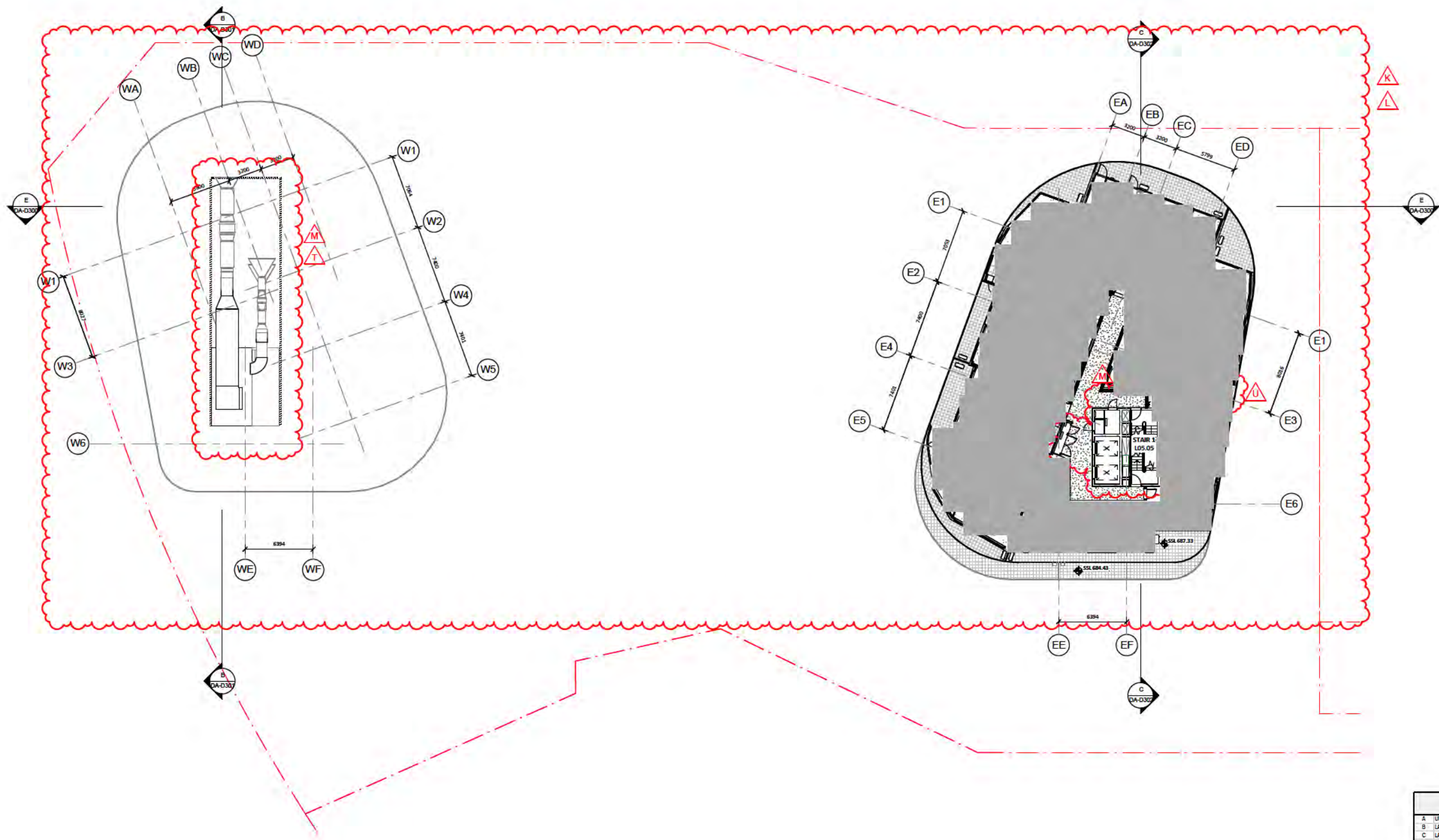
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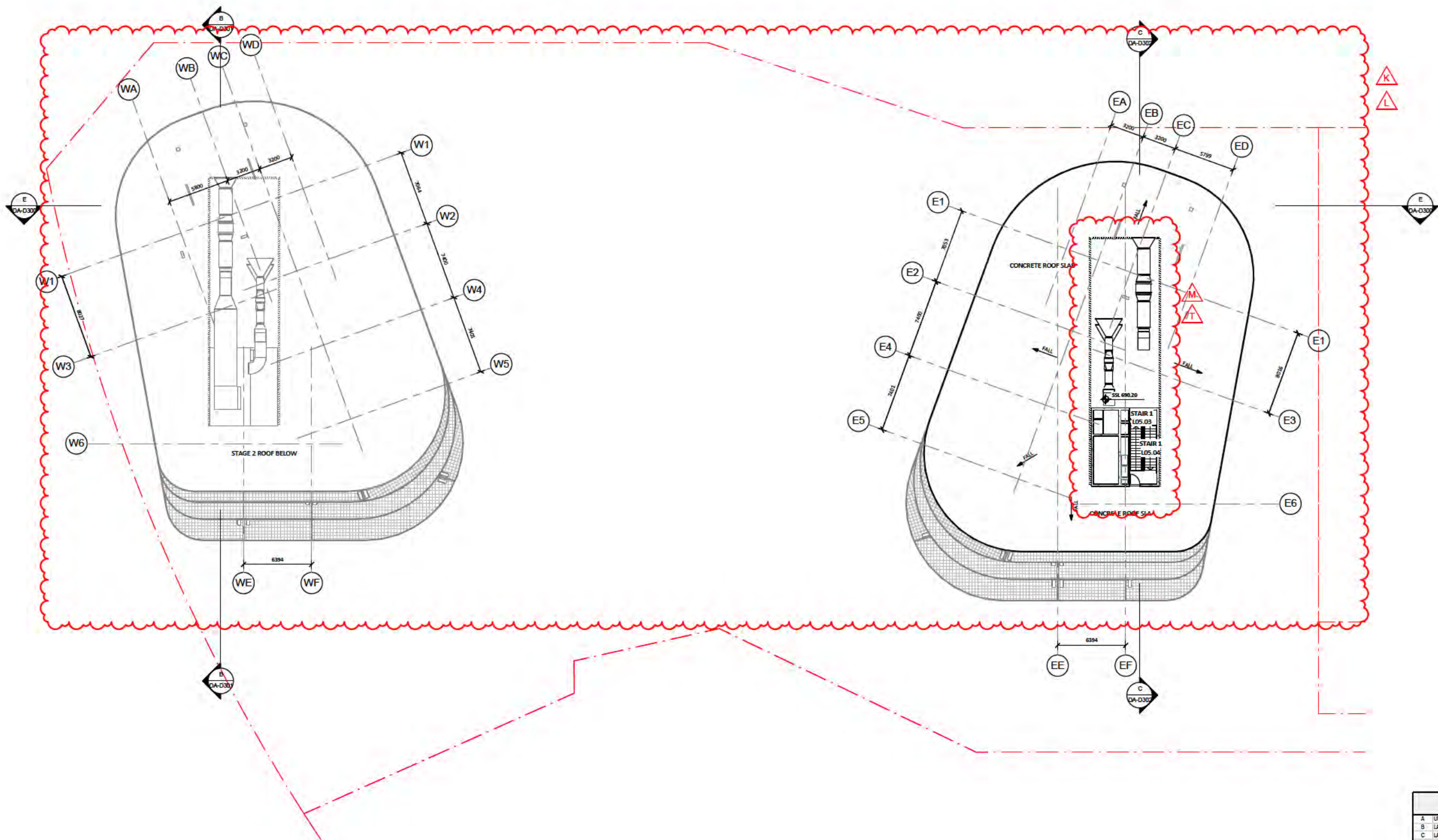
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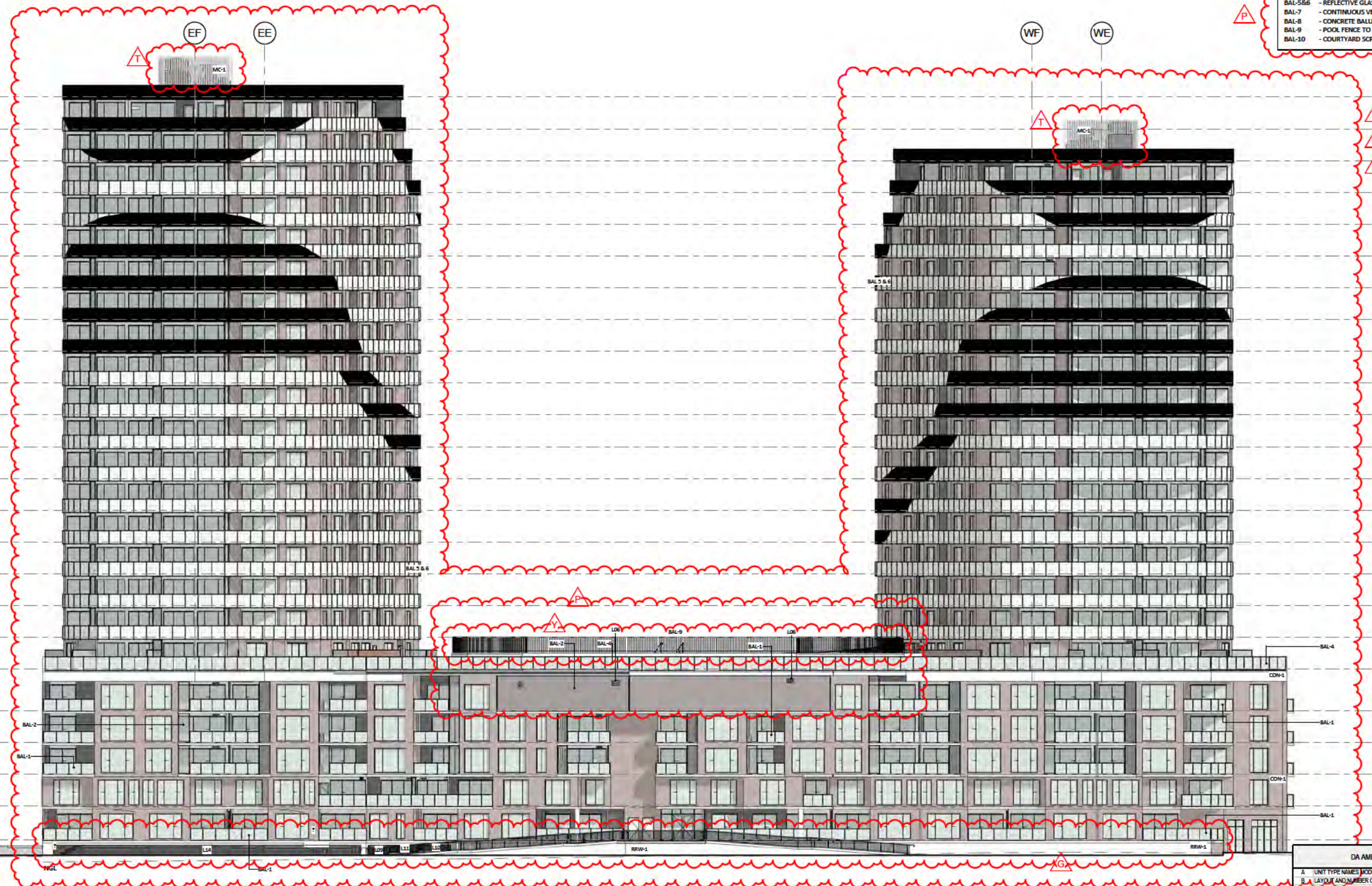


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R	SERVICE AREAS ADDED
S	SERVICE AREAS REVISED
T	ROOF PLANT ROOM SCREEN CHANGED AS PER MECH REQUIREMENT
U	BUILDING INFILLS ON THE TOWERS CHANGED
V	EXTERNAL COLUMNS CHANGED FROM SQUARE TO ROUND
W	SHARED PATH DESIGN CHANGED
Y	POOLUM POOL VENUE RAISED

DA AMENDMENT

- LEGEND**
- CON-1 - OFF FORM CONCRETE - LIGHT GREY TINT
 - RRW-1 - PAINTED & RENDERED REDWALL - LIGHT GREY
 - MC-1 - 2-PURLIN METAL SECTION SCREEN
 - BAL-1 - CLEAR GLASS BALUSTRADE
 - BAL-2 - SLATTED VERTICAL SCREEN
 - BAL-3 - FROSTED GRASS BALCONY SCREEN
 - BAL-4 - CLEAR GLASS BALUSTRADE
 - BAL-5&6 - REFLECTIVE GLASS TOWER BALUSTRADE
 - BAL-7 - CONTINUOUS VERTICALS STEEL BALUSTRADE
 - BAL-8 - CONCRETE BALUSTRADE
 - BAL-9 - POOL FENCE TO AS 1926.1
 - BAL-10 - COURTYARD SCREEN

- LEVEL 23 (ROOF STAGE 1) 690200
- LEVEL 22 687300
- LEVEL 21 (ROOF STAGE 2) 684400
- LEVEL 20 681500
- LEVEL 19 678600
- LEVEL 18 675700
- LEVEL 17 672800
- LEVEL 16 669900
- LEVEL 15 667000
- LEVEL 14 664100
- LEVEL 13 661200
- LEVEL 12 658300
- LEVEL 11 655400
- LEVEL 10 652500
- LEVEL 9 649600
- LEVEL 8 646700
- LEVEL 7 643800
- LEVEL 6 640900
- LEVEL 5 638000
- LEVEL 4 634200
- LEVEL 3 631300
- LEVEL 2 628400
- LEVEL 1 625500
- GROUND LEVEL 622400



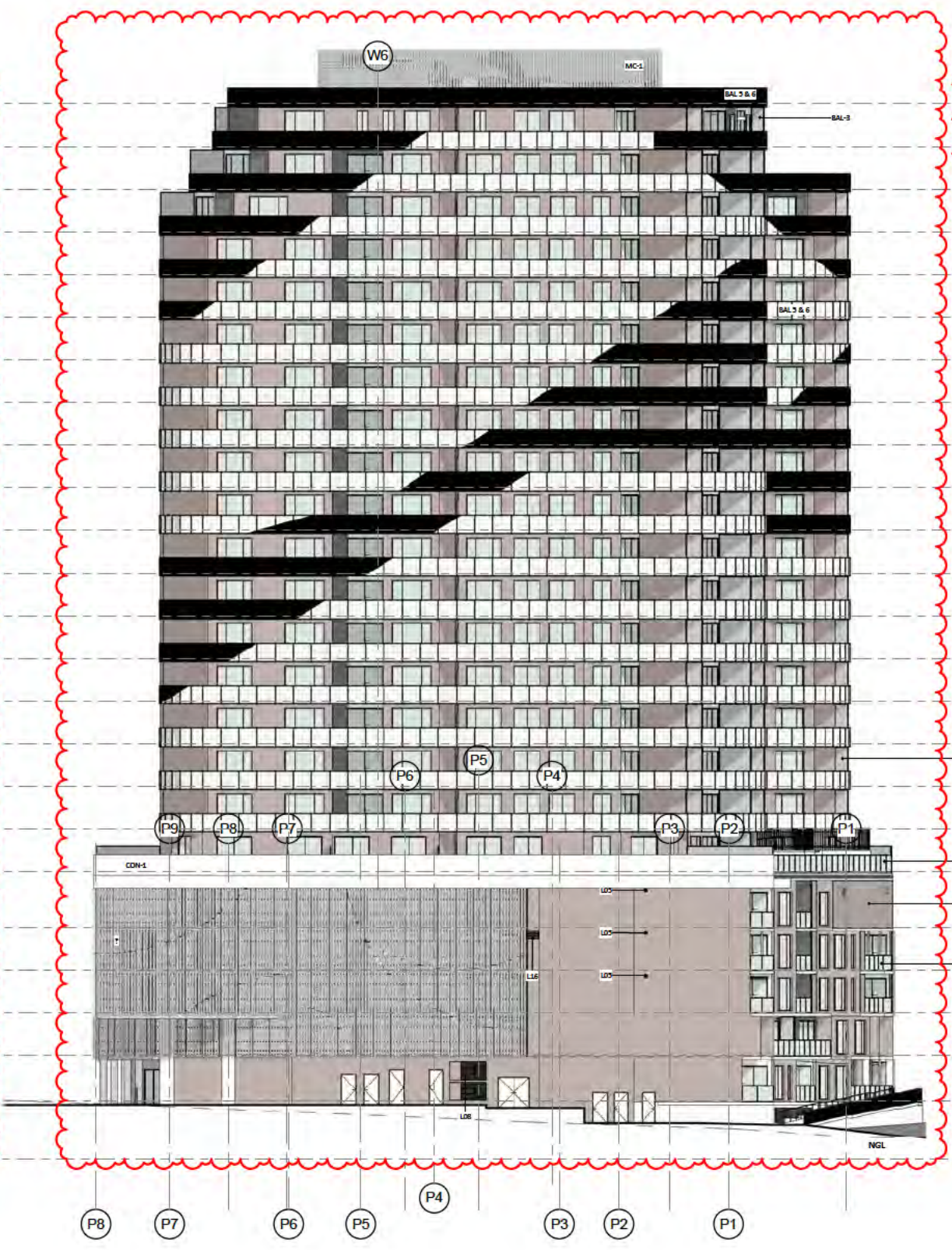
DA AMENDMENTS

A	UNIT TYPE NAMES MODIFIED
B	LAYOUT AND NUMBER OF STORAGE CAGES UPDATED
C	LAYOUT AND NUMBER OF CARPARKING SPACES CHANGED
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E	LANDSCAPING FOOTPATHS, EXTERNAL RAMPS REVISED
F	PEDESTRIAN RAMP REVISED
G	EXTERNAL RAMP ADDED
H	BASEMENT LAYOUT ENLARGED AND REVISED
I	GROUND FLOOR LAYOUT REVISED
J	VEHICULAR RAMP AND DRIVEWAYS MODIFIED
K	AND LEVELS UPDATED, OVERALL BUILDING HEIGHT REVISED
L	LAYOUT UPDATED TO SUIT SERVICES AND CONSTRUCTION REQUIREMENTS
M	CORE AREA MODIFIED AS PER REQUIREMENT
N	BALUSTRADES AND SCREENS REFINED
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Y	POOLUM POOL VENUE RAISED

1 North Elevation
1 : 200

LEGEND	
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RRW-1	- PAINTED & RENDERED REDWALL - LIGHT GREY
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BAL-8	- CONCRETE BALUSTRADE
BAL-9	- POOL FENCE TO AS 1926.1
BAL-10	- COURTYARD SCREEN

LEVEL 23 (ROOF STAGE 1)	690200
LEVEL 22	687300
LEVEL 21 (ROOF STAGE 2)	684400
LEVEL 20	681500
LEVEL 19	678600
LEVEL 18	675700
LEVEL 17	672800
LEVEL 16	669900
LEVEL 15	667000
LEVEL 14	664100
LEVEL 13	661200
LEVEL 12	658300
LEVEL 11	655400
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LEVEL 6	640900
LEVEL 5	638000
LEVEL 4	634200
LEVEL 3	631300
LEVEL 2	628400
LEVEL 1	625500
GROUND LEVEL	622400
BASEMENT	618500

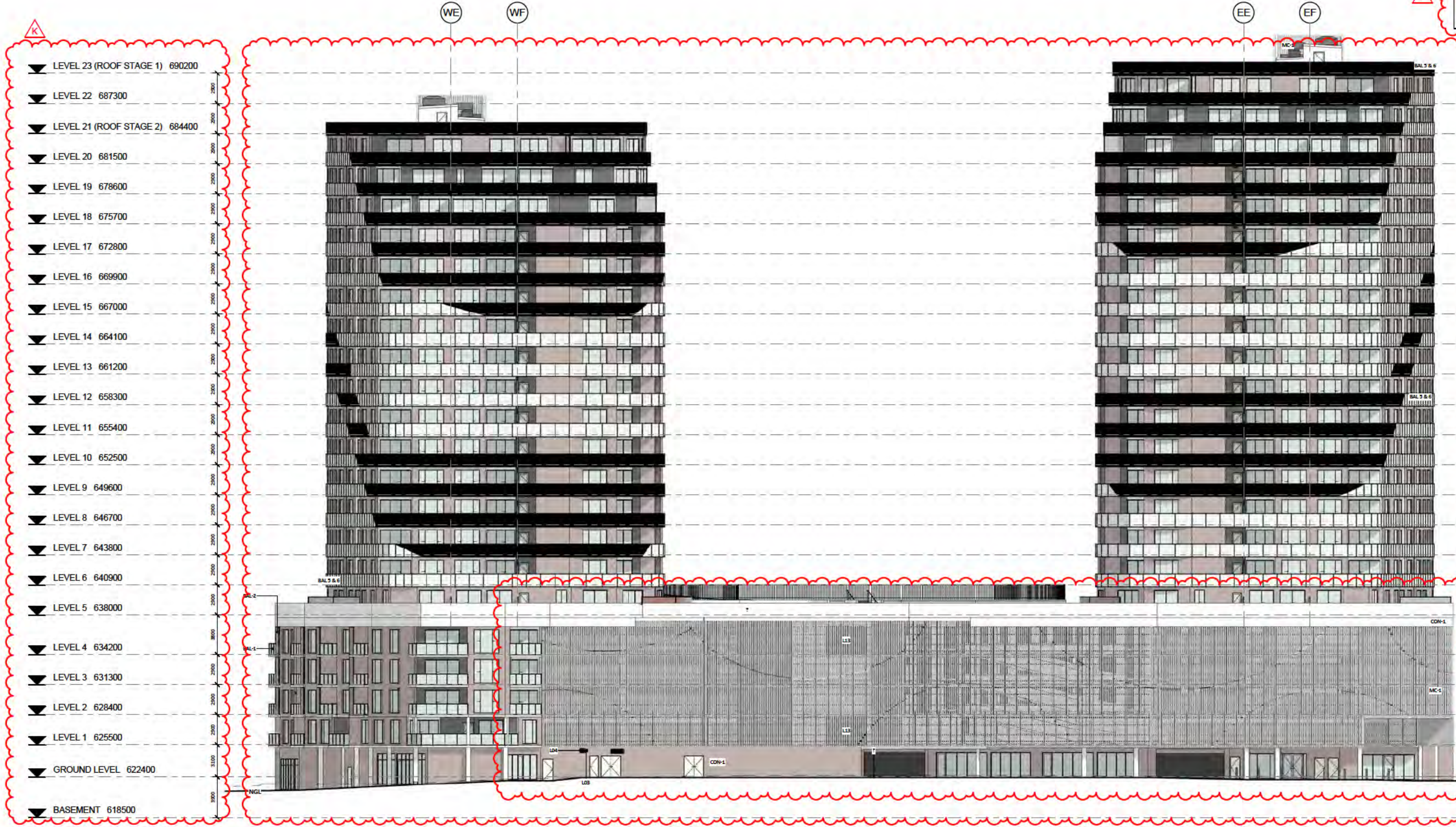


1 East Elevation
1:200

DA AMENDMENTS	
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- BASEMENT 618500

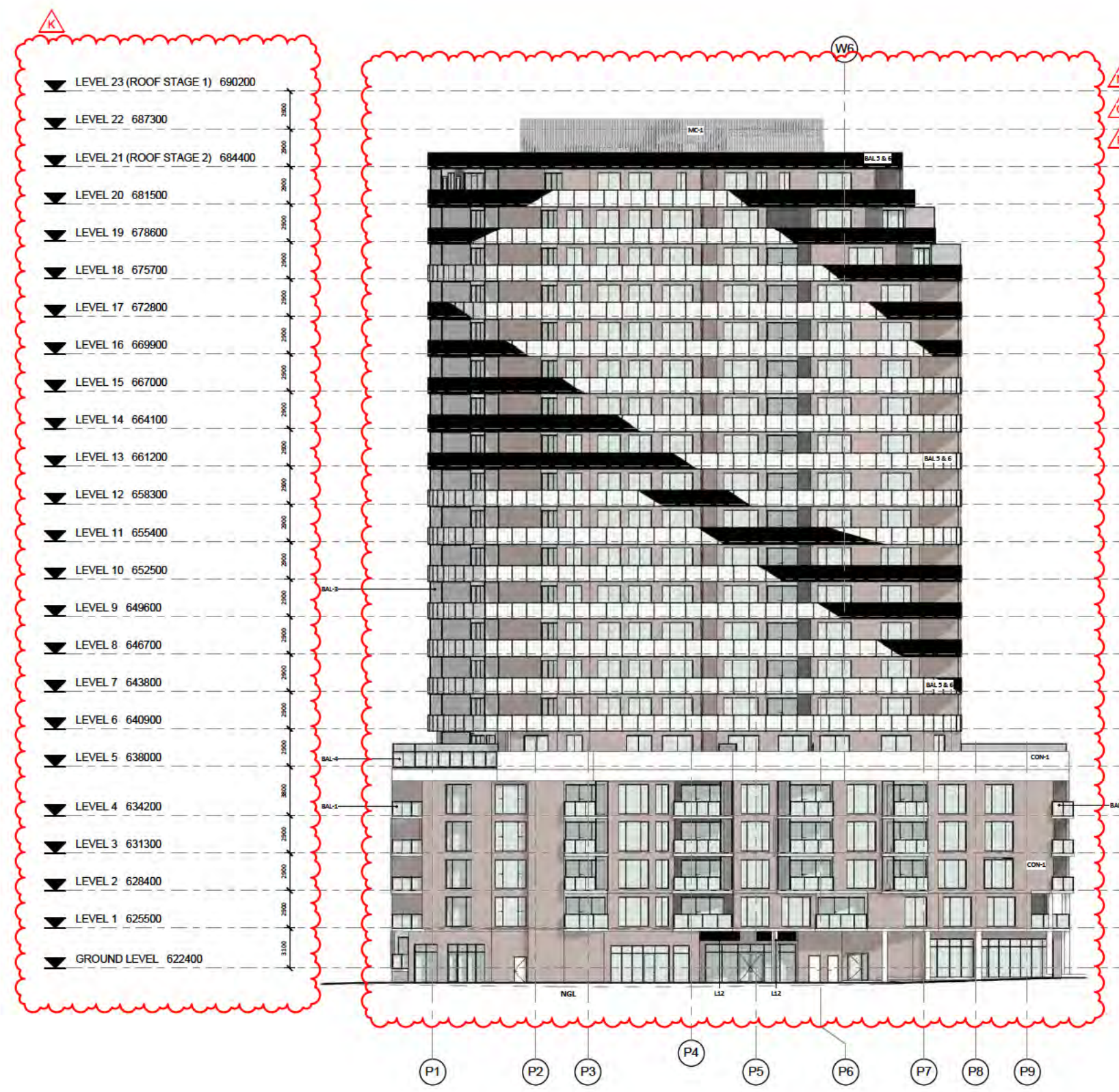
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- P

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1 South Elevation
1:200

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RRW-1	- PAINTED & RENDERED REDWALL - LIGHT GREY
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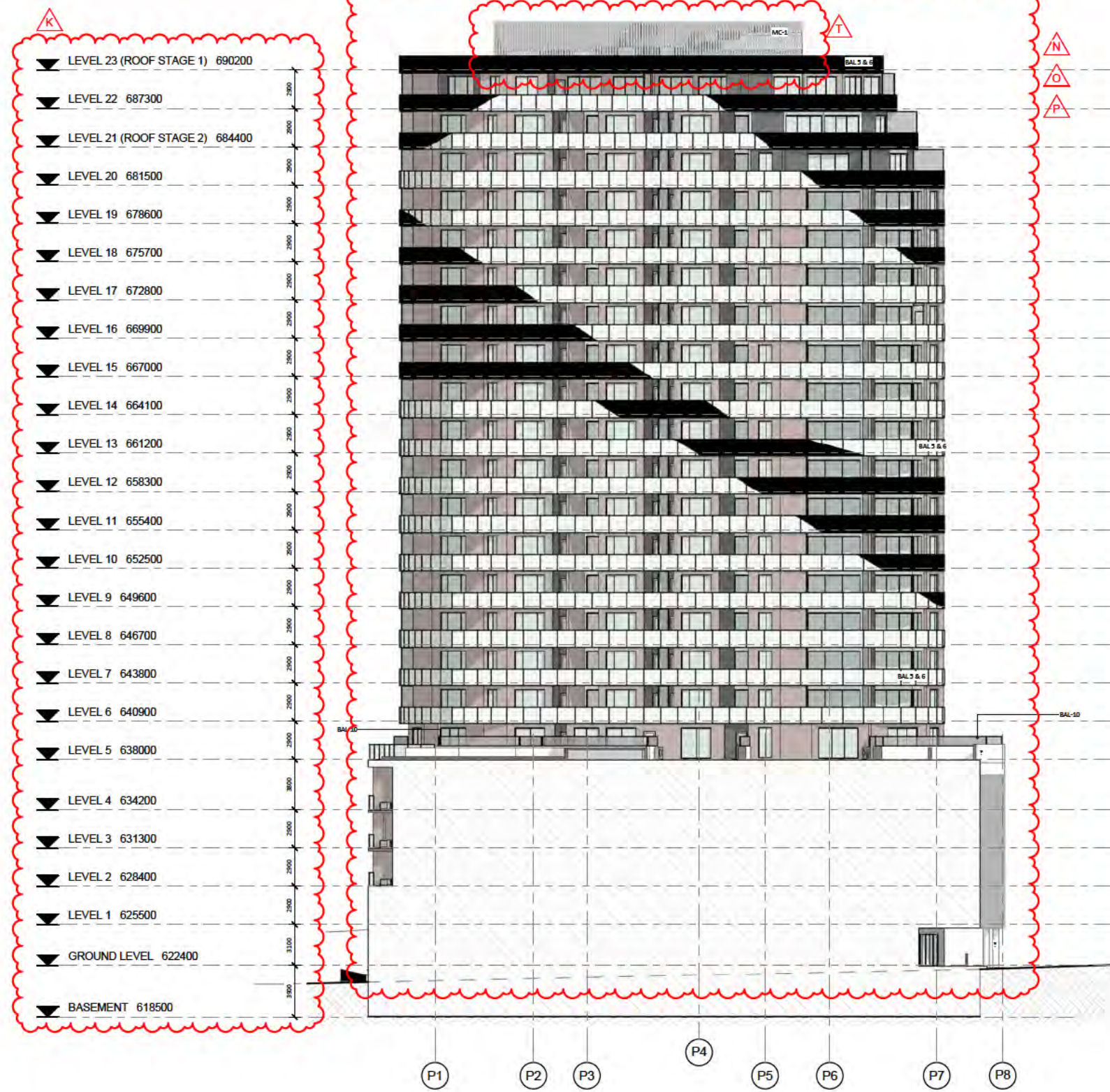


1 West Elevation
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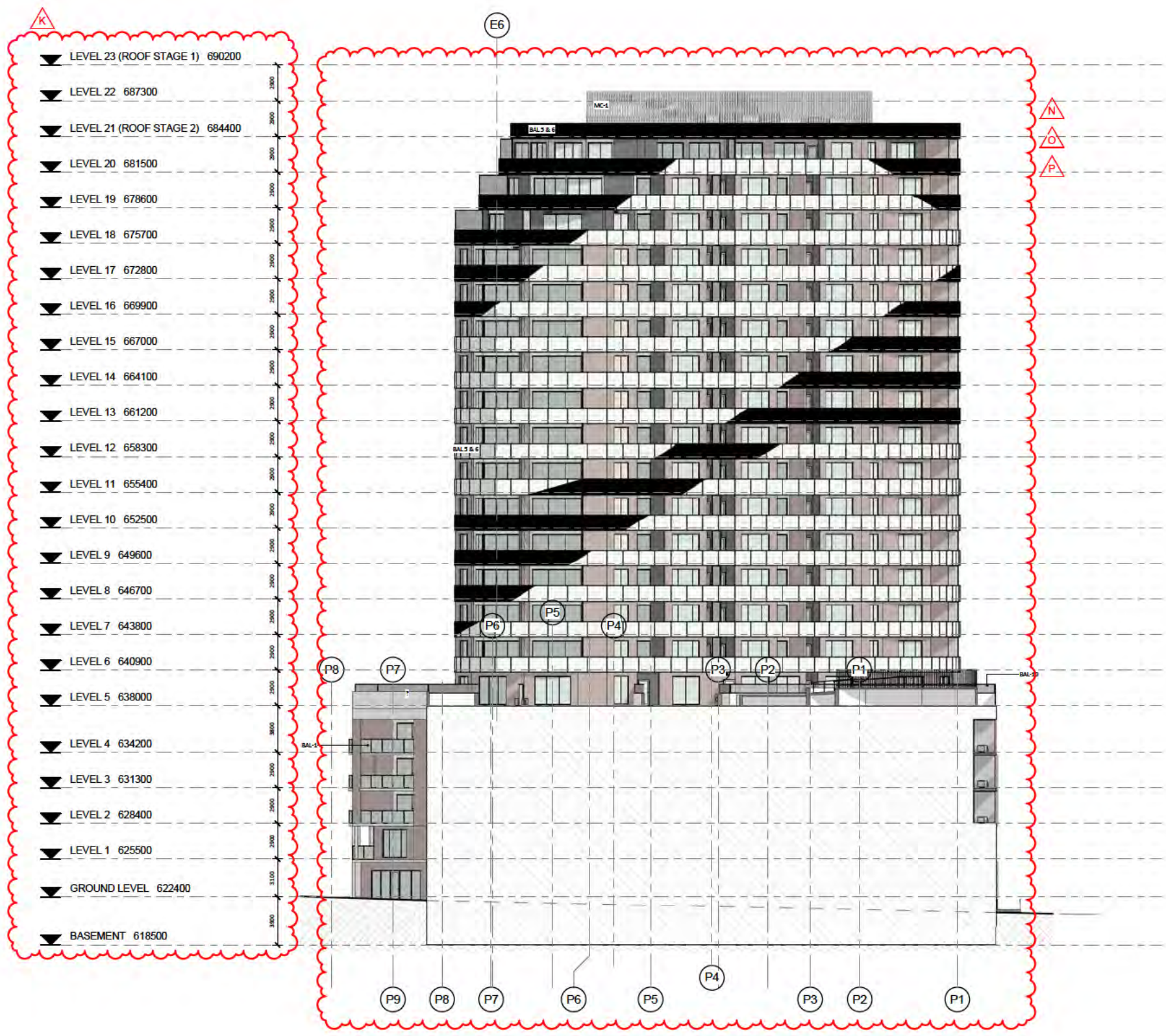


1 West Elevation
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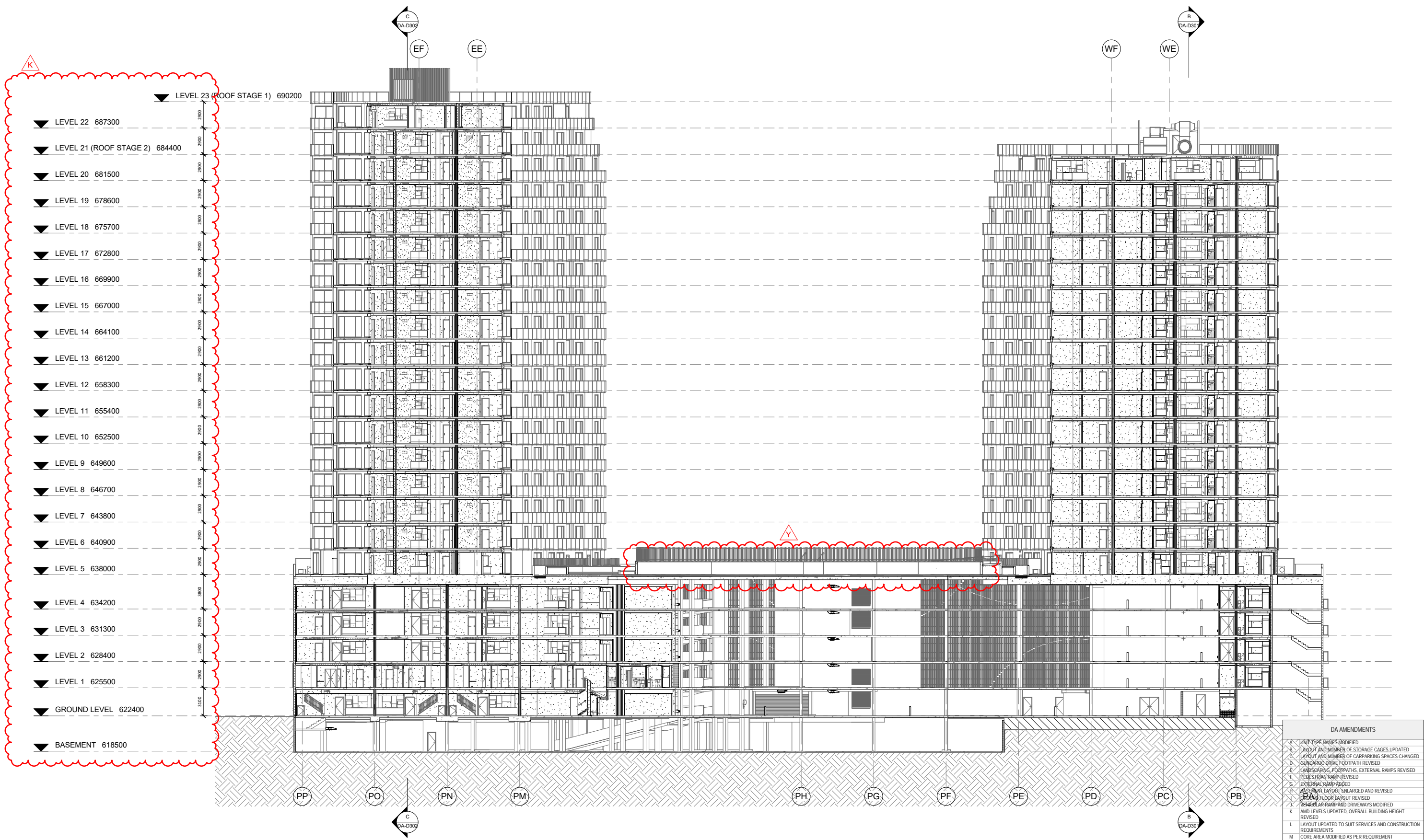
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DA AMENDMENT

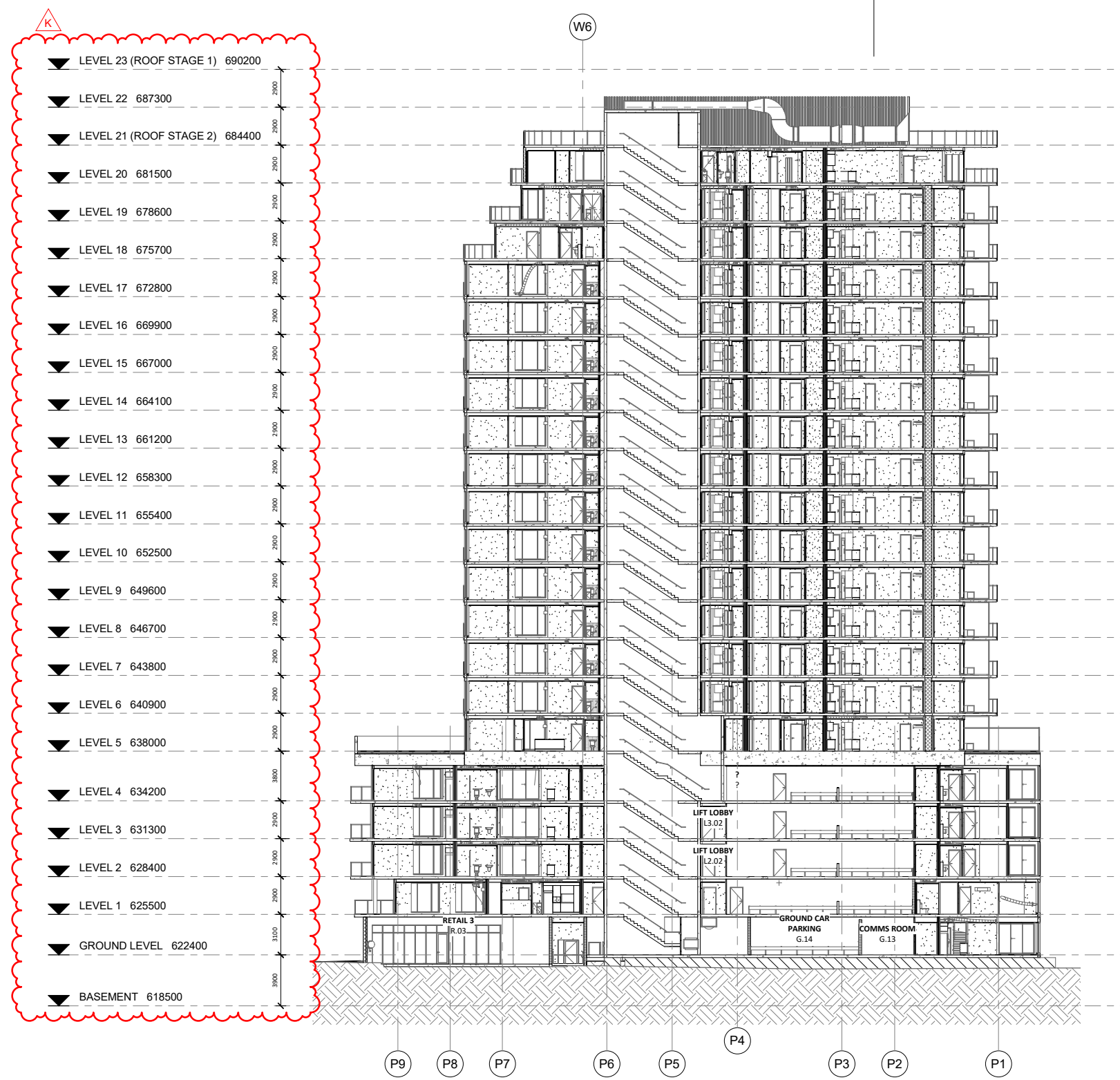


LEVEL 23 (ROOF STAGE 1)	690200
LEVEL 22	687300
LEVEL 21 (ROOF STAGE 2)	684400
LEVEL 20	681500
LEVEL 19	678600
LEVEL 18	675700
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LEVEL 4	634200
LEVEL 3	631300
LEVEL 2	628400
LEVEL 1	625500
GROUND LEVEL	622400
BASEMENT	618500

E DA - SECTION AA
1:200

DA AMENDMENTS	
A	UNIT TYPE NAMES MODIFIED
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G	PEDESTRIAN RAMP ADDED
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J	BASEMENT FLOOR LAYOUT REVISED
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Y	PODIUM POOL VENUE RAISED

DA AMENDMENT



B DA - SECTION BB
1: 200

DA AMENDMENTS	
A	UNIT TYPE NAMES MODIFIED
B	LAYOUT AND NUMBER OF STORAGE CAGES UPDATED
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W	SHARED PATH DESIGN CHANGED
Y	PODIUM POOL VENUE RAISED

DA AMENDMENT



(C) DA - SECTION CC
1 : 200

DA AMENDMENTS	
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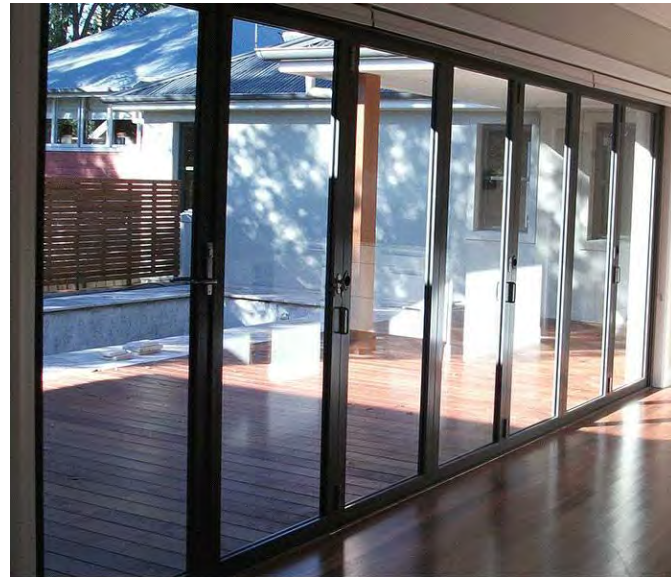
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BAL-10	- COURTYARD SCREEN

N
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MC-1



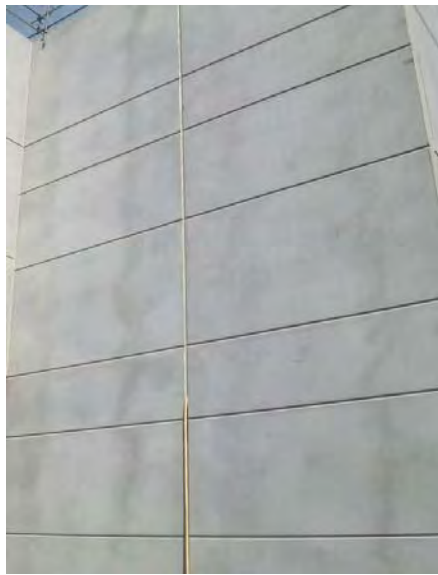
GLAZING



BALCONY CLADDING
- PODIUM



BALCONY CLADDING
- TOWER



CON-1



BAL-7,8



BAL-3



BAL-2



RRW-1



BAL-5,6 - BLACK AND WHITE COLOR LAMINATED
INTERLAYER GLASS



BAL-9

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DA AMENDMENT

From: [Purdons Reception](#)
To: ["EPD, Customer Services"](#)
Cc: [Purdons Reception](#)
Subject: DA201527105 S197(H) and DA201527109 S197(H) DA amendments
Date: Monday, 13 February 2017 2:05:00 PM
Attachments: [image003.png](#)

Good afternoon

Purdons have lodged DA amendments for both the DAs mentioned above. The lessee has now changed for these block and we have received a fail requests for both amendments requesting we change the lessee as part of the DA amendment.

As eDevelopment does not allow us to change these details, could you please change the lessee for the abovementioned DA amendments to:

NG Landholdings No.1 Pty Ltd
CAN 601 913 839
ABN 46 601 913 839

All other details for the signatory and address remain the same.

Regards
Sue

Sue Cutler
Office Manager

Purdon Planning Pty Ltd
Unit 4, Cooyong Centre
1 Torrens Street
Braddon ACT 2612

T: 02 6257 1511
www.purdon.com.au



BLOCKS 2 & 3, SECTION 209 GUNGAHLIN DA AMENDMENT



UNIT TYPE SCHEDULE				UNIT TYPE SCHEDULE			
UNIT NAME	NO. OF BEDROOMS	NO. OF BATHROOMS	COUNT	UNIT NAME	NO. OF BEDROOMS	NO. OF BATHROOMS	COUNT
NT-A	1	1	2	SP-B	1	1	2
NT-B	1	1	2	SP-C	3	2	2
NT-C	1	1	2	SP-D	1	1	2
NT-D	1	1	2	SP-E	1	1	2
NT-E	2	2	2	SP-F	2	2	2
NT-F	2	2	2	SP-G	1	1	2
P-A	3	3	1	SP-H	2	2	2
P-B	2	2	1	SP-I	1	1	2
P-C	1	1	4	SP-J	3	2	2
P-D	2	1	4	T-A	1	1	30
P-E	1	1	4	T-B	1	1	30
P-F	1	1	3	T-C	2	2	30
P-G	1	1	3	T-D	2	2	30
P-H	1	1	3	T-E	2	2	30
P-I	1	1	3	T-F	1	1	26
P-J	1	1	13	T-G	2	2	26
P-K	1	1	2	T-H	1	1	26
P-L	1	1	3	T-I	2	2	26
P-M	1	1	3	T-J	1	1	30
P-N	1	1	3	T-K	1	1	30
P-O	1	1	9	Ter-A	3	3	6
PH-A	3	3	2	Ter-B	3	3	1
PH-B	3	3	2	Ter-C	3	2	1
PH-C	3	3	2	Ter-D	3	3	1
PH-D	3	3	2	Ter-E	3	3	1
PH-E	3	3	2	Ter-F	3	3	1
SP-A	1	1	2	TOTAL UNITS:			426

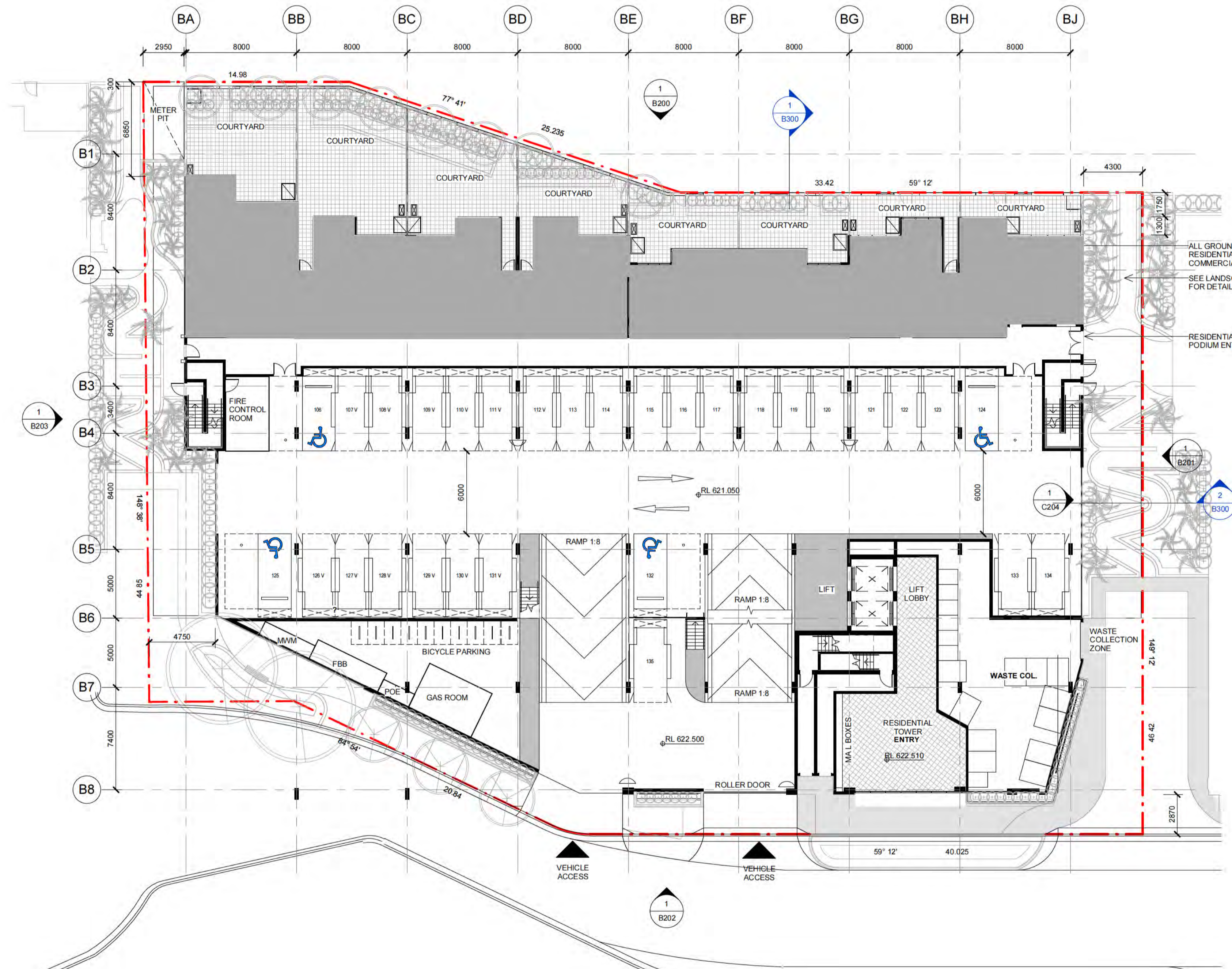
PARKING SCHEDULE	
Description	Count
BASEMENT	
Accessible, 5400 x 2400mm	6
Parallel, 6300 x 2300mm	1
Standard, 5400 x 2400mm	117
GROUND LEVEL	
Accessible, 5400 x 2400mm	10
Standard, 5400 x 2400mm	42
LEVEL 1	
Accessible, 5400 x 2400mm	5
Standard, 5400 x 2400mm	89
LEVEL 2	
Accessible, 5400 x 2400mm	8
Standard, 5400 x 2400mm	90
LEVEL 3	
Accessible, 5400 x 2400mm	8
Standard, 5400 x 2400mm	89
LEVEL 4	
Accessible, 5400 x 2400mm	8
Standard, 5400 x 2400mm	87
Grand total	560

PARKING STORAGE CAGES	
Level	Count
BASEMENT	109
GROUND LEVEL	34
LEVEL 1	63
LEVEL 2	63
LEVEL 3	63
LEVEL 4	94
Grand total: 426	426

DRAWING LIST	
NUMBER	DRAWING TITLE
DA-D001	COVER SHEET
DA-D010	SITE PLAN
DA-D099	BASEMENT PLAN
DA-D100	GROUND PLAN
DA-D101	LEVEL 1 PLAN
DA-D102	LEVEL 2 PLAN
DA-D103	LEVEL 3 PLAN
DA-D104	LEVEL 4 PLAN
DA-D105	LEVEL 5 PLAN
DA-D106	LEVEL 6-17 PLAN
DA-D107	LEVEL 18 PLAN
DA-D108	LEVEL 19 PLAN
DA-D109	LEVEL 20 PLAN
DA-D110	LEVEL 21 PLAN
DA-D111	LEVEL 22 PLAN
DA-D112	ROOF PLAN
DA-D200	NORTH ELEVATION
DA-D201	EAST ELEVATION
DA-D202	SOUTH ELEVATION
DA-D203	WEST ELEVATION
DA-D204	BUILDING B - WEST ELEVATION
DA-D205	BUILDING A - EAST ELEVATION
DA-D300	SECTION A
DA-D301	SECTION B
DA-D302	SECTION C
DA-D400	MATERIAL PALETTE SCHEDULE

DA AMENDMENTS	
A	UNIT TYPE NAMES MODIFIED
B	LAYOUT AND NUMBER OF STORAGE CAGES UPDATED
C	LAYOUT AND NUMBER OF CARPARKING SPACES CHANGED
D	LANDSCAPING DRIVE FOOTPATH REVISED
E	LANDSCAPING FOOTPATHS, EXTERNAL RAMPS REVISED
F	PEDESTRIAN RAMP REVISED
G	EXTERNAL RAMP ADDED
H	BASEMENT LAYOUT ENLARGED AND REVISED
I	GROUND FLOOR LAYOUT REVISED
J	VEHICULAR RAMP AND DRIVEWAYS MODIFIED
K	AMD LEVELS UPDATED, OVERALL BUILDING HEIGHT REVISED
L	LAYOUT UPDATED TO SUIT SERVICES AND CONSTRUCTION REQUIREMENTS
M	CORE AREA MODIFIED AS PER REQUIREMENT
N	SALLISTRADIES AND SCREENS REFINED
O	EXTERNAL CLADDING ON BALCONIES CHANGED
P	ELEVATION TREATMENT REVISED
R	SERVICE AREAS ADDED
S	SERVICE AREAS REVISED
T	ROOF PLANT ROOM SCREEN CHANGED AS PER MECH REQUIREMENT
U	BUILDING INFILLS ON THE TOWERS CHANGED
V	EXTERNAL COLUMNS CHANGED FROM SQUARE TO ROUND
W	SHARED PATH DESIGN CHANGED
Y	POOLUM POOL VENUE RAISED

DA AMENDMENT



PARKING SCHEDULE - BUILDING B OVERALL	
TYPE	COUNT
ACCESSIBLE	24
STANDARD	258
STANDARD (PARALLEL)	10
Total	292

PARKING SCHEDULE - BUILDING B GROUND FLOOR	
TYPE	COUNT
ACCESSIBLE	4
STANDARD	26
Total	30

UNIT SCHEDULE - BUILDING B	
NAME	COUNT
1 BED (A)	16
1 BED (B)	34
1 BED (C)	17
1 BED (D)	17
1 BED (E)	17
1 BED (F)	10
1 BED (G)	5
1 BED + (A)	34
1 BED + (B)	20
2 BED 1B (A)	17
2 BED 2B (A)	17
2 BED 2B (A)	17
2 BED 2B (B)	17
3 BED (A)	5
Total	243

STORAGE SCHEDULE - BUILDING B	
DESCRIPTION	COUNT
PARKING STORAGE UNIT	243

BICYCLE RAIL SCHEDULE - BUILDING B	
DESCRIPTION	COUNT
DUAL BICYCLE RAIL	10

GFA SCHEDULE - BUILDING B - OVERALL	
LEVEL	AREA
BASEMENT 1.5	179 m ²
GROUND LEVEL	1019 m ²
LEVEL 1	699 m ²
LEVEL 2	658 m ²
LEVEL 3	658 m ²
LEVEL 4	631 m ²
LEVEL 5	810 m ²
LEVEL 6	810 m ²
LEVEL 7	810 m ²
LEVEL 8	810 m ²
LEVEL 9	810 m ²
LEVEL 10	810 m ²
LEVEL 11	810 m ²
LEVEL 12	810 m ²
LEVEL 13	810 m ²
LEVEL 14	810 m ²
LEVEL 15	810 m ²
LEVEL 16	810 m ²
LEVEL 17	810 m ²
LEVEL 18	810 m ²
LEVEL 19	810 m ²
LEVEL 20	810 m ²
LEVEL 21	810 m ²
LEVEL 22 (PLANT)	616 m ²
TOTAL	18231 m²

NOTES

HEAD HEIGHT OVER ACCESSIBLE CAR PARKING SPACES TO BE IN ACCORDANCE WITH AS 2890.6

PASSENGER LIFTS TO AS 1735.12 & BCA E3.6

ACCESSIBLE PATH OF TRAVEL PROVIDED TO ALL SOUL OCCUPANCY UNITS SERVED BY A LIFT

TACTILE INDICATORS TO ROAD CROSSINGS AS PER AS 1428.4

ENTRANCE TO ALL BUILDINGS ALONG ACCESSIBLE PATH OF TRAVEL ARE ACCESSIBLE TO AS 128.1

ALL DOORS SINGLE LEAF 920mm OR ACTIVE LEAF OF DOUBLE DOORS MIN 920mm

ACCESS TO WASTE ROOM NOT PROVIDED TO TENANTS

ALL FLOOR SURFACES TO BE SLIP RESISTANT, BROOM FINISHED CONCRETE EXTERNAL (OR SIMILAR), SLIP RESISTANT FLOOR FINISH INTERNALLY (TO BE SELECTED BY COMMERCIAL TENANT)

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REFER TO WIND REPORT

TENANCY LAYOUT, RETAIL CONFIGURATION & ACCESS OFF STREET TENANCIES TO BE CONFIRMED WITH SUBSEQUENT INDIVIDUAL DEVELOPMENT APPLICATIONS

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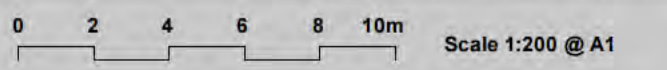
LEGEND

A ACCESSIBLE APARTMENT

PS 1.8 NOM. HIGH PRIVACY SCREENING

- ADAPTABLE PARKING
- BICYCLE PARKING
- STORAGE AREA 2400mm x 600mm
- VISITOR PARKING
- CAR PARK MIRRORS
- DRYING AREA
- CONDENSOR UNITS

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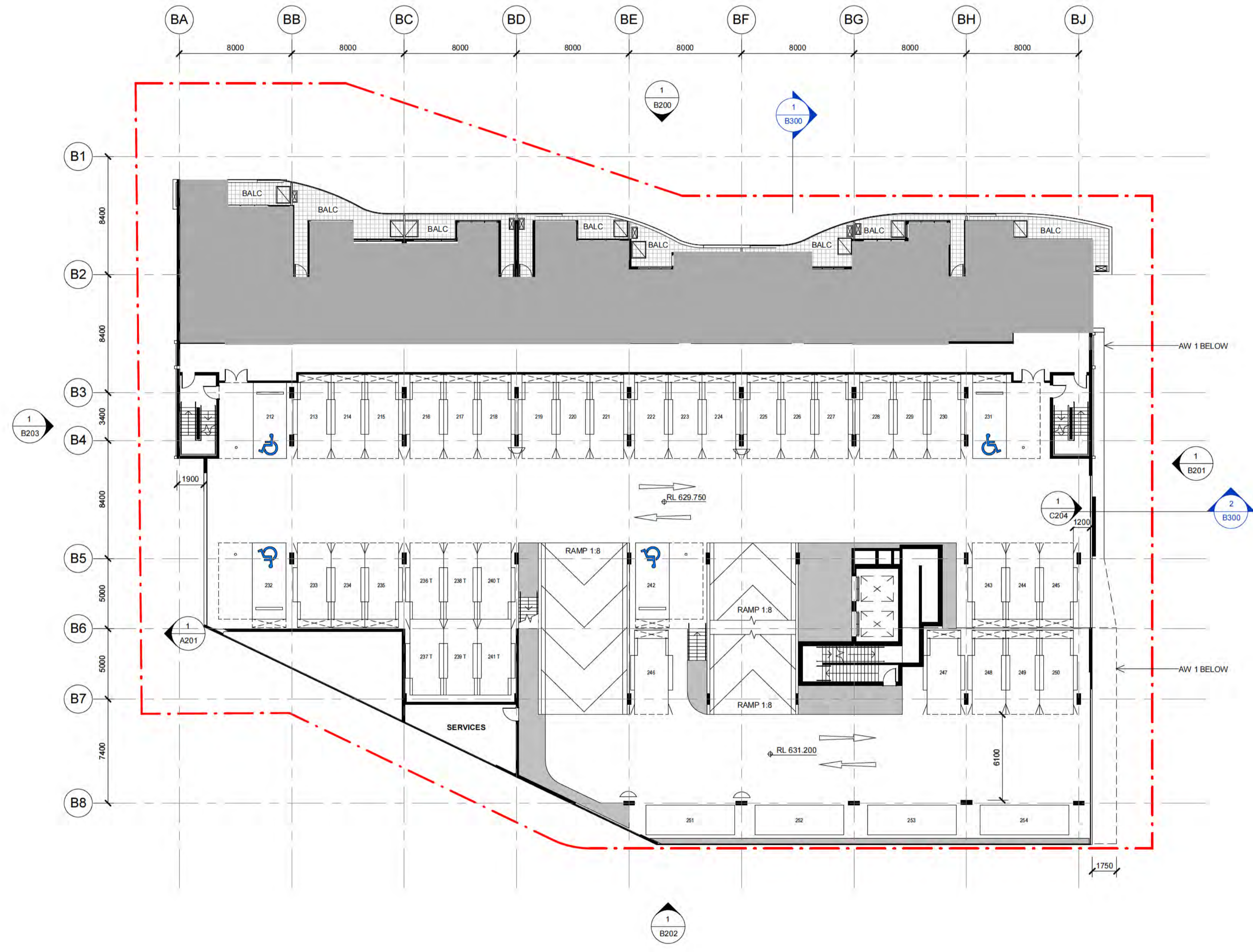
revision F date 03.02.15 project 4188

GFA SCHEDULE - BUILDING B - OVERALL

LEVEL	AREA
BASEMENT 1.5	179 m ²
GROUND LEVEL	1019 m ²
LEVEL 1	699 m ²
LEVEL 2	658 m ²
LEVEL 3	658 m ²
LEVEL 4	631 m ²
LEVEL 5	810 m ²
LEVEL 6	810 m ²
LEVEL 7	810 m ²
LEVEL 8	810 m ²
LEVEL 9	810 m ²
LEVEL 10	810 m ²
LEVEL 11	810 m ²
LEVEL 12	810 m ²
LEVEL 13	810 m ²
LEVEL 14	810 m ²
LEVEL 15	810 m ²
LEVEL 16	810 m ²
LEVEL 17	810 m ²
LEVEL 18	810 m ²
LEVEL 19	810 m ²
LEVEL 20	810 m ²
LEVEL 21	810 m ²
LEVEL 22 (PLANT)	616 m ²
TOTAL	18231 m²

PARKING SCHEDULE - BUILDING B LEVEL 3

TYPE	COUNT
ACCESSIBLE	4
STANDARD	35
STANDARD (PARALLEL)	4
Total	43



NOTES

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PASSENGER LIFTS TO AS 1735.12 & BCA E3.6

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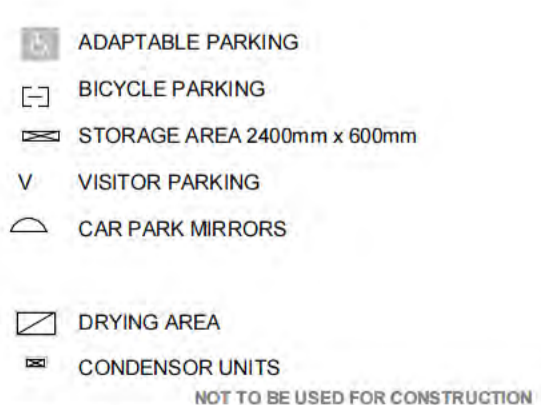
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HANDRAIL TO AS 1428.1

LEGEND

A ACCESSIBLE APARTMENT

PS 1.8 NOM. HIGH PRIVACY SCREENING



GFA SCHEDULE - BUILDING B - OVERALL

LEVEL	AREA
BASEMENT 1.5	179 m ²
GROUND LEVEL	1019 m ²
LEVEL 1	699 m ²
LEVEL 2	658 m ²
LEVEL 3	658 m ²
LEVEL 4	631 m ²
LEVEL 5	810 m ²
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LEVEL 12	810 m ²
LEVEL 13	810 m ²
LEVEL 14	810 m ²
LEVEL 15	810 m ²
LEVEL 16	810 m ²
LEVEL 17	810 m ²
LEVEL 18	810 m ²
LEVEL 19	810 m ²
LEVEL 20	810 m ²
LEVEL 21	810 m ²
LEVEL 22 (PLANT)	616 m ²
TOTAL	18231 m²

PARKING SCHEDULE - BUILDING B LEVEL 1

TYPE	COUNT
ACCESSIBLE	4
STANDARD	29
Total	33



NOTES

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LEGEND

- A ACCESSIBLE APARTMENT
- PS 1.8 NOM. HIGH PRIVACY SCREENING
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- BICYCLE PARKING
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- CAR PARK MIRRORS
- DRYING AREA
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LEVEL 13	810 m ²
LEVEL 14	810 m ²
LEVEL 15	810 m ²
LEVEL 16	810 m ²
LEVEL 17	810 m ²
LEVEL 18	810 m ²
LEVEL 19	810 m ²
LEVEL 20	810 m ²
LEVEL 21	810 m ²
LEVEL 22 (PLANT)	616 m ²
TOTAL	18231 m²

PARKING SCHEDULE - BUILDING B LEVEL 2

TYPE	COUNT
ACCESSIBLE	4
STANDARD	35
STANDARD (PARALLEL)	4
Total	43



NOTES

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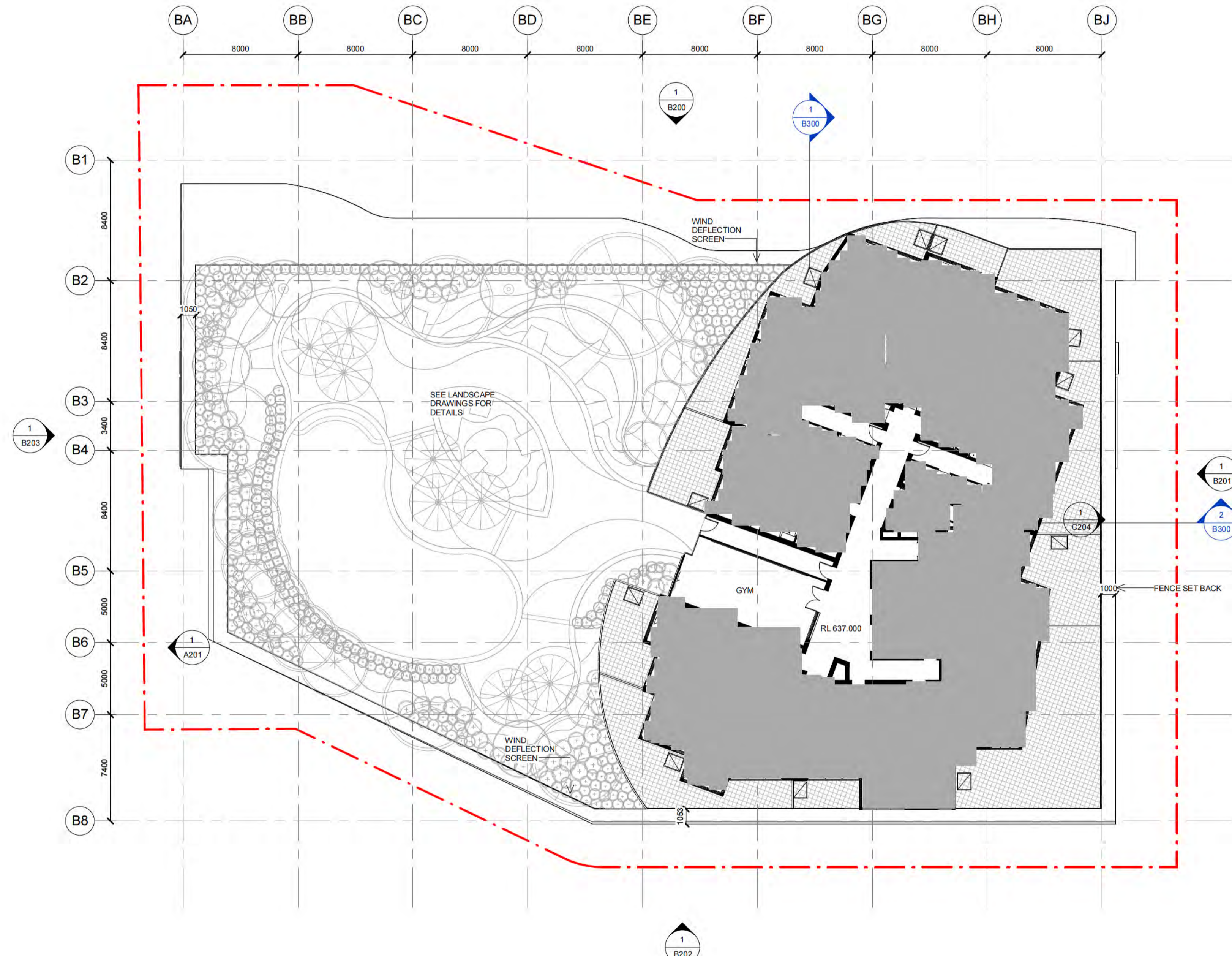
- LEGEND**
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Scale 1:200 @ A1

revision	F	date	03.02.15
project	4188		

GFA SCHEDULE - BUILDING B - OVERALL

LEVEL	AREA
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LEVEL 1	699 m ²
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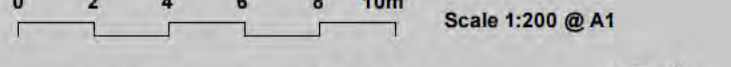
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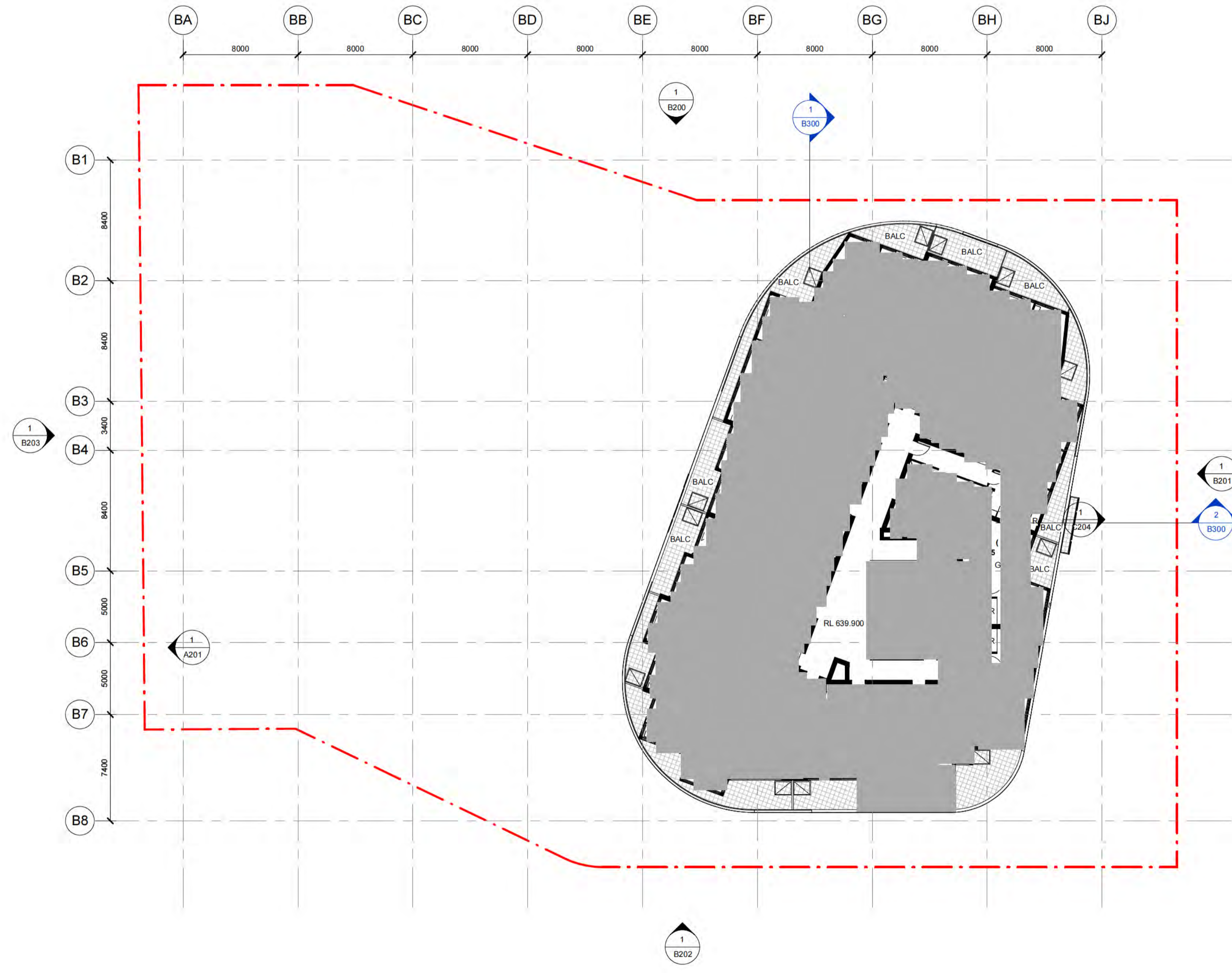
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revision F date 03.02.15 project 4188

GFA SCHEDULE - BUILDING B - OVERALL

LEVEL	AREA
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GROUND LEVEL	1019 m ²
LEVEL 1	699 m ²
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LEVEL 17	810 m ²
LEVEL 18	810 m ²
LEVEL 19	810 m ²
LEVEL 20	810 m ²
LEVEL 21	810 m ²
LEVEL 22 (PLANT)	616 m ²
TOTAL	18231 m²



NOTES

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- LEGEND**
- A ACCESSIBLE APARTMENT
 - PS 1.8 NOM HIGH PRIVACY SCREENING
 - ADAPTABLE PARKING
 - BICYCLE PARKING
 - STORAGE AREA 2400mm x 600mm
 - V VISITOR PARKING
 - CAR PARK MIRRORS
 - DRYING AREA
 - CONDENSOR UNITS

NOT TO BE USED FOR CONSTRUCTION

0 2 4 6 8 10m Scale 1:200 @ A1

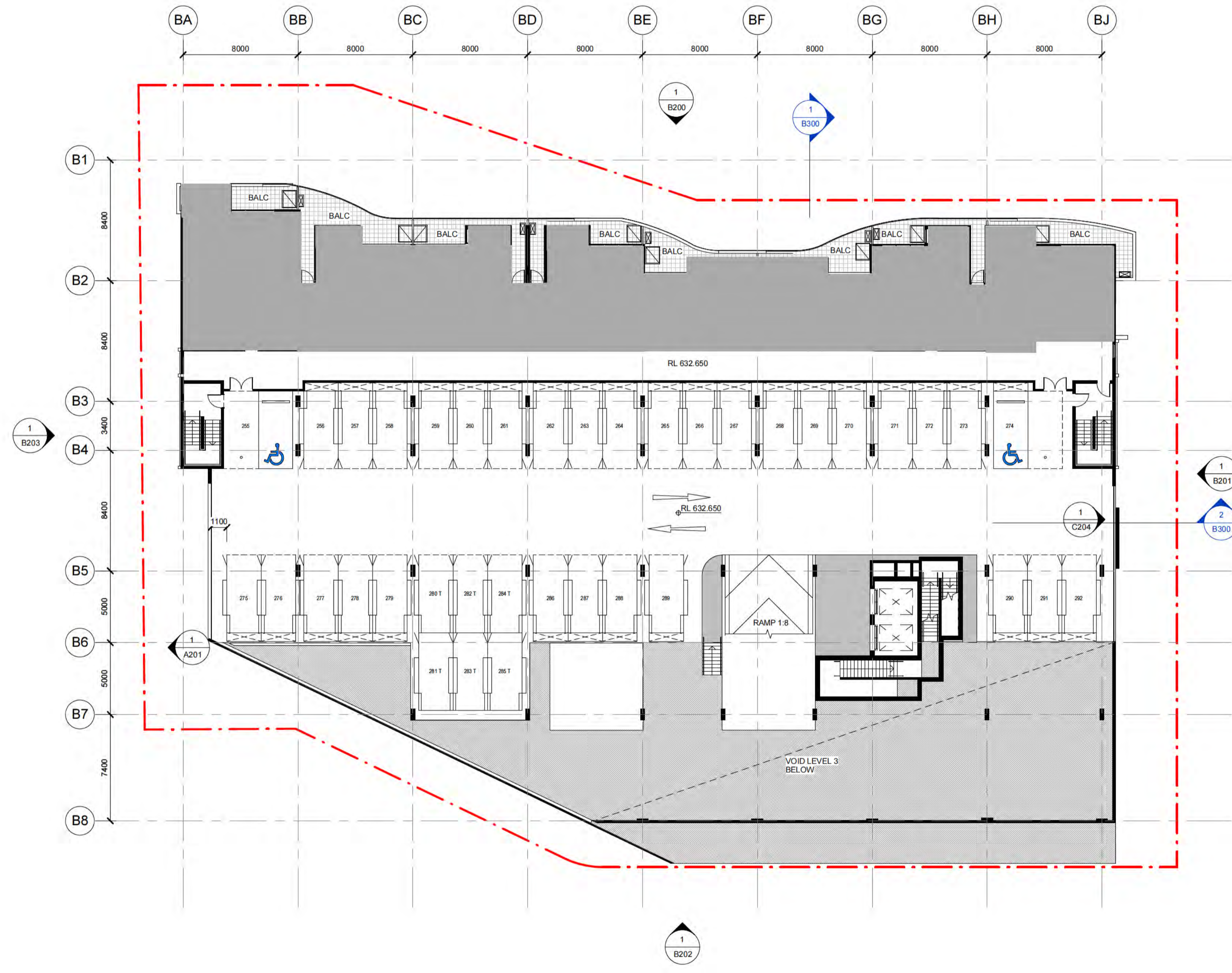
revision F date 03.02.15 project 4188

GFA SCHEDULE - BUILDING B - OVERALL

LEVEL	AREA
BASEMENT 1.5	179 m ²
GROUND LEVEL	1019 m ²
LEVEL 1	699 m ²
LEVEL 2	658 m ²
LEVEL 3	658 m ²
LEVEL 4	631 m ²
LEVEL 5	810 m ²
LEVEL 6	810 m ²
LEVEL 7	810 m ²
LEVEL 8	810 m ²
LEVEL 9	810 m ²
LEVEL 10	810 m ²
LEVEL 11	810 m ²
LEVEL 12	810 m ²
LEVEL 13	810 m ²
LEVEL 14	810 m ²
LEVEL 15	810 m ²
LEVEL 16	810 m ²
LEVEL 17	810 m ²
LEVEL 18	810 m ²
LEVEL 19	810 m ²
LEVEL 20	810 m ²
LEVEL 21	810 m ²
LEVEL 22 (PLANT)	616 m ²
TOTAL	18231 m²

PARKING SCHEDULE - BUILDING B LEVEL 4

TYPE	COUNT
ACCESSIBLE	2
STANDARD	36
Total	38



NOTES

- HEAD HEIGHT OVER ACCESSIBLE CAR PARKING SPACES TO BE IN ACCORDANCE WITH AS 2890.6
- PASSENGER LIFTS TO AS 1735.12 & BCA E3.6
- ACCESSIBLE PATH OF TRAVEL PROVIDED TO ALL SOUL OCCUPANCY UNITS SERVED BY A LIFT
- TACTILE INDICATORS TO ROAD CROSSINGS AS PER AS 1428.4
- ENTRANCE TO ALL BUILDINGS ALONG ACCESSIBLE PATH OF TRAVEL ARE ACCESSIBLE TO AS 128.1
- ALL DOORS SINGLE LEAF 920mm OR ACTIVE LEAF OF DOUBLE DOORS MIN 920mm
- ACCESS TO WASTE ROOM NOT PROVIDED TO TENANTS
- ALL FLOOR SURFACES TO BE SLIP RESISTANT, BROOM FINISHED CONCRETE EXTERNAL (OR SIMILAR), SLIP RESISTANT FLOOR FINISH INTERNALLY (TO BE SELECTED BY COMMERCIAL TENANT)
- HANDRAIL TO AS 1428.1
- EXTERNAL LIGHTING DESIGNED IN ACCORDANCE WITH AS 1588.3 LIGHTING OF ROADS & PUBLIC SPACES & TO THE ACT CRIME PREVENTION & URBAN DESIGN RESOURCES MANUAL
- TO BE READ IN CONJUNCTION WITH LANDSCAPE DRAWINGS
- ALL ADAPTABLE UNITS TO COMPLY WITH AS 4299-1995 & THE ACCESS MOBILITY CODE
- REFER TO ACOUSTIC REPORT
- REFER TO WIND REPORT
- TENANCY LAYOUT, RETAIL CONFIGURATION & ACCESS OFF STREET TENANCIES TO BE CONFIRMED WITH SUBSEQUENT INDIVIDUAL DEVELOPMENT APPLICATIONS
- MINIMUM SIGHTLINES FOR PEDESTRIAN SAFETY WILL OCCUR IN ACCORDANCE WITH AS 2890.1

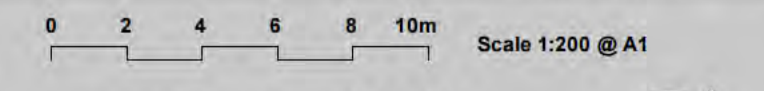
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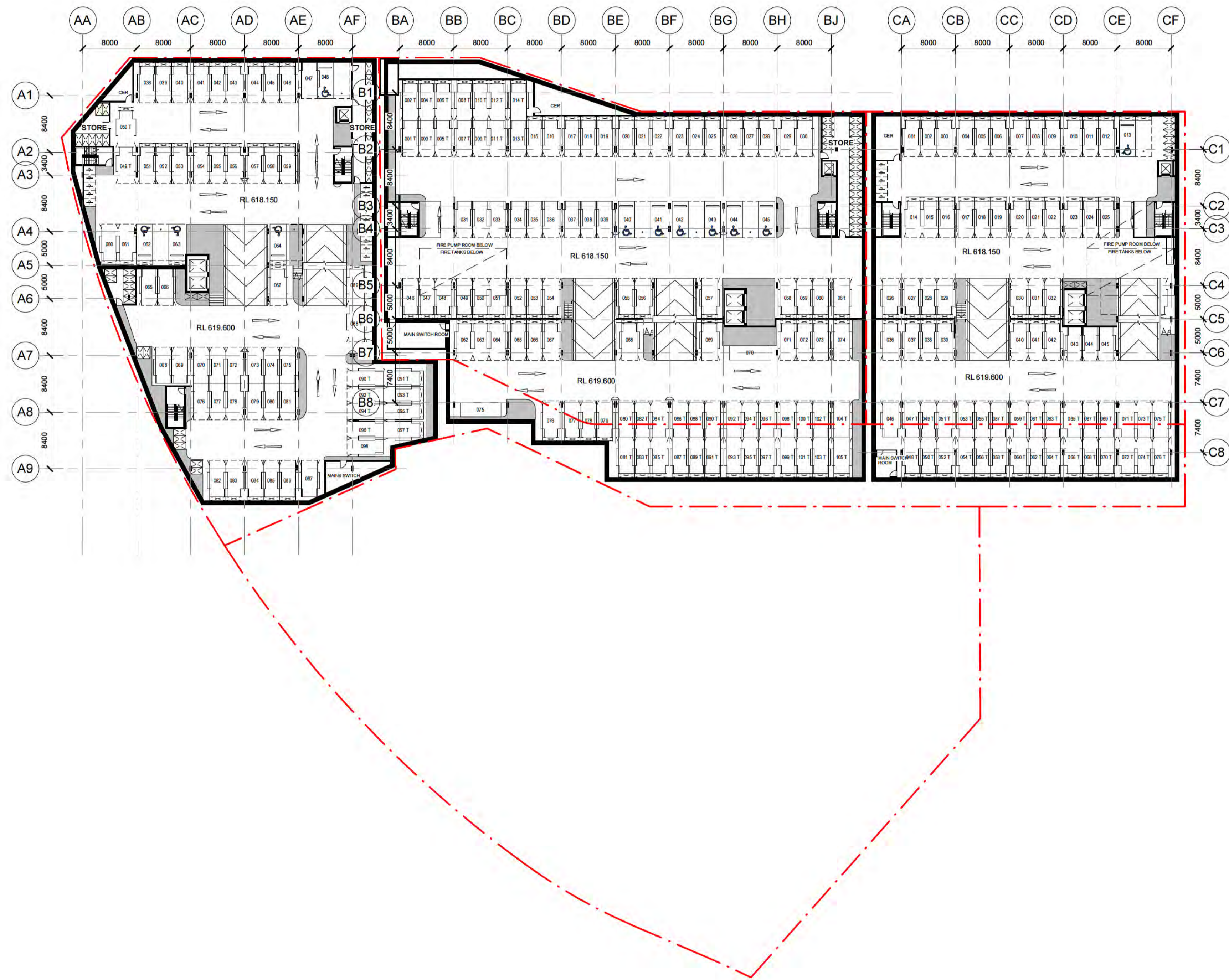
LEGEND

- A ACCESSIBLE APARTMENT
- PS 1.8 NOM. HIGH PRIVACY SCREENING
- ADAPTABLE PARKING
- BICYCLE PARKING
- STORAGE AREA 2400mm x 600mm
- V VISITOR PARKING
- CAR PARK MIRRORS
- DRYING AREA
- CONDENSOR UNITS

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revision F date 03.02.15 project 4188



PARKING SCHEDULE - BUILDING A BASEMENT

TYPE	COUNT
------	-------

ACCESSIBLE	4
STANDARD	57
Total	61

PARKING SCHEDULE - BUILDING B BASEMENT

TYPE	COUNT
------	-------

ACCESSIBLE	6
STANDARD	97
STANDARD (PARALLEL)	2
Total	105

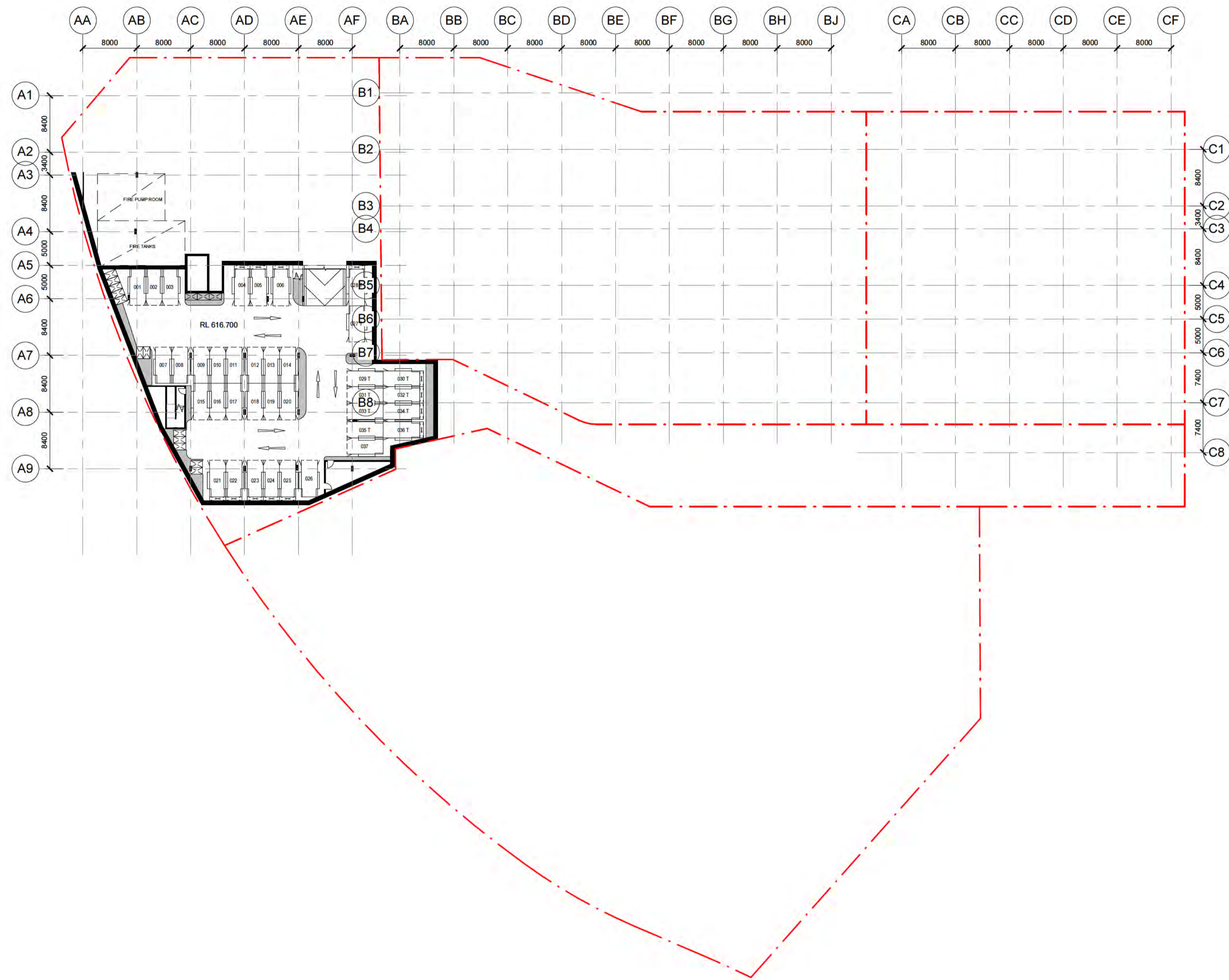
PARKING SCHEDULE - BUILDING C BASEMENT

TYPE	COUNT
------	-------

ACCESSIBLE	2
SMALL CAR	3
STANDARD	71
Total	76

**PARKING SCHEDULE -
BUILDING A BASEMENT 2**

TYPE	COUNT
STANDARD	37
Total	37

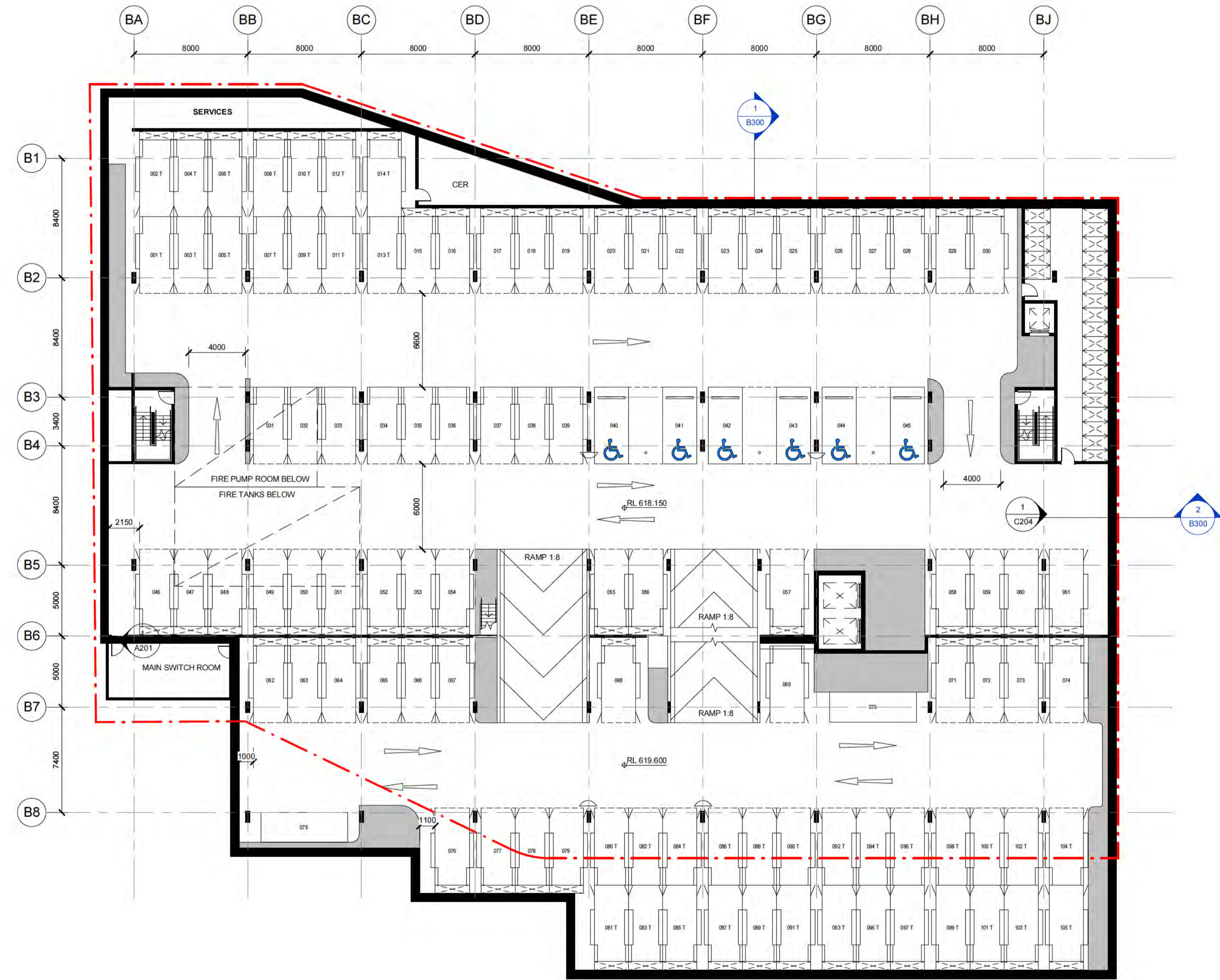


PARKING SCHEDULE - BUILDING B BASEMENT

TYPE	COUNT
ACCESSIBLE	6
STANDARD	97
STANDARD (PARALLEL)	2
Total	105

GFA SCHEDULE - BUILDING B - OVERALL

LEVEL	AREA
BASEMENT 1.5	179 m ²
GROUND LEVEL	1019 m ²
LEVEL 1	699 m ²
LEVEL 2	658 m ²
LEVEL 3	658 m ²
LEVEL 4	631 m ²
LEVEL 5	810 m ²
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LEVEL 12	810 m ²
LEVEL 13	810 m ²
LEVEL 14	810 m ²
LEVEL 15	810 m ²
LEVEL 16	810 m ²
LEVEL 17	810 m ²
LEVEL 18	810 m ²
LEVEL 19	810 m ²
LEVEL 20	810 m ²
LEVEL 21	810 m ²
LEVEL 22 (PLANT)	616 m ²
TOTAL	18231 m²



NOTES

HEAD HEIGHT OVER ACCESSIBLE CAR PARKING SPACES TO BE IN ACCORDANCE WITH AS 2890.6

PASSENGER LIFTS TO AS 1736.12 & BCA E3.6

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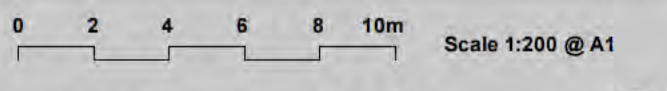
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 - VISITOR PARKING
 - CAR PARK MIRRORS
 - DRYING AREA
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revision F date 03.02.15 project 4188

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LEVEL 17	810 m ²
LEVEL 18	810 m ²
LEVEL 19	810 m ²
LEVEL 20	810 m ²
LEVEL 21	810 m ²
LEVEL 22 (PLANT)	616 m ²
TOTAL	18231 m²

PARKING SCHEDULE - BUILDING B LEVEL 1

TYPE	COUNT
ACCESSIBLE	4
STANDARD	29
Total	33



NOTES

HEAD HEIGHT OVER ACCESSIBLE CAR PARKING SPACES TO BE IN ACCORDANCE WITH AS 2890.6

PASSENGER LIFTS TO AS 1735.12 & BCA E3.6

ACCESSIBLE PATH OF TRAVEL PROVIDED TO ALL SOUL OCCUPANCY UNITS SERVED BY A LIFT

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HANDRAIL TO AS 1428.1

LEGEND

A ACCESSIBLE APARTMENT

PS 1.8 NOM. HIGH PRIVACY SCREENING

ADAPTABLE PARKING

BICYCLE PARKING

STORAGE AREA 2400mm x 600mm

V VISITOR PARKING

CAR PARK MIRRORS

DRYING AREA

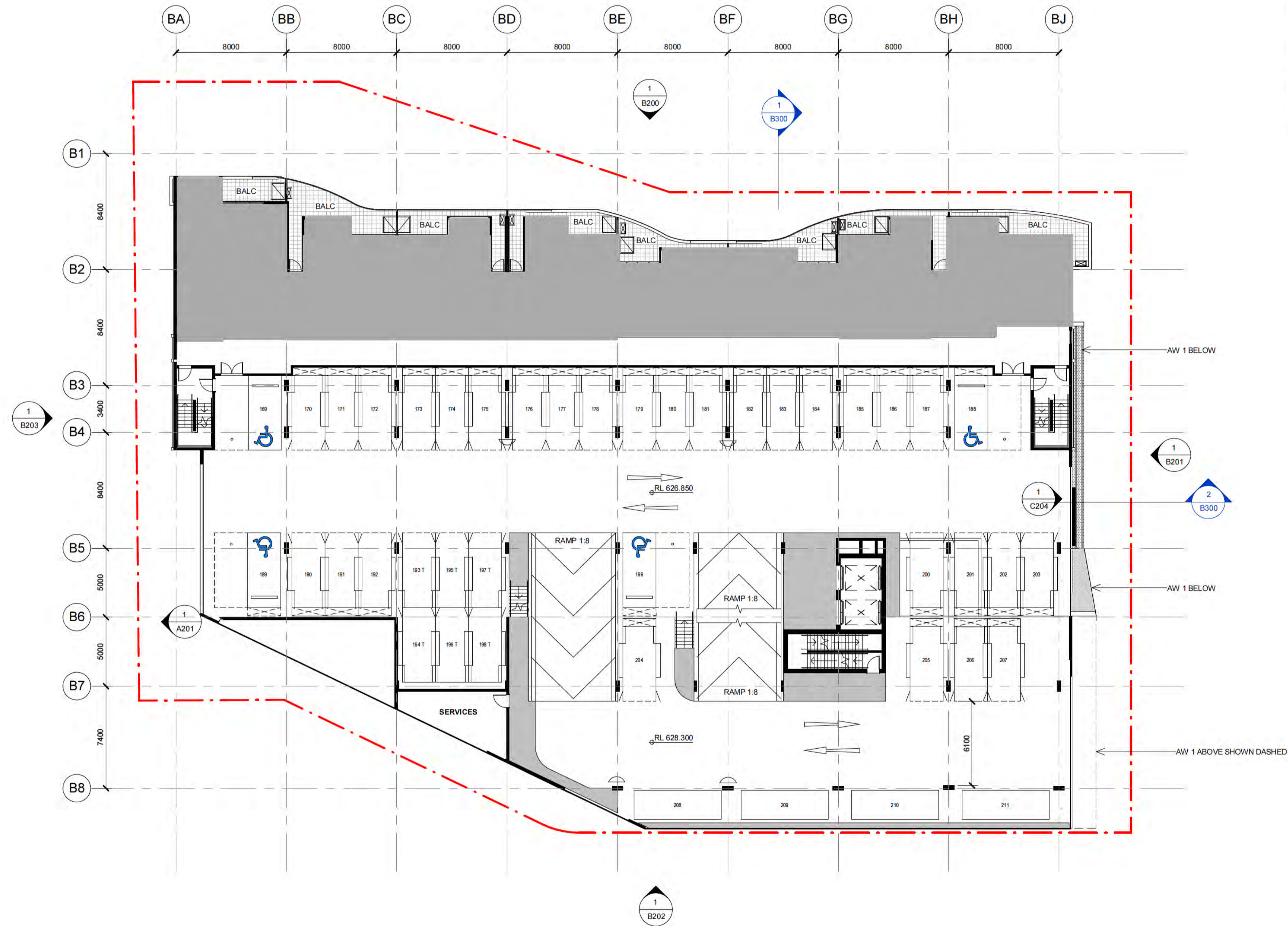
CONDENSOR UNITS NOT TO BE USED FOR CONSTRUCTION

GFA SCHEDULE - BUILDING B - OVERALL

LEVEL	AREA
BASEMENT 1.5	179 m ²
GROUND LEVEL	1019 m ²
LEVEL 1	699 m ²
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LEVEL 11	810 m ²
LEVEL 12	810 m ²
LEVEL 13	810 m ²
LEVEL 14	810 m ²
LEVEL 15	810 m ²
LEVEL 16	810 m ²
LEVEL 17	810 m ²
LEVEL 18	810 m ²
LEVEL 19	810 m ²
LEVEL 20	810 m ²
LEVEL 21	810 m ²
LEVEL 22 (PLANT)	616 m ²
TOTAL	18231 m²

PARKING SCHEDULE - BUILDING B LEVEL 2

TYPE	COUNT
ACCESSIBLE	4
STANDARD	35
STANDARD (PARALLEL)	4
Total	43



NOTES

HEAD HEIGHT OVER ACCESSIBLE CAR PARKING SPACES TO BE IN ACCORDANCE WITH AS 2890.6

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TACTILE INDICATORS TO ROAD CROSSINGS AS PER AS 1428.4

ENTRANCE TO ALL BUILDINGS ALONG ACCESSIBLE PATH OF TRAVEL ARE ACCESSIBLE TO AS 128.1

ALL DOORS SINGLE LEAF 920mm OR ACTIVE LEAF OF DOUBLE DOORS MIN 520mm

ACCESS TO WASTE ROOM NOT PROVIDED TO TENANTS

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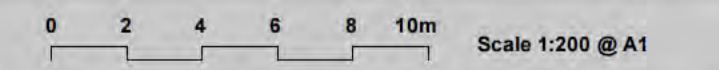
LEGEND

A ACCESSIBLE APARTMENT

PS 1.8 NOM. HIGH PRIVACY SCREENING

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- BICYCLE PARKING
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- CAR PARK MIRRORS
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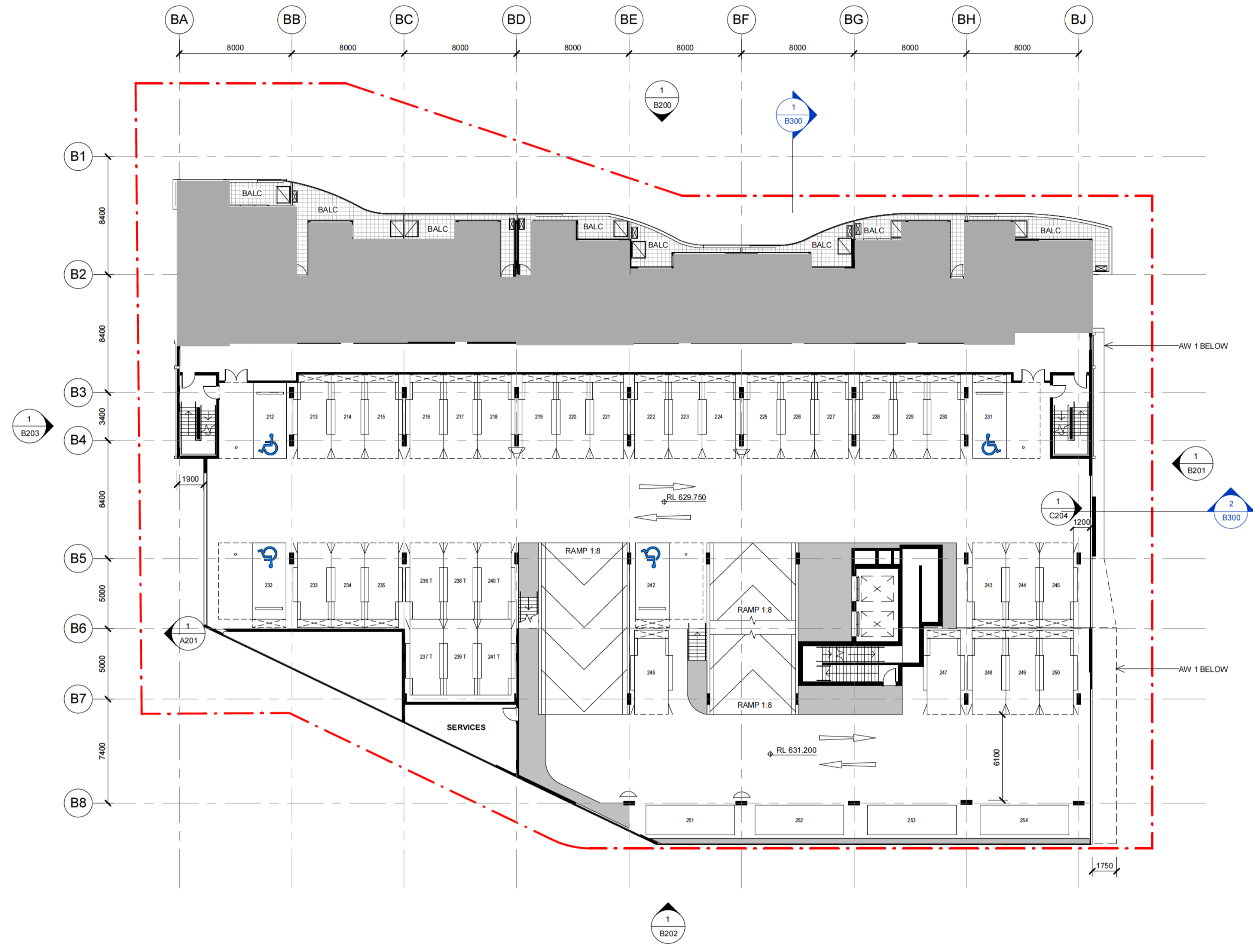
revision F date 03.02.15 project 4188

GFA SCHEDULE - BUILDING B - OVERALL

LEVEL	AREA
BASEMENT 1.5	179 m ²
GROUND LEVEL	1019 m ²
LEVEL 1	699 m ²
LEVEL 2	658 m ²
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LEVEL 17	810 m ²
LEVEL 18	810 m ²
LEVEL 19	810 m ²
LEVEL 20	810 m ²
LEVEL 21	810 m ²
LEVEL 22 (PLANT)	616 m ²
TOTAL	18231 m²

PARKING SCHEDULE - BUILDING B LEVEL 3

TYPE	COUNT
ACCESSIBLE	4
STANDARD	35
STANDARD (PARALLEL)	4
Total	43



NOTES

HEAD HEIGHT OVER ACCESSIBLE CAR PARKING SPACES TO BE IN ACCORDANCE WITH AS 2890.6

PASSENGER LIFTS TO AS 1735.12 & BCA E3.6

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HANDRAIL TO AS 1428.1

LEGEND

A ACCESSIBLE APARTMENT

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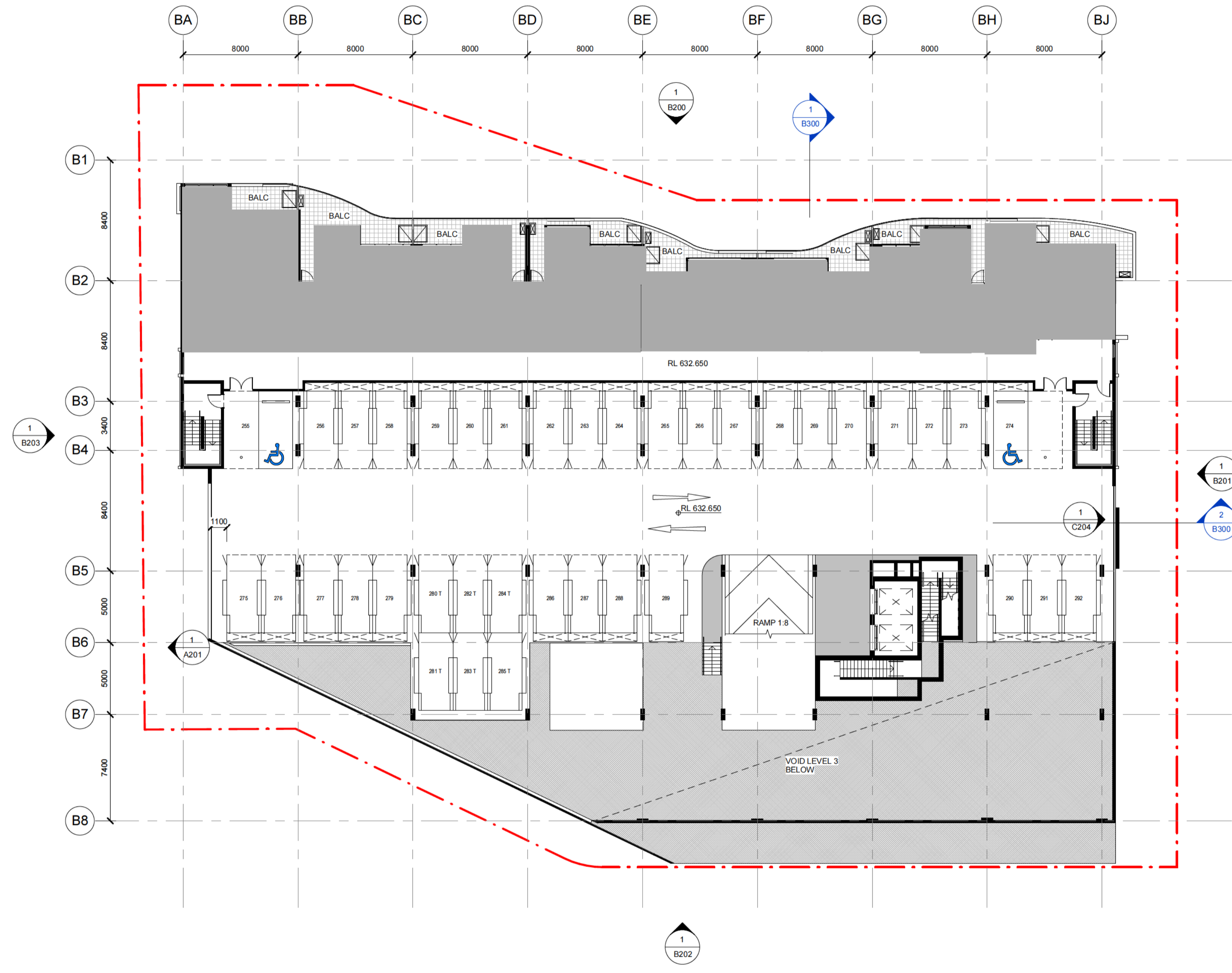
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PARKING SCHEDULE - BUILDING B LEVEL 4

TYPE	COUNT
ACCESSIBLE	2
STANDARD	36
Total	38



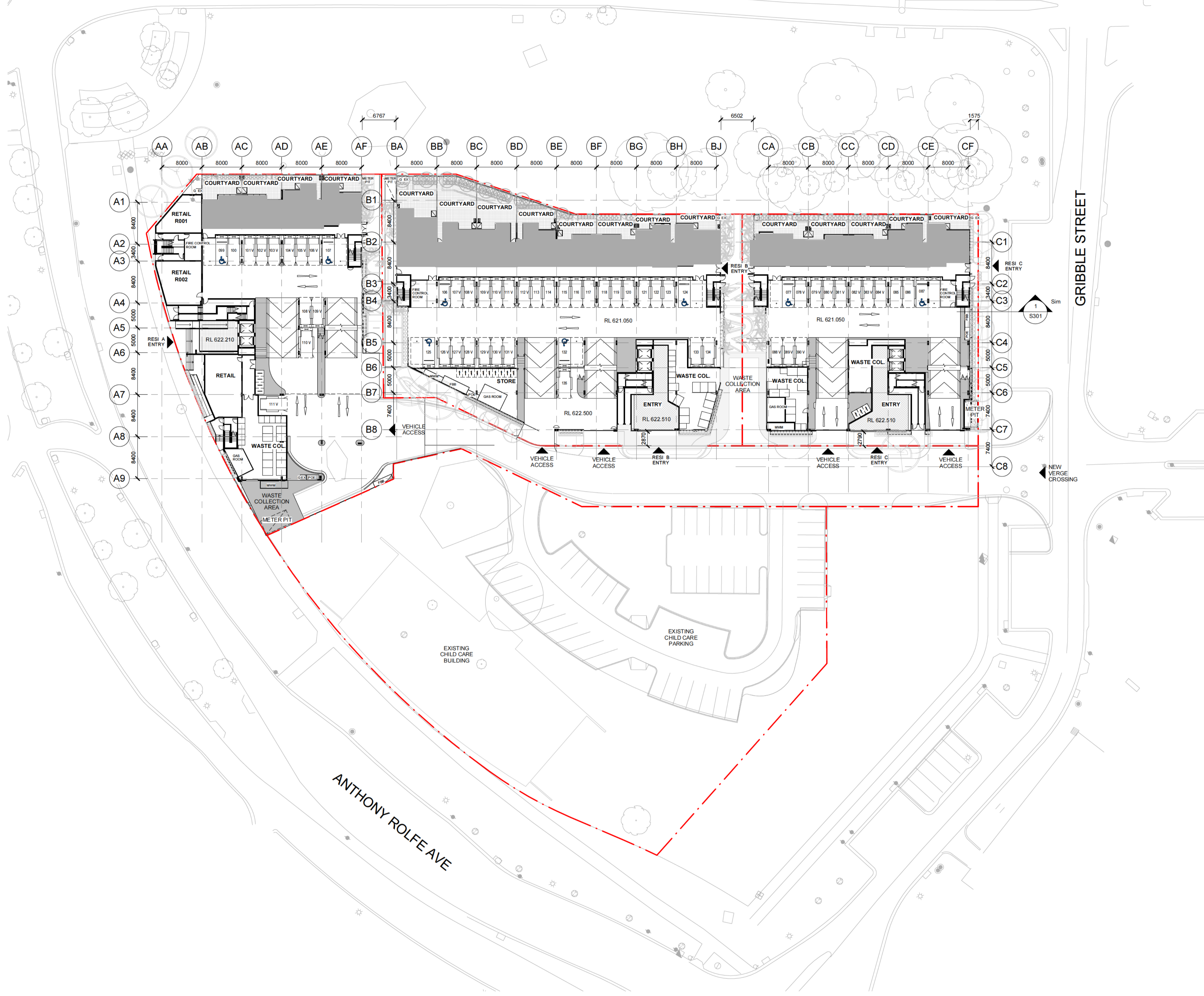
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0 2 4 6 8 10m Scale 1:200 @ A1

revision F date 03.02.15 project 4188



PARKING SCHEDULE - BUILDING A GROUND FLOOR

TYPE	COUNT
ACCESSIBLE	2
STANDARD	11
Total	13

PARKING SCHEDULE - BUILDING B GROUND FLOOR

TYPE	COUNT
ACCESSIBLE	4
STANDARD	26
Total	30

PARKING SCHEDULE - BUILDING C GROUND FLOOR

TYPE	COUNT
ACCESSIBLE	2
STANDARD	12
Total	14

ANTHONY ROLFE AVE

GRIBBLE STREET



PARKING SCHEDULE - BUILDING A LEVEL 1

TYPE	COUNT
------	-------

ACCESSIBLE	3
STANDARD	23
Total	26

PARKING SCHEDULE - BUILDING B LEVEL 1

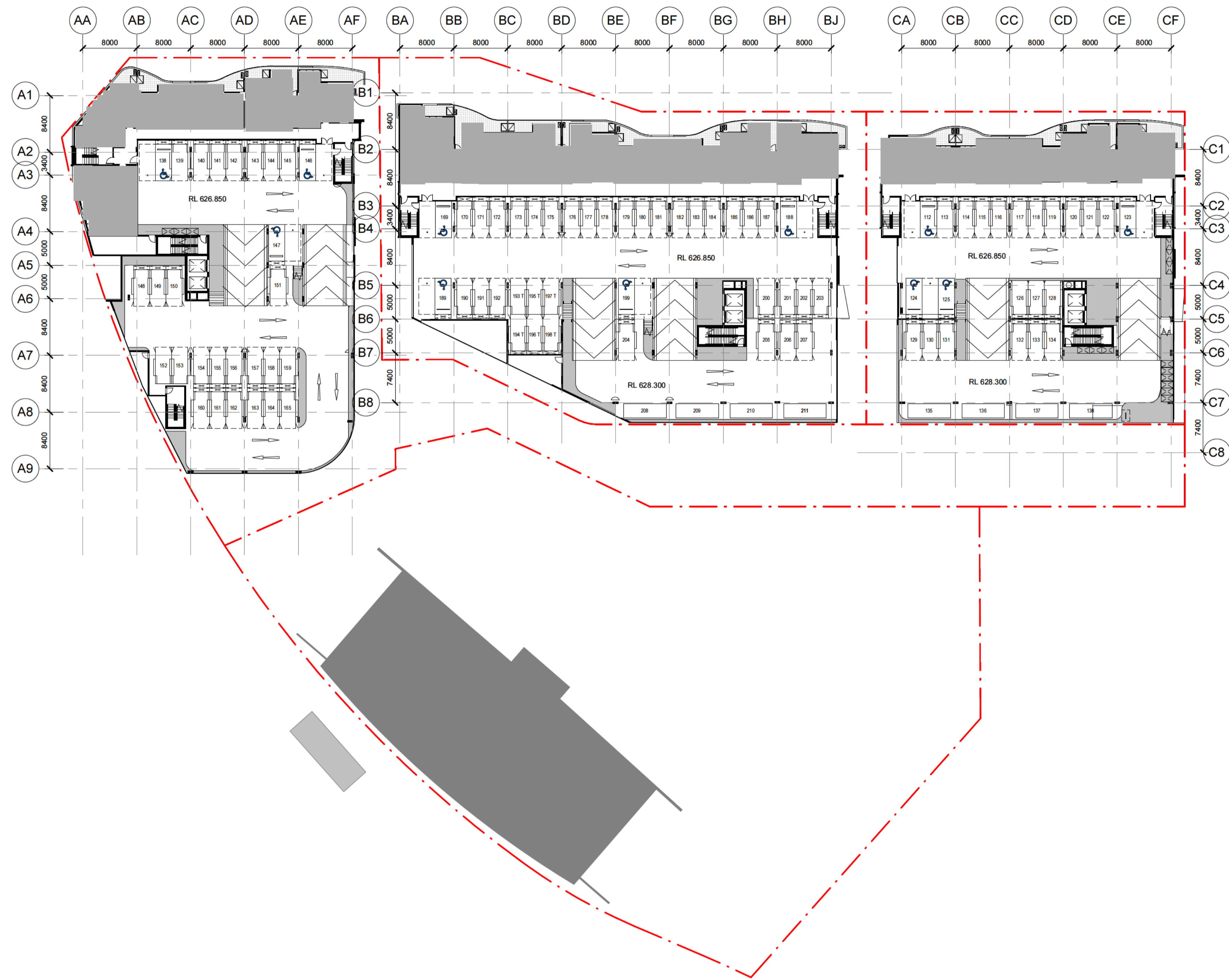
TYPE	COUNT
------	-------

ACCESSIBLE	4
STANDARD	29
Total	33

PARKING SCHEDULE - BUILDING C LEVEL 1

TYPE	COUNT
------	-------

ACCESSIBLE	2
STANDARD	19
Total	21



PARKING SCHEDULE - BUILDING A LEVEL 2

TYPE	COUNT
------	-------

ACCESSIBLE	3
STANDARD	25
Total	28

PARKING SCHEDULE - BUILDING B LEVEL 2

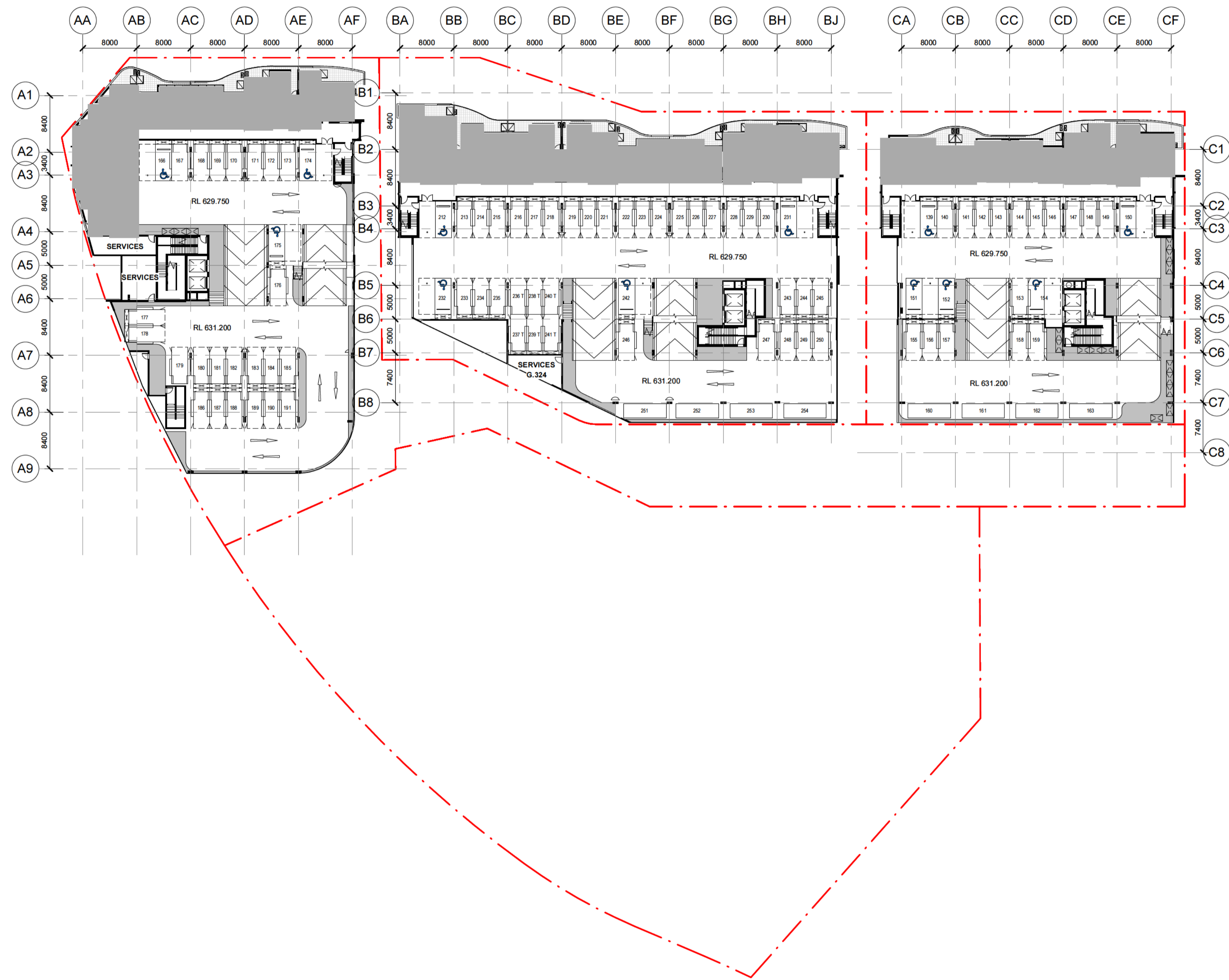
TYPE	COUNT
------	-------

ACCESSIBLE	4
STANDARD	35
STANDARD (PARALLEL)	4
Total	43

PARKING SCHEDULE - BUILDING C LEVEL 2

TYPE	COUNT
------	-------

ACCESSIBLE	4
BICYCLE	7
STANDARD	19
STANDARD (PARALLEL)	4
Total	34



PARKING SCHEDULE - BUILDING A LEVEL 3

TYPE	COUNT
------	-------

ACCESSIBLE	3
STANDARD	23
Total	26

PARKING SCHEDULE - BUILDING B LEVEL 3

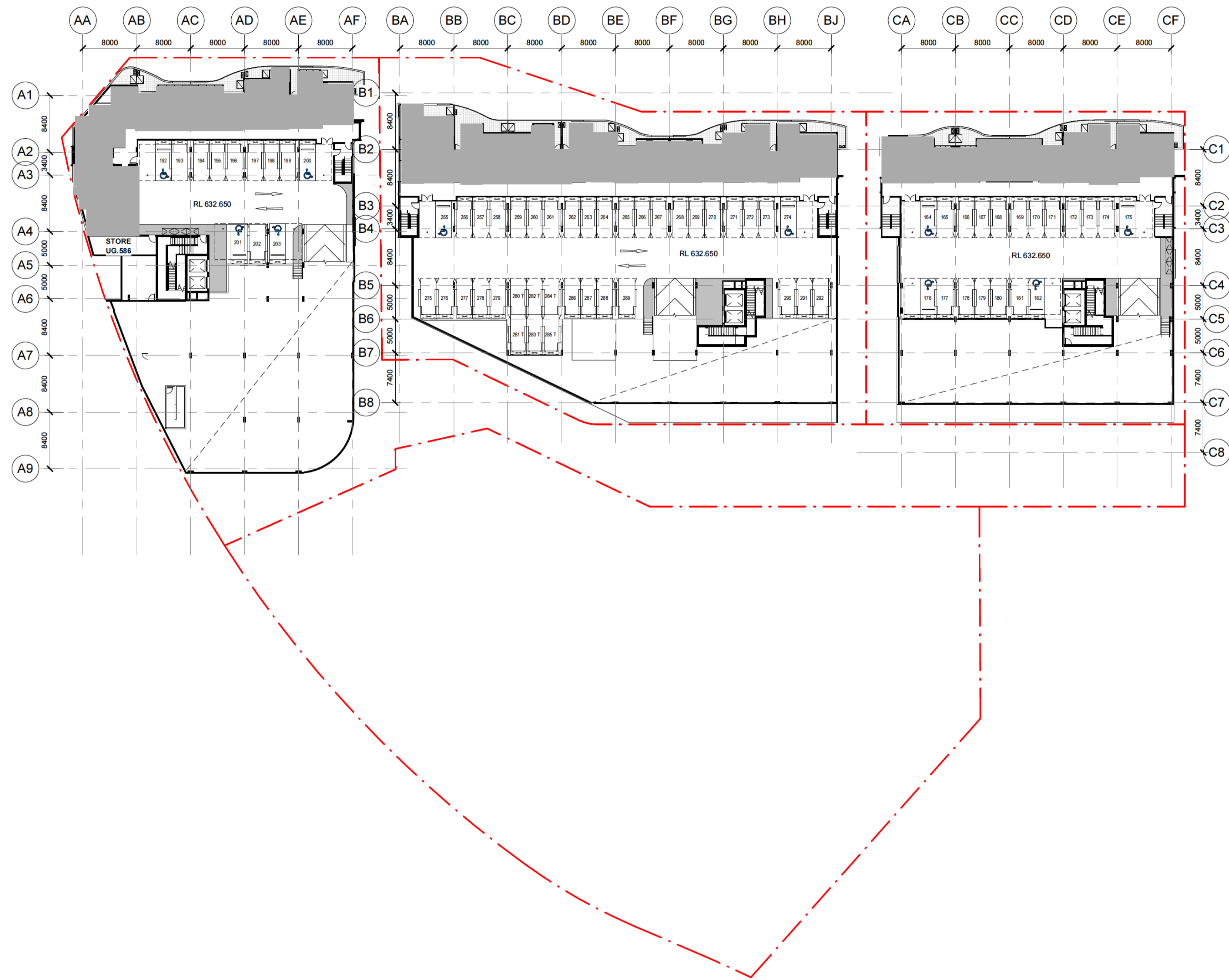
TYPE	COUNT
------	-------

ACCESSIBLE	4
STANDARD	35
STANDARD (PARALLEL)	4
Total	43

PARKING SCHEDULE - BUILDING C LEVEL 3

TYPE	COUNT
------	-------

ACCESSIBLE	5
STANDARD	16
STANDARD (PARALLEL)	4
Total	25



PARKING SCHEDULE - BUILDING A LEVEL 4

TYPE	COUNT
------	-------

ACCESSIBLE	4
STANDARD	8
Total	12

PARKING SCHEDULE - BUILDING B LEVEL 4

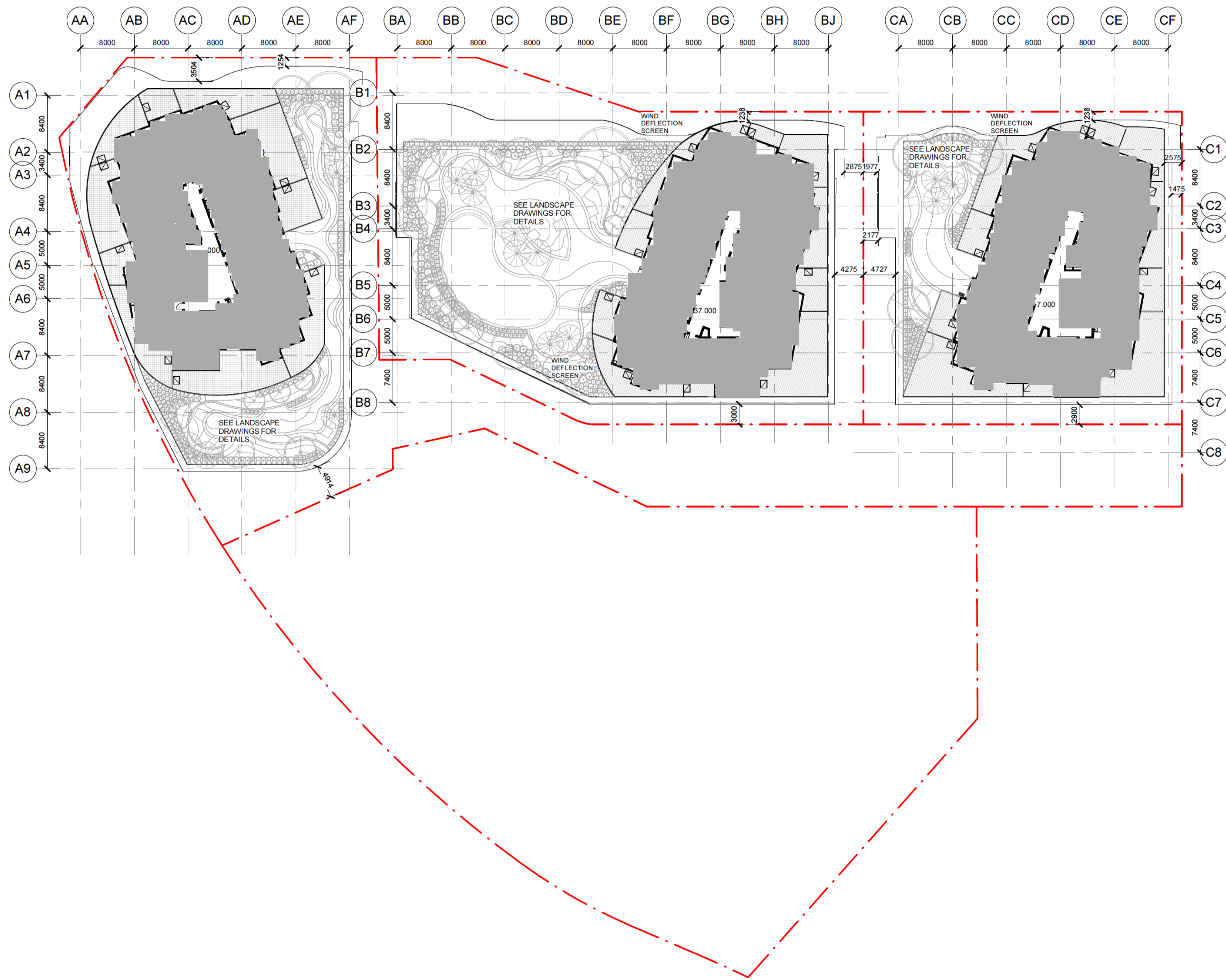
TYPE	COUNT
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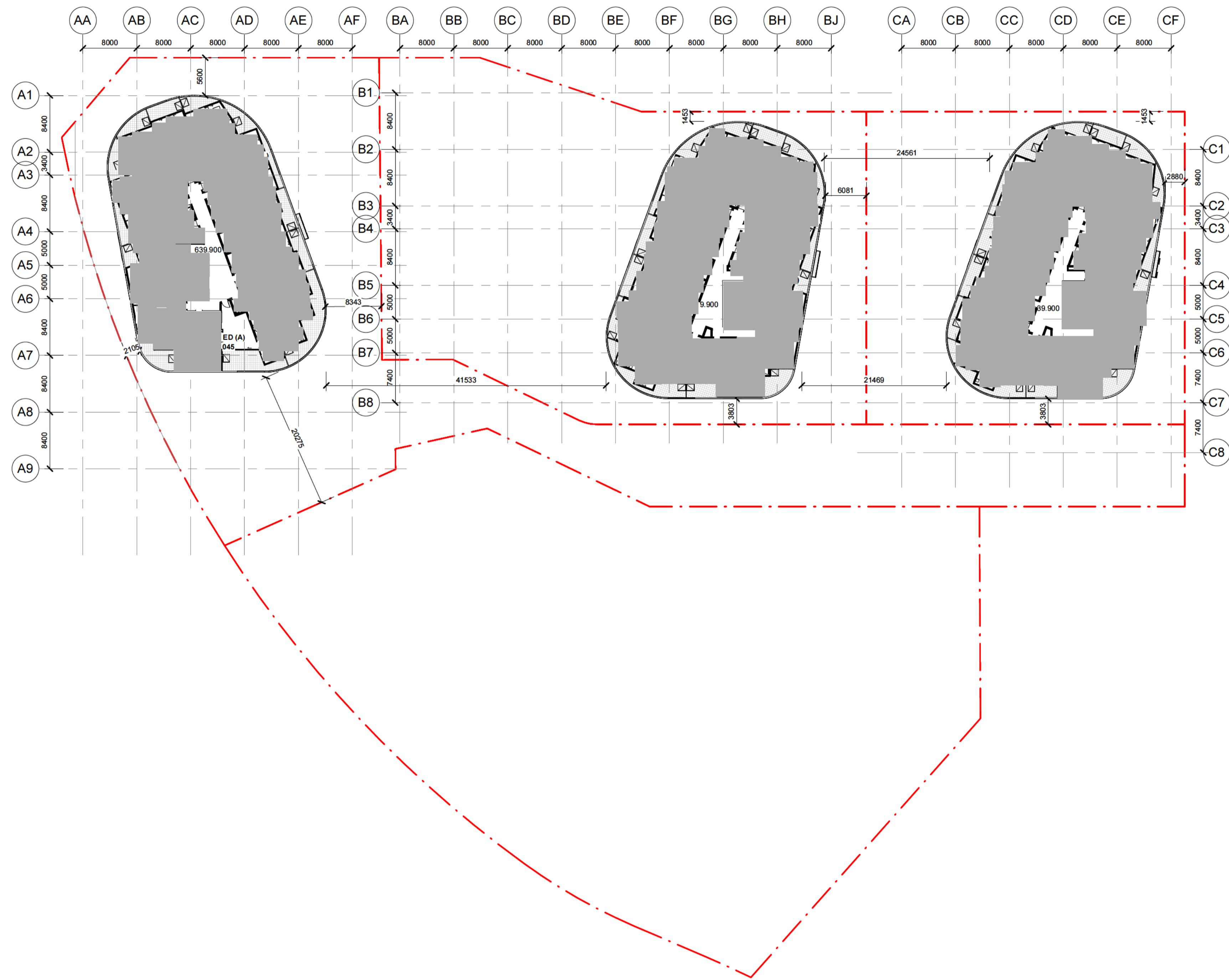
ACCESSIBLE	2
STANDARD	36
Total	38

PARKING SCHEDULE - BUILDING C LEVEL 4

TYPE	COUNT
------	-------

ACCESSIBLE	4
STANDARD	15
Total	19



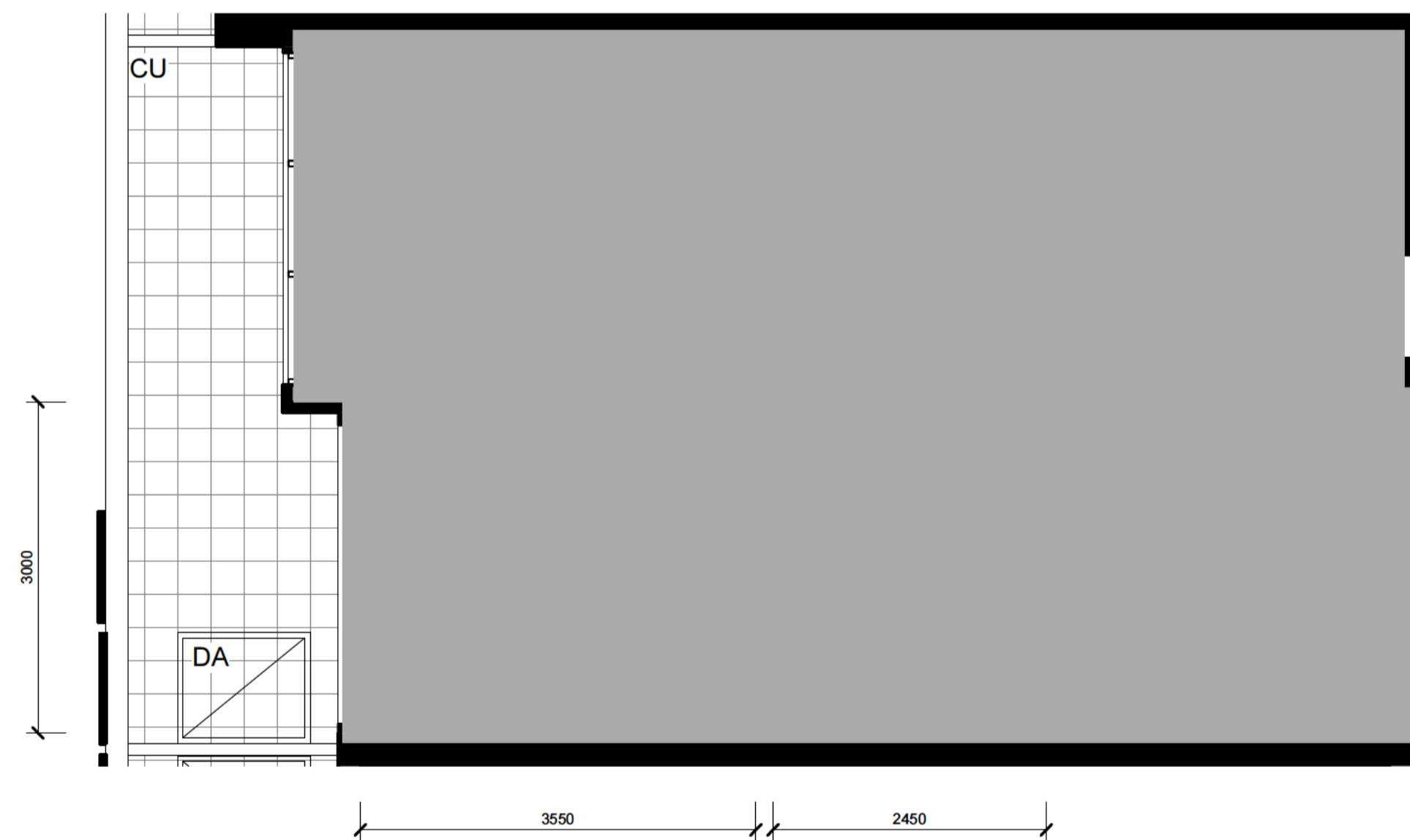




1 PRE ADAPTABLE UNIT - 1 BED + TYPE A
1:50

UNIT AREA: 64m²
BALCONY AREA: 12m²

LEVEL 5 COURTYARD AREA
BLDG A: 38m²
BLDG B: 26m²
BLDG C: 24m²
NUMBER OF UNITS: 90



2 POST ADAPTABLE UNIT - 1 BED + TYPE A
1:50

ADAPTABLE UNIT

ALL LIFTS TO BE AS 1735.12 COMPLIANT
ALL ADAPTABLE UNITS TO COMPLY WITH AS 4299-1995 & THE ACCESS AND MOBILITY CODE

KITCHEN:
FLOOR FINISH TO CONTINUE UNDER RELEVANT JOINERY.
RECONFIGURE JOINERY TO SUIT END USER. TURNING CIRCLE OF 1550 ACHIEVED AS SHOWN.

LIVING:
TURNING CIRCLE OF 2500MM ACHIEVED AS SHOWN.

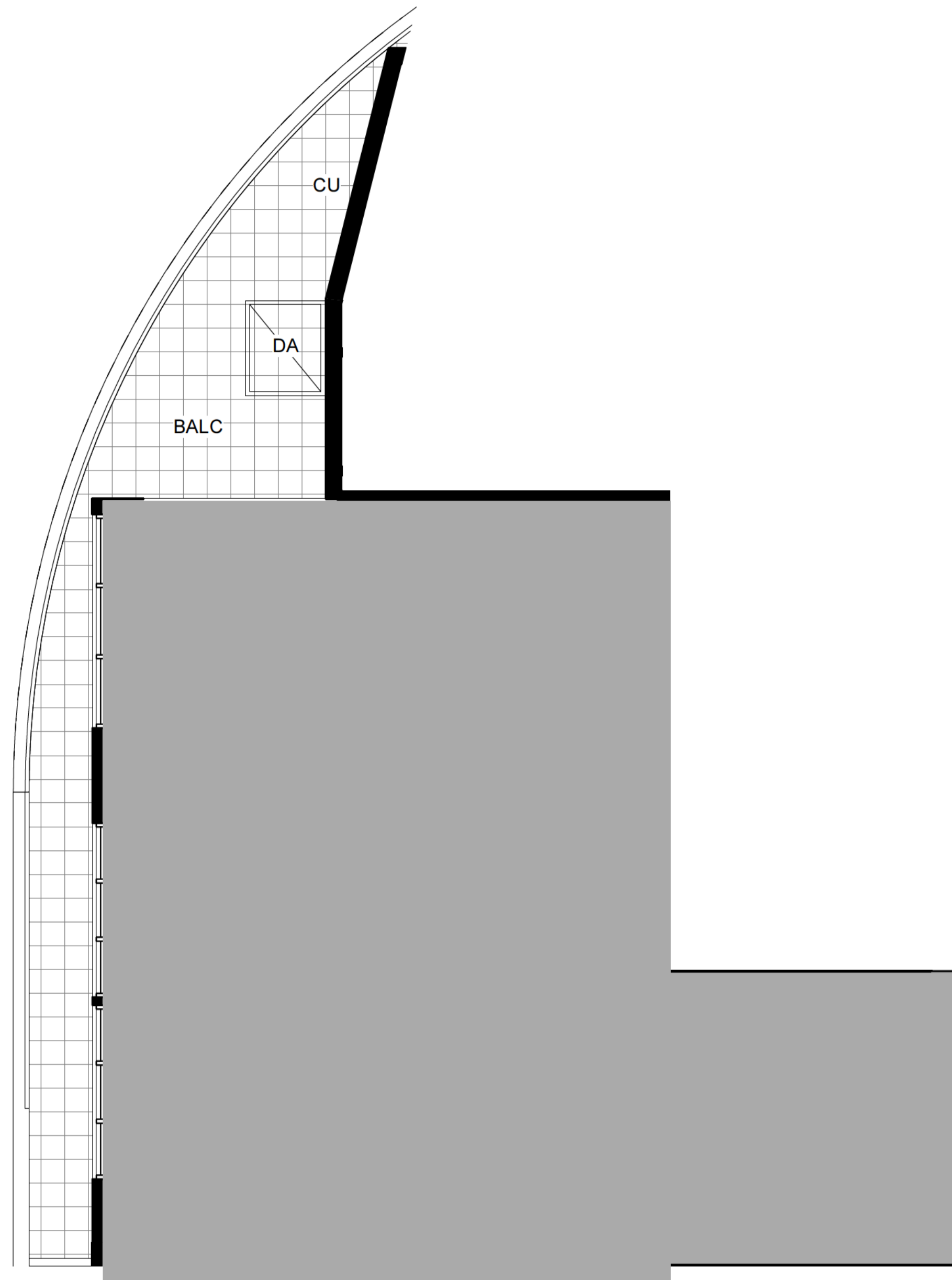
BEDROOM:
1550MM TURNING CIRCLE ACHIEVED AS SHOWN WITH STANDARD DOUBLE BED. REMOVE JOINERY AS SHOWN. FLOOR FINISH TO CONTINUE UNDER RELEVANT JOINERY.

BATHROOM:
REPLACE AND RELOCATE SHOWER, BASIN & WC WITH AS1428 APPROVED VERSIONS. INSTALL SHOWER CURTAIN, FOLD DOWN SEAT & GRAB RAILS AS REQUIRED.

BALCONY:
STEPLESS TRANSITION TO BALCONY. ACCESS FROM LIVING ROOM.

LAUNDRY:
PROVISION FOR FUTURE REPLUMBING & POWER TO BE INSTALLED.

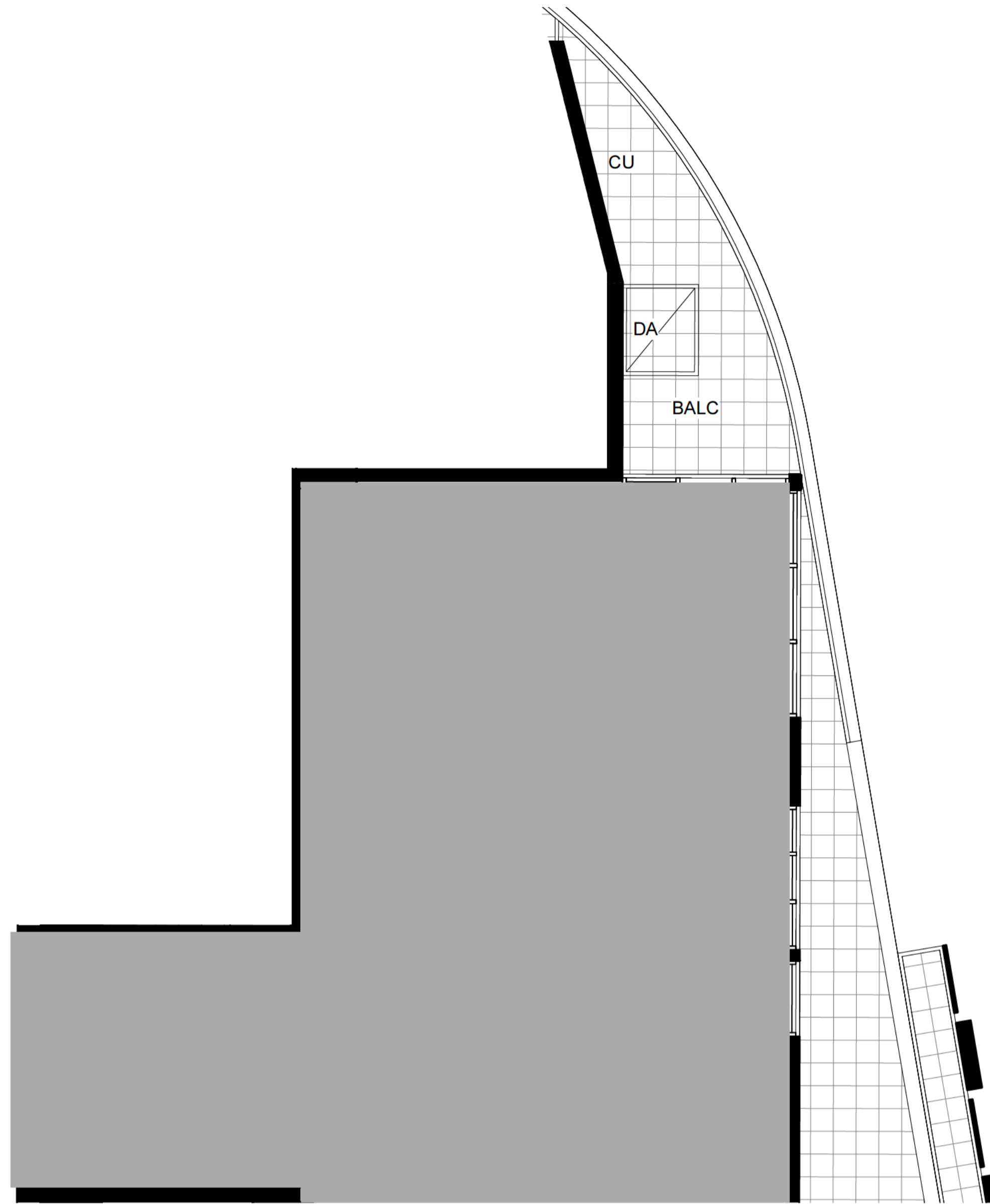
GENERAL NOTES.
Living/Dining
Please ensure a telephone point is adjacent a GPO. Ensure Illumination level of min. 300 lux provided.
Kitchen
Ensure heights and provisions of kitchen facilities are in accordance with AS4299 - 1995
Bathroom
Fixtures and fittings within bathroom to comply with AS1428.1 and AS4299. Flooring to bathroom to comply with HB197 and AS3740
Laundry
Ensure a double GPO is provided.



1 BUILDINGS A, B & C - 2 BED 2B TYPE AA
1:50

UNIT AREA: 80m²
BALCONY AREA: 20m²

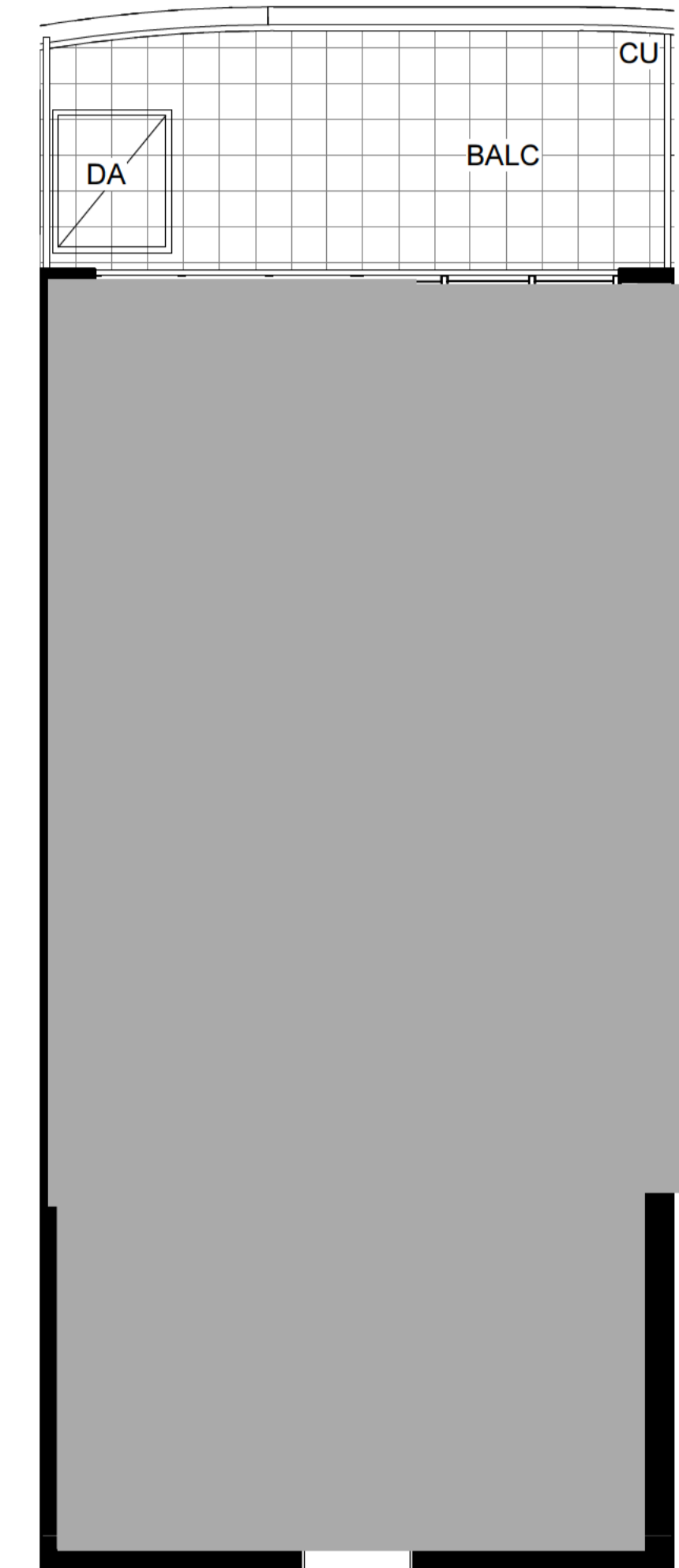
LEVEL 5 COURTYARD AREA
BLDG A: 65m²
BLDG B: 28m²
BLDG C: 48m²
NUMBER OF UNITS: 46



2 BUILDINGS A, B & C - 2 BED 2B TYPE A
1:50

UNIT AREA: 75m²
BALCONY AREA: 16m²

LEVEL 5 COURTYARD AREA
BLDG A: 55m²
BLDG B: 33m²
BLDG C: 29m²
NUMBER OF UNITS: 47



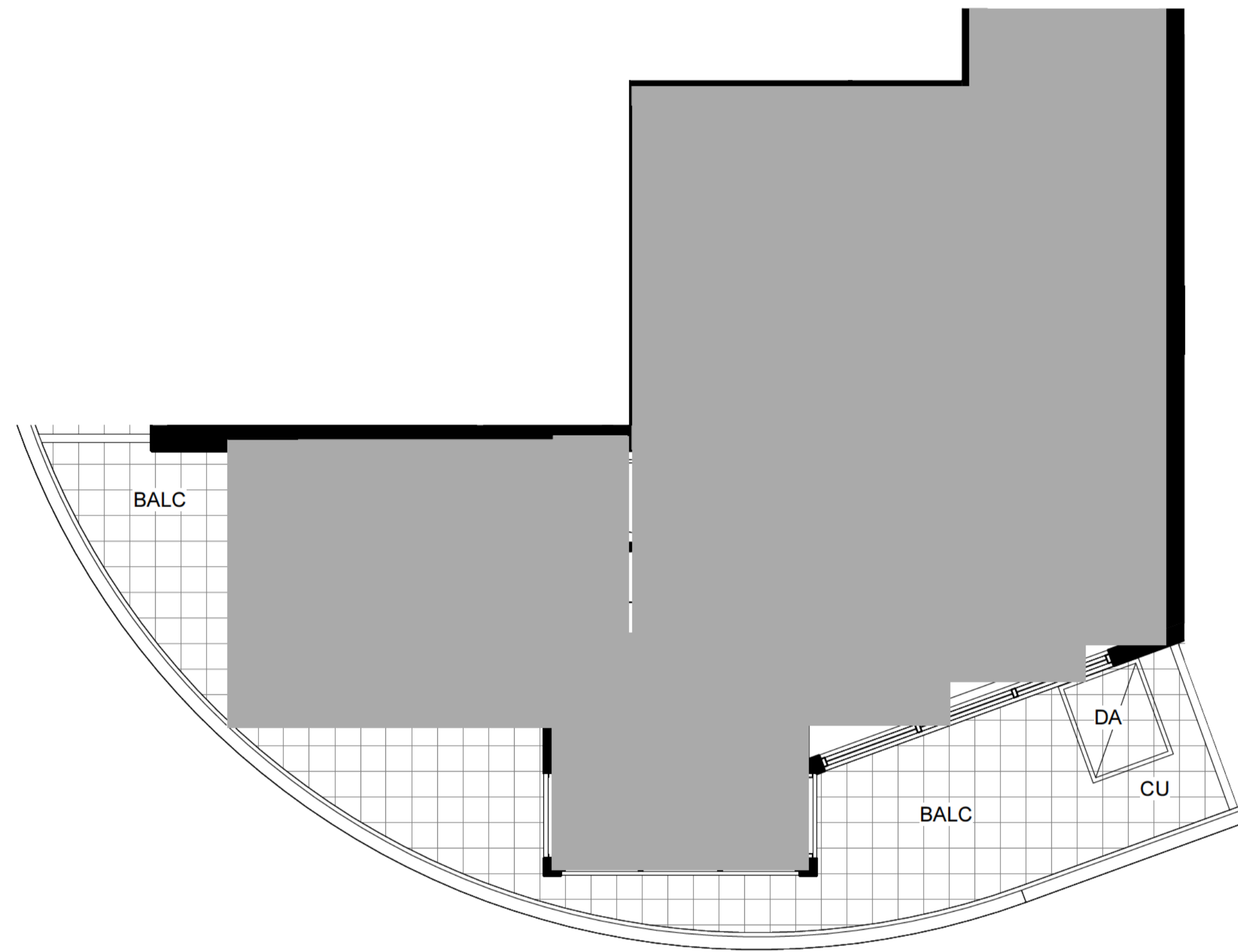
3 BUILDINGS A, B & C - 1 BED TYPE A
1:50

UNIT AREA: 54m²
BALCONY AREA: 11m²

LEVEL 5 COURTYARD AREA
BLDG A: 21m²
BLDG B: 11m²
BLDG C: 16m²
NUMBER OF UNITS: 45

- ADAPTABLE PARKING
- BICYCLE PARKING
- STORAGE AREA 2400mm x 600mm
- VISITOR PARKING
- CAR PARK MIRRORS
- DRYING AREA
- CONDENSOR UNITS

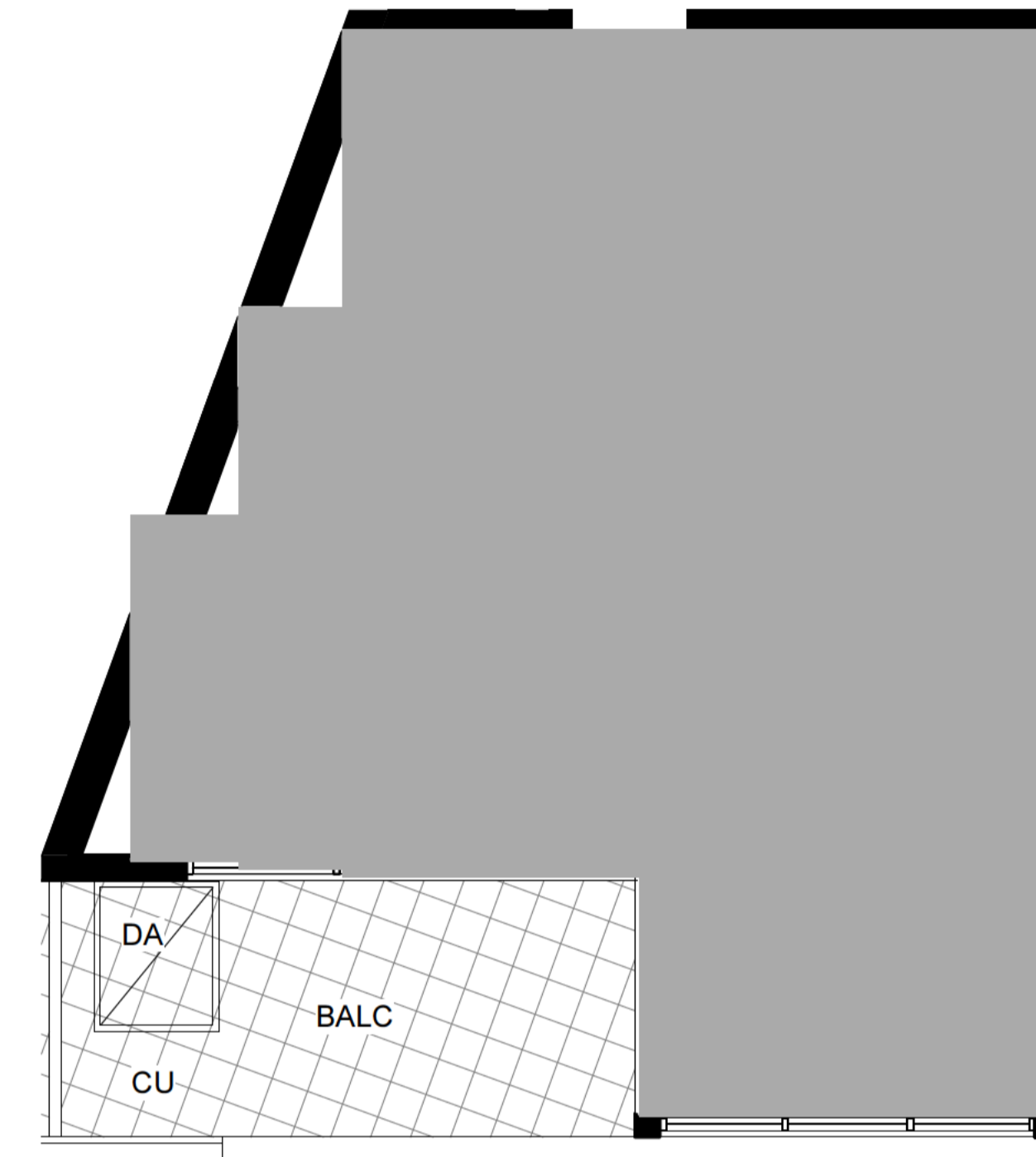
NOT TO BE USED FOR CONSTRUCTION



1 BUILDINGS B & C - 2 BED 1B TYPE A
1:50

UNIT AREA: 70m²
BALCONY AREA: 23m²

LEVEL 5 COURTYARD AREA
BLDG B: 43m²
BLDG C: 80m²
NUMBER OF UNITS: 31



2 BUILDINGS B & C - 1 BED TYPE D
1:50

UNIT AREA: 54m²
BALCONY AREA: 10m²

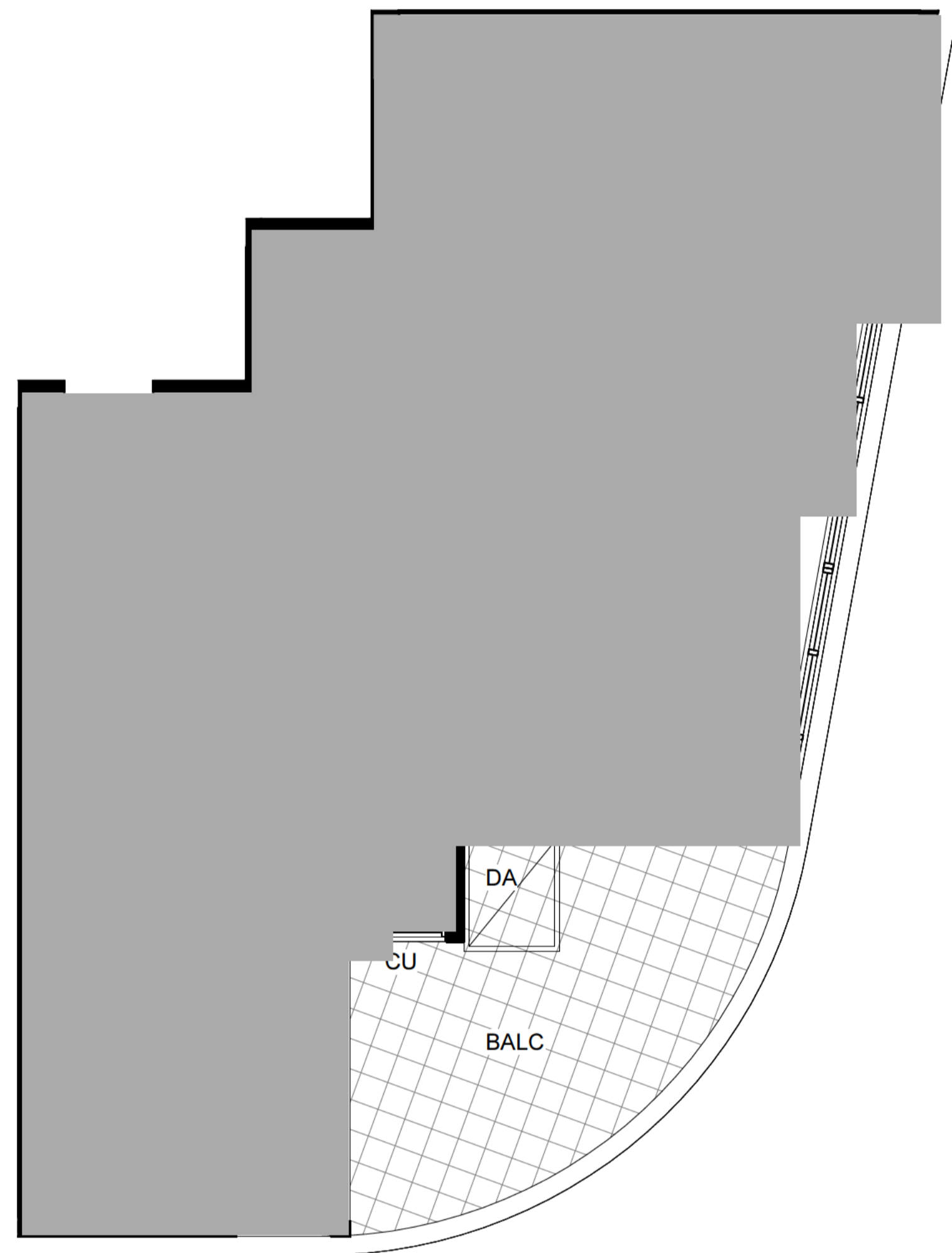
LEVEL 5 COURTYARD AREA
BLDG B: 9m²
BLDG C: 9m²
NUMBER OF UNITS: 31

- ADAPTABLE PARKING
- BICYCLE PARKING
- STORAGE AREA 2400mm x 600mm
- VISITOR PARKING
- CAR PARK MIRRORS
- DRYING AREA
- CONDENSOR UNITS

NOT TO BE USED FOR CONSTRUCTION

0 0.5 1 1.5 2 2.5m Scale 1:50 @ A1

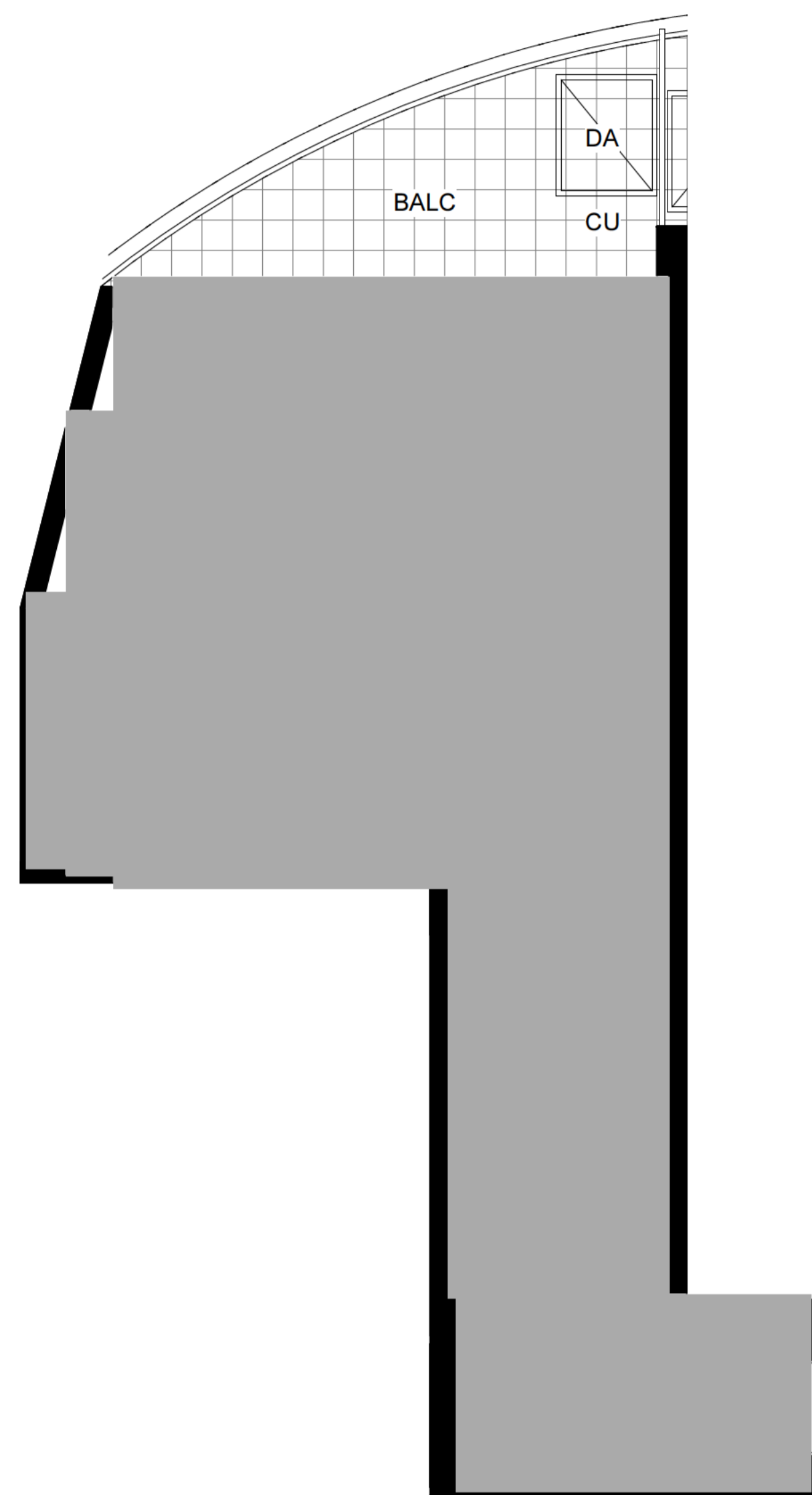
revision F date 03.02.15
project 4188



1 BUILDINGS B & C - 2 BED 2B TYPE B
1:50

UNIT AREA: 78m²
BALCONY AREA: 14m²

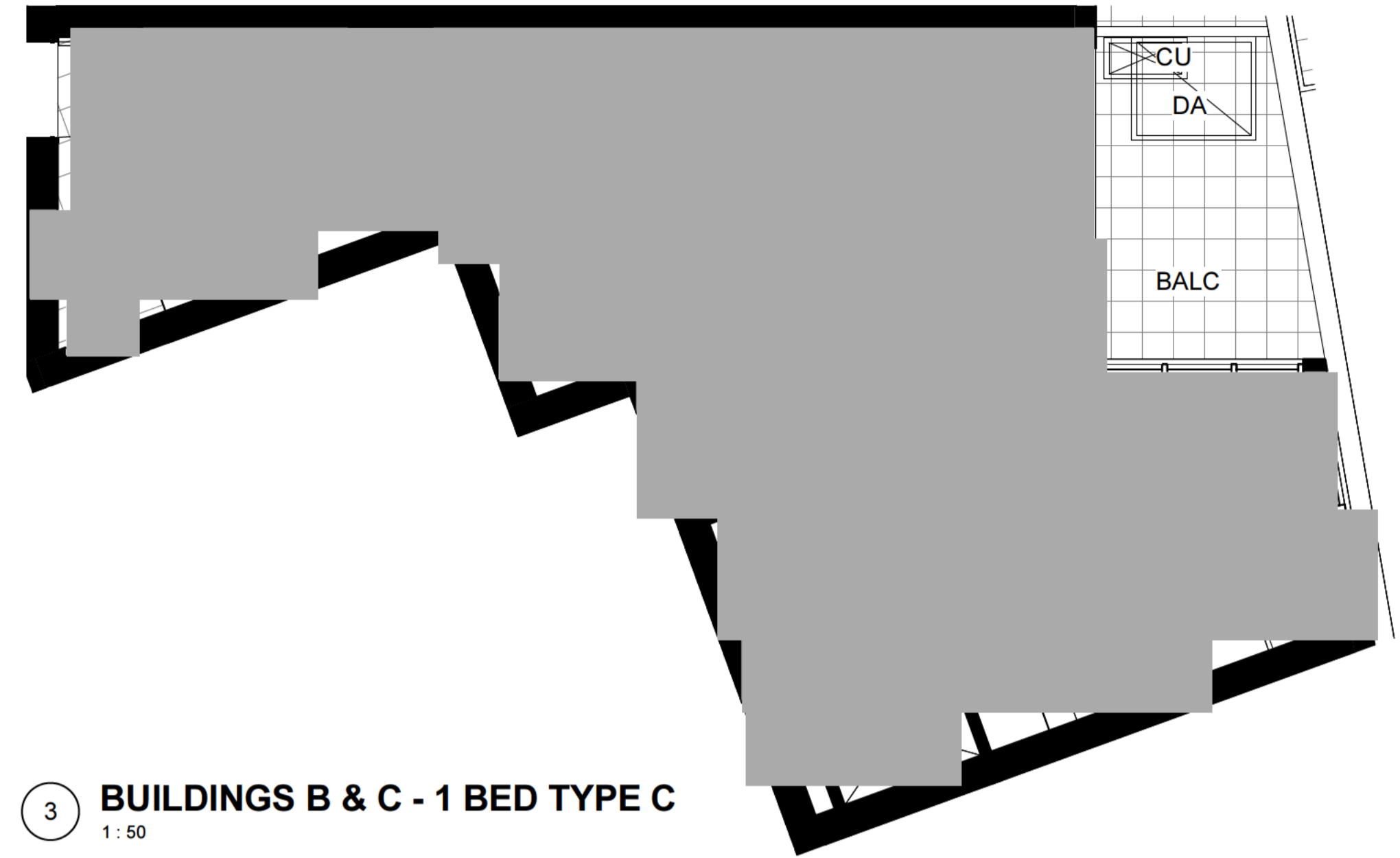
LEVEL 5 COURTYARD AREA
BLDG B: 81m²
BLDG C: 75m²
NUMBER OF UNITS: 31



2 BUILDINGS A, B & C - 1 BED TYPE B
1:50

UNIT AREA: 52m²
BALCONY AREA: 10m²

LEVEL 5 COURTYARD AREA
BLDG A: 33-47m²
BLDG B: 9-35m²
BLDG C: 9-35m²
NUMBER OF UNITS: 92



3 BUILDINGS B & C - 1 BED TYPE C
1:50

UNIT AREA: 52m²
BALCONY AREA: 6m²

LEVEL 5 COURTYARD AREA
BLDG A: 21m²
BLDG B: 28m²
BLDG C: 25m²
NUMBER OF UNITS: 31



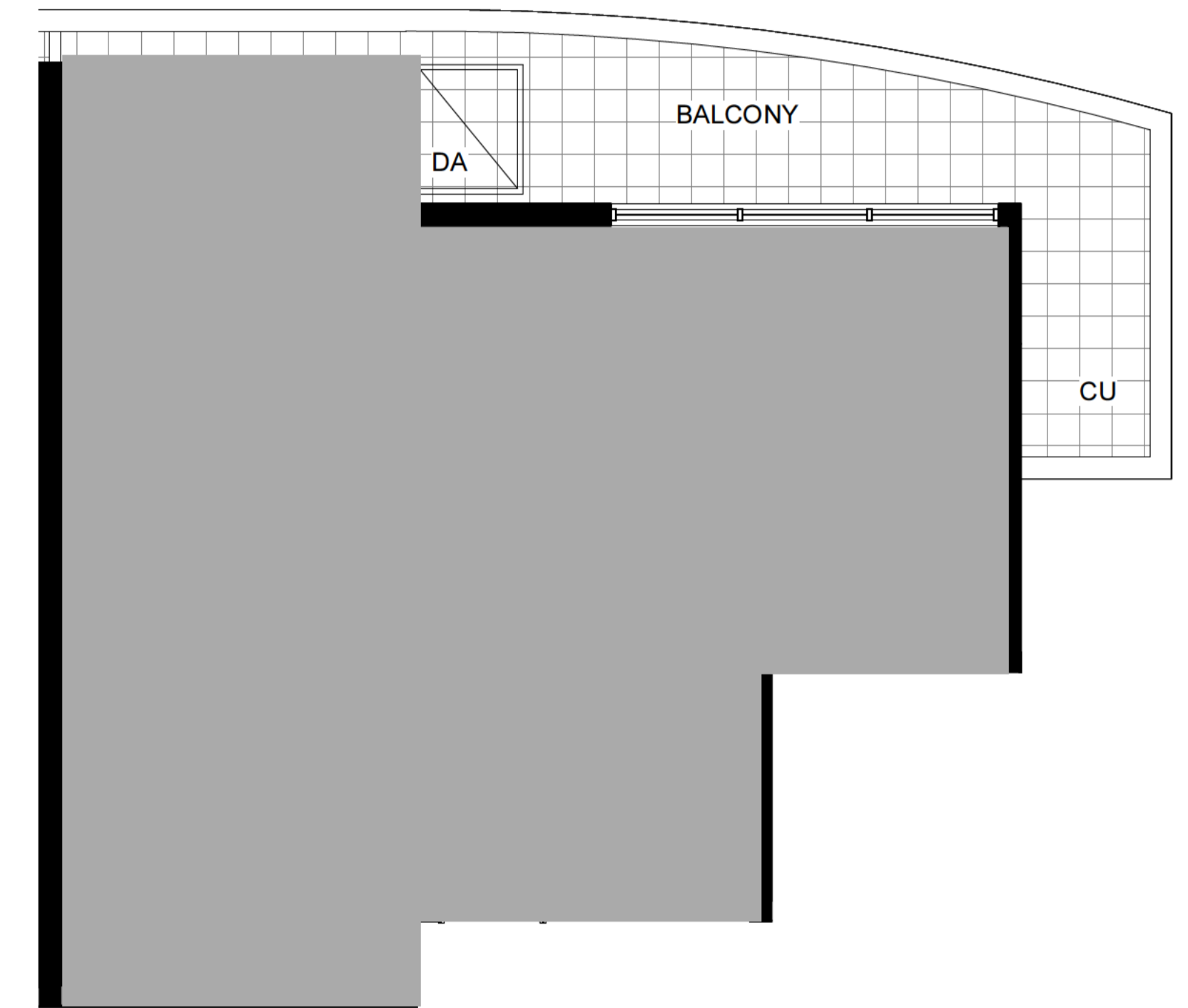
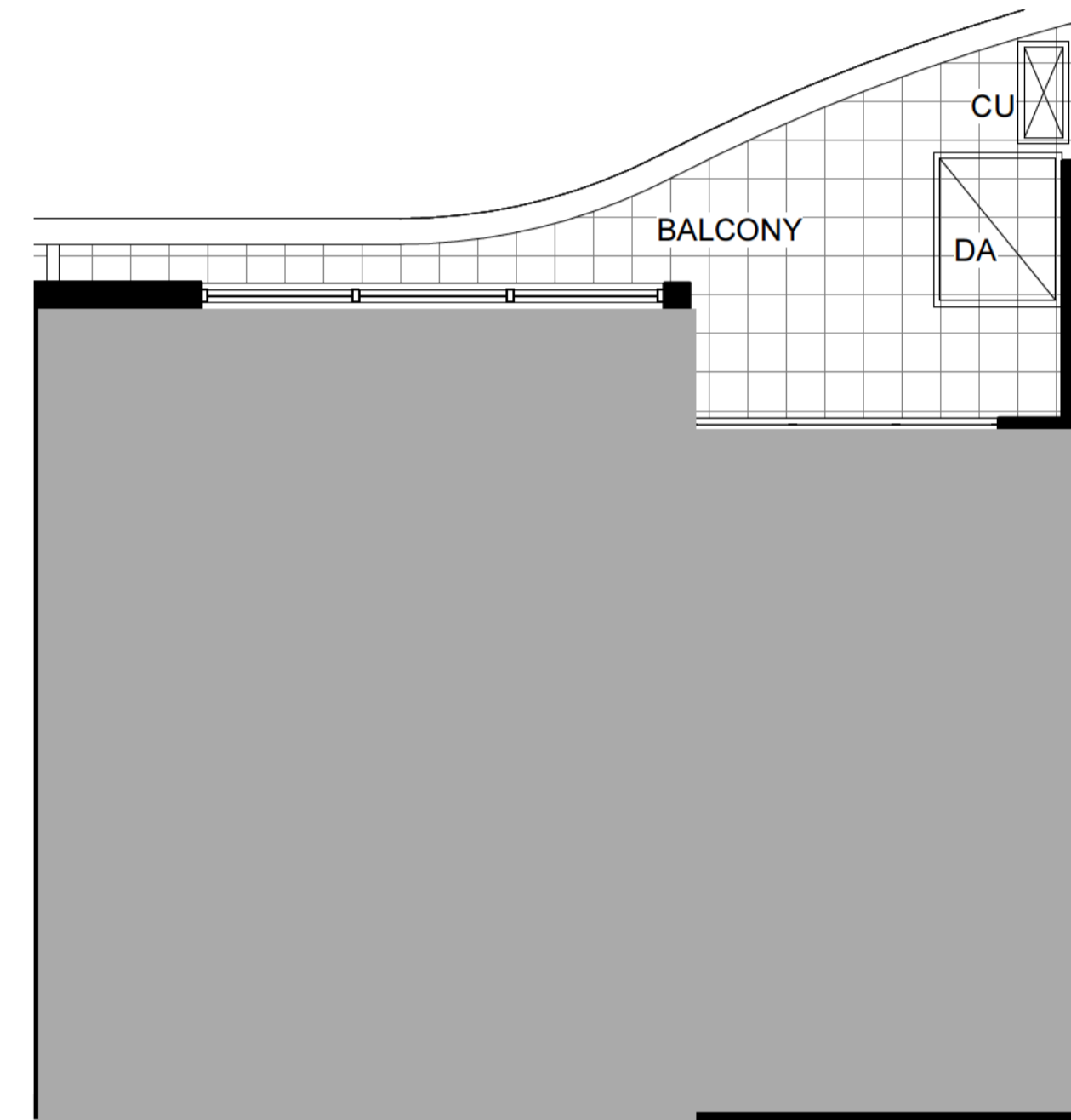
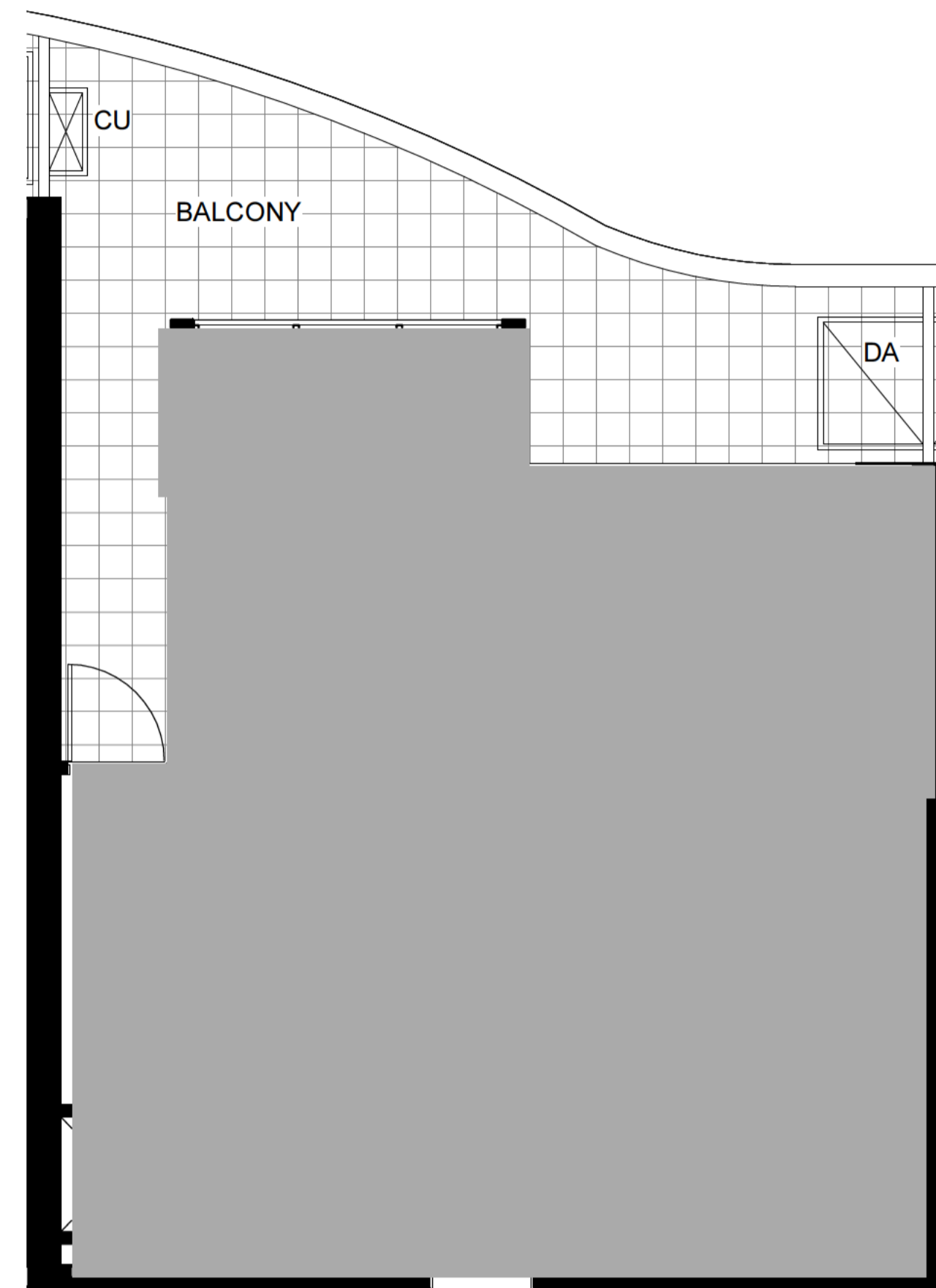
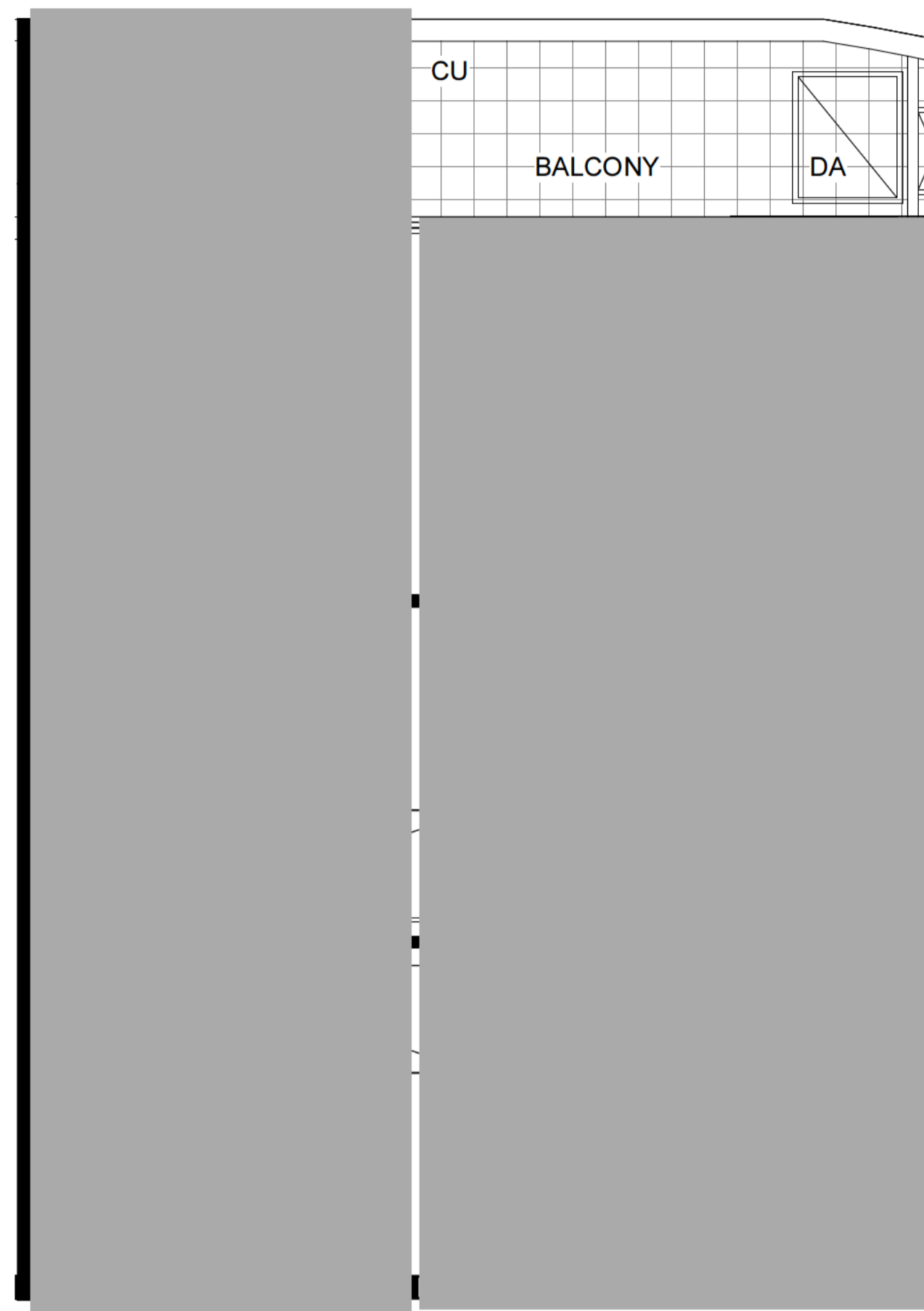
4 BUILDINGS B & C - 1 BED TYPE E
1:50

UNIT AREA: 52m²
BALCONY AREA: 8m²

LEVEL 5 COURTYARD AREA
BLDG B: 23m²
BLDG C: 23m²
NUMBER OF UNITS: 31

- ADAPTABLE PARKING
- BICYCLE PARKING
- STORAGE AREA 2400mm x 600mm
- VISITOR PARKING
- CAR PARK MIRRORS
- DRYING AREA
- CONDENSOR UNITS

NOT TO BE USED FOR CONSTRUCTION



1 **BUILDING B - 3 BED TYPE A**
1:50

UNIT AREA: 87m²
BALCONY AREA: 8m²
GF COURTYARD AREA: 62m²
NUMBER OF UNITS: 5

2 **BUILDING B - 1 BED + TYPE B**
1:50

UNIT AREA: 60m²
BALCONY AREA: 13-20m²
GF COURTYARD AREA: 42-81m²
NUMBER OF UNITS: 20

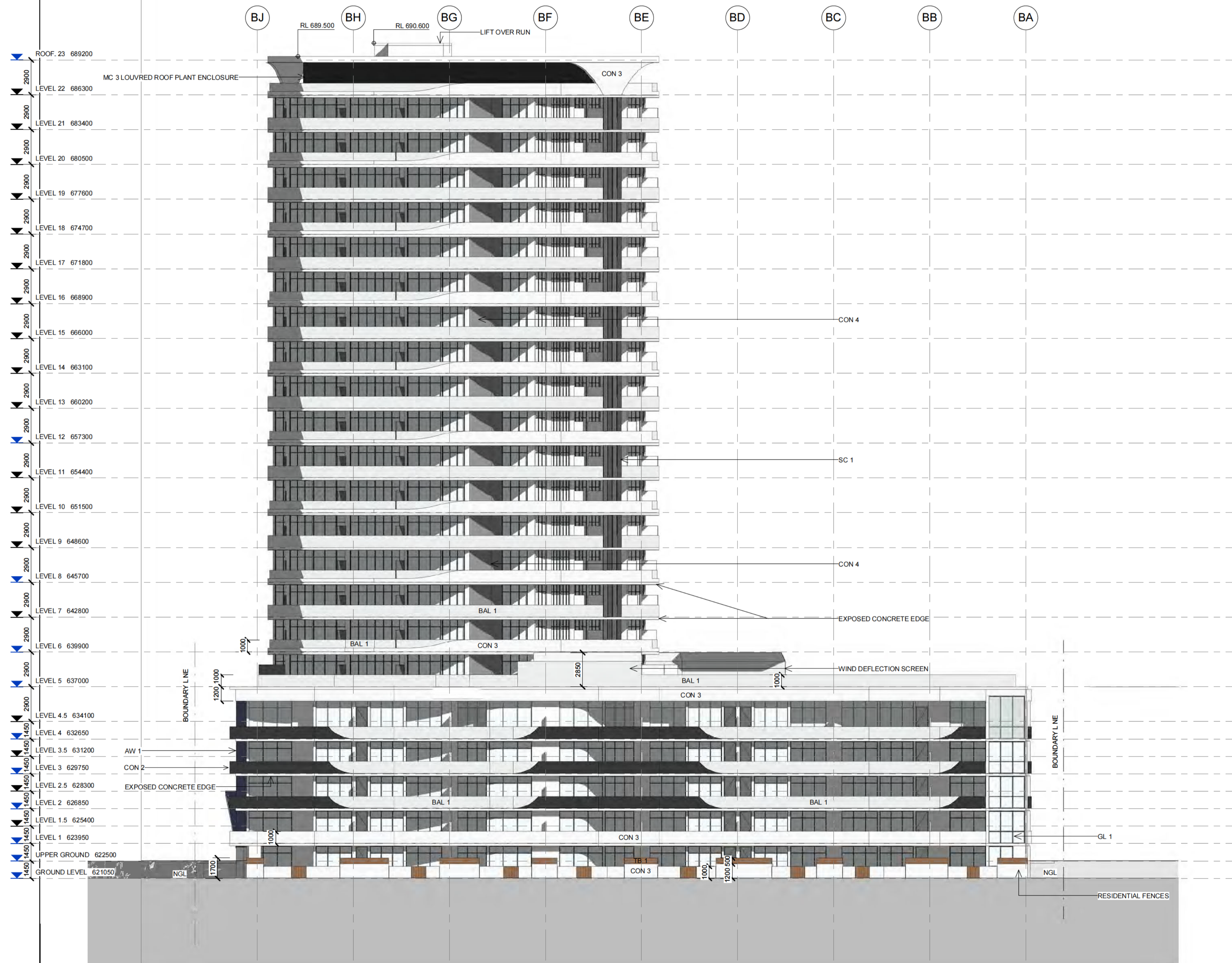
3 **BUILDING B - 1 BED TYPE F**
1:50

UNIT AREA: 48m²
BALCONY AREA: 11m²
GF COURTYARD AREA: 35m²
NUMBER OF UNITS: 10

4 **BUILDING B - 1 BED TYPE G**
1:50

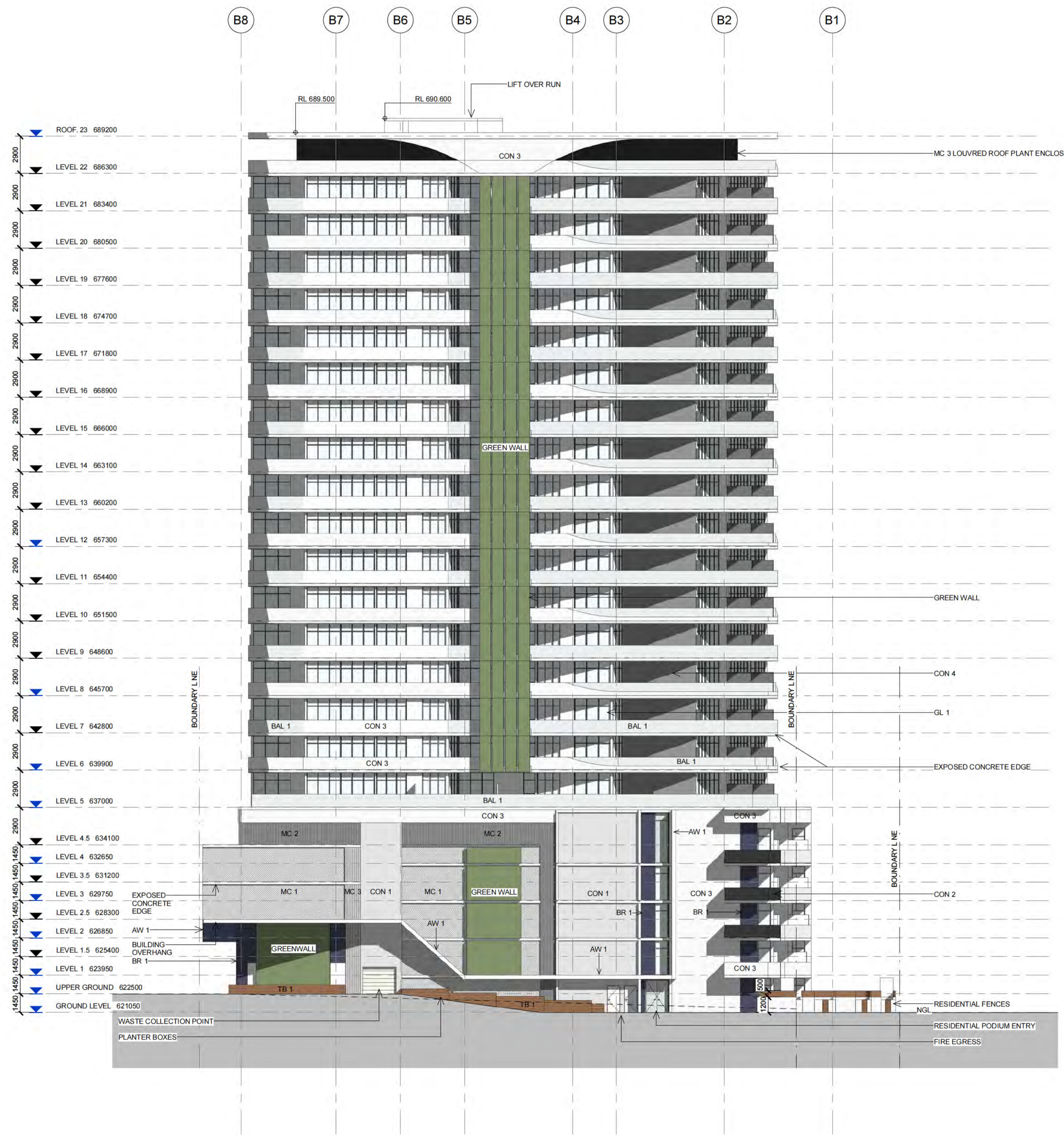
UNIT AREA: 60m²
BALCONY AREA: 15m²
GF COURTYARD AREA: 23m²
NUMBER OF UNITS: 5

- ADAPTABLE PARKING
- BICYCLE PARKING
- STORAGE AREA 2400mm x 600mm
- VISITOR PARKING
- CAR PARK MIRRORS
- DRYING AREA
- CONDENSOR UNITS



EXTERNAL FINISHES SCHEDULE	
CODE	DESCRIPTION
AW-1	METAL AWNING TYPE 1
BAL-1	METAL BALUSTRADE TYPE 1
BL-1	BLOCKWORK TYPE 1
BR-1	BRICKWORK TYPE 1
CON-1	CONCRETE TYPE 1
CON-2	CONCRETE TYPE 2
CON-3	CONCRETE TYPE 3
CON-4	CONCRETE TYPE 4
GL-1	GLAZING TYPE 1
GREEN WALL	SCREEN TYPE 1
MC-1	METAL CLADDING TYPE 1
MC-2	METAL CLADDING TYPE 2
MC-3	METAL CLADDING TYPE 4
SC-1	SCREEN TYPE 1
TB-1	TIMBER TYPE 1

1 BLOCK 3 - NORTH ELEVATION
1 : 200



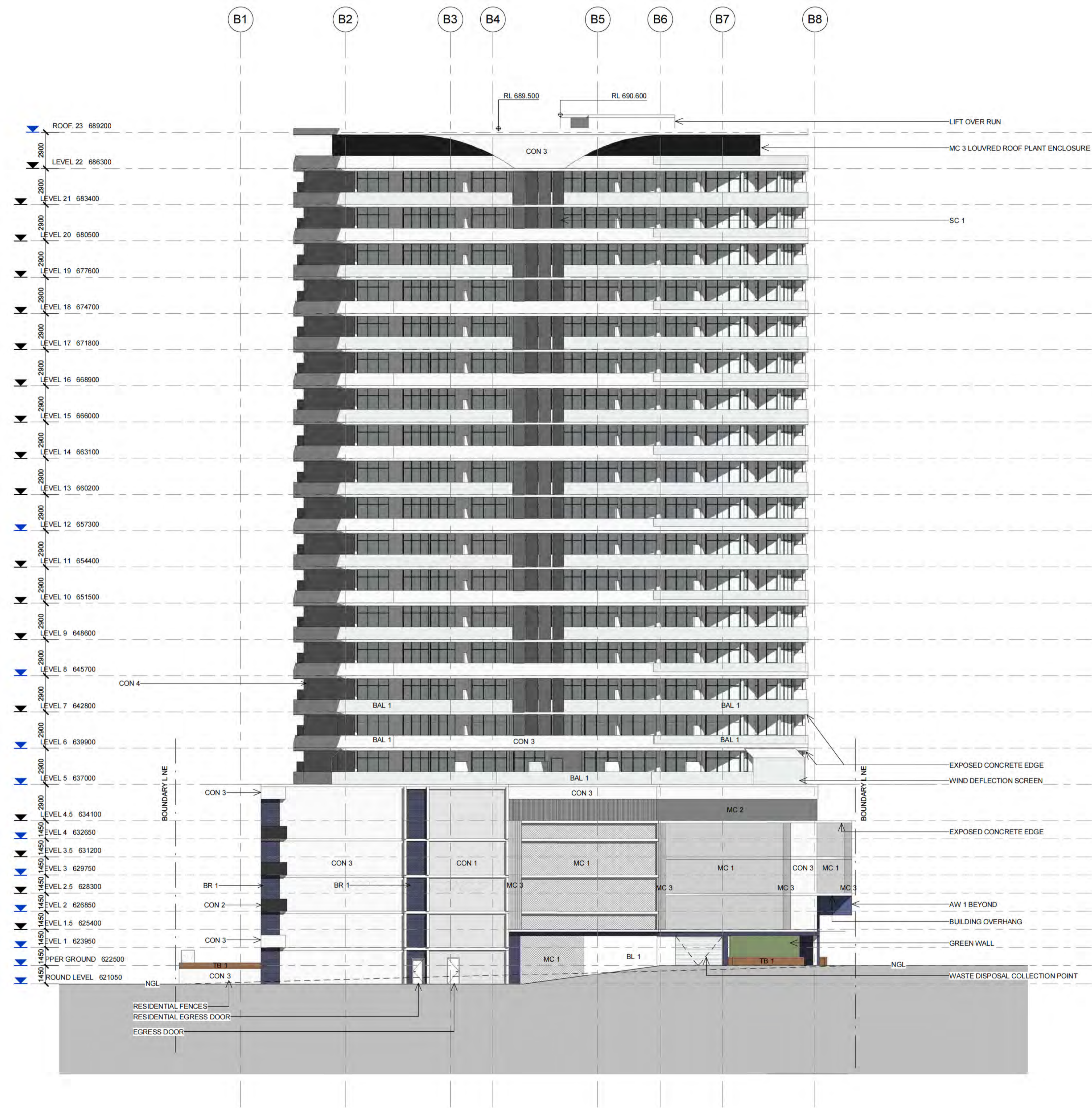
EXTERNAL FINISHES SCHEDULE	
CODE	DESCRIPTION
AW-1	METAL AWNING TYPE 1
BAL-1	METAL BALUSTRADE TYPE 1
BL-1	BLOCKWORK TYPE 1
BR-1	BRICKWORK TYPE 1
CON-1	CONCRETE TYPE 1
CON-2	CONCRETE TYPE 2
CON-3	CONCRETE TYPE 3
CON-4	CONCRETE TYPE 4
GL-1	GLAZING TYPE 1
GREEN WALL	SCREEN TYPE 1
MC-1	METAL CLADDING TYPE 1
MC-2	METAL CLADDING TYPE 2
MC-3	METAL CLADDING TYPE 4
SC-1	SCREEN TYPE 1
TB-1	TIMBER TYPE 1

1 BLOCK 3- EAST ELEVATION
1 : 200



EXTERNAL FINISHES SCHEDULE	
CODE	DESCRIPTION
AW-1	METAL AWNING TYPE 1
BAL-1	METAL BALUSTRADE TYPE 1
BL-1	BLOCKWORK TYPE 1
BR-1	BRICKWORK TYPE 1
CON-1	CONCRETE TYPE 1
CON-2	CONCRETE TYPE 2
CON-3	CONCRETE TYPE 3
CON-4	CONCRETE TYPE 4
GL-1	GLAZING TYPE 1
GREEN WALL	SCREEN TYPE 1
MC-1	METAL CLADDING TYPE 1
MC-2	METAL CLADDING TYPE 2
MC-3	METAL CLADDING TYPE 4
SC-1	SCREEN TYPE 1
TB-1	TIMBER TYPE 1

1 BLOCK 3 - SOUTH ELEVATION
1:200



EXTERNAL FINISHES SCHEDULE

CODE	DESCRIPTION
AW-1	METAL AWNING TYPE 1
BAL-1	METAL BALUSTRADE TYPE 1
BL-1	BLOCKWORK TYPE 1
BR-1	BRICKWORK TYPE 1
CON-1	CONCRETE TYPE 1
CON-2	CONCRETE TYPE 2
CON-3	CONCRETE TYPE 3
CON-4	CONCRETE TYPE 4
GL-1	GLAZING TYPE 1
GREEN WALL	SCREEN TYPE 1
MC-1	METAL CLADDING TYPE 1
MC-2	METAL CLADDING TYPE 2
MC-3	METAL CLADDING TYPE 4
SC-1	SCREEN TYPE 1
TB-1	TIMBER TYPE 1

1 BLOCK 3 - WEST ELEVATION
1:200



BLOCK 4

BLOCK 3

BLOCK 2

1 STREETScape ELEVATION - GUNDAROO DRIVE
1 : 500



BLOCK 4

2 STREETScape ELEVATION - GRIBBLE STREET
1 : 500



1 STREETScape ELEVATION - ANTHONY ROLFE DRIVE
1:500

BLOCK 2

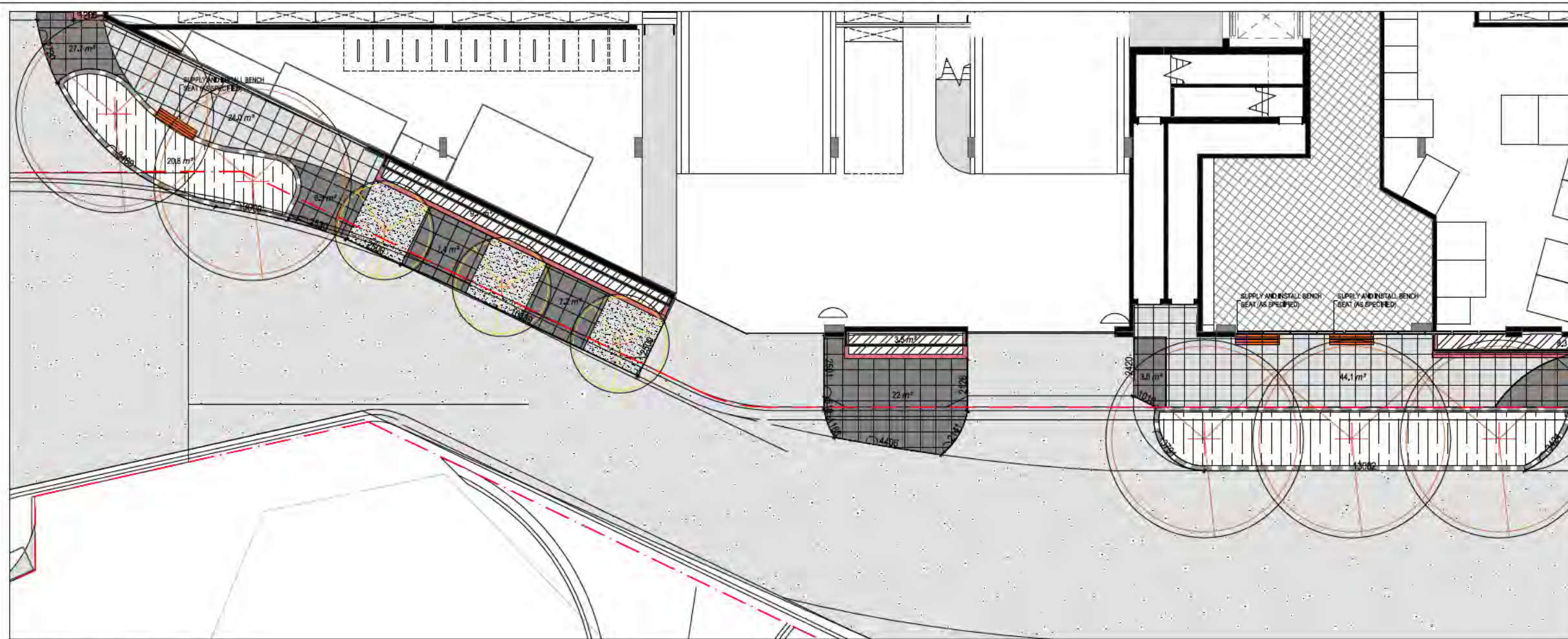
BLOCK 3

BLOCK 4

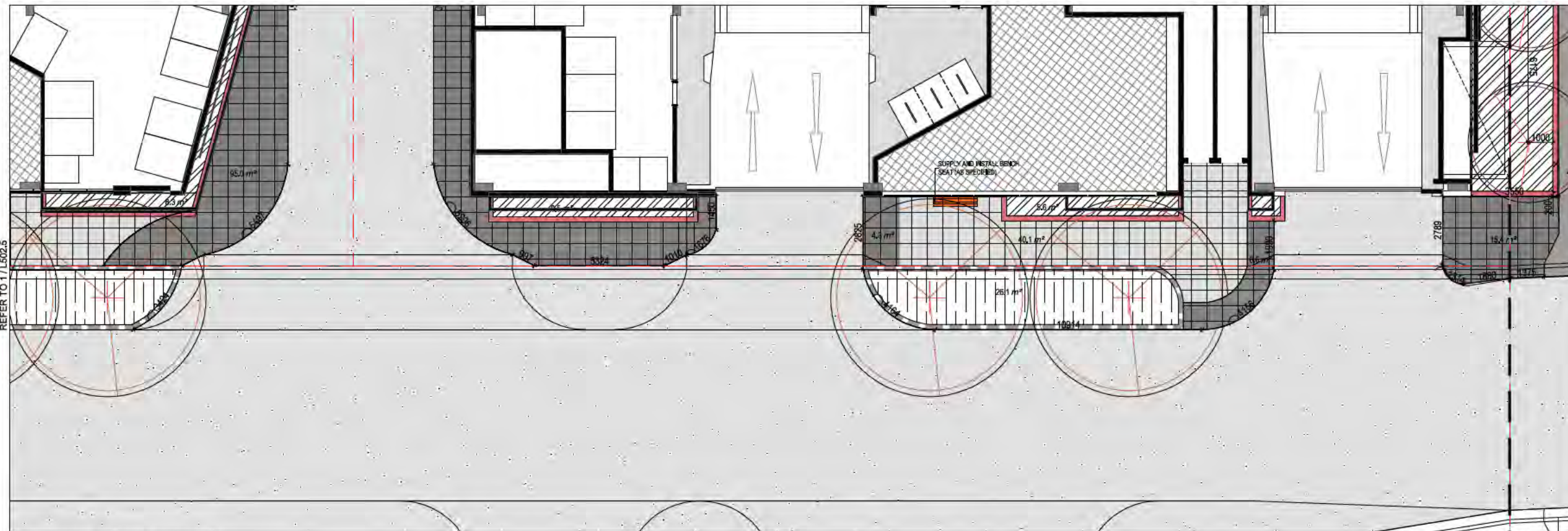
EXISTING CHILDCARE

PROPERTY BOUNDARY

PROPERTY BOUNDARY



1 ACCESS ROAD LANDSCAPE



2 ACCESS ROAD LANDSCAPE

SURFACES LEGEND

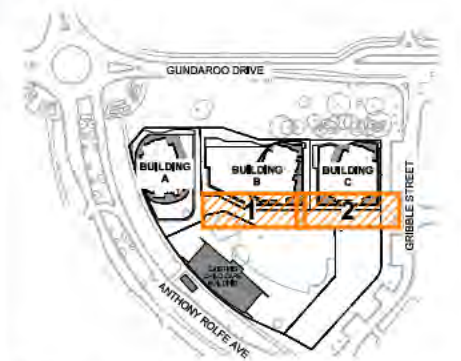
- CANOPY TREES
Refer to planting plan for species
- METAL SUN SHELTER
Single pole fixing
- TIMBER DECKING SEATING PLATFORM
- TIMBER SLATS OVER CONCRETE SEATWALL
- PAVING TYPE 1: Non-slip finish
- PAVING TYPE 2: Non-slip finish
- PUBLIC CONCRETE FOOTPATH
- COLOURED CONCRETE TYPE 1: Sawcut as detailed
- COLOURED CONCRETE TYPE 2: Sawcut as detailed
- PRIVATE COURTYARD PAVING
PAVING TYPE 1: Non-slip finish
- 400mm WIDE CONCRETE SEATWALL
- 200mm WIDE CONCRETE PLANTER WALL
- 450mm DEEP PLANTER BED
- 900mm DEEP PLANTER BED
- PLANTED RAIN GARDEN
- NATURAL PLANTER BED
- BBQ
- SCULPTURAL LIGHT POLE LOCATION
- TREE PIT
- SUPPLY AND INSTALL SARAH BENCH SEAT
BY BOTTON AND GARDNER
- ACCESS GATE FROM PRIVATE COURTYARD
TO PUBLIC PATHWAY
- PATH CENTERLINE
- ACCESS ROAD - TO ENGINEERS DETAILS
- 900mm RELATIVE LEVEL
- 1% MIN SLOPE / FALL

REFER TO 2 / L502.5

REFER TO 1 / L502.5

KEY PLAN

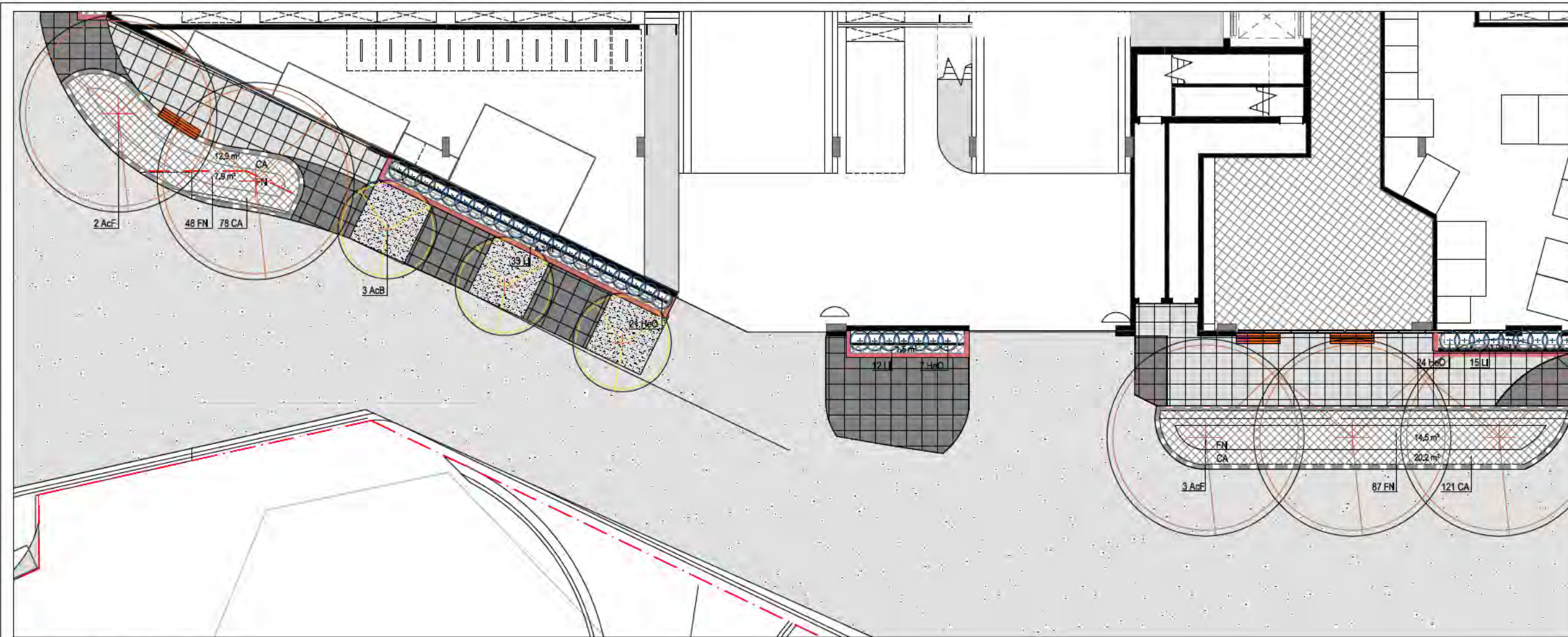
NOT TO SCALE



NOTE
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NOT FOR CONSTRUCTION

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	ISSUE	REASON FOR ISSUE	DATE	DESIGN	DRAWN	CHECKED	APPROVED FOR ISSUE	DRAWING STATUS																												
	A	ISSUE FOR DA - DRAFT	28/11/2014	PG	PG BC AJ	JE	CS	Warning unless there is an authorized SPACELAB signature in the approved for issue column, this drawing is not approved for issue.																												
B	ISSUE FOR DA	09/12/2014	PG	PG BC AJ	JE	CS																														
C	ISSUE FOR DA - AS 3209	22/01/2015	PG	PG BC AJ	JE	CS																														
<p>0 2.5 5.0m</p> <p>SCALE @ 1:150 SCALE @ 1:300</p>																																				
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PLANTING LEGEND - Access Road

PROPOSED TREES

SYM	Plant Species	TOT	Minimum Stock Size
AcF	Acer x freemanii 'Jefferson'	7	150L/3.5m
AcB	Acer rubrum 'Bowhall'	3	150L/3.5m

PROPOSED SHRUBS/PERENNIALS

SYM	Plant Species	SPACING	TOT	Stock Size
HeO	Hebe 'Claret Dazzle'	0.5m	77	140mm pot

PROPOSED GRASSES AND FLAXES

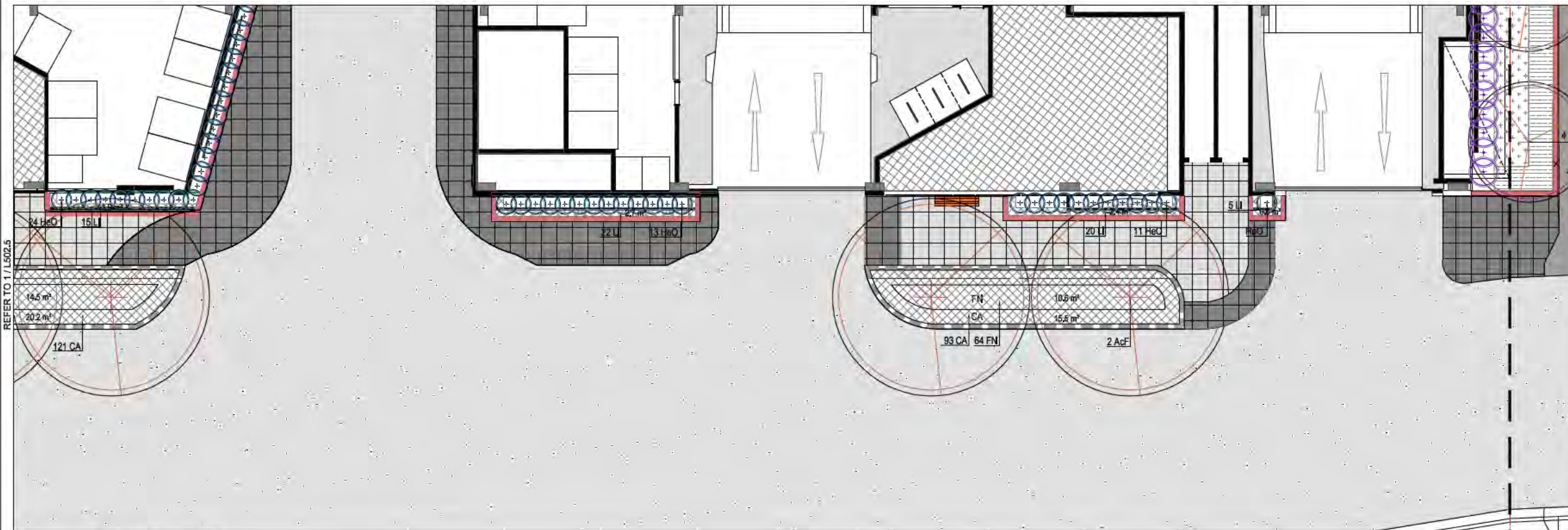
SYM	Plant Species	Total	Area	Stock size	Rate
CA	Carex appressa	292	48.8m²	Wrotube	6 / m²
FN	Filipes nodosa	198	33m²	Wrotube	6 / m²
LI	Lilippe muscari 'Evergreen Giant'	107	13.2m²	140mm pot	6 / m²

GENERAL NOTES:

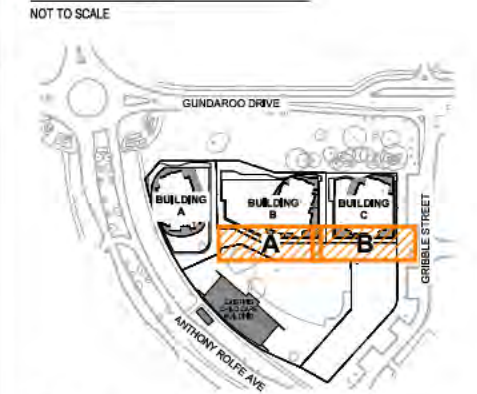
ENSURE ALL PLANTINGS ADJACENT PATHS AND DRIVEWAYS ARE PLANTED CC MATURE WIDTH OF PLANT (AS SHOWN) + 0.2m SETBACK.

ALL PLANTING TO BE IRRIGATED.

1 ACCESS ROAD LANDSCAPE



KEY PLAN



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2 ACCESS ROAD LANDSCAPE

NOT FOR CONSTRUCTION

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1 GROUND FLOOR PLANTINGS - WESTERN EDGE OF BUILDING A (ADJACENT TO ANTHONY ROLFE AVE)



2 GROUND FLOOR PLANTINGS - EASTERN EDGE OF BUILDING C (ADJACENT TO GRIBBLE STREET)

PLANTING LEGEND - Gribble Street

PROPOSED TREES

SYM	Plant Species	TOT	Minimum Stock Size
PyB	<i>Pyrus calleryana</i> 'Bursczam'	7	150L/3.5m
FPF	<i>Fragaria pennsylvanica</i> 'Clemzart'	3	150L/3.5m

PROPOSED SHRUBS/PERENNIALS

SYM	Plant Species	SPACING	TOT	Stock Size
WbG	<i>Westringia 'Blue Gem'</i>	0.5m	22	200mm pot
CoA	<i>Cornus alba</i>	0.5m	31	200mm pot
ChA	<i>Chrysosplenium apiculatum</i>	0.5m	3	200mm pot
HeO	<i>Hebe 'Starlight'</i>	0.5m	31	140mm pot

PROPOSED GROUNDCOVERS

SYM/Code	Plant Species	Total Area	Stock size	Rate
HM	<i>Hardenburghia 'Meema'</i>	55	27.5m ²	140mm pot / 2 / m ²

PROPOSED GRASSES AND FLAXES

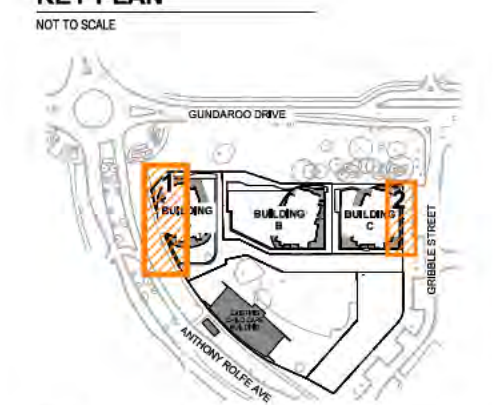
SYM	Plant Species	Total Area	Stock size	Rate
PE	<i>Poa labillardieri 'Eskdale'</i>	147	24.4m ²	140mm pot / 6 / m ²
U	<i>Lolope muscardi 'Evergreen Glen'</i>	8	0.8m ²	140mm pot / 6 / m ²

OTHER PLANTINGS

SYM	Plant Species	Total Area	Stock size	Rate
PO	<i>Paternosteria occidentalis</i>	294	48.7m ²	140mm pot / 6 / m ²

GENERAL NOTES:
 ENSURE ALL PLANTINGS ADJACENT PATHS AND DRIVEWAYS ARE PLANTED CC MATURE WIDTH OF PLANT (AS SHOWN) + 0.2m SETBACK.
 ALL PLANTING TO BE IRRIGATED.

KEY PLAN



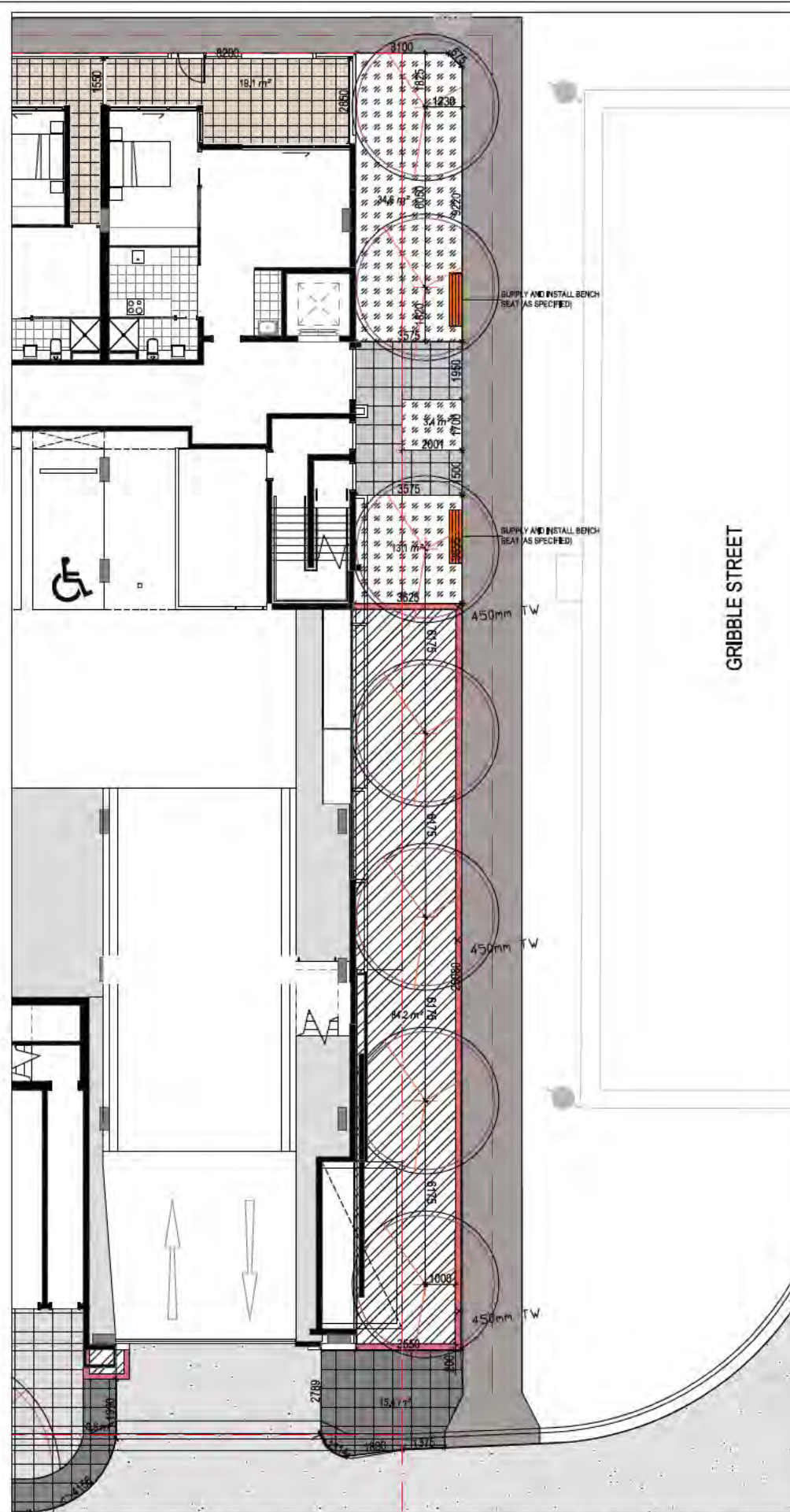
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1 GROUND FLOOR SURFACES - WESTERN EDGE OF BUILDING A (ADJACENT TO ANTHONY ROLFE AVE)



2 GROUND FLOOR SURFACES - EASTERN EDGE OF BUILDING C (ADJACENT TO GRIBBLE STREET)

SURFACES LEGEND

- CANOPY TREES
Refer to planting plan for species
- METAL SUN SHELTER
Single pole fixing (5+7) (L505.5)
- TIMBER DECKING SEATING PLATFORM (5.7A) (L505.4)
- TIMBER SLATS OVER CONCRETE SEATWALL (5.7B) (L505.4)
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- PATH CENTERLINE
- ACCESS ROAD - TO ENGINEERS DETAILS
- 900mm RELATIVE LEVEL
- 1% MIN SLOPE / FALL

KEY PLAN

NOT TO SCALE



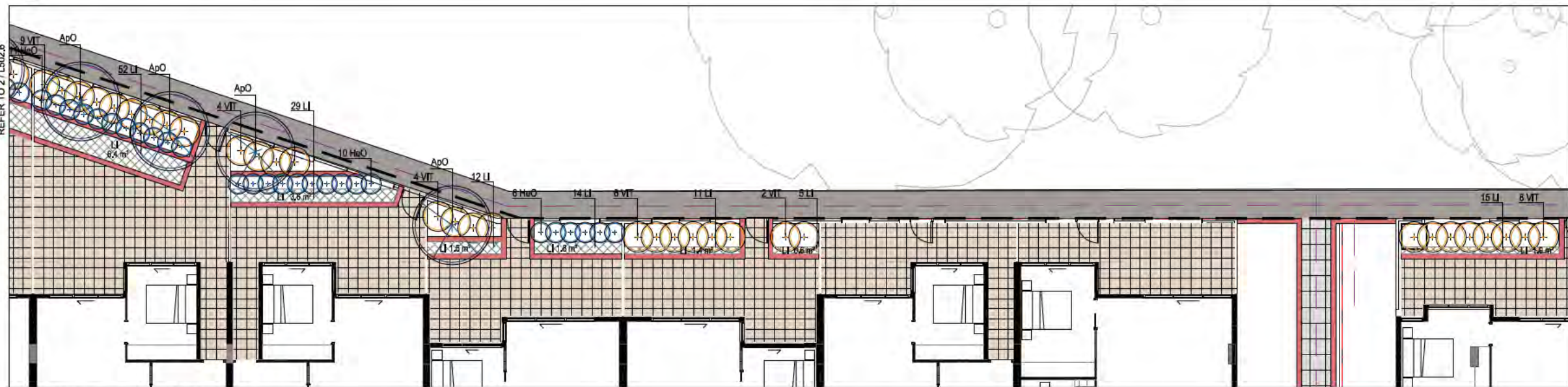
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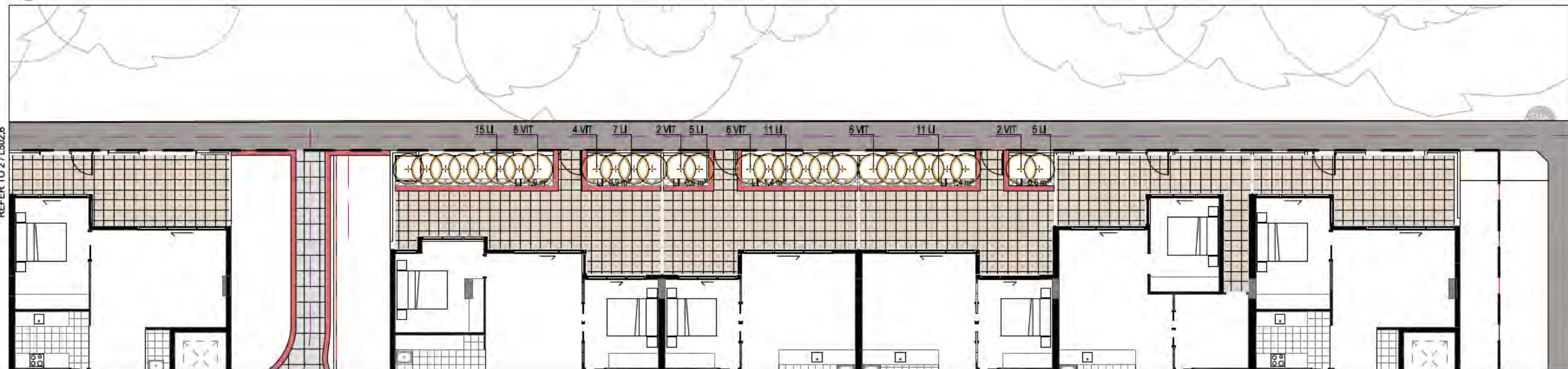
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1 NORTH WESTERN COURTYARDS



2 NORTH CENTRAL COURTYARDS



3 NORTH EASTERN COURTYARDS

PLANTING LEGEND - Private Courtyards

PROPOSED TREES				
SYM	Plant Species	TOT	Minimum Stock Size	
ApO	Acer palmatum 'Discolor'	8	8	75L/2m

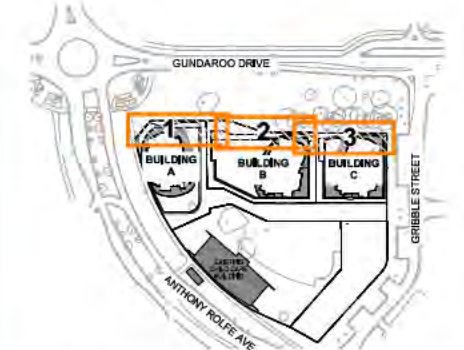
PROPOSED SHRUBS/PERENNIALS				
SYM	Plant Species	SPACING	TOT	Min Stock Size
VT	Viburnum sp.	0.75m	85	200mm pot
HeO	Hebe 'Starlight'	0.6m	49	140mm pot

PROPOSED GRASSES AND FLAXES				
SYM	Plant Species	Total Area	Stock size	Rate
LI	Lolium perenne 'Evergreen Giant'	317	38.6 m ²	Wrotube 8 / m ²

GENERAL NOTES:
 ENSURE ALL PLANTINGS ADJACENT PATHS AND DRIVEWAYS ARE PLANTED TO CC MATURE WIDTH OF PLANT (AS SHOWN) + 0.2m SETBACK.
 ALL PLANTING TO BE IRRIGATED.

KEY PLAN

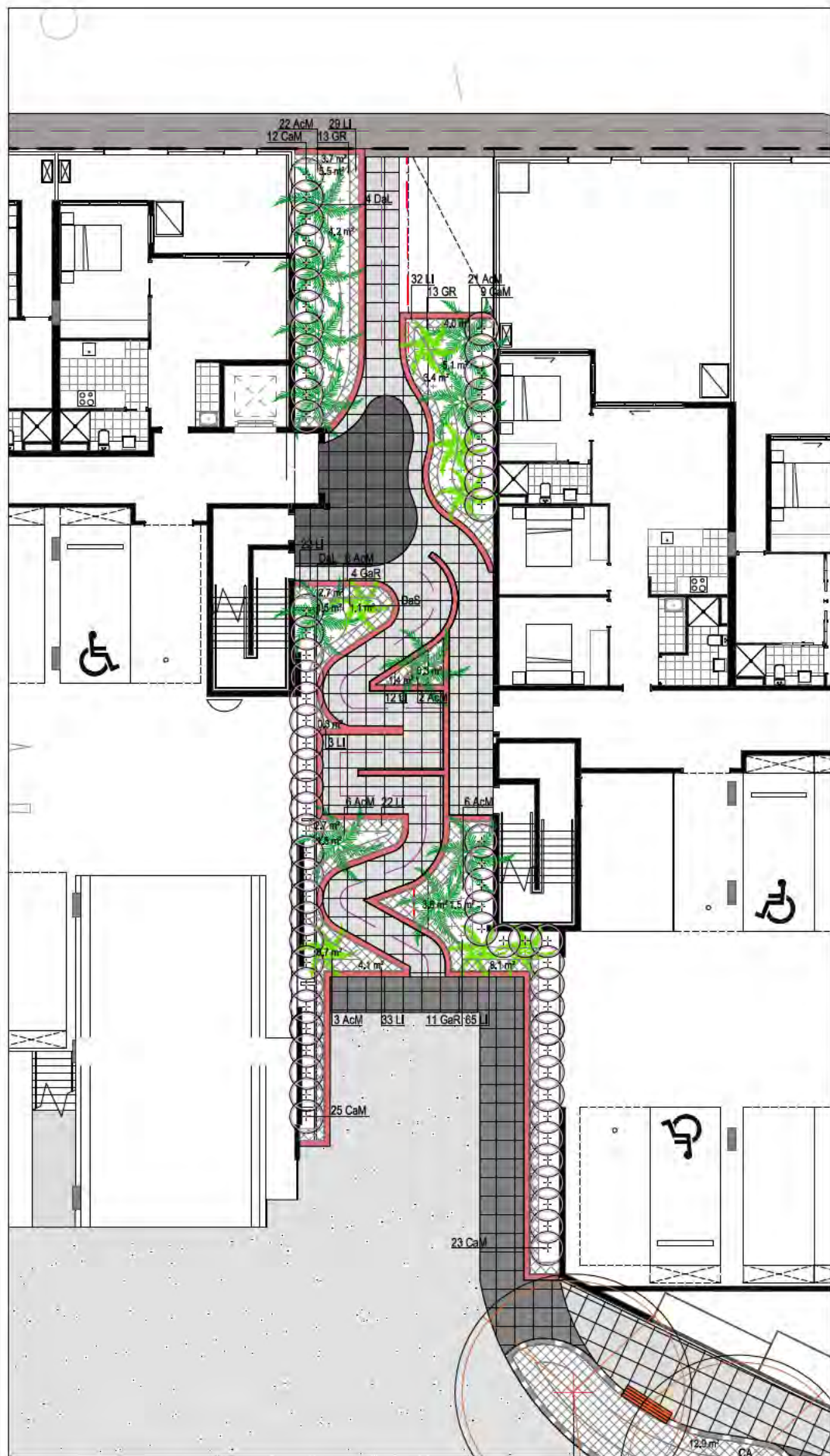
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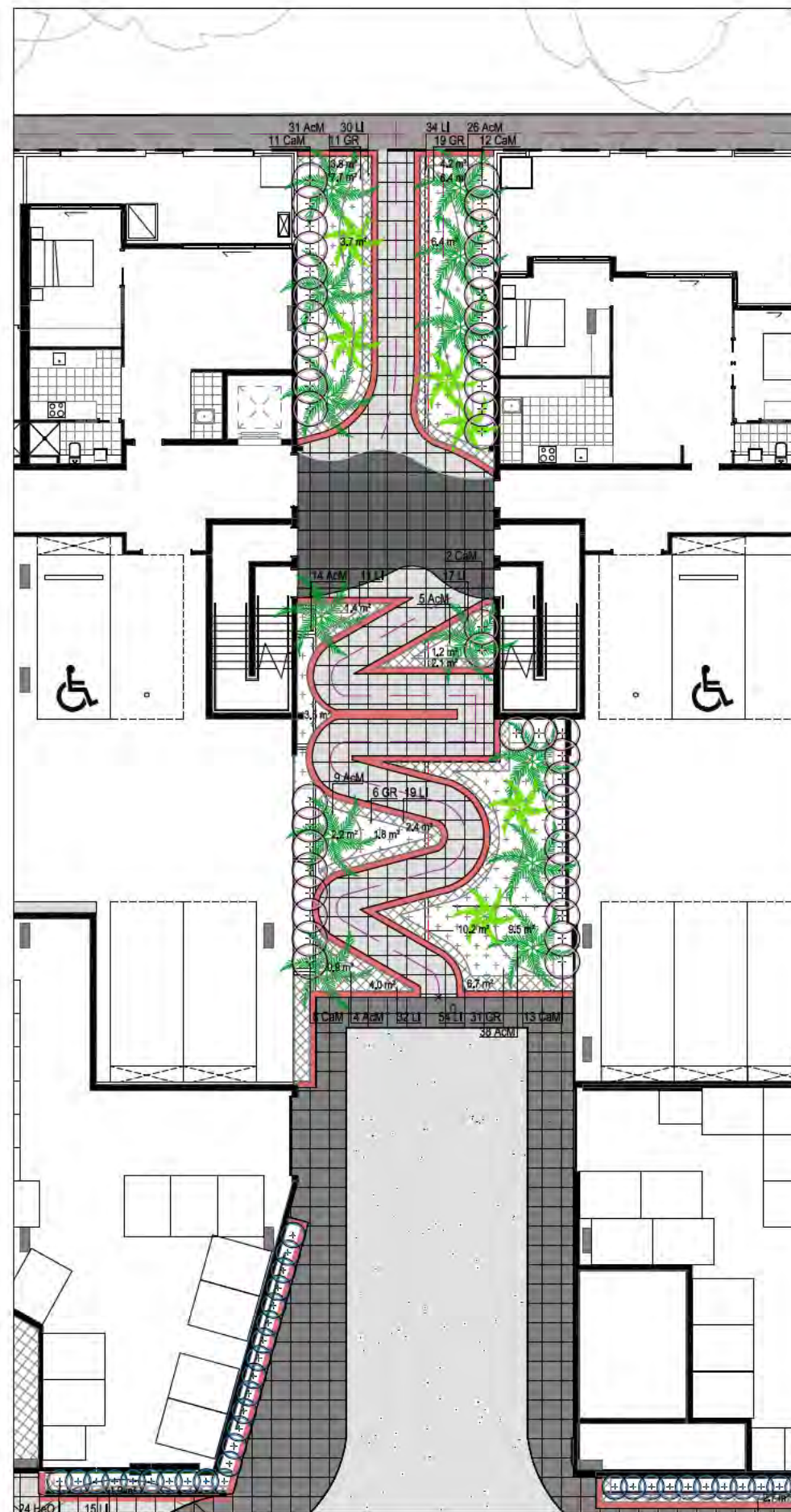
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1 GROUND FLOOR PUBLIC COURTYARD BETWEEN BUILDING A AND B



2 GROUND FLOOR PUBLIC COURTYARD BETWEEN BUILDING B AND C

PLANTING LEGEND - Ground Floor A-B

PROPOSED TREES			
SYM	Plant Species	TOT	Minimum Stock Size
D1	Dicksonia antarctica	11	1.5m
D2	Dicksonia antarctica	7	0.5m

PROPOSED SHRUBS/PERENNIALS			
SYM	Plant Species	SPACING	TOT Stock Size
CaM	Carleia sasanqua 'Pure Silk'	0,75m	66 200mm pot

PROPOSED STRAPPY PLANTING			
SYM	Plant Species	Total Area	Stock size Rate
LiHo	Litorea muscard Evergreen Claret	198 27m ²	140mm pot 6 / m ²

PROPOSED OTHER PLANTINGS			
SYM	Plant Species	Total Area	Stock size Rate
GR	Gardenia radicans	41 12,5m ²	140mm pot 6 / m ²
AcM	Acanthus mollis	66 16,1m ²	140mm pot 6 / m ²

PLANTING LEGEND - Ground Floor B-C

PROPOSED TREES			
SYM	Plant Species	TOT	Minimum Stock Size
D1	Dicksonia antarctica	13	1.5m
D2	Dicksonia antarctica	8	0.5m

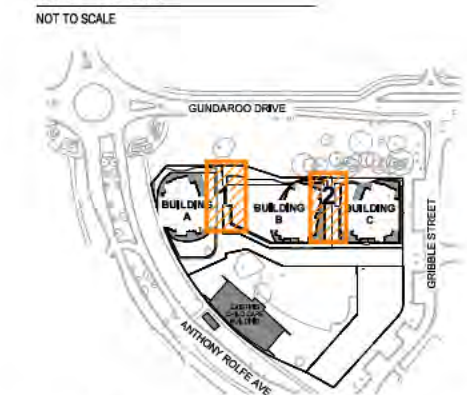
PROPOSED SHRUBS/PERENNIALS			
SYM	Plant Species	SPACING	TOT Stock Size
CaM	Carleia sasanqua 'Pure Silk'	0,75m	48 200mm pot

PROPOSED STRAPPY PLANTING			
SYM	Plant Species	Total Area	Stock size Rate
LiHo	Litorea muscard Evergreen Claret	197 24,8m ²	140mm pot 6 / m ²

PROPOSED OTHER PLANTINGS			
SYM	Plant Species	Total Area	Stock size Rate
GR	Gardenia radicans	67 22,1m ²	140mm pot 6 / m ²
AcM	Acanthus mollis	127 26,3m ²	140mm pot 6 / m ²

GENERAL NOTES:
 ENSURE ALL PLANTINGS ADJACENT PATHS AND DRIVEWAYS ARE PLANTED CC MATURE WIDTH OF PLANT (AS SHOWN) + 0.2m SETBACK.
 ALL PLANTING TO BE IRRIGATED.

KEY PLAN



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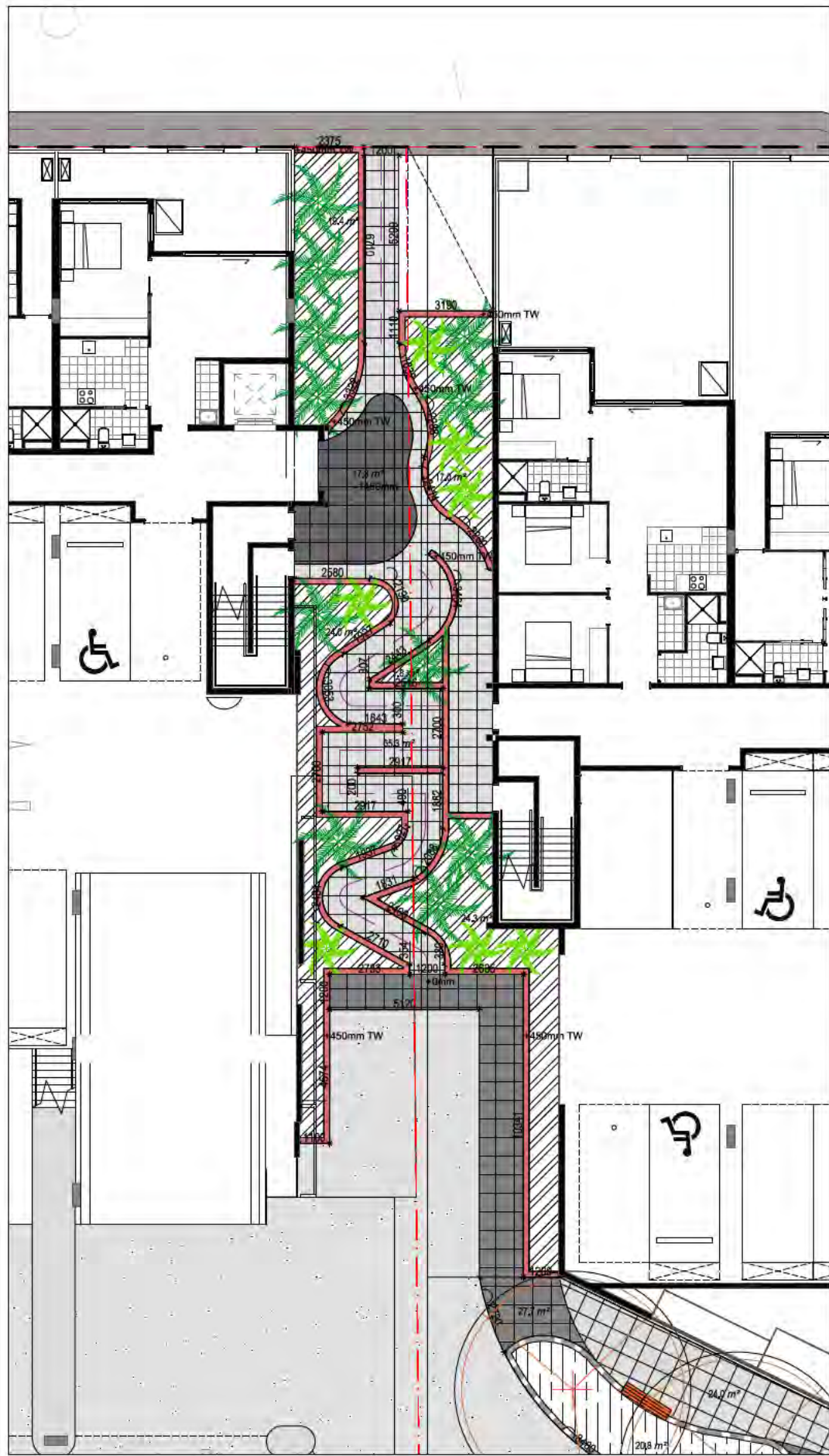
CLIENT
GEOCON
 BUILDING CANBERRA

CONSULTANTS
SPACELAB
 CREATING TIMELESS PLACES

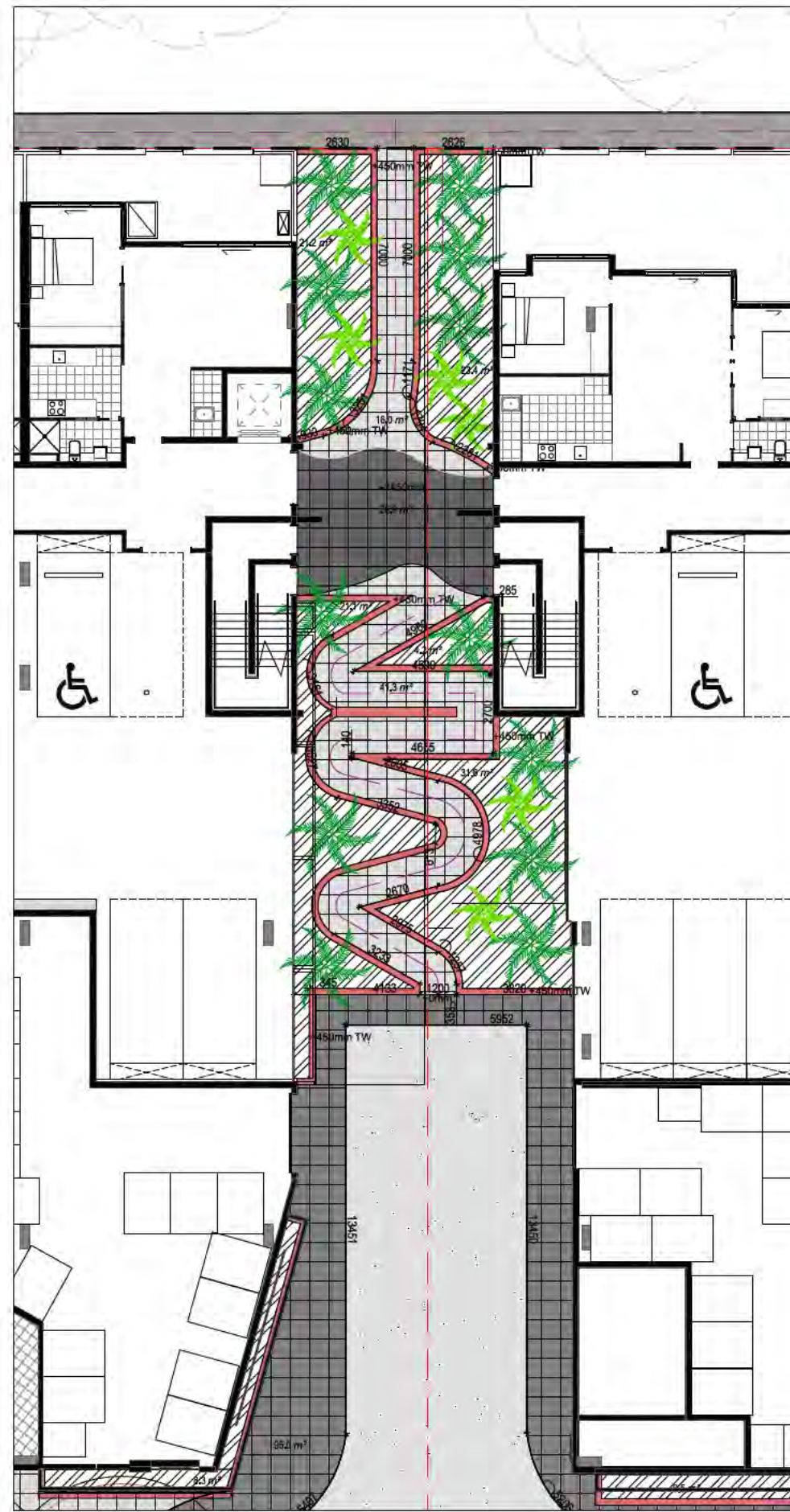
CONSULTANTS
pvh

PROJECT
BLOCK 3 SECTION 209
GUNGALHIN
 PUBLIC COURTYARDS

PROJECT No	DRAWING No	ISSUE	REVISION
14/1075	L502.2	DA	C



1 GROUND FLOOR PUBLIC SPACE BETWEEN BUILDING A AND B



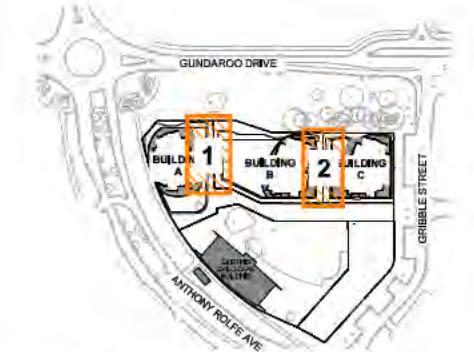
2 GROUND FLOOR PUBLIC SPACE BETWEEN BUILDING B AND C

SURFACES LEGEND

- CANOPY TREES
Refer to planting plan for species
- METAL SUN SHELTER
Single pole fixing (5+7) (L505.5)
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- PATH CENTERLINE
- ACCESS ROAD - TO ENGINEERS DETAILS
- 900mm RELATIVE LEVEL
- 1% MIN SLOPE / FALL

KEY PLAN

NOT TO SCALE



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CLIENT
GEOCON
BUILDING CANBERRA

CONSULTANTS
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pvh

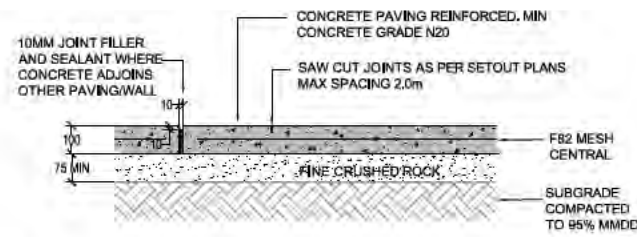
PROJECT
BLOCK 3 SECTION 209 GUNGAHLIN PUBLIC COURTYARDS

PROJECT No	DRAWING No	ISSUE	REVISION
14/1075	L501.2	DA	C

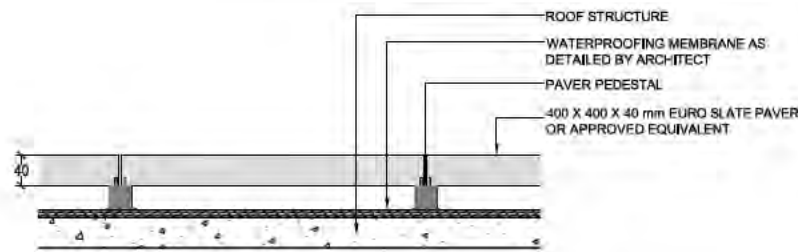
NOTES:
 JUTE MESH THICK TO BE INSTALLED ON PLANTED SLOPES GREATER THAN 20% FALL.
 ALL WATER PROOFING, DRAINAGE AND ROOFING ELEMENTS TO BE DETAILED BY ARCHITECT / ENGINEER.

-  PAVING TYPE 1 - EURO SLATE PAVER 400 x 400 x 40 BY AMBER COLOUR: CYPRUS or approved equivalent
-  PAVING TYPE 2 - EURO SLATE PAVER 400 x 400 x 40 BY AMBER COLOUR: PRAGUE or approved equivalent

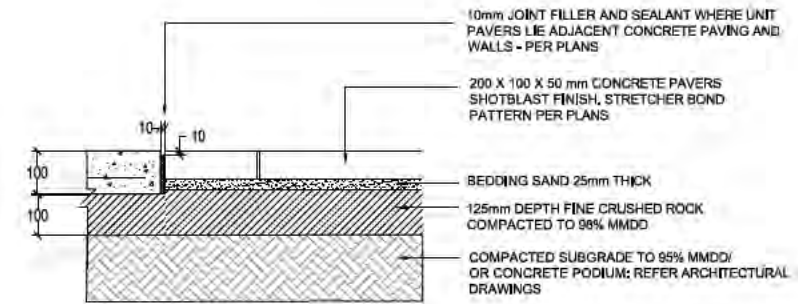
-  PAVING TYPE 1 - EURO SLATE PAVER 400 x 400 x 40 BY AMBER COLOUR: CYPRUS or approved equivalent



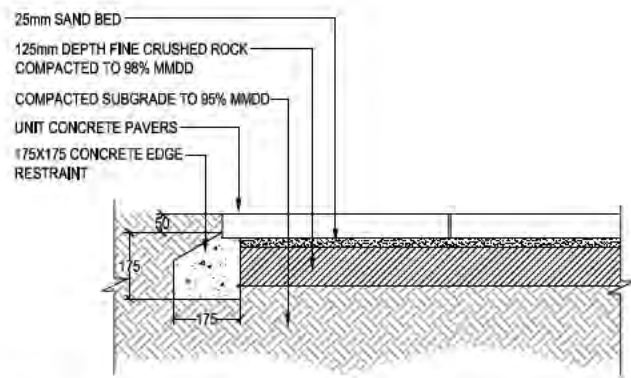
1 CONCRETE PATH
 SCALE: 1:20@A3 1:10@A1



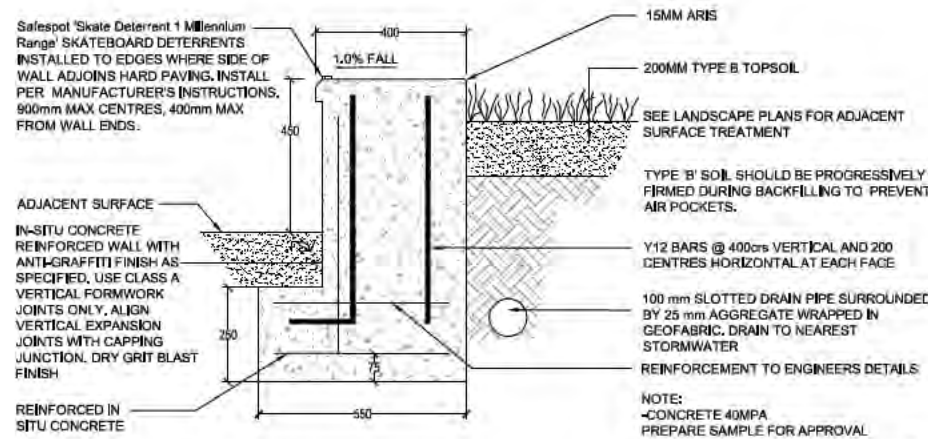
2 PODIUM PAVING DETAIL
 SCALE: 1:10 @ A3 1:5 @ A1



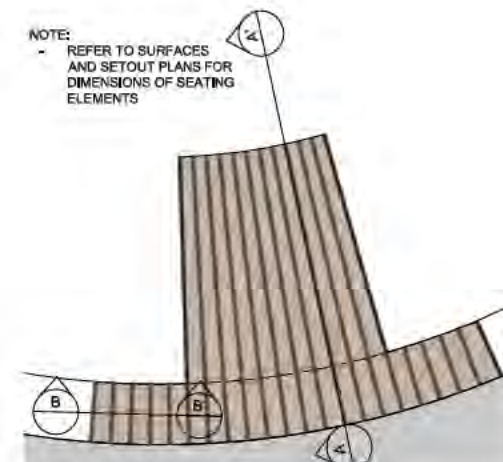
3 CONCRETE UNIT PAVING ON SAND BASE
 SCALE: 1:25 @ A3 1:12.5 @ A1



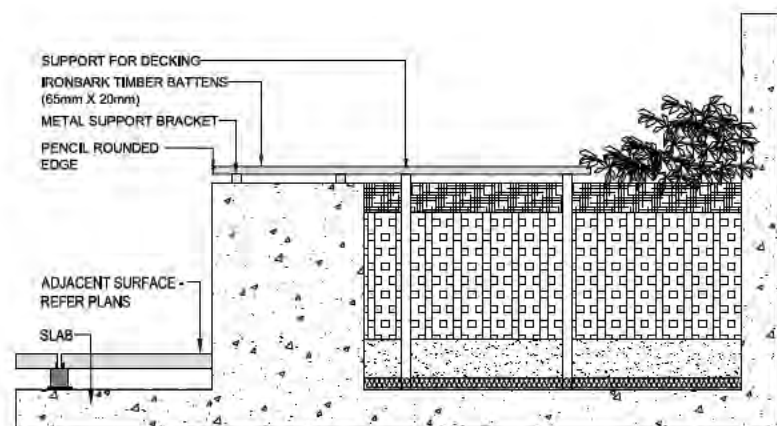
4 TYPICAL EDGE RESTRAINT & PAVED SURFACE
 SCALE: 1:10@A3 1:5@A1



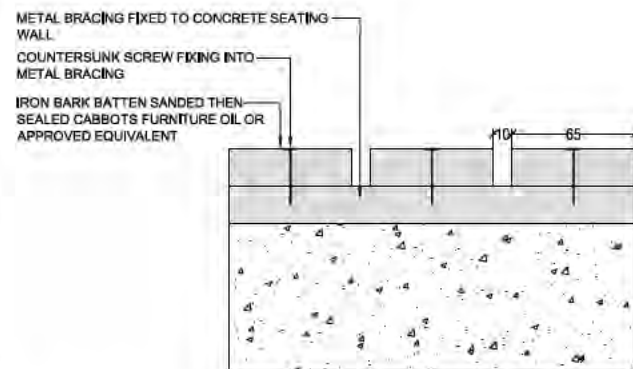
5 CONCRETE SEAT WALL DETAIL
 SCALE: 1:20 @ A3 1:10 @ A1



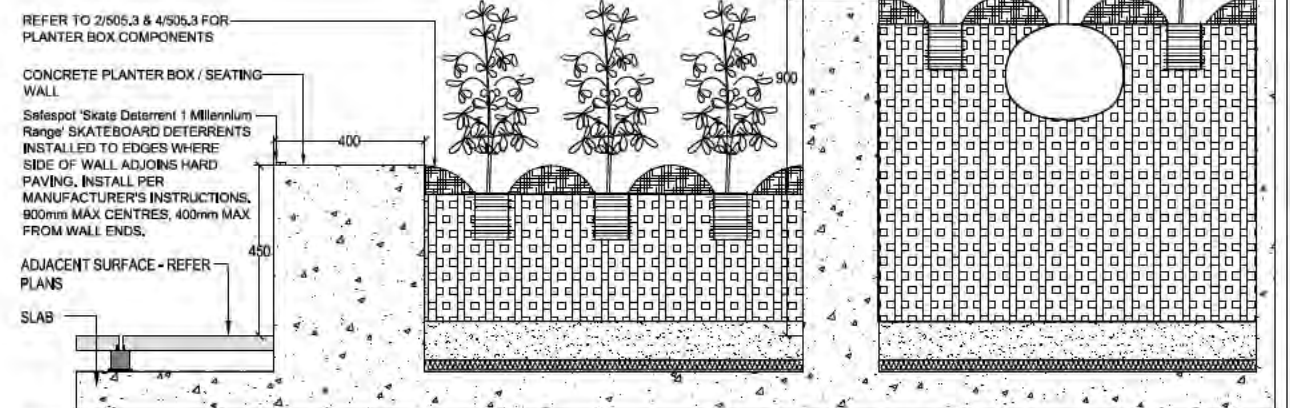
6 TIMBER SEAT ON WALL PLAN
 SCALE: NTS



7 TIMBER SEAT WALL - SECTION A-A
 SCALE: 1:20@A3 1:10@A1



8 TIMBER SEAT WALL - SECTION B-B
 SCALE: 1:4 @ A3 1:2 @ A1



9 PODIUM PLANTER SECTION
 SCALE: 1:20@A3 1:10@A1

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ISSUE	REASON FOR ISSUE	DATE	ISSUED BY	DRAWN	CHECKED	APPROVED FOR ISSUE
A	ISSUE FOR DA - DRAFT	28/1/2014	PG	PG/BC/AJ	JE	CS
B	ISSUE FOR DA	28/1/2014	PG	PG/BC/AJ	JE	CS
C	ISSUE FOR DA - AS 9200	22/01/2015	PG	PG/BC/AJ	JE	CS

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PROJECT
BLOCK 3 SECTION 209 GUNGAHLIN

DRAWING		AS SHOWN	
LANDSCAPE DETAILS SHEET 15			
PROJECT No: 14/1075	DRAWING No: L505.4	ISSUE: DA	REVISION: C

3 LANDSCAPE NOTES

SOFTWORKS NOTES

PLANT MATERIALS
 -SUPPLY OF PLANT MATERIAL WILL BE BY THE CONTRACTOR.
 -ALL GRASS AREAS TO BE BITUMEN STRAW MULCHED.

ROOT CONTROL BARRIERS
 ROOT CONTROL BARRIERS ARE TO BE INSTALLED TO ALL TREES PLANTED CLOSER TO A PATH OR KERB THAN THE MIN. DISTANCE SPECIFIED IN THE PLANT SCHEDULE. THESE DISTANCES ARE REFERENCED FROM A.C.T. URBAN SERVICES' DESIGN STANDARDS FOR URBAN INFRASTRUCTURE, 23; PLANT SPECIES FOR URBAN LANDSCAPE PROJECTS, EDITION 1, REVISION 0 /SEPTEMBER 2002. BARRIERS TO BE EQUAL TO NYLEX ROOT CONTROL BARRIER AND SHALL BE 450MM DEEP AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

WHERE TREES ARE PLANTED ADJACENT TO A KERB, A ROOT BARRIER SHALL BE INSTALLED EXTENDING 6 METRES MINIMUM ALONG THE BACK OF KERB AND CENTRED AT THE TRUNK OF THE TREE (6 LM PER TREE).
 WHERE TREES ARE PLANTED ADJACENT TO A KERB AND FOOTPATH, 6 METRES LENGTH OF ROOT BARRIER SHALL BE INSTALLED ALONG BOTH THE BACK OF KERB AND THE FOOTPATH AND CENTRED AT THE TRUNK OF THE TREE (2 NO 6M LENGTHS = 12 LM PER TREE).

CLEARANCES REQUIRED FOR TREE PLANTING LOCATIONS

- IN VERGE AREAS:
 -MINIMUM 900MM TO STORMWATER MAIN, SEWER MAIN, WATER MAIN, GAS
 -MINIMUM 900MM TO STORMWATER TIE, SEWER TIE, WATER TIE
 -MINIMUM 1500MM FROM MATURE TRUNK FOR CATEGORY 1 TREES TO STORMWATER SUMP, SEWER MANHOLE, ELECTRICAL MIP/PILLAR
 -MINIMUM CLEARANCE TO LIGHT STANDARDS 2M FROM MATURE CANOPY

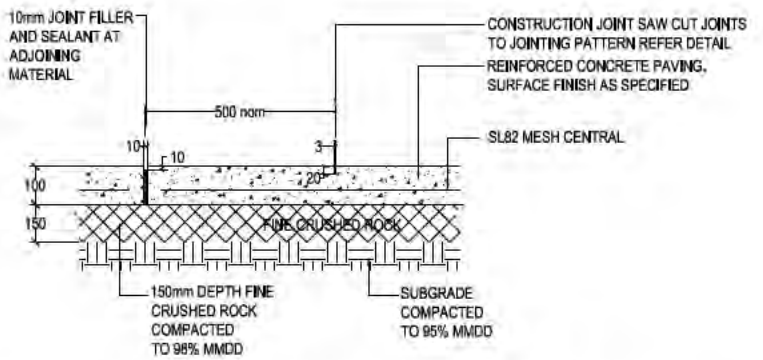
THE MINIMUM REQUIRED CLEARANCES BETWEEN TREES AND FOOTPATHS DEPENDS UPON THE FOOTPATH WIDTH AND TREE SHAPE CATEGORY. THEY MUST BE IN ACCORDANCE WITH A.C.T. URBAN SERVICES' DESIGN STANDARDS FOR URBAN INFRASTRUCTURE, 23; PLANT SPECIES FOR URBAN LANDSCAPE PROJECTS, EDITION 1, REVISION 0 /SEPTEMBER 2002 (PAGES 5 & 6).

NOTES

- FINAL TREE LOCATIONS TO BE CONFIRMED ON SITE.
- ALL SERVICES SHALL BE LOCATED ON SITE PRIOR TO WORKS COMMENCING BY THE APPROPRIATE SERVICE AUTHORITY. MAKE ALL ARRANGEMENTS AND PAY ANY COSTS OR CHARGES SHOULD DAMAGES OCCUR.
- ALL AREAS DISTURBED DURING THE WORKS MUST BE REINSTATED WITH DRYLAND GRASSING TO THE SATISFACTION OF A.C.T. URBAN SERVICES.
- TEMPORARY FENCES ARE TO BE INSTALLED TO PROTECT LANDSCAPE WORKS DURING CONSOLIDATION. CONTRACTORS WHO INSTALL PERMANENT BOUNDARY FENCES ON INDIVIDUAL LEASED SITES (DWELLINGS) ADJACENT TO UNLEASED LAND ARE RESPONSIBLE FOR REINSTATING DISTURBED AREAS.

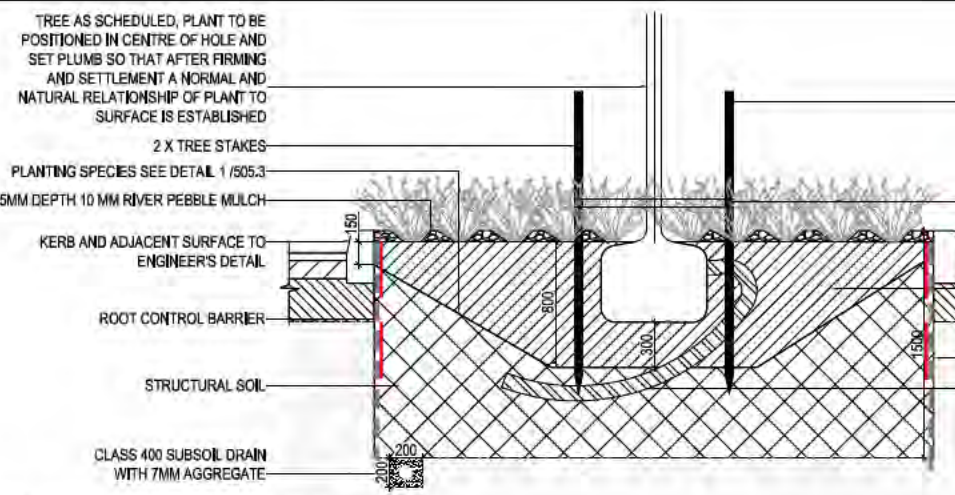
HARDWORKS NOTES

CONCRETE WORKS
 ALL CONCRETE FOOTINGS ARE TO HAVE ENGINEERS CERTIFICATION PRIOR TO COMMENCEMENT OF WORKS AND ARE TO BE TO AS2870



TYPE 1: COLOURED CONCRETE - 'ABILOX' MOONLIGHT GREY @ 4.15% IN GREY CEMENT (BY WEIGHT)
 TYPE 2: COLOURED CONCRETE - 'ABILOX' BLACK CAF-X2 @ 4.15% IN GREY CEMENT (BY WEIGHT)

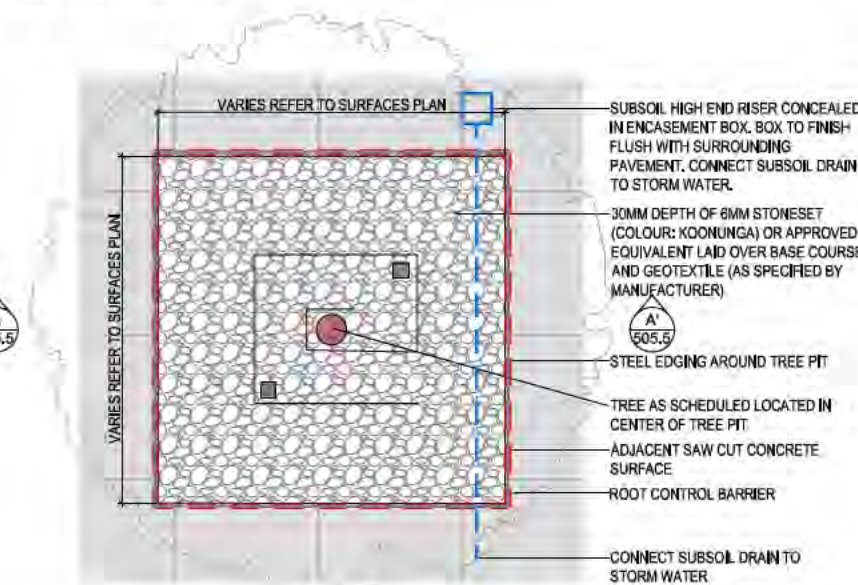
1 COLOURED CONCRETE PAVING - SAW CUT
 SCALE: 1:10@A3 1:5@A1



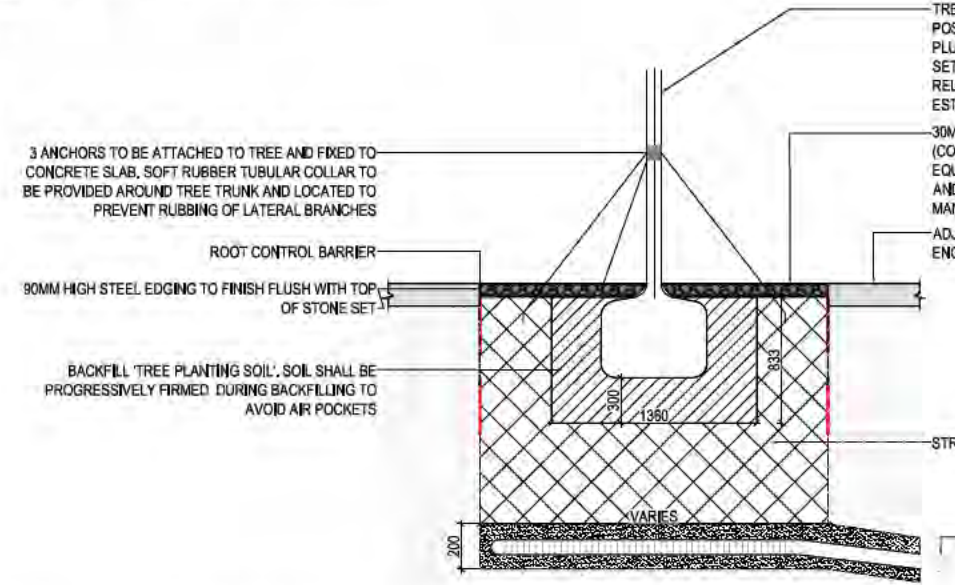
2 RAIN GARDEN ADJACENT TO ROAD
 1:50@A3 1:25@A1

2NO. 50X50MM H.W.D STAKES. 1.8M LENGTH DRIVEN 600MM INTO GROUND CLEAR OF TREE ROOTBALL. STAKES TO BE PLACED FAR ENOUGH FROM TRUNK AND IN A SUITABLE POSITION SO AS TO AVOID TRUNK/BRANCH RUBBING. STAKES TO BE POSITIONED TO SUPPORT TREE IN PREVAILING WINDS
 2NO. HESSIAN STRAP TIES TO BE USED TO ATTACH TREE TO POSTS IN FIGURE OF EIGHT LOOP, HEIGHT OF TIES TO BE BETWEEN 1/3 AND 1/2 THE HEIGHT OF THE TREE
 BACKFILL 'TREE PLANTING SOIL'. SOIL SHALL BE PROGRESSIVELY FIRMED DURING BACKFILLING TO AVOID AIR POCKETS
 BIDUM A34 GEOTABRIC
 DRAINAGE SAND FILLED WATERING COIL CONNECTED TO KERB OPENING

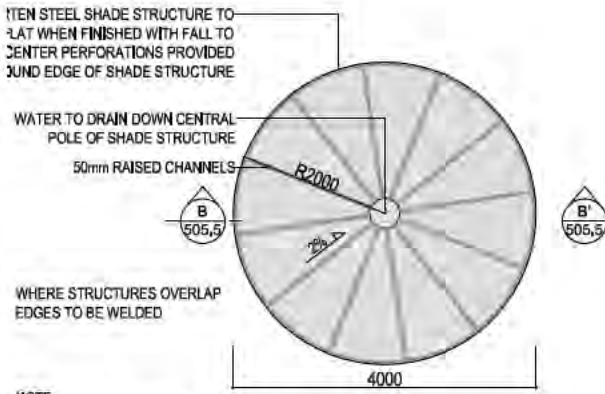
NOTE:
 REFER TO SURFACES AND SETOUT PLANS FOR RAIN GARDEN DIMENSIONS AND PLANTING PLANS FOR PLANTING SPECIFICATION



4 PLAN: TREE PIT ON VERGE
 1:50@A3 1:25@A1

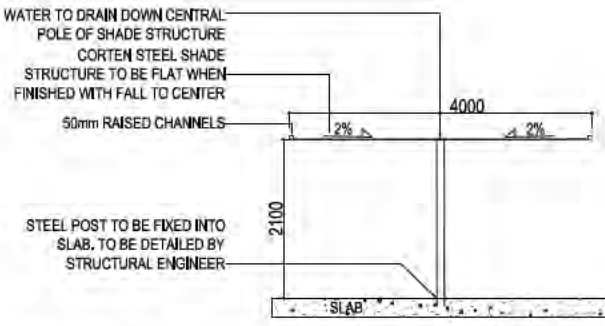


5 SECTION A-A: TREE PIT ON VERGE
 1:50@A3 1:25@A1



NOTE
 REFER TO STRUCTURAL ENGINEERS DETAIL

6 PLAN: SHADE STRUCTURE
 1:100@A3 1:50@A1



NOTE
 REFER TO STRUCTURAL ENGINEERS DETAIL

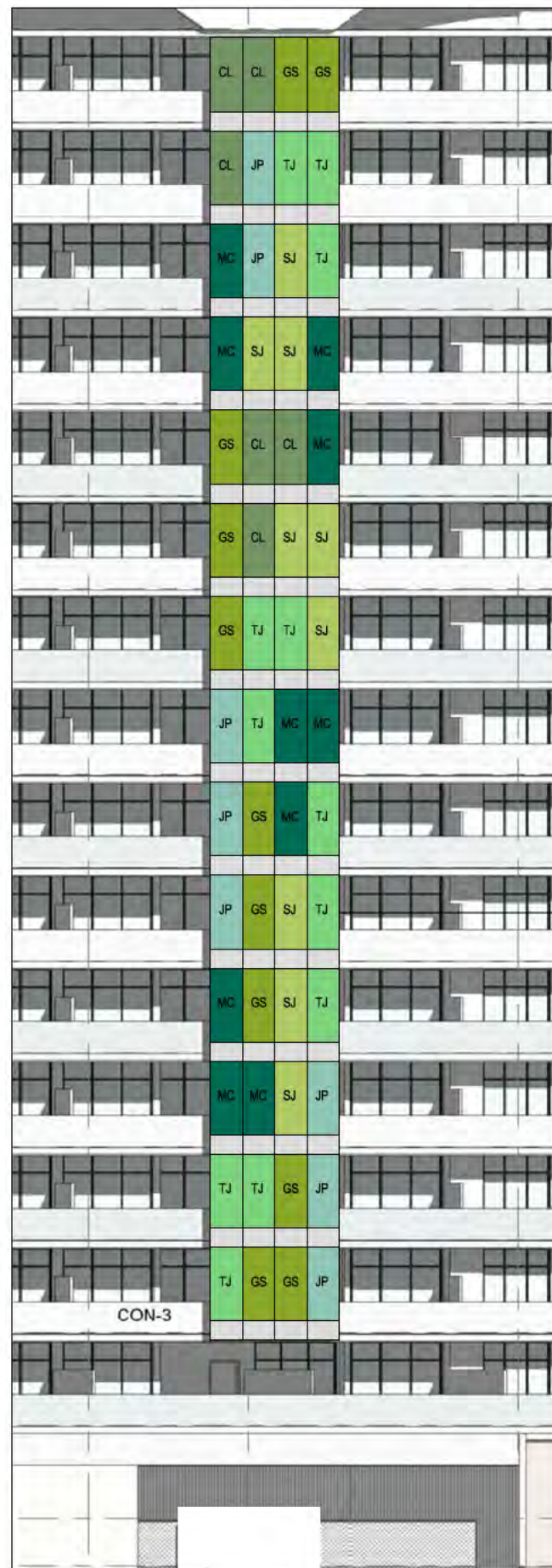
7 SECTION B-B: PODIUM SHADE STRUCTURE
 1:100@A3 1:50@A1

PRODUCT NAME	CODE	SUPPLIER	NUMBER	NOTES
ECO DOUBLE BBQ - LH SINGLE PLATE	KB204	LANDMARK	3 (1 PER PODIUM)	TO HAVE TAP INSTALLED AND TO BE CLAD IN HARDWOOD TIMBER
SARAH BENCH	SARA.2200	BOTTOM + GARDINER	6 (ON GROUND LEVEL)	SUBSURFACE FIXINGS
FAIRHAVEN LARGE PATHLIGHT	220360	BEACON LIGHTING	14 LIGHTS	STAINLESS STEEL FINISH WITH OPAL DIFFUSER

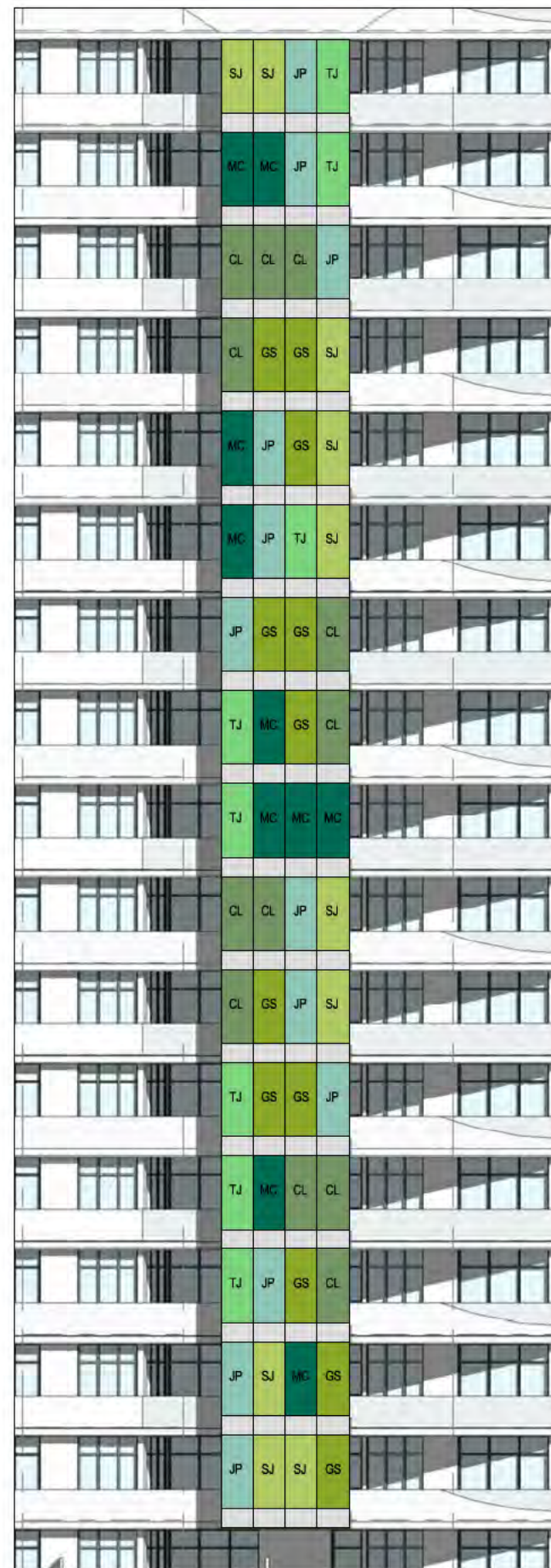
8 FURNITURE SCHEDULE

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<table border="1"> <thead> <tr> <th>ISSUE</th> <th>REASON FOR ISSUE</th> <th>DATE</th> <th>DESIGN</th> <th>DRAWN</th> <th>CHECKED</th> <th>APPROVED FOR ISSUE</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>ISSUE FOR DA - DRAFT</td> <td>28/11/2014</td> <td>PG</td> <td>PG/BC/AJ</td> <td>JE</td> <td>CS</td> </tr> <tr> <td>B</td> <td>ISSUE FOR DA</td> <td>30/11/2014</td> <td>PG</td> <td>PG/BC/AJ</td> <td>JE</td> <td>CS</td> </tr> <tr> <td>C</td> <td>ISSUE FOR DA - AS 9209</td> <td>22/01/2015</td> <td>PG</td> <td>PG/BC/AJ</td> <td>JE</td> <td>CS</td> </tr> </tbody> </table>	ISSUE	REASON FOR ISSUE	DATE	DESIGN	DRAWN	CHECKED	APPROVED FOR ISSUE	A	ISSUE FOR DA - DRAFT	28/11/2014	PG	PG/BC/AJ	JE	CS	B	ISSUE FOR DA	30/11/2014	PG	PG/BC/AJ	JE	CS	C	ISSUE FOR DA - AS 9209	22/01/2015	PG	PG/BC/AJ	JE	CS	<p>DRAWING STATUS: Warning: unless there is an authorized SPACELAB signature in the approved for issue column, this drawing is not approved for issue.</p> <p>COPYRIGHT: This drawing remains the property of SPACELAB Studio. It may be used for the purpose for which it was commissioned & in accordance with the terms of engagement for that commission. Unauthorised use of the drawing is prohibited.</p>	<p>CLIENT GEOCON BUILDING CANBERRA</p>	<p>CONSULTANTS SPACELAB CREATING PLACE FOR PEOPLE</p>	<p>PROJECT BLOCK 3 SECTION 209 GUNGAHLIN</p>	<p>DRAWING LANDSCAPE DETAILS SHEET 16</p>	<p>AS SHOWN</p>
ISSUE	REASON FOR ISSUE	DATE	DESIGN	DRAWN	CHECKED	APPROVED FOR ISSUE																												
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C	ISSUE FOR DA - AS 9209	22/01/2015	PG	PG/BC/AJ	JE	CS																												
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PROJECT No	DRAWING No	DATE	REVISION																															
14/1075	L805.5	DA	C																															



1 BUILDING A - GREEN WALL PLANTING



2 BUILDING B - GREEN WALL PLANTING



3 BUILDING C - GREEN WALL PLANTING

PLANTING LEGEND - Green Wall Building A (5+9) 505.1

SYM	Plant Species	Total	Boxes	Stock size	Rate
CL	Clematis armandii	12	6	200mm pot	2 /box
GS	Gelsemium sempervirens	22	11	200mm pot	2 /box
JP	Jasminum polyanthum	16	8	200mm pot	2 /box
TJ	Trachelospermum jasminoides	24	12	200mm pot	2 /box
SJ	Solanum jasminoides	18	9	200mm pot	2 /box
MC	Muehlenbeckia complexa	20	10	200mm pot	2 /box

Note: Building A comprises of 56 planter boxes in total.

PLANTING LEGEND - Green Wall Building B (5+9) 505.1

SYM	Plant Species	Total	Boxes	Stock size	Rate
CL	Clematis armandii	24	12	200mm pot	2 /box
GS	Gelsemium sempervirens	24	12	200mm pot	2 /box
JP	Jasminum polyanthum	24	12	200mm pot	2 /box
TJ	Trachelospermum jasminoides	16	8	200mm pot	2 /box
SJ	Solanum jasminoides	20	10	200mm pot	2 /box
MC	Muehlenbeckia complexa	20	10	200mm pot	2 /box

Note: Building B comprises of 64 planter boxes in total.

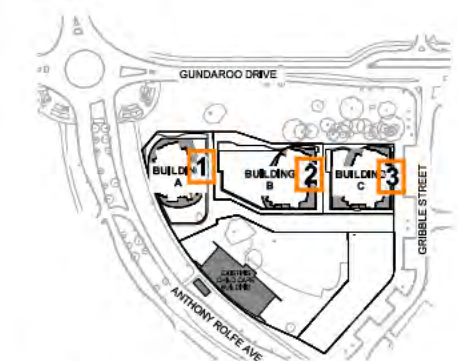
PLANTING LEGEND - Green Wall Building C (5+9) 505.1

SYM	Plant Species	Total	Boxes	Stock size	Rate
CL	Clematis armandii	20	10	200mm pot	2 /box
GS	Gelsemium sempervirens	18	9	200mm pot	2 /box
JP	Jasminum polyanthum	12	6	200mm pot	2 /box
TJ	Trachelospermum jasminoides	24	12	200mm pot	2 /box
SJ	Solanum jasminoides	12	6	200mm pot	2 /box
MC	Muehlenbeckia complexa	18	9	200mm pot	2 /box

Note: Building C comprises of 52 planter boxes in total.

KEY PLAN

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NOTE
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PODIUMS



Curved concrete seat walls/ podium planters with radial timber slats



Seating nodes that protrude into planted areas



Kidney shaped pool with windows



BBQ Island



Timber decking rest platform

STREETSCAPE/ URBAN INTERFACES



Hess VIGO lighting columns or similar



Metal sun shelters - solid texture



Metal sun shelters - perforated texture



Water feature into pool



Two-tone paving



Courtyard paving - concrete coloured sawcut



Pedestrian pathways between buildings



Precast concrete planter boxes



Standalone concrete/ timber bench seats



Grassing

GREEN WALLS



Mixed vines growing up tensile wire balcony to balcony to top of buildings



Cable trellis detail



Green wall buildings concept



Green wall buildings concept elevation

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A	ISSUE FOR DA - DRAFT	28/11/2014	PG	PG BC AJ	JE	CS
B	ISSUE FOR DA	05/12/2014	PG	PG BC AJ	JE	CS
C	ISSUE FOR DA - AS 3209	22/01/2015	PG	PG BC AJ	JE	CS

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PROJECT
BLOCK 3 SECTION 209
GUNGAHLIN

DRAWING
LANDSCAPE MATERIALS PALETTE
SHEET 13

AS SHOWN

PROJECT No	DRAWING No	ISSUE	REVISION
14/1075	L505.2	DA	C

1. PROPOSED TREE SPECIES



Fraxinus pennsylvanica 'Cimzam' Cimmaron



Magnolia grandiflora 'Exmouth'



Acer palmatum 'Osakazuki'



Ulmus parvifolia 'Todd'



Gleditsia triacanthos var. inermis 'Speczam' - Spectrum



Lagerstroemia x fauriei 'Fantasy'



Acer x freemanii 'Jeffersred' Autumn Blaze



Acer rubrum 'Bowhall'



Pyrus calleryana 'Bursnozam' Burgundy Snow

2. PROPOSED SHRUB AND PERENNIAL SPECIES



Dicksonia antarctica



Chrysocephalum apiculatum



Correa alba



Patersonia occidentalis



Rhodanthe anthemoides



Stachys byzantina



Westringia 'Blue Gem'



Camellia 'Pure Silk'



Gardenia radicans



Ficinia nodosa



Poa labillardieri 'Eskdale'



Carex appressa



Dianella caerulea 'Lucia'



Liriope muscari 'Evergreen Giant'



Acanthus mollis



Viburnum tinus



Hebe 'Otari Delight'

3. PROPOSED GROUND COVER SPECIES



Casuarina glauca 'Coush It'



Hardenbergia violacea 'Meema'



Thymus praecox 'Cocchineus'



Scaevola humilis 'Purple Fuslon'



Myoporum 'Yareena'

4. PROPOSED GREEN WALL SPECIES



Jasminum polyanthum



Muehlenbeckia complexa



Clematis armandii



Trachelospermum jasminoides



Gelsemium sempervirens



Solanum jasminoides

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ISSUE	REASON FOR ISSUE	DATE	DESIGN	DRAWN	CHECKED	APPROVED FOR ISSUE	DRAWING STATUS
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PROJECT
BLOCK 3 SECTION 209
GUNGAHLIN

DRAWING		AS SHOWN	
LANDSCAPE PLANTING PALETTE SHEET 12			
PROJECT No 14/1075	DRAWING No L505.1	ISSUE DA	REVISION C

PLANTING LEGEND - Podium B

PROPOSED TREES

SYM	Plant Species	TOT	Minimum Stock Size
UPt	Ulmus parvifolia 'Totid'	1	150L/3.5m
GTs	Gleditsia triacanthos 'Speczam'	2	150L/3.5m
LFt	Lagerstroemia fauriei 'Fantasy'	4	150L/3.5m
MgE	Magnolia grandiflora 'Exmouth'	5	100L/3m
PYc	Pyrus betulaefolia 'Southwood Dancer'	5	100L/3m
ApO	Acer palmatum 'Osakazuki'	4	100L/3m

Note: All trees to be anchored to roof structure.

PROPOSED SHRUBS/PERENNIALS

SYM	Plant Species	SPACING	TOT	Stock Size
WbG	Westringia 'Blue Gem'	0.5m	218	200mm pot
CoA	Cornus alba	0.5m	99	200mm pot
ChA	Chrysocephalum apiculatum	0.5m	108	200mm pot

PROPOSED GROUNDCOVERS

SYM	Plant Species	Total Area	Stock size	Rate	
CG	Casuarina glauca 'Cousin It'	80	79.2m ²	140mm pot	2 / m ²
HM	Hardenbergia 'Meena'	15	131.2m ²	140mm pot	2 / m ²
MY	Myoporum parviflorum 'Yareena'	21	79.2m ²	140mm pot	2 / m ²
SH	Scaevola humilis 'Purple Fusion'	40	131.5m ²	140mm pot	2 / m ²
TS	Thymus praecox 'Cocodineus'	116	79.2m ²	140mm pot	9 / m ²

PROPOSED GRASSES AND FLAXES

SYM	Plant Species	Total Area	Stock size	Rate	
CA	Carex appressa	339	79.2m ²	140mm pot	6 / m ²
DL	Dianella caerulea 'Luide'	151	131.2m ²	140mm pot	6 / m ²
FN	Filipendula nodosa	313	79.2m ²	140mm pot	6 / m ²
PE	Poa labillardieri 'Eskdale'	285	131.5m ²	140mm pot	6 / m ²

OTHER PLANTINGS

SYM	Plant Species	Total Area	Stock size	Rate	
PG	Patersonia occidentalis	150	79.2m ²	140mm pot	6 / m ²
RA	Rhodanthe 'Paper Star'	40	131.5m ²	140mm pot	6 / m ²
SB	Stachys byzantina	34	79.2m ²	140mm pot	6 / m ²

GENERAL NOTES:

ENSURE ALL PLANTINGS ADJACENT PATHS AND DRIVEWAYS ARE PLANTED CC MATURE WIDTH OF PLANT (AS SHOWN) + 0.2m SETBACK.

ALL PLANTING TO BE IRRIGATED.

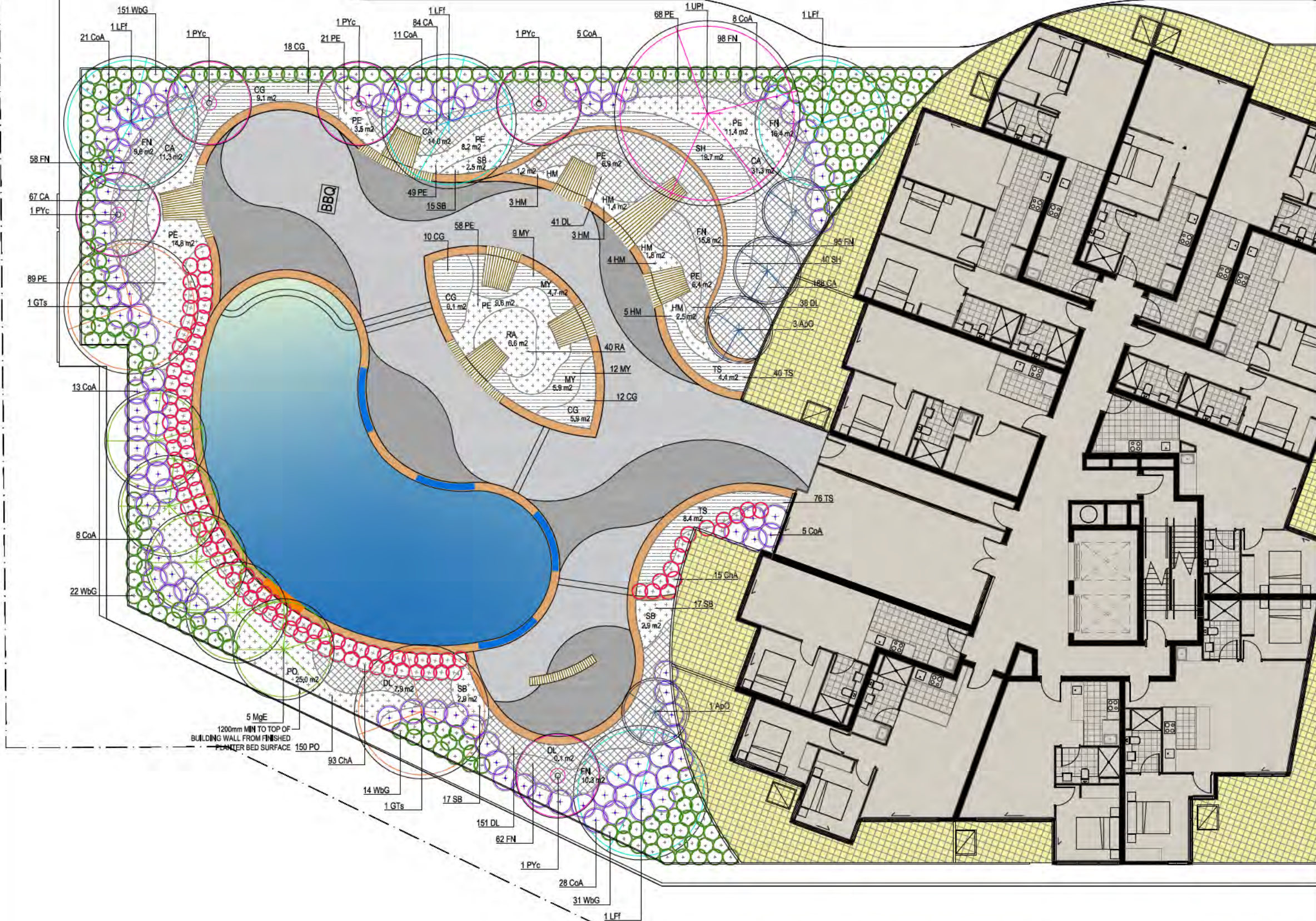
KEY PLAN

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



















CONSULTANTS
SPACELAB
CREATING TIMELESS PLACES

PROJECT
BLOCK 3 SECTION 209
GUNGAHLIN
BUILDING B PODIUM

DRAWING	PROJECT No	DRAWING No	ISSUE	REVISION
PLANTING PLAN SHEET 6	14/1075	L502.1	DA	C



SURFACES LEGEND

-  CANOPY TREES
Refer to planting plan for species
-  METAL SUN SHELTER
Single pole fitting
-  TIMBER DECKING SEATING PLATFORM
-  TIMBER SLATS OVER CONCRETE SEATWALL
-  PAVING TYPE 1: Non-slip finish
-  PAVING TYPE 2: Non-slip finish
-  PUBLIC CONCRETE FOOTPATH
-  COLOURED CONCRETE TYPE 1: Sawcut as detailed
-  COLOURED CONCRETE TYPE 2: Sawcut as detailed
-  PRIVATE COURTYARD PAVING
PAVING TYPE 1: Non-slip finish
-  400mm WIDE CONCRETE SEATWALL
-  200mm WIDE CONCRETE PLANTER WALL
-  450mm DEEP PLANTER BED
-  900mm DEEP PLANTER BED
-  PLANTED RAIN GARDEN
-  NATURAL PLANTER BED
-  BARBEQUE
-  SCULPTURAL LIGHT POLE LOCATION
-  TREE PIT
-  SUPPLY AND INSTALL SARAH BENCH SEAT
BY BOTTOM AND GARDINER
-  ACCESS GATE FROM PRIVATE COURTYARD
TO PUBLIC PATHWAY
-  PATH CENTERLINE
-  ACCESS ROAD - TO ENGINEERS DETAILS
-  900mm RELATIVE LEVEL
-  1% MIN SLOPE / FALL
-  CONCRETE STEPS
-  GLASS POOL WALL
-  WATER WALL INTO POOL

KEY PLAN

NOT TO SCALE



NOTE
Preliminary works by other consultants shown on these drawings are for site context only and are indicative. Subject to change based on this assessment.

NOT FOR CONSTRUCTION



ISSUE	REASON FOR ISSUE	DATE	DESIGN	DRAWN	CHECKED	APPROVED FOR ISSUE
A	ISSUE FOR DA - DRAFT	28/11/2014	PG	PG BC AJ	JE	CS
B	ISSUE FOR DA	09/12/2014	PG	PG BC AJ	JE	CS
C	ISSUE FOR DA - AS 3/209	22/01/2015	PG	PG BC AJ	JE	CS

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CLIENT
GEOCON
BUILDING CANBERRA

CONSULTANTS
SPACELAB
CREATING TIMELESS PLACES

pvh
parks & vegetation

PROJECT
BLOCK 3 SECTION 209
GUNGAHLIN
BUILDING B PODIUM

PROJECT No	DRAWING No	ISSUE	REVISION
14/1075	L501.1	DA	C



BLOCK 3 SECTION 209 GUNGAHLIN LANDSCAPE WORKS

14/1075

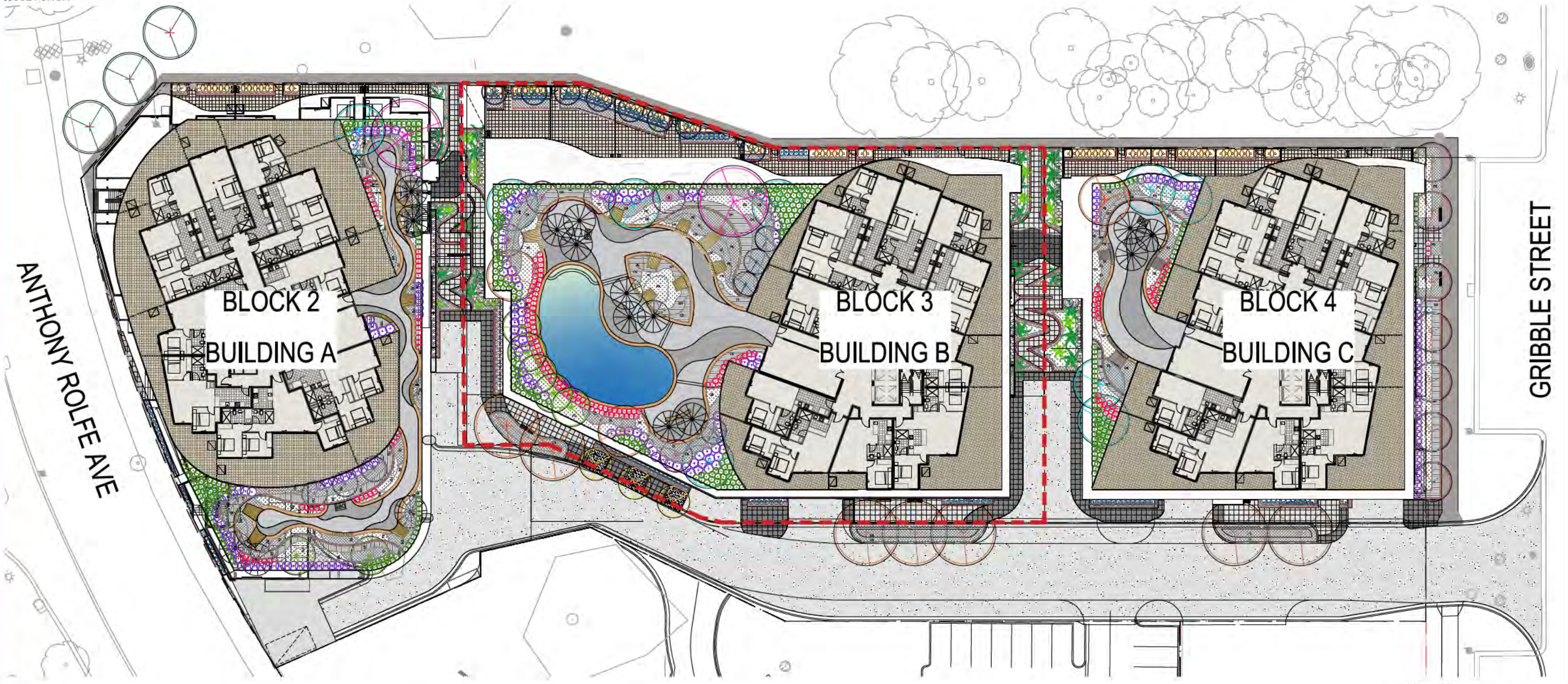
ISSUE DATE: 22.01.2015
ISSUE: C
ISSUE FOR DA



DRAWING SCHEDULE

LANDSCAPE DRAWINGS:

Drawing NO.	Drawing Title	Scale @A1	Rev	Drawing NO.	Drawing Title	Scale @A1	Rev
L501.1	SURFACES, SETOUT AND GRADING- SHEET 1	1:100	C	L505.1	LANDSCAPE MATERIALS PALETTE - SHEET 12	Varies	C
L501.2	SURFACES, SETOUT AND GRADING- SHEET 2	1:100	C	L505.2	LANDSCAPE DETAILS- SHEET 13	Varies	C
L501.3	SURFACES, SETOUT AND GRADING- SHEET 3	1:100	C	L505.3	LANDSCAPE DETAILS- SHEET 14	Varies	C
L501.4	SURFACES, SETOUT AND GRADING- SHEET 4	1:100	C	L505.4	LANDSCAPE DETAILS- SHEET 15	Varies	C
L501.5	SURFACES, SETOUT AND GRADING- SHEET 5	1:100	C	L505.5	LANDSCAPE DETAILS- SHEET 16	Varies	C
L502.1	PLANTING PLAN- SHEET 6	1:100	C	L505.6	LANDSCAPE MASTER PLAN - SHEET 17	1:300	C
L502.2	PLANTING PLAN- SHEET 7	1:100	C	L506.1	LANDSCAPE MANAGEMENT AND PROTECTION PLAN - SHEET 18	1:300	D
L502.3	PLANTING PLAN- SHEET 8	1:100	C				
L502.4	PLANTING PLAN- SHEET 9	1:100	C				
L502.5	PLANTING PLAN- SHEET 10	1:100	C				
L502.6	PLANTING PLAN- SHEET 11	1:100	C				




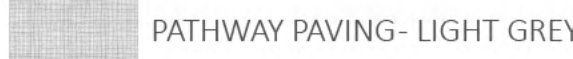






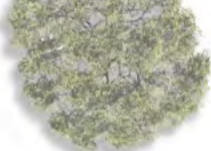




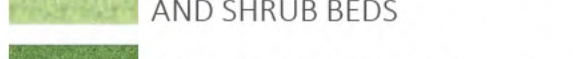
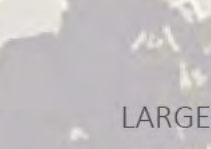

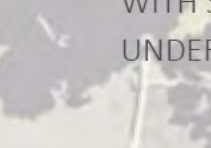



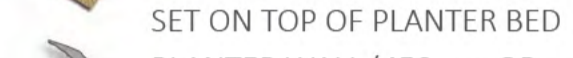


BLOCK 3 SECTION 209 GUNGAHLIN LANDSCAPE - CONTEXT PLAN

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LEGEND

- | | | | |
|---|--|---|---|
|  | PUBLIC LANDSCAPE TREES (GROUND FLOOR) |  | PRIVATE COURTYARD PAVING |
|  | LARGE ORNAMENTAL TREES ON CORNERS WHERE APPROPRIATE |  | PATHWAY PAVING- LIGHT GREY |
|  | MEDIUM ORNAMENTAL TREES ON INTERNAL ROAD BUFFER |  | PATHWAY PAVING- CHARCOAL |
|  | ORNAMENTAL TREES TO MATCH TREES ON SOUTHERN ROAD |  | INTERNAL ACCESS ROAD |
|  | TREE FERNS (THROUGH PUBLIC WALKWAYS) |  | ROOF LINE |
|  | PRIVATE COURTYARD TREES (GROUND FLOOR) |  | INDICATIVE BUILDING AND COURTYARDS ON PODIUM |
|  | SMALL ORNAMENTAL TREES |  | PLANTING IN PLANTER BOXES AND SHRUB BEDS |
|  | PODIUM TREES (PODIUM LEVELS) |  | PRIVATE COURTYARD PLANTING |
|  | MEDIUM ORNAMENTAL TREES TO BE PLANTED IN 900mm DEEP PLANTERS |  | SCULPTURAL CORTEN SHADE STRUCTURE |
|  | SMALL ORNAMENTAL TREES TO BE PLANTED IN 900mm DEEP PLANTERS |  | LIGHTING ELEMENT |
| | |  | BARBECUE |
| | |  | INTEGRATED TIMBER BENCH- SET ON TOP OF PLANTER BED PLANTER WALL (450mm OR 900mm HIGH) |
| | |  | PUBLIC BENCH SEAT |





Consultant Advice

From: [REDACTED] **Date:** 5 Dec. 14 **File No:** C09394001W-21\ca141114m0002 **Pages:** 8
Project: **Blocks 2,3,4 Section 209 Gungahlin - Gungahlin Development** **No:** **J-001[3.0]**

	Attention	Company	Email
To:	[REDACTED]	Geocon Constructors Pty Ltd	[REDACTED]@geocon.com.au

Acoustics - Development Approval Acoustics

This document addresses the following acoustic items relating to Blocks 2, 3, and 4, Section 209 Gungahlin.

- Noise emitted by the proposed development;
- Noise ingress into the development;
- Noise control within the development;
- Sound insulation criteria.

The acoustic requirements of the following documents are addressed:

- Environment Protection Regulation (2005)
- Multi Unit Housing Development Code (June 2014)
- Commercial Zones Development Code (June 2014)
- AS/NZS 2107:2000 Acoustics – Recommended design sound levels and reverberation times for building interiors;
- AS/NZS 3671 Acoustics – Road traffic noise intrusion – Building siting and design;
- National Construction Code of Australia

PROPOSED DEVELOPMENT

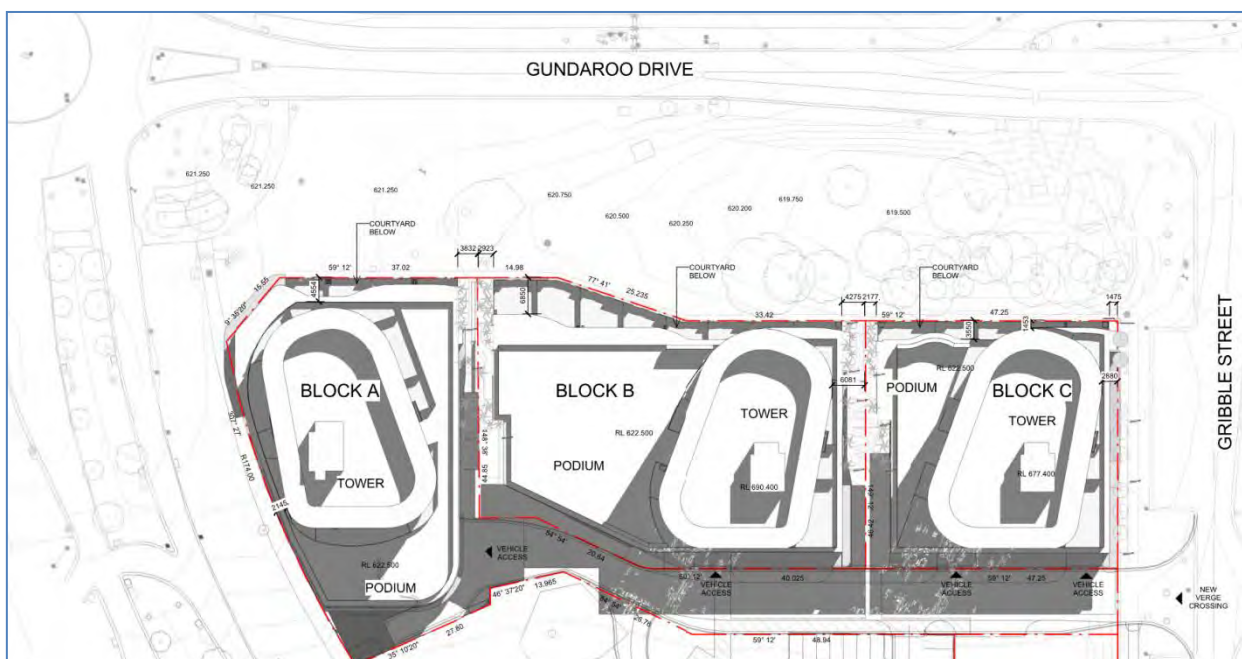
The development comprises three buildings (buildings A to C) with primarily car parking and residential areas, and some retail spaces as follows:

Building A: Basement car parking. Retail, apartments, and car parks on ground floor. Apartments and car parks in podium levels 1-4. Apartments in the tower from level 5 and above.

Building B: Basement car parking. Apartments and car parks in podium levels G-4. Apartments in the tower from level 5 and above.

Building C: Basement car parking. Apartments and car parks in podium levels G-4. Apartments in the tower from level 5 and above.

The image below shows the location of these buildings in relation to the nearby roads:



ENVIRONMENTAL NOISE LIMITS

ACT Environment Protection Regulation

Noise in the ACT is required to comply with the limits set in Part 3: Noise of the Environment Protection Regulation 2005 (EPR) made under the Environment Protection Act 1997 (EPA).

The process for establishing compliance under this Regulation involves:

- Establishing the zoning for the development, based on the Territory Plan and table 2.1 from the EPR.
- Establishing the zoning noise standard for the development based on the zoning and the limits set in table 2.2 from the EPR. These are in terms of $L_{10,T}$ in dB(A).
- Identifying any modifications to the noise standard based on the compliance point (generally no change where the compliance point is at the boundary, but a reduction of 5dB where the compliance point is the other side of a common wall), or zoning boundaries (an average of the two limits at the boundary of two zones).

Noise Standards at Proposed Development

The proposed development at Blocks 2, 3, and 4, Section 209 Gungahlin are zoned CZ2 Business Zone. Adjacent blocks in Section 209 are also zoned CZ2.

Section 209 is within the Gungahlin Town Centre area as shown in the Gungahlin Town Centre Precinct Code.

The land to the southwest across Anthony Rolfe Avenue is zoned CZ3: Services Zone and TSZ1 Transport Zone; this land also lies within the Gungahlin Town Centre.

The land to the north across Gundaroo Drive is zoned RZ1 and PRZ1.

Land within the Town Centre comes under Noise Zone B from Table 2.1 of the EPR, so the limits for Noise Zone B from Table 2.2 of the EPR will apply to other sites within the Town Centre.

The land to the north across Gundaroo Drive comes under Noise Zone G from Table 2.1 of the EPR, so an average the limits for Noise Zones B and G from Table 2.2 of the EPR will apply to the north.

The resulting noise standards for the site are tabled below:



Table 1 - Boundary Noise Limits

Boundary	Noise standard (dB(A))	
	Monday-Saturday 7am-10pm Sunday and public holiday 8am-10pm	Monday-Saturday 10pm-7am Sunday and public holiday 10pm-8am
Areas within the Gungahlin Town Centre	60	50
Sites across Gundaroo Drive to the north	53	43

NOISE EMISSION

There are no proposed major noise emitters as part of the development. We expect the primary noise source will be plant noise from the residences.

Plant Noise

The primary noise source from the development will be plant noise.

The apartments will be air conditioned with split systems and balcony mounted condensers.

It is unlikely that the split system condensers will exceed the noise standards, however the final equipment selection must be checked and treatment provisions implemented if required.

The other main plant items will be associated with the fire systems, such as fire pumps and stair pressurisation fans – these will normally be operated only for short periods for testing.

These items and any other plant noise will be analysed and acoustically controlled to meet the relevant noise standards through a combination of:

- Attenuators
- Selection of low noise equipment where appropriate
- Appropriate location of plant equipment
- Noise barriers around plant spaces

With these methods, the plant equipment for the development will be readily able to comply with the noise standards.

Retail Noise

There are two retail units proposed in Building A. These can be seen on the sketch excerpt below:



The Commercial Zone Development Code, rule R23, requires a Noise Management Plan for any “club, drink establishment, emergency services facility, hotel, indoor recreation facility, industry (except light industry), indoor entertainment facility, outdoor recreation facility, restaurant”.

The permitted purposes under the Lease do not include drink establishments, which would be potentially loud noise emitters and would require additional acoustic attenuation. The permitted purposes do include community use, indoor recreation, non-retail commercial use, restaurant, and shops.

None of these uses will be significant emitters of noise to other sites across Gundaroo Drive or Anthony Rolfe Ave, particularly given the limited size of the tenancies (the largest being 90m²).

No specific provisions will be required to control noise emission to within the noise standards.

The proposed residences at ground level facing Gundaroo Drive are flexible use spaces which could in future be used as non-residential tenancies. As with the dedicated retail spaces, the relatively small size of these spaces will limit the noise generating potential of the allowed uses and no specific provisions will be required to control noise emission to within the noise standards.

Separation between residential and non-residential uses within the development is discussed later in this report.

NOISE INGRESS

Criteria – Multi Unit Housing Development Code

The site is located in a Commercial Zone and is thus covered by R67 of the ACT Multi Unit Housing Development Code. R67 requires dwellings located in a commercial zone to be constructed to comply with the relevant sections of AS/NZS 2107:2000 *Acoustics – Recommended design sound levels and reverberation times for building interiors* (“Satisfactory” limits) and AS/NZS 3671 *Acoustics – Road traffic noise intrusion – Building siting and design*.

AS/NZS 2107:2000 sets recommended internal noise levels for various buildings. AS/NZS 3671 sets methods to meet the noise levels in AS/NZS 2107. These methods include seeking specialist acoustic advice, which will be provided by NDY on this job.

The table below excerpts some of the relevant criteria from AS/NZS 2107:2000:



Table 2 - Internal Noise Criteria

Type of occupancy		Internal Noise Criteria (L_{eq} , dBA)
APARTMENTS		
Living Areas		35
Sleeping Areas	Night time (10pm - 7am)	30
Bathrooms / Toilets / Laundries / Corridors / Kitchens (when not adjoined to living areas)		45
COMMUNAL AREAS		
Corridors / Lobbies		45-55
Enclosed Carpark		65

External Noise Levels

We have conducted assessments of the existing noise levels in the area in order to provide advice on the required constructions to achieve the internal noise levels above.

Traffic Noise

Traffic noise measurements were undertaken on the evening of 10 November 2014 between 5 pm and 6 pm, and on the morning of 11 November 2014 between 8 am and 9 am.

Measurements were taken in two locations:

- At the proposed location of Building A closest to the intersection of Anthony Rolfe Ave and Gundaroo Drive.
- At the proposed location of Building C closest to Gundaroo Drive.

Both of these locations are set back somewhat from the respective roads, which reduces the level of traffic noise exposure at the apartments.

The highest measured levels in each location were:

- 56 dBA Leq at the Building A location
- 55 dBA Leq at the Building C location

Noise from Other Developments

Developments adjacent to the proposed buildings will be subject to the same noise standards, i.e. 45 dBA during the day and 35 dBA at night. These levels are significantly below the measured traffic noise, so the design will be based on the traffic noise levels.

Glazing

Based on the estimated noise allowances for traffic and other sources, we propose the following glazing to meet the internal noise levels. Options have been provided for single or double glazing.



Table 3 - Preliminary Glazing Options

Location	Required Glazing: Single Glazed Option	Required Glazing: Double Glazed Option	Glazing Performance (Rw)
Bedrooms, Building A: Facing Gundaroo Dr or Anthony Rolfe Ave, Levels G-4	12.76mm	6mm + 10.38mm at 12mm air gap	36
Bedrooms, Building A: Facing Gundaroo Dr or Anthony Rolfe Ave, Levels 5 and above; Or not facing roads, all levels.	10.38mm	6mm + 6.38mm at 12mm air gap	35
Living Areas, Building A	6.38mm	6mm + 6.38mm at 12mm air gap	33
Bedrooms, Buildings B and C	10.38mm	6mm + 6.38mm at 12mm air gap	35
Living Areas, Buildings B and C	6.38mm	6mm + 6.38mm at 12mm air gap	33

MECHANICAL SERVICES NOISE WITHIN DEVELOPMENT

An appropriate standard to adopt for this building is AS/NZS 2107:2000 *Acoustics—Recommended design sound levels and reverberation times for building interiors*.

This standard should be adopted for mechanical systems noise in the residences.

SOUND ISOLATION FOR RESIDENCES

This section addresses the mandatory airborne and impact sound ratings for the residential development.

NCC – National Construction Code

The NCC sets minimum building construction performance standards required for multiple occupancy dwellings to control of the standard of sound isolation between spaces. Compliance with the NCC requires either that the adopted constructions are those scheduled as “Deemed to Satisfy” within the NCC, or if alternative constructions are implemented, that these achieve a specified acoustic rating.

The following table summarises the performance requirements for the development.

Table 4 - Residential Intertenancy Design Criteria

	Min Airborne Insulation Rating	Max Impact Insulation Rating
Sound Insulation For Floors		
Separating dwellings	$R_w + C_{tr}$ 50	$L_{n,w} + C_i$ 62
Separating a dwelling from a plantroom, lift shaft, stairway, public corridor, public lobby, parts of a different classification etc.	$R_w + C_{tr}$ 50	$L_{n,w} + C_i$ 62
Separating a balcony from a dwelling below	-	$L_{n,w} + C_i$ 62



	Min Airborne Insulation Rating	Max Impact Insulation Rating
Sound Insulation for Walls		
Separating dwellings, generally	$R_w + C_{tr}$ 50	-
Separating a habitable room in one dwelling from a bathroom, sanitary compartment, laundry or kitchen in an adjoining dwelling	$R_w + C_{tr}$ 50	Discontinuous
Separating a dwelling from a stairway, public corridor, public lobby, etc.	R_w 50	-
Separating a dwelling from a plantroom or lift shaft	R_w 50	Discontinuous
Between a carpark and an apartment	R_w 50	Discontinuous
Separating rooms within the same dwelling	No specific requirements	-
Door separating a dwelling from a stairway, public corridor, public lobby, etc.	R_w 30	-
Sound Insulation for Services		
Riser, wall or ceiling construction separating a duct, soil, waste, storm water or water supply pipe passing through more than one dwelling from - - a habitable room - a non-habitable room or kitchen	$R_w + C_{tr}$ 40 $R_w + C_{tr}$ 25	- -
Electrical outlets located in a wall separating dwellings	Use acoustically rated backing box. If outlets are to occur back-to-back in lightweight wall construction, they must be offset by 600mm or boxed out with plasterboard or loaded vinyl.	
Circulating or other pumps	Flexible coupling required	

Separation of Residential and Non-Residential Areas

There are a number of areas where residences sit directly horizontally or vertically adjacent to retail or car park areas. Appropriate constructions will be required to protect the residences from noise in the car park and retail areas and to meet the NCC requirements.

Separation of Car Park and Residences

We recommend the following items to provide an adequate degree of separation between the car park and apartments:

- Vertical separation: Meet the minimum sound insulation requirements of the NCC. This requires minimum airborne sound insulation performance of $R_w + C_{tr}$ 50 between residential and non-residential uses. An acceptable construction to achieve this performance consists of:
 - 150mm concrete slab between car park and residential,
 - 13mm plasterboard ceiling on furring channels to the underside of the slab,
 - 50mm 11kg/m³ insulation to the cavity.
- Horizontal separation: Meet the minimum sound insulation requirements of the NCC and provide a discontinuous construction. The Code requires minimum airborne sound insulation performance of $R_w + C_{tr}$



50 between residential and non-residential uses – the construction we recommend achieves a higher performance of $R_w + C_{tr}$ 50. An acceptable construction to achieve this performance consists of:

- 150mm concrete wall between car park and residential,
 - 64mm studs on the residential side, spaced 20mm off the concrete and with 50mm 11kg/m³ insulation to the cavity,
 - 13mm plasterboard to the residential side of the partition.
- Provide a broom finish on the car park floor to minimise tyre squeal.

Separation of Retail and Residences

The retail tenancies on Ground level in Building A are adjacent to and below residential apartments.

We recommend the following items to provide an adequate degree of separation between these retail spaces and the residences adjacent:

- Vertical separation: Meet the minimum sound insulation requirements of the NCC. This requires minimum airborne sound insulation performance of $R_w + C_{tr}$ 50 between residential and non-residential uses. It also requires impact noise protection of not less than $L_{nT,w} + C_i$ 62 from the residential to the retail. An acceptable construction consists of:
 - EITHER Carpeted floor, OR Hard floor surface (e.g. tiles) on 3mm Damtec, 3mm Embelton Impactamat underlay, or equivalent.
 - 150mm concrete slab
 - 13mm plasterboard ceiling on furring channels to the underside of the slab
 - 50mm 11kg/m³ insulation to the cavity.
 - Note the insulation may be omitted if the ceiling is suspended 230mm or more below the slab
- Horizontal separation: Meet the minimum sound insulation requirements of the NCC and provide a discontinuous construction. The Code requires minimum airborne sound insulation performance of R_w 50 between residential and non-residential uses – the construction we recommend achieves a higher performance of $R_w + C_{tr}$ 50. An acceptable construction to achieve this performance consists of:
 - 13mm plasterboard on furring channels to the retail side, with 11kg/m³ insulation to the cavity,
 - 150mm concrete wall,
 - 64mm studs on the residential side, spaced 20mm off the concrete and with 50mm 11kg/m³ insulation to the cavity,
 - 13mm plasterboard to the residential side of the partition.

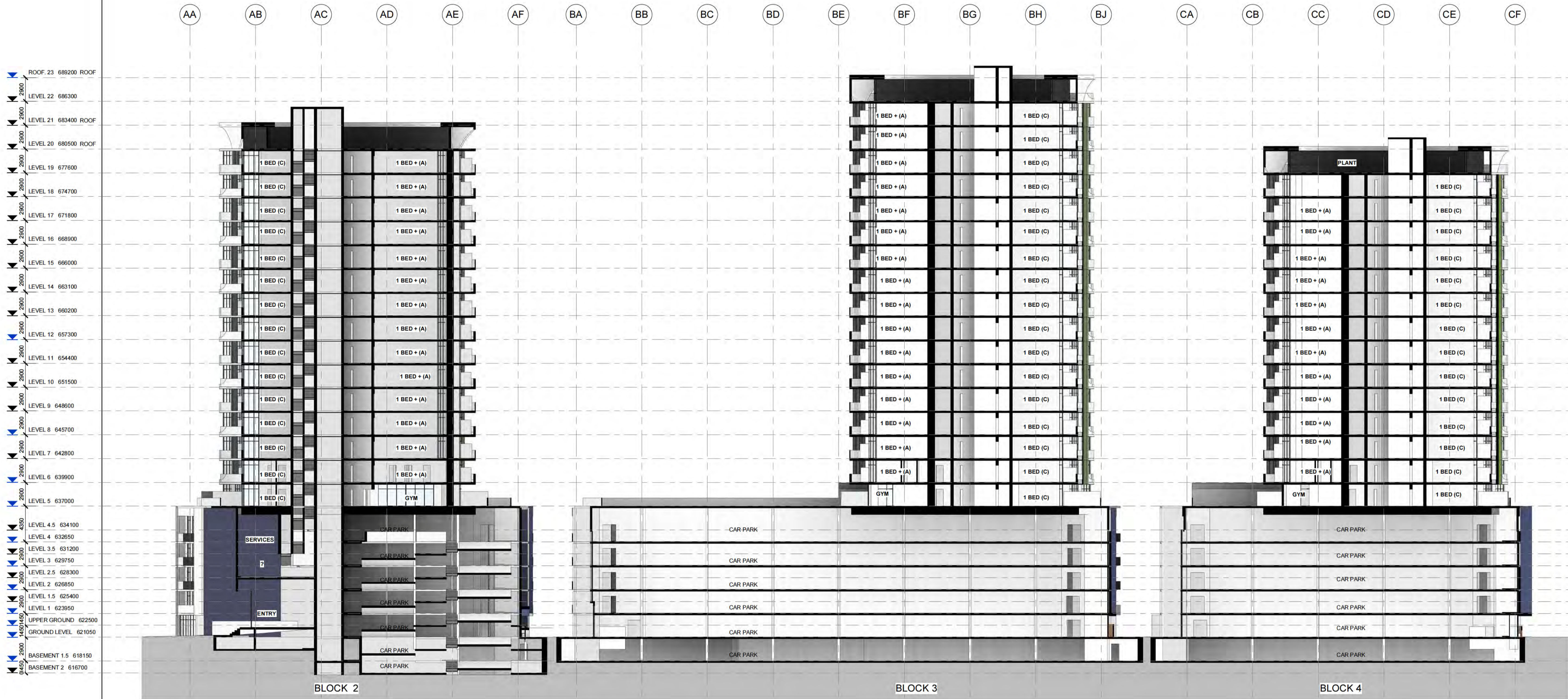
SUMMARY

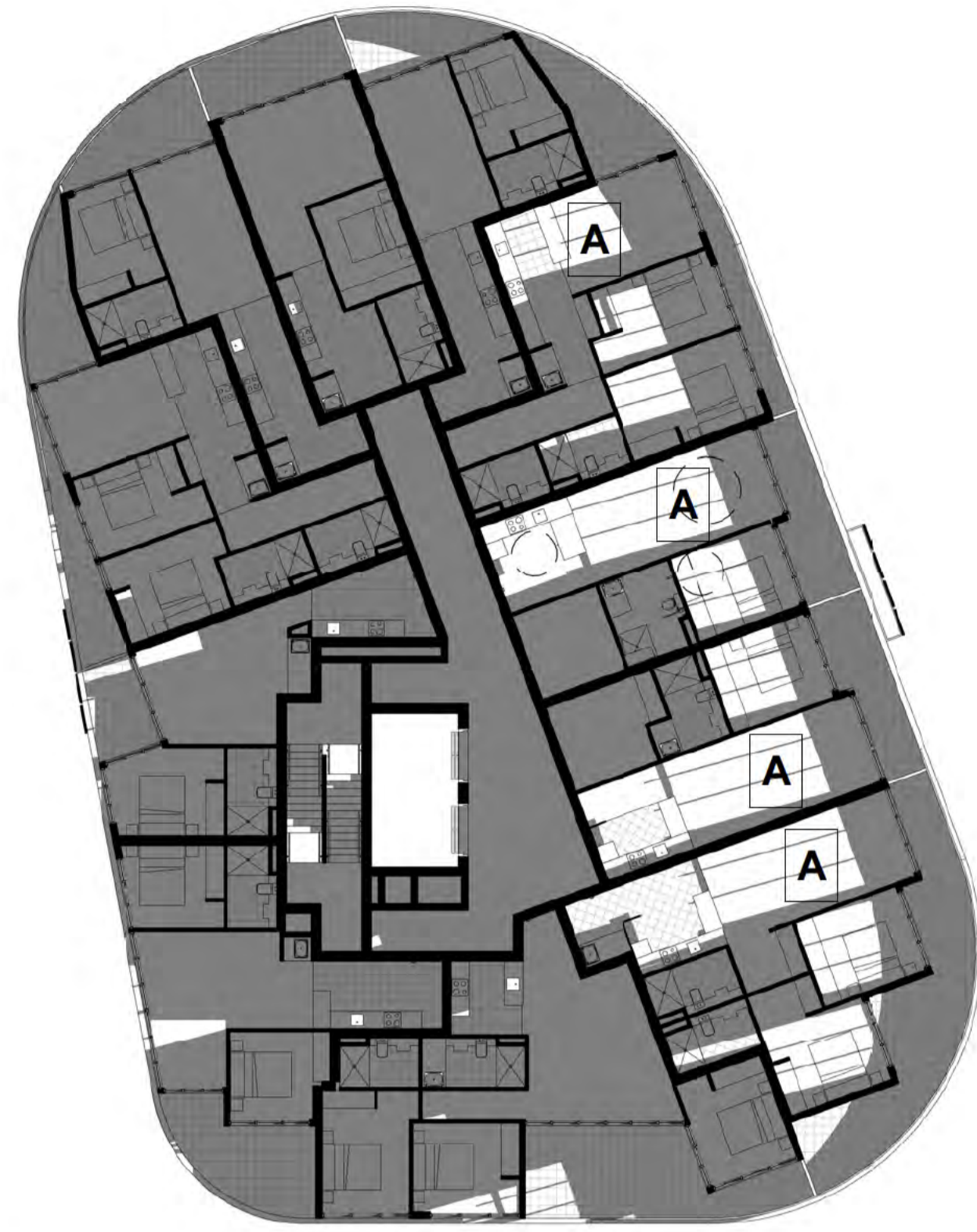
- The noise emissions from the proposed development will be minimal and will readily comply with the EPR
- This document makes a number of recommendations for glazing (to control noise intrusion), and building constructions to separate the residential and non-residential parts of the development. These recommendations should be adopted as part of the design.

We trust this information is of assistance; please do not hesitate to contact the author with any queries.

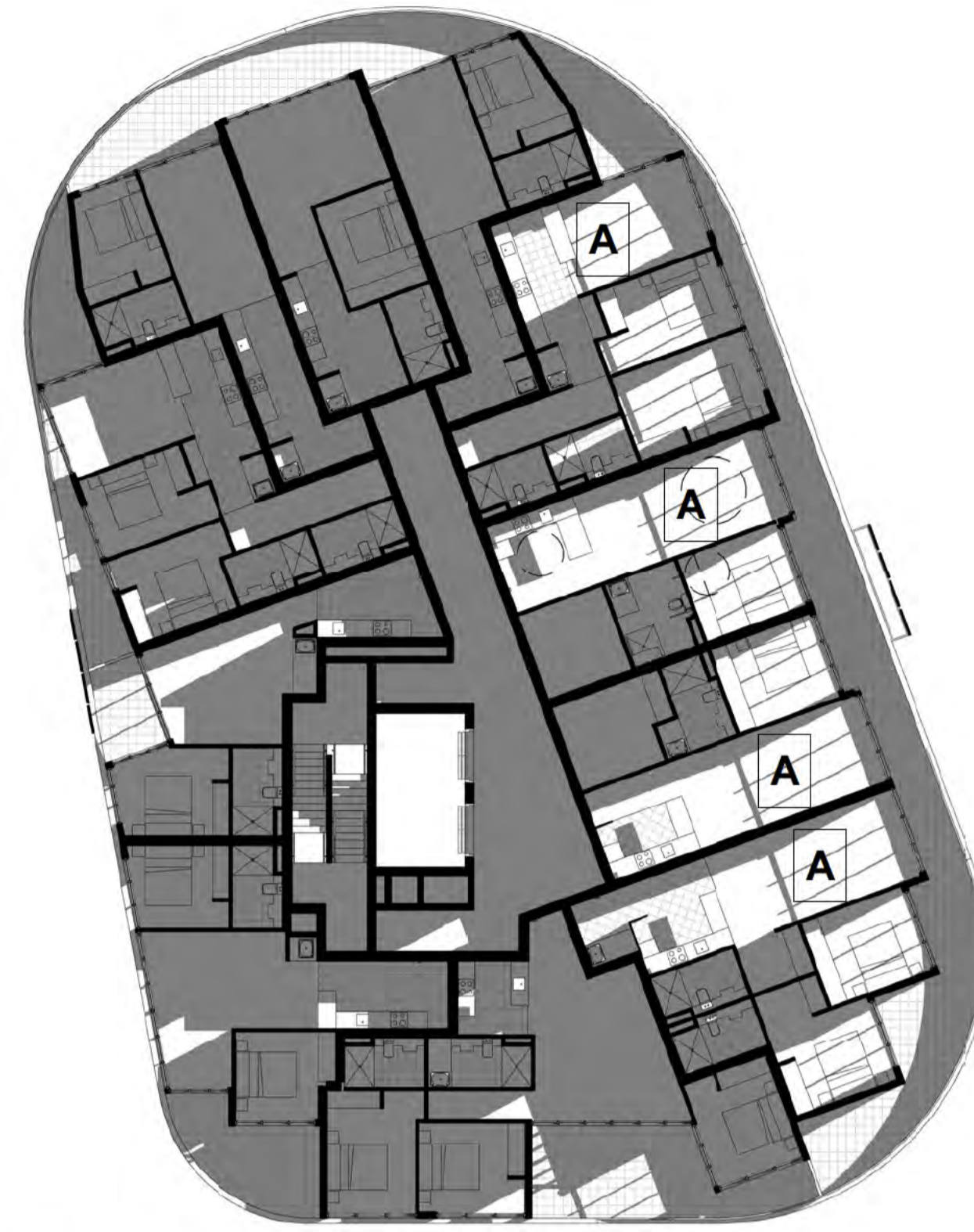
NORMAN DISNEY & YOUNG

Thomas Warren
Acoustic Consultant
@ndy.com

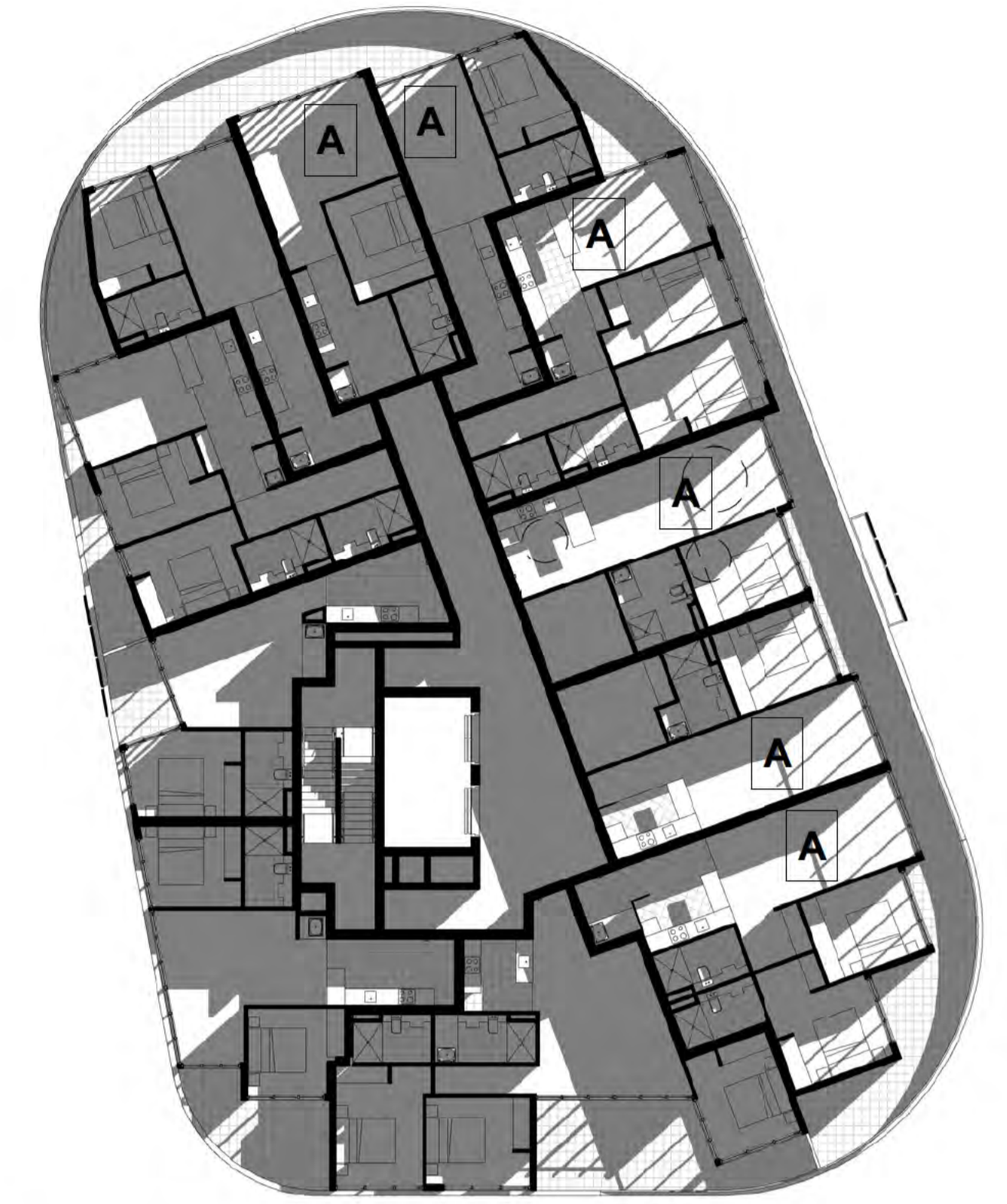




1 Build (A) Tower Level 6 - 9am X

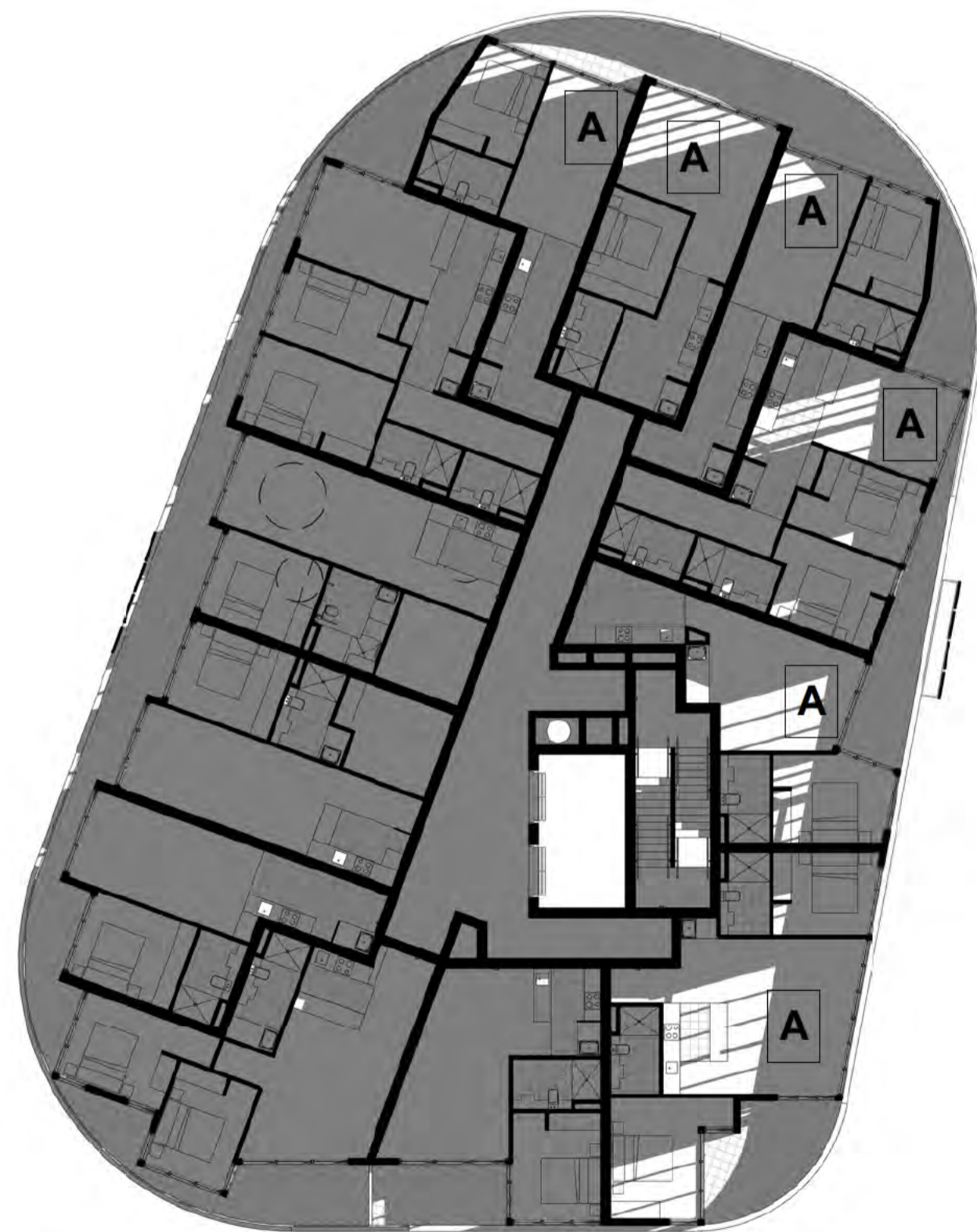


2 Build (A) Tower Level 6 - 10am

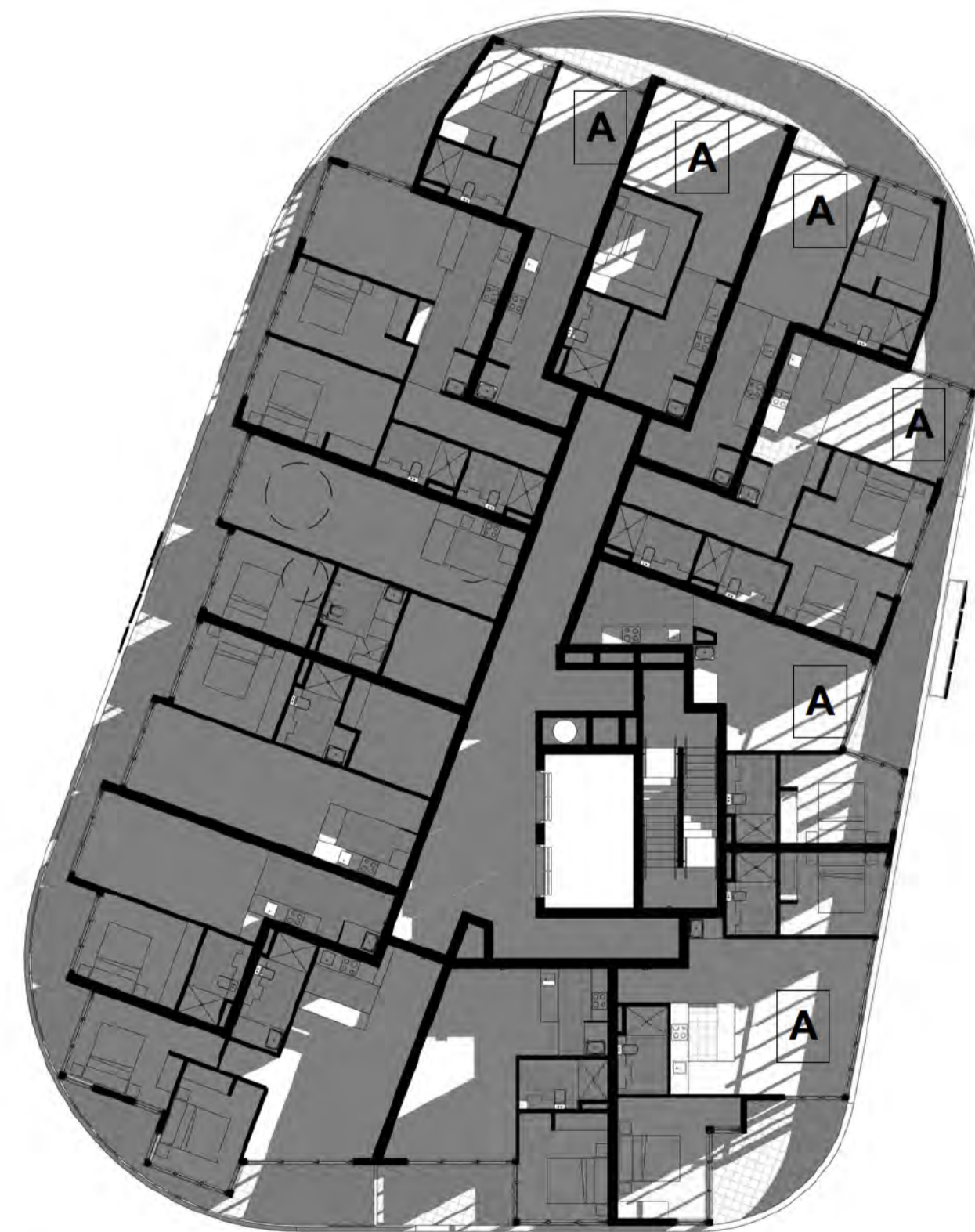


3 Build (A) Tower Level 6 - 11am

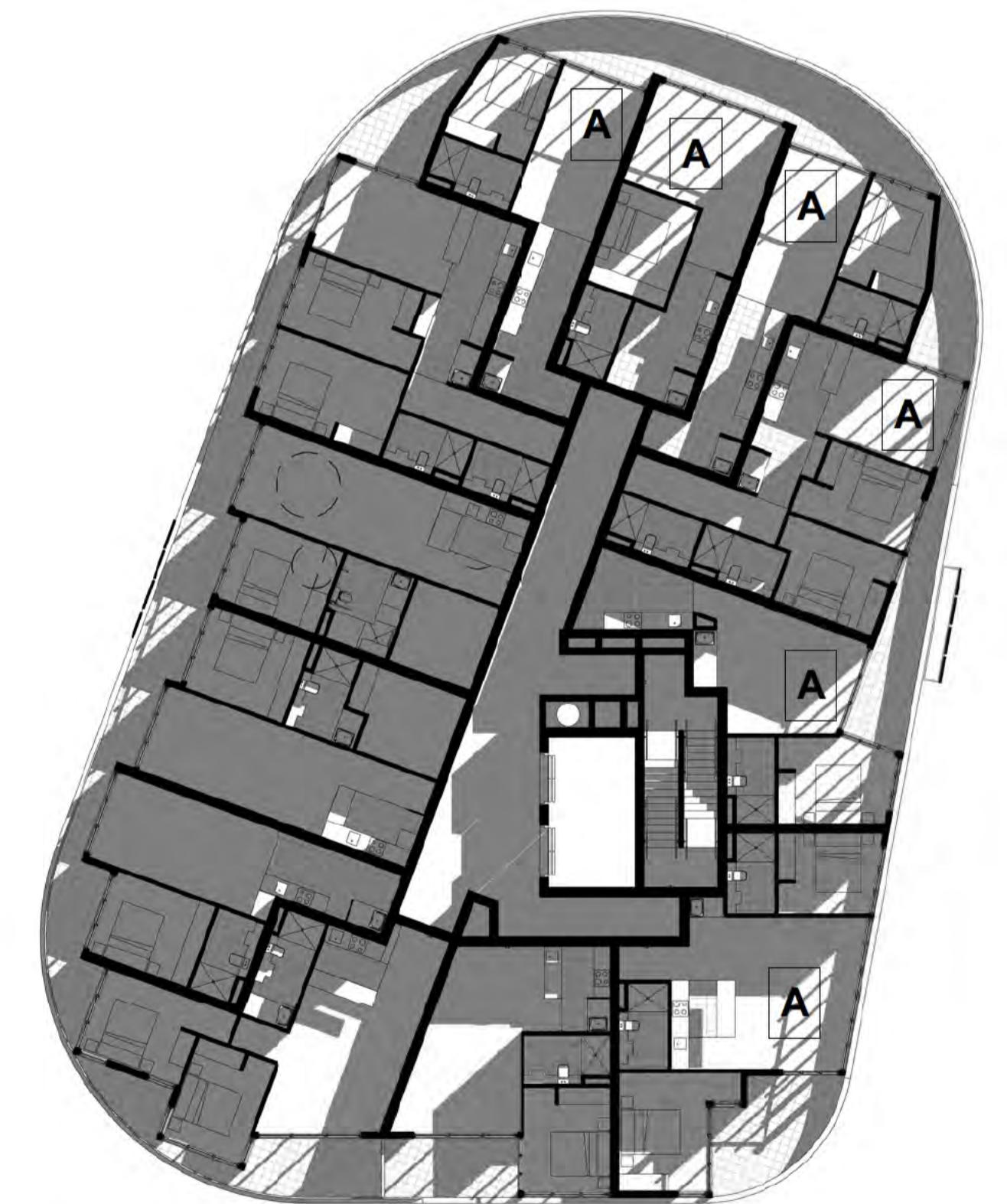
CATEGORY A = UNITS EXPOSED TO NOT LESS THAN 3 HOURS OF DIRECT SUNLIGHT BETWEEN 9AM AND 3PM ON THE WINTER SOLSTICE (JUNE 21)
 CATEGORY B= UNITS EXPOSED TO NOT LESS THAN 2 HOURS OF DIRECT SUNLIGHT BETWEEN 9AM AND 3PM ON THE WINTER SOLSTICE (JUNE 21)



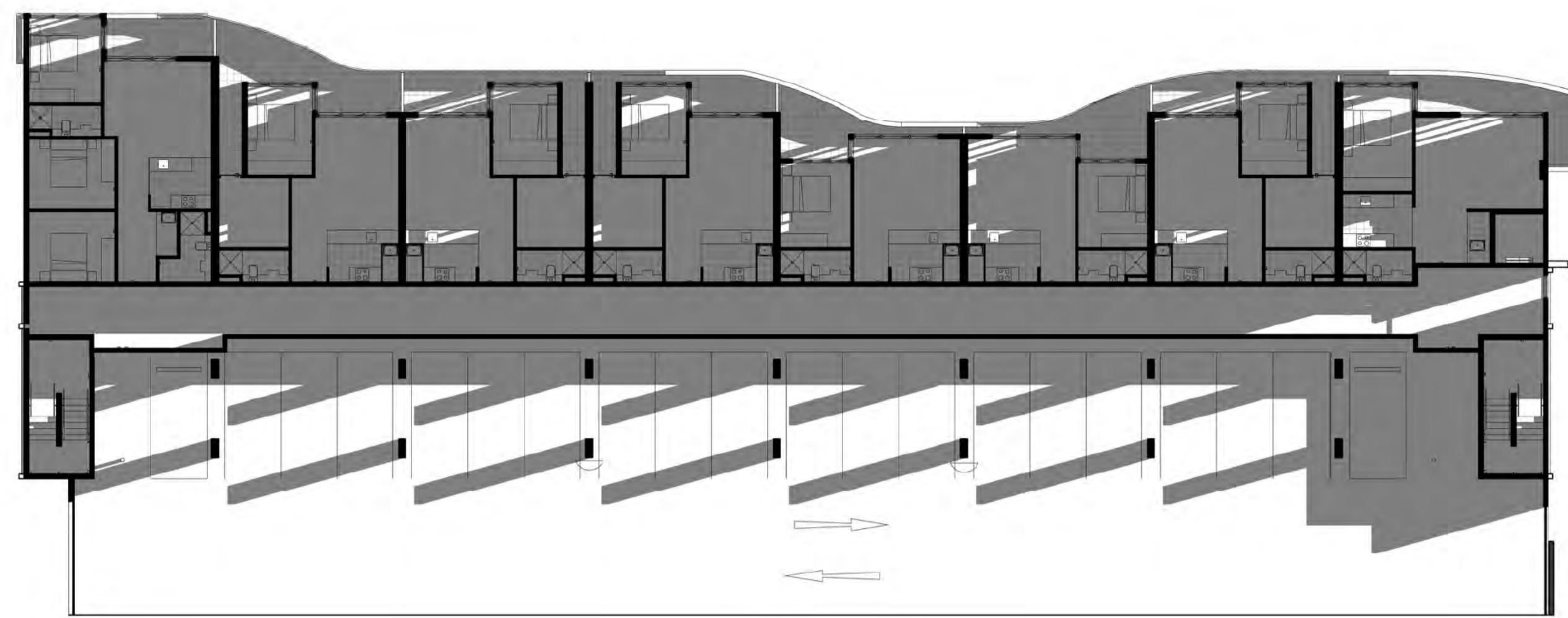
4 Build (B) & (C) Tower Level 6 - 9am



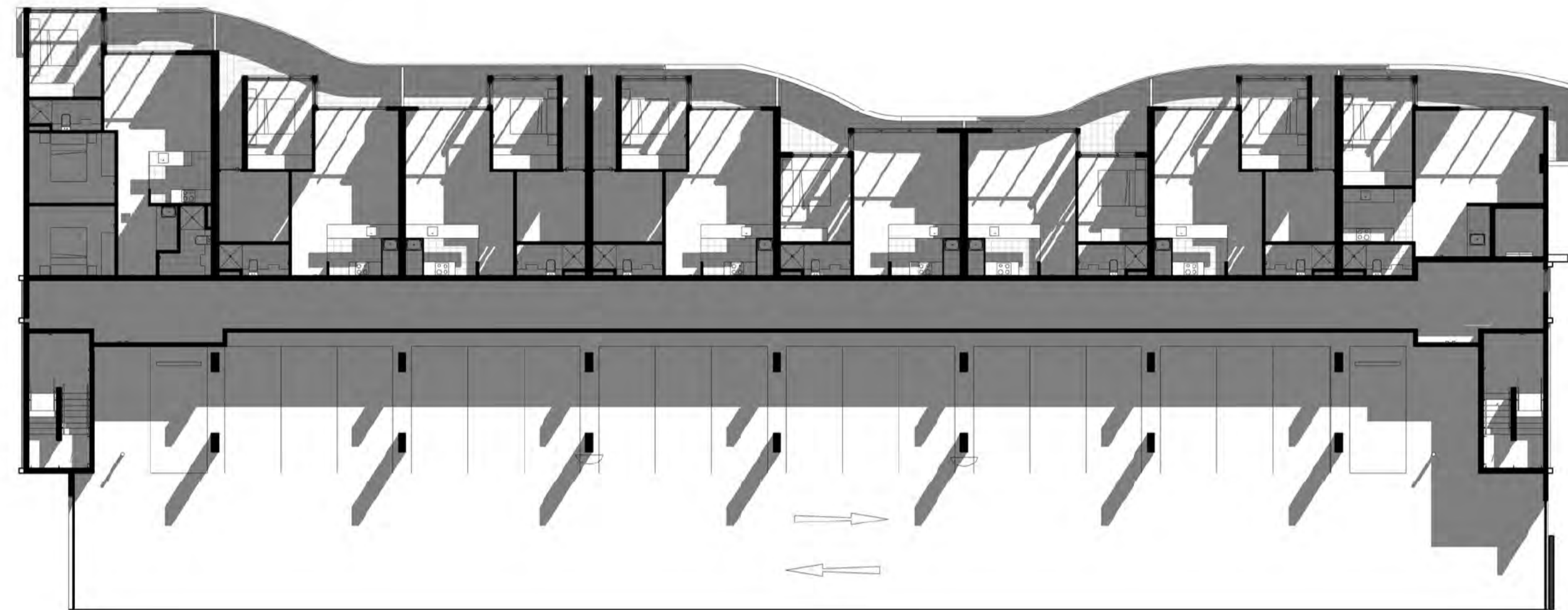
5 Build (B) & (C) Tower Level 6 - 10am



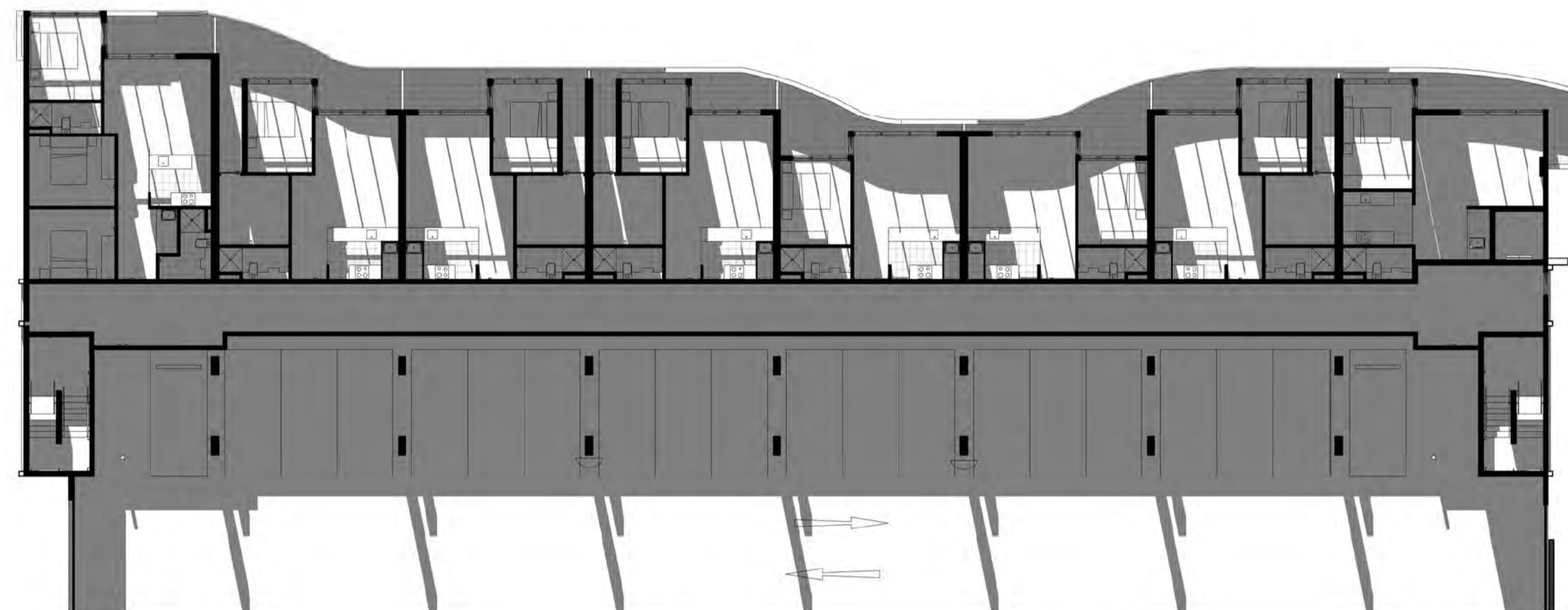
6 Build (B) & (C) Tower Level 6 - 11am



1 Build (B) Podium Level 3 - 9am



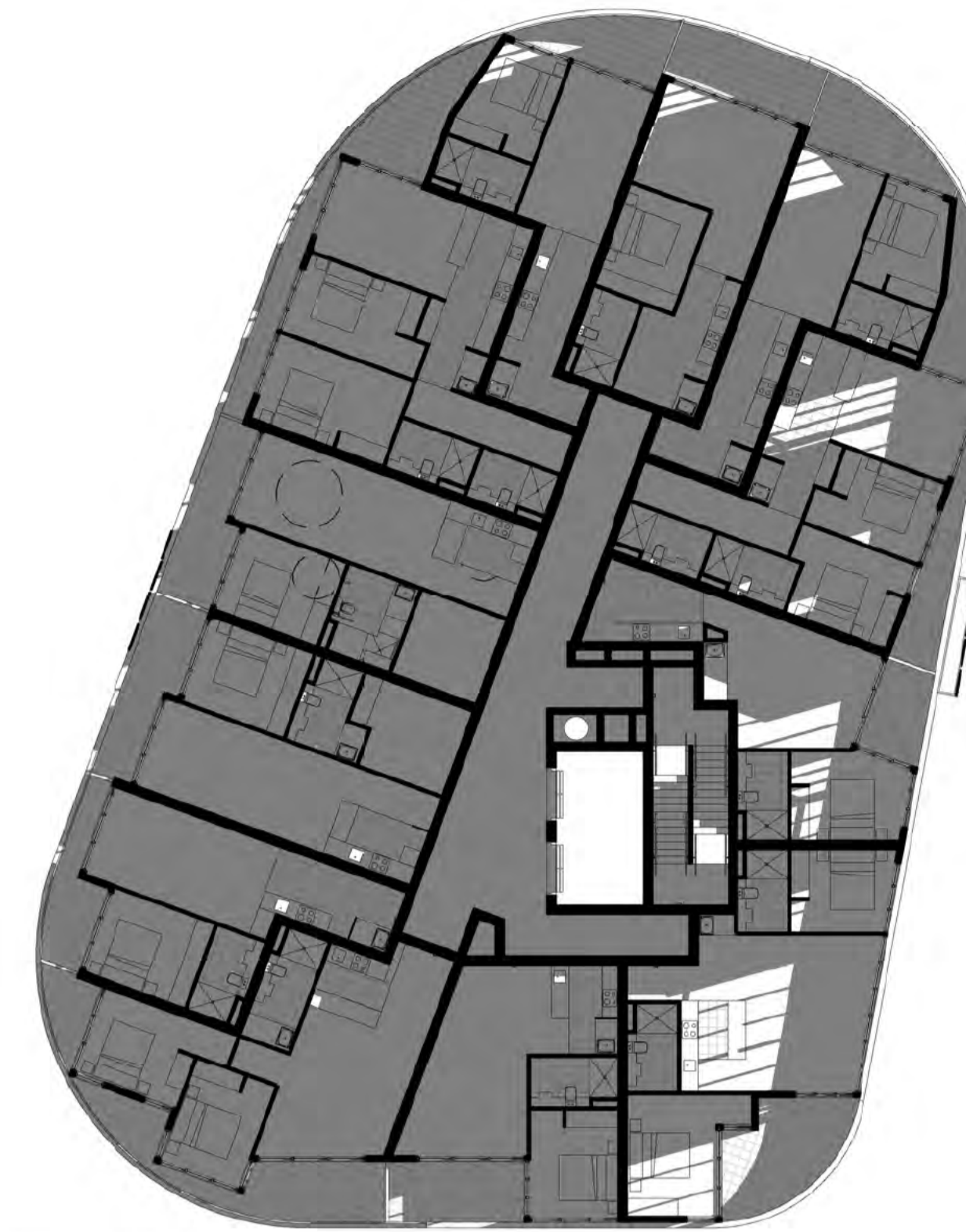
2 Build (B) Podium Level 3 - 12pm



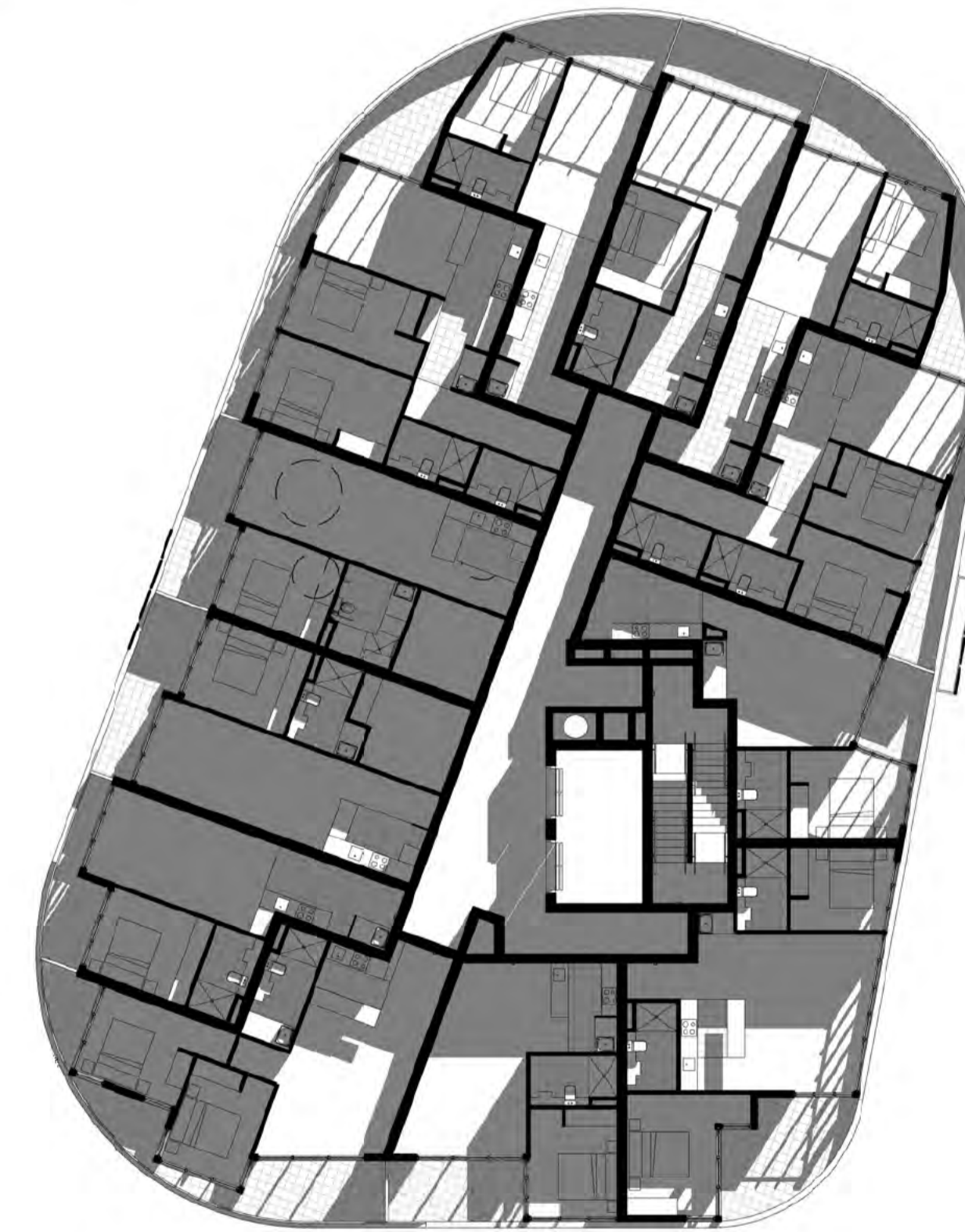
3 Build (B) Podium Level 3 - 3pm

NB: REAR OF PODIUMS REMOVED FOR EXPOSITION PURPOSES

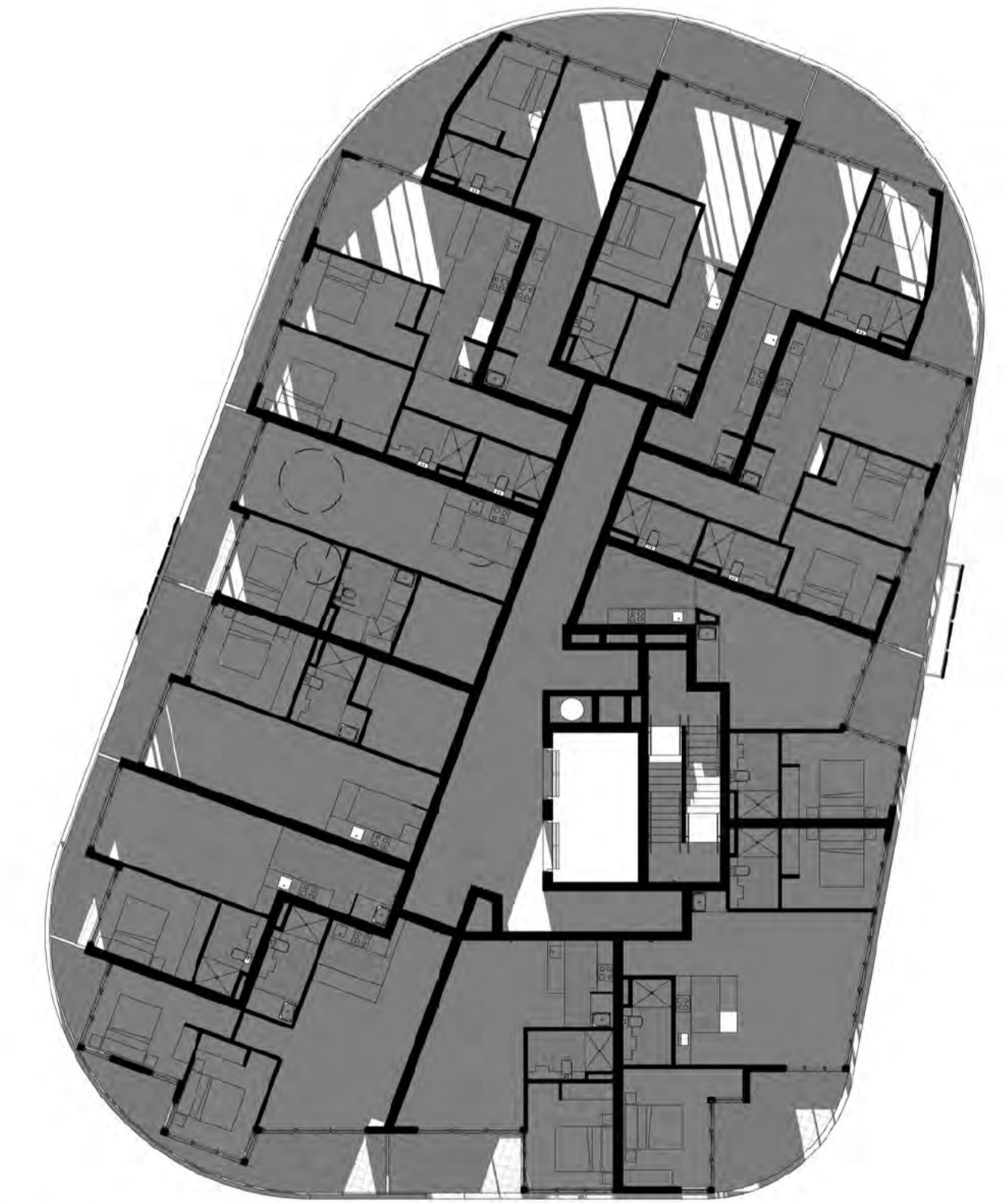
PODIUM SOLAR ACCESS SUMMARY:
 CATEGORY A: 3 HOURS OF DIRECT SUNLIGHT
 8 = TOTAL NUMBER OF UNITS PER PODIUM FLOOR EXPOSED TO NOT LESS THAN 3 HOURS OF DIRECT SUNLIGHT BETWEEN 9AM AND 3PM OF THE WINTER SOLSTICE (JUNE 21)
 8 = TOTAL NUMBER OF UNITS PER PODIUM FLOOR
 5 = TOTAL NUMBER OF LEVELS ON PODIUM OF BUILDING B



4 Build (B) Tower Level 6 - 9am



5 Build (B) Tower Level 6 - 12pm

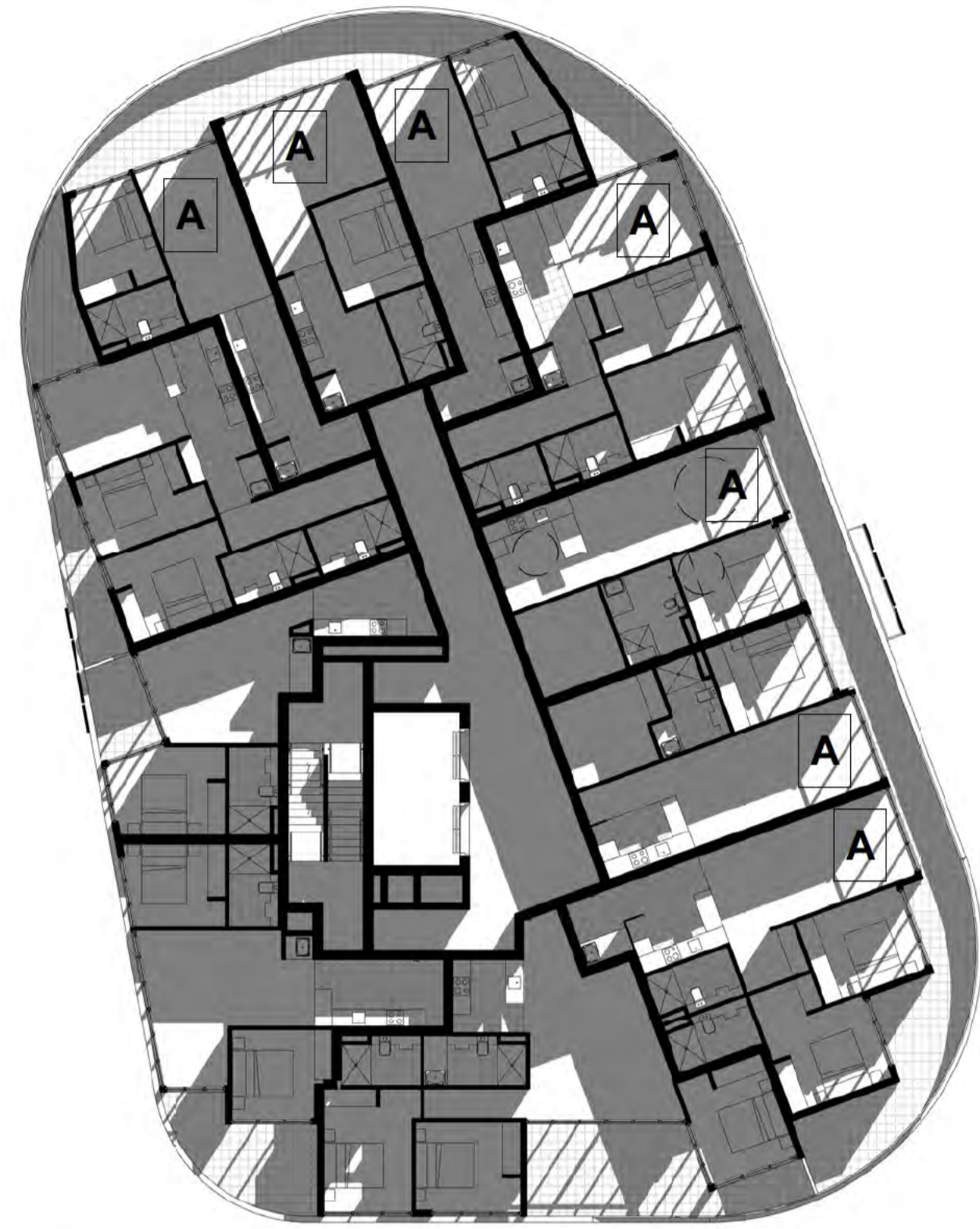


6 Build (B) Tower Level 6 - 3pm

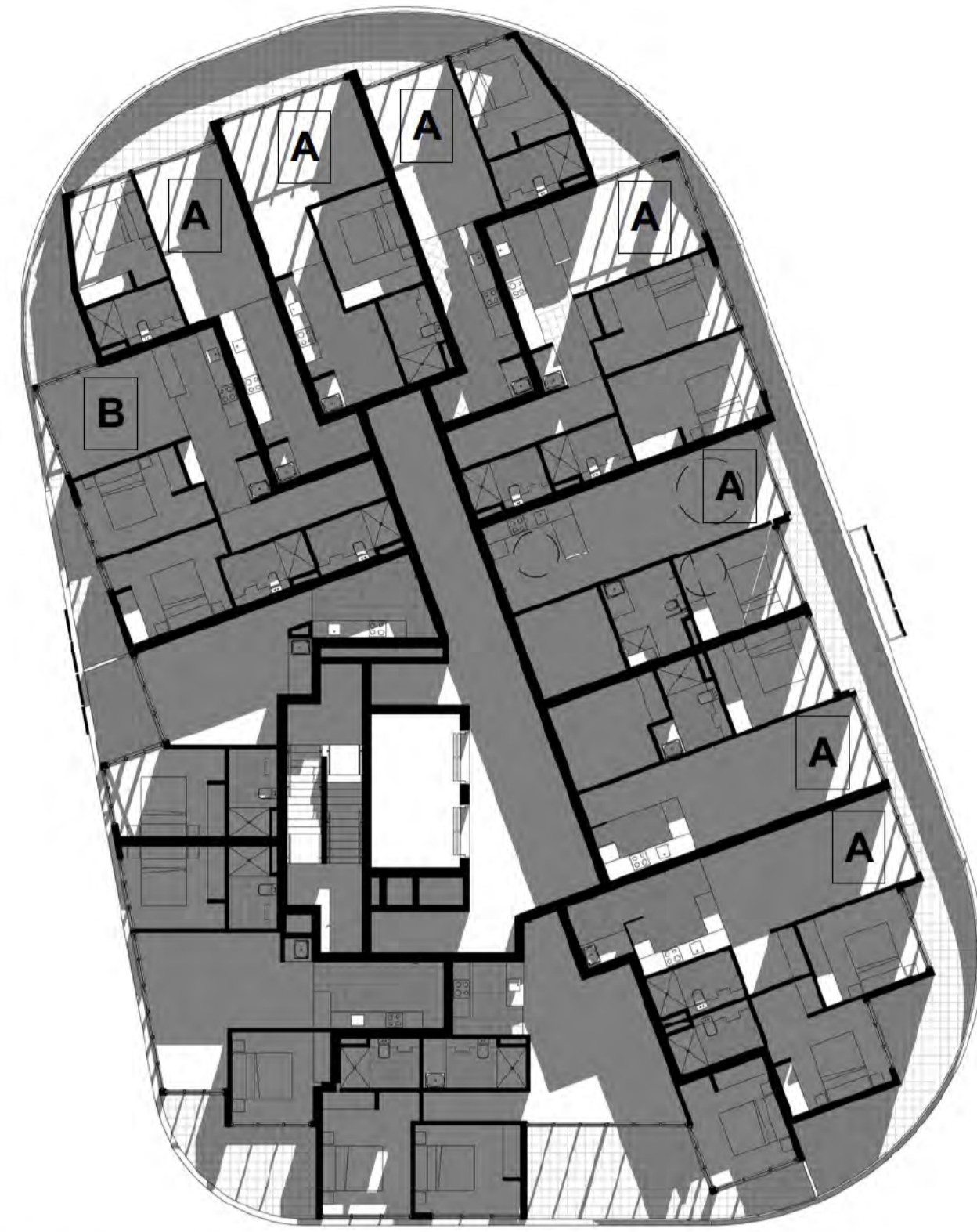
TOWER SOLAR ACCESS SUMMARY:
 CATEGORY A: 3 HOURS OF DIRECT SUNLIGHT
 7 = TOTAL NUMBER OF UNITS PER TOWER FLOOR EXPOSED TO NOT LESS THAN 3 HOURS OF DIRECT SUNLIGHT BETWEEN 9AM AND 3PM ON THE WINTER SOLSTICE (JUNE 21)
 CATEGORY B: 2 HOURS OF DIRECT SUNLIGHT
 3 = TOTAL NUMBER OF UNITS PER TOWER FLOOR EXPOSED TO NOT LESS THAN 2 HOURS OF DIRECT SUNLIGHT BETWEEN 9AM AND 3PM ON THE WINTER SOLSTICE (JUNE 21)
 12 = TOTAL NUMBER OF UNITS PER TOWER FLOOR
 17 = TOTAL NUMBER OF LEVELS ON TOWER OF BUILDING B

TOTAL NUMBER OF UNITS = 243
 TOTAL NUMBER OF CATEGORY A UNITS = 159 (65.43%)
 TOTAL NUMBER OF CATEGORY B UNITS = 51 (20.99%)

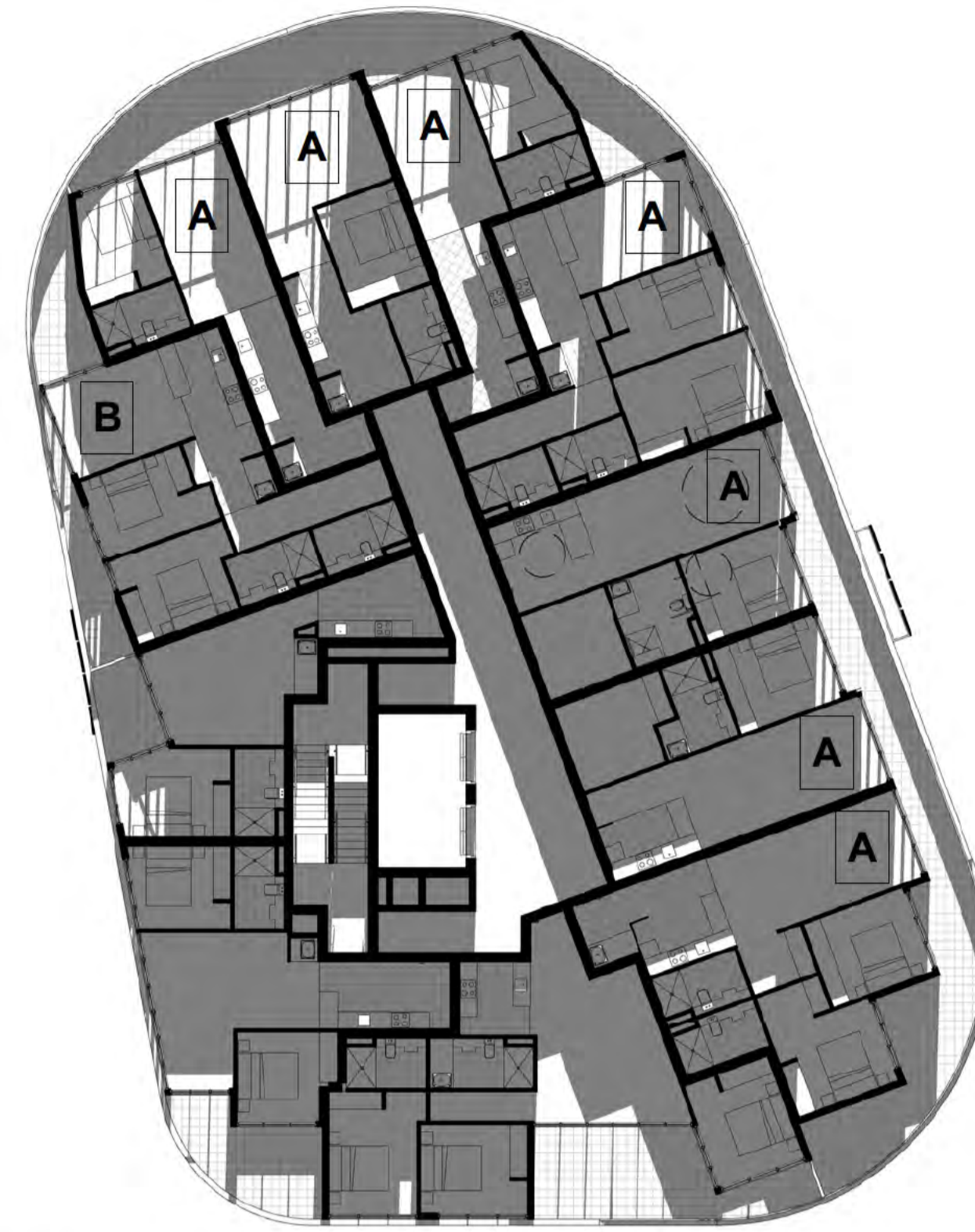
NOTE: SUN ANGLES TAKEN BETWEEN 9AM AND 3PM ON THE WINTER SOLSTICE (21 JUNE)



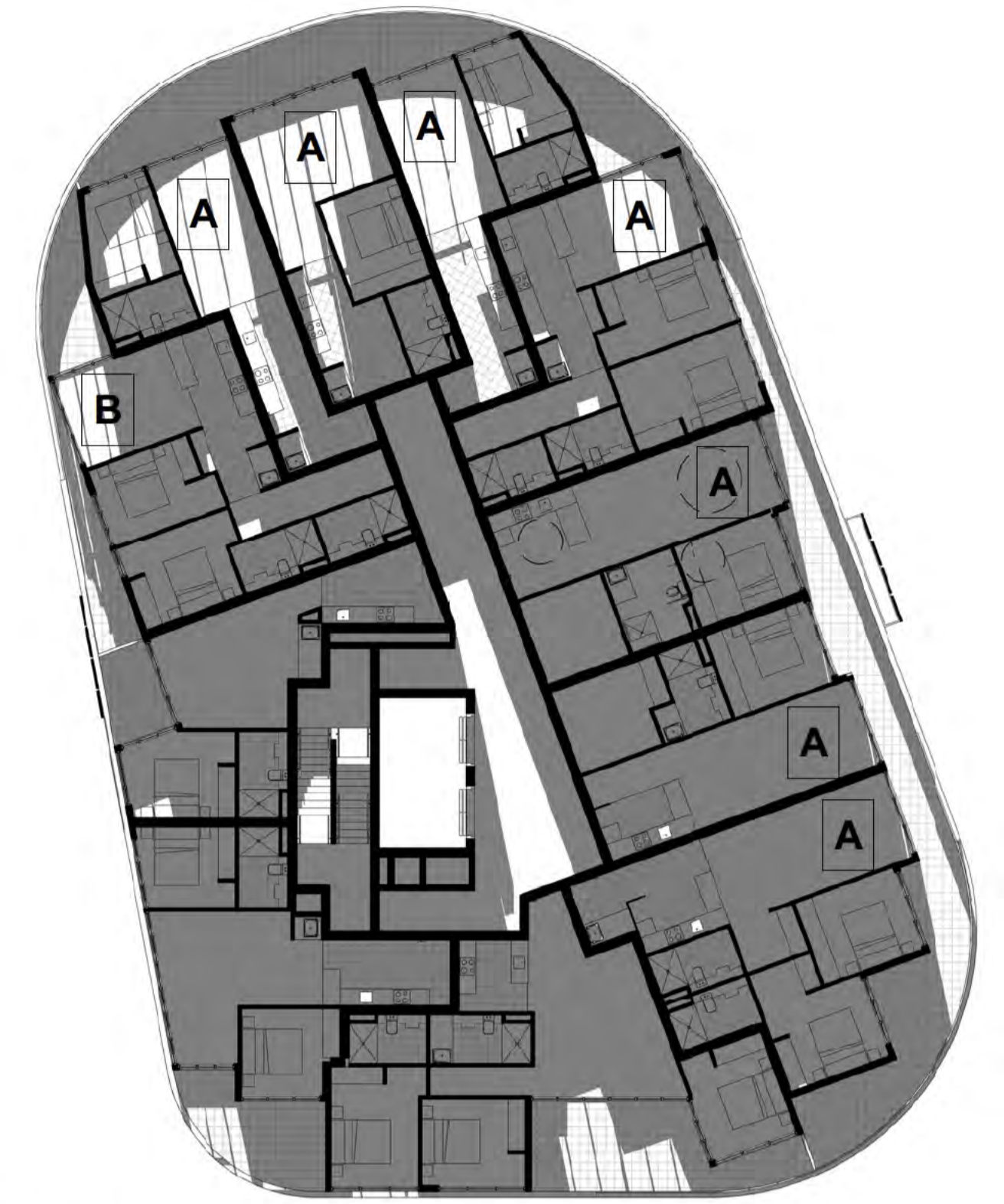
7 Build (A) Tower Level 6 - 12pm X



5 Build (A) Tower Level 6 - 1pm

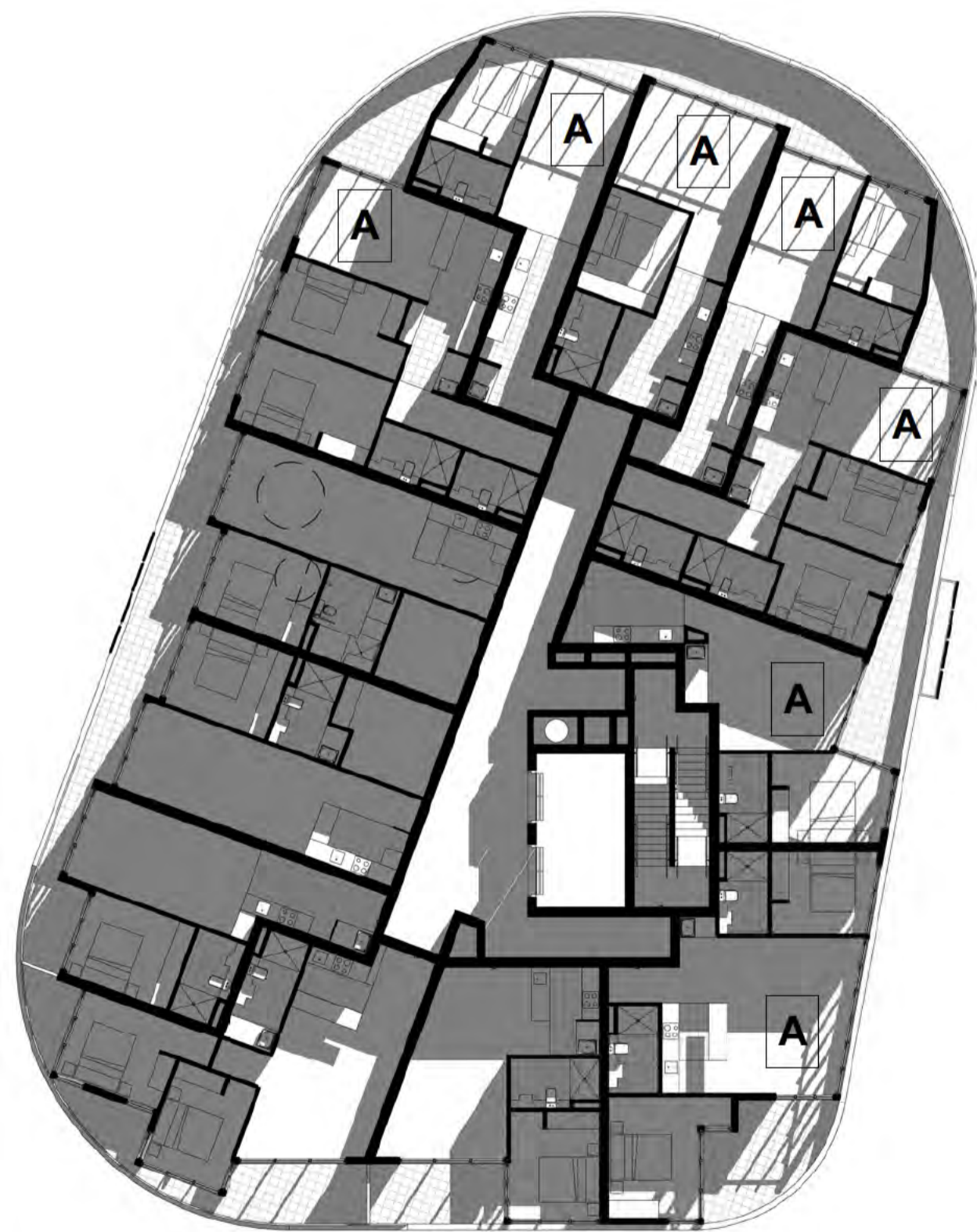


6 Build (A) Tower Level 6 - 2pm

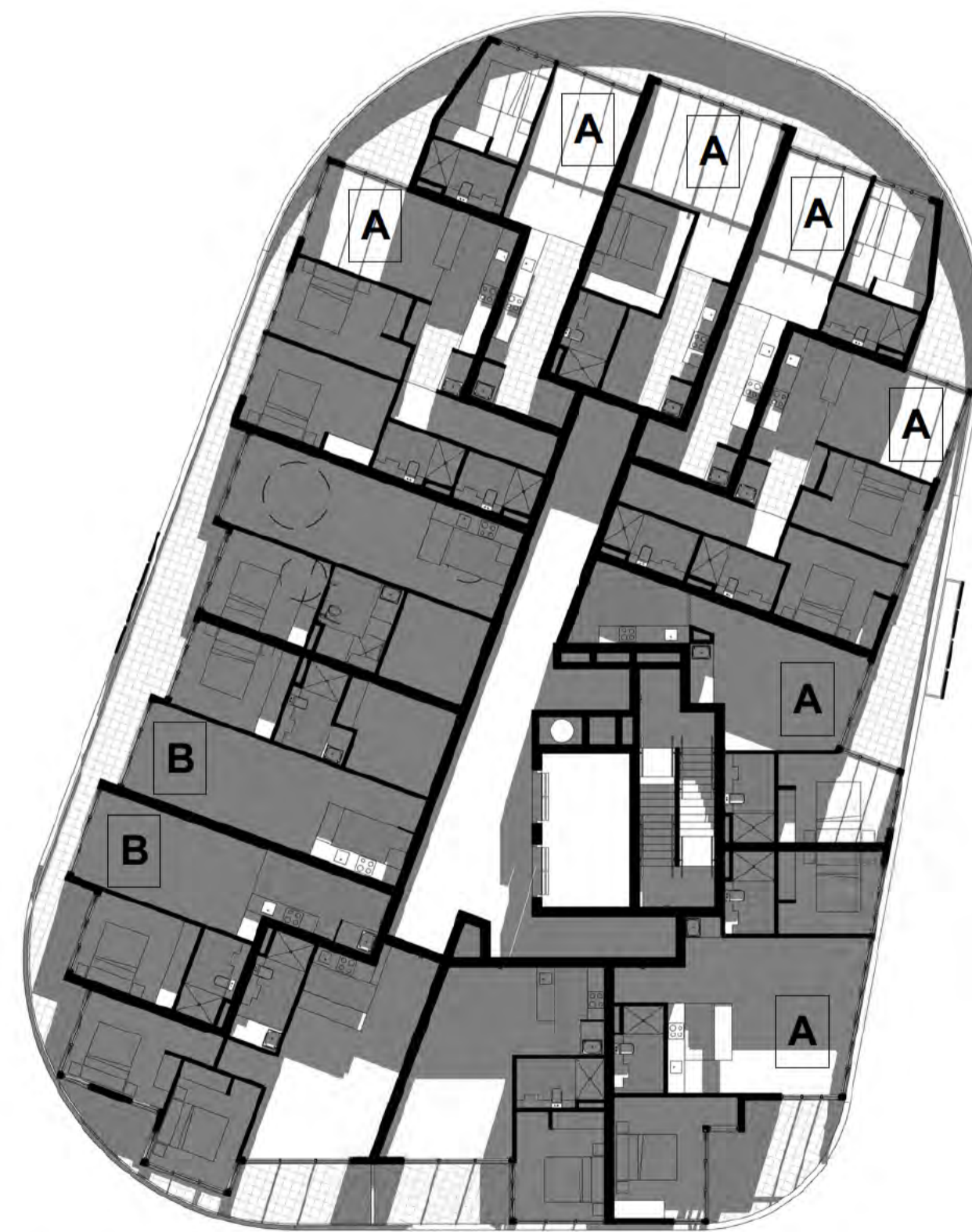


8 Build (A) Tower Level 6 - 3pm X

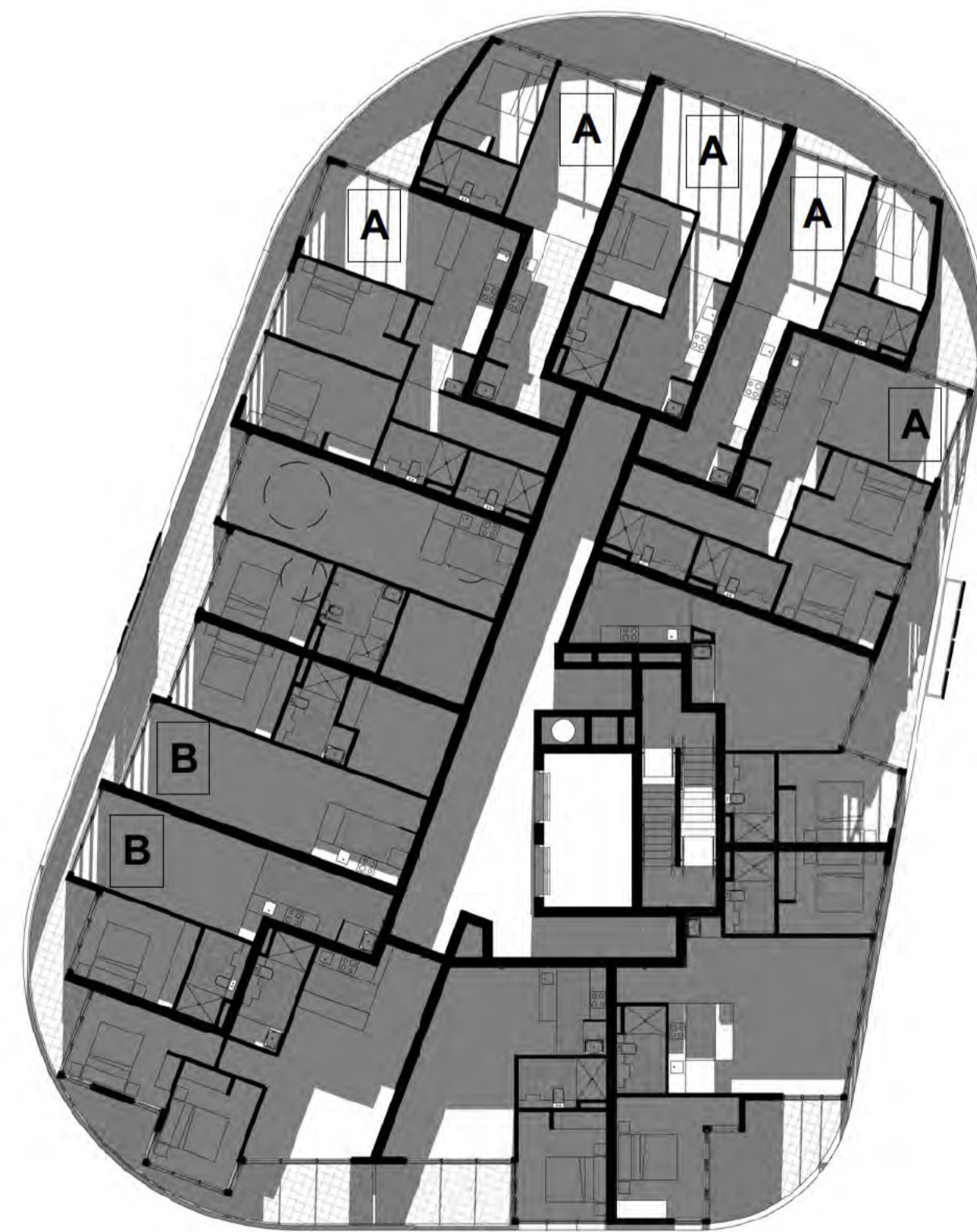
CATEGORY A = UNITS EXPOSED TO NOT LESS THAN 3 HOURS OF DIRECT SUNLIGHT BETWEEN 9AM AND 3PM ON THE WINTER SOLSTICE (JUNE 21)
 CATEGORY B = UNITS EXPOSED TO NOT LESS THAN 2 HOURS OF DIRECT SUNLIGHT BETWEEN 9AM AND 3PM ON THE WINTER SOLSTICE (JUNE 21)



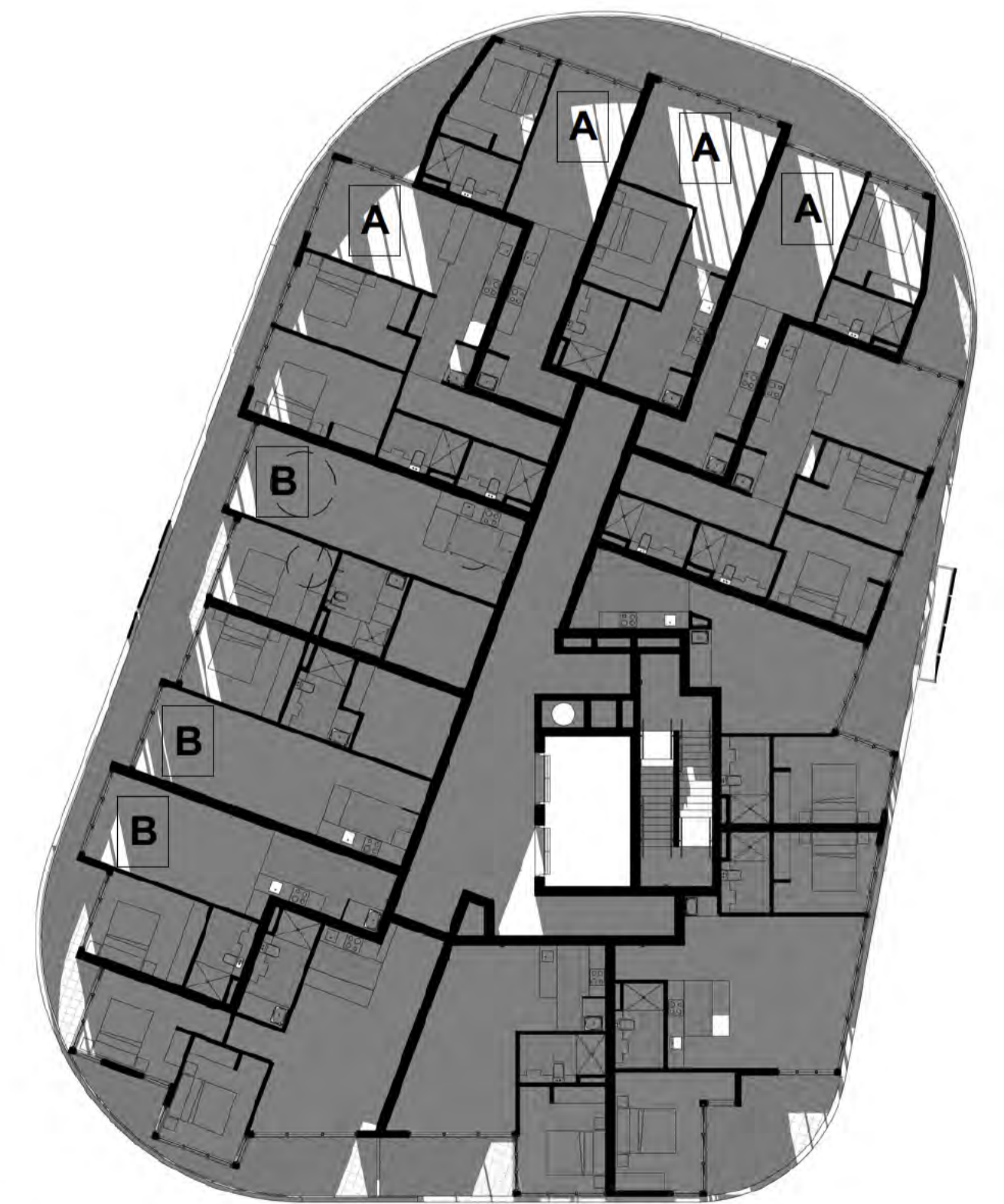
4 Build (B) & (C) Tower Level 6 - 12pm



1 Build (B) & (C) Tower Level 6 - 1pm



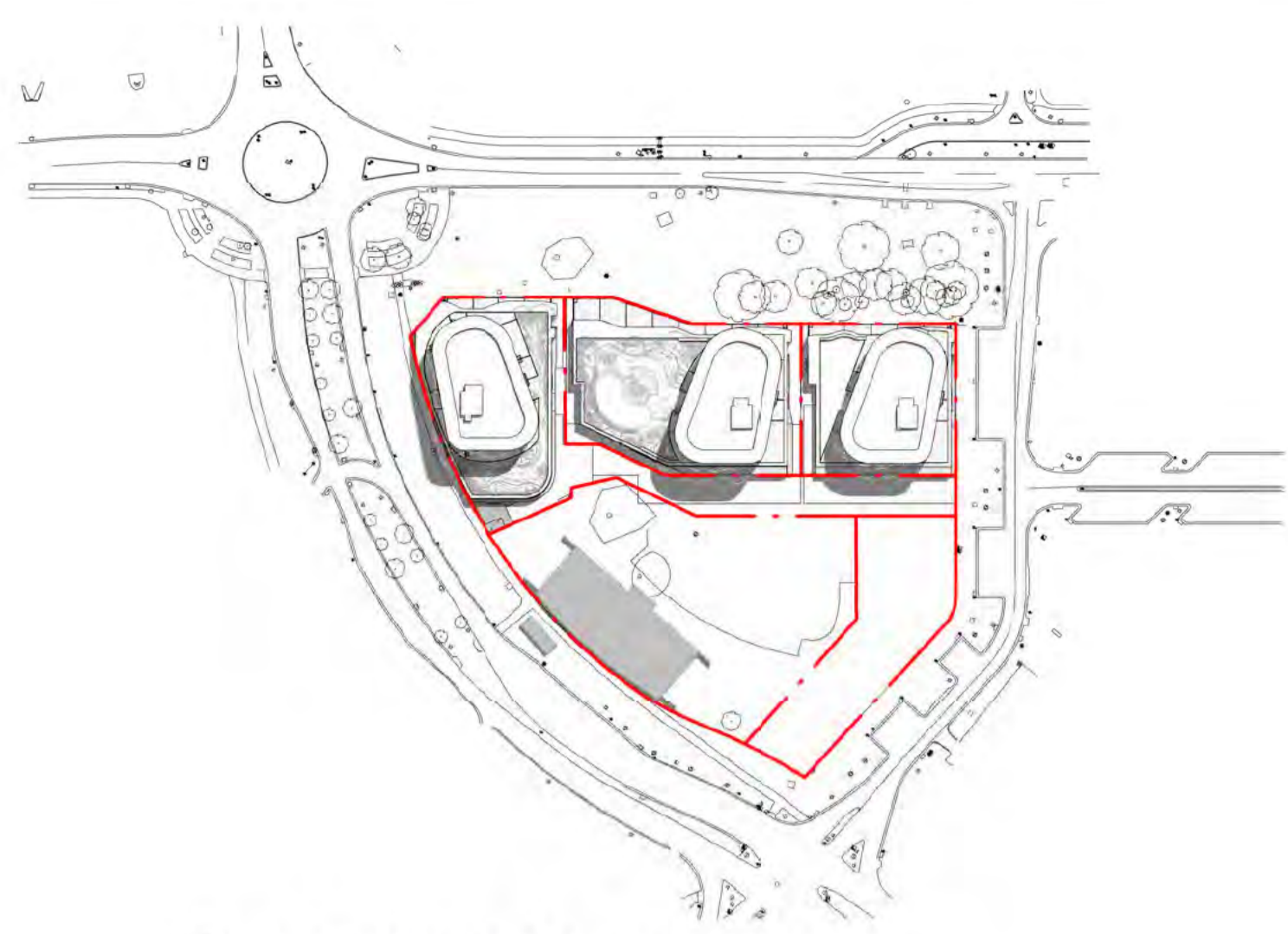
2 Build (B) & (C) Tower Level 6 - 2pm



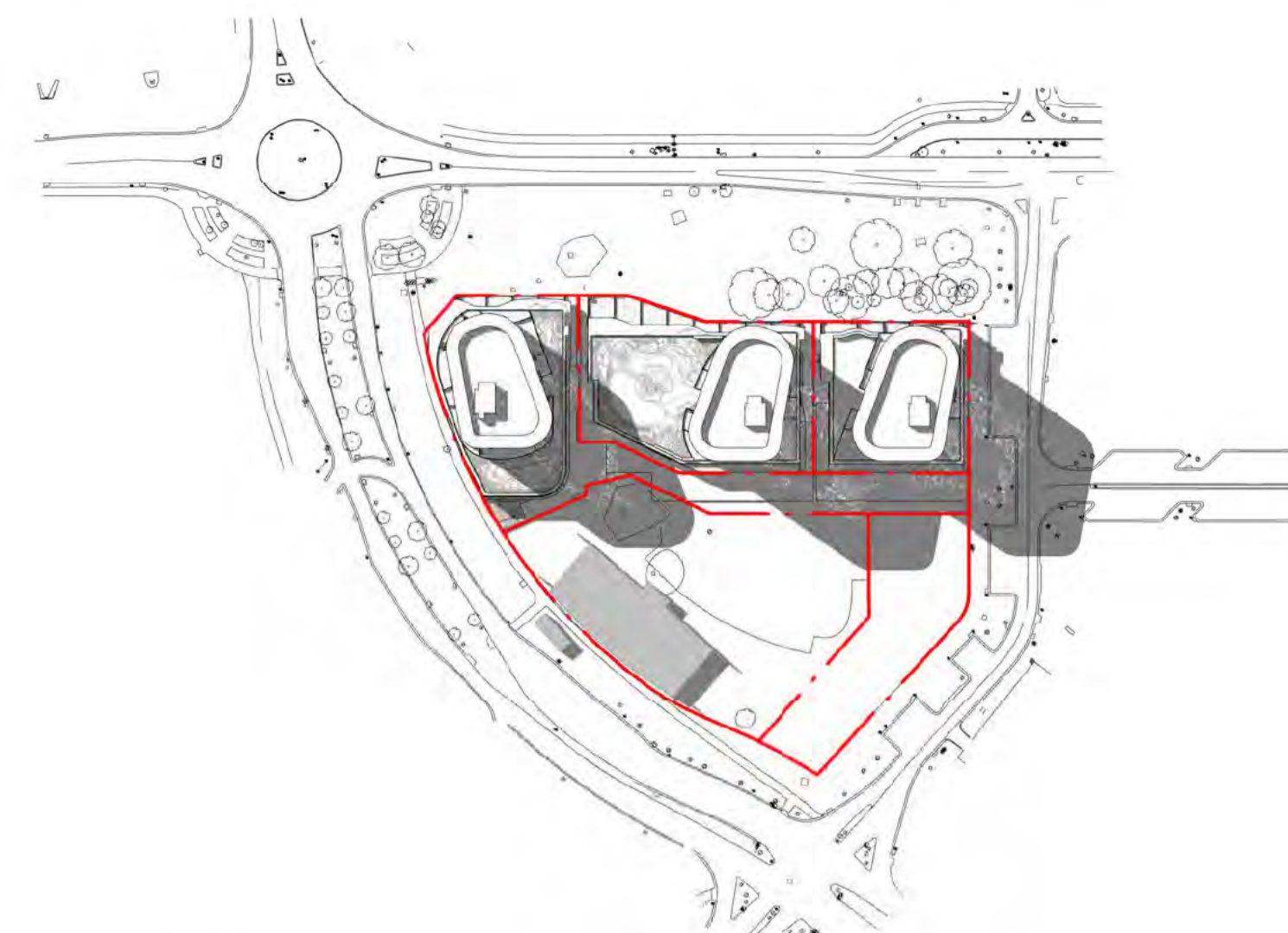
3 Build (B) & (C) Tower Level 6 - 3pm



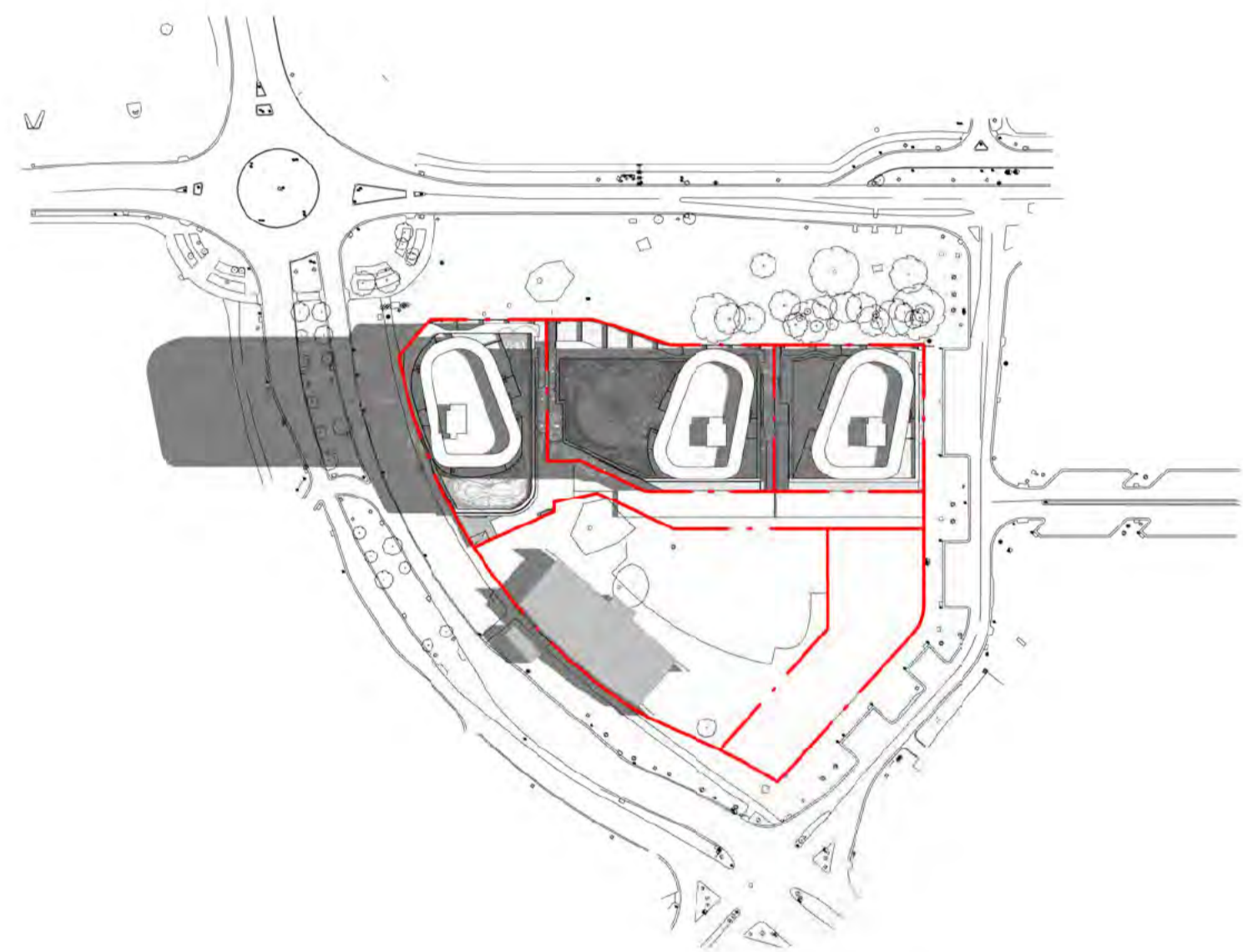
1 SITE SHADOW PLAN - DECEMBER 9am
1:2000



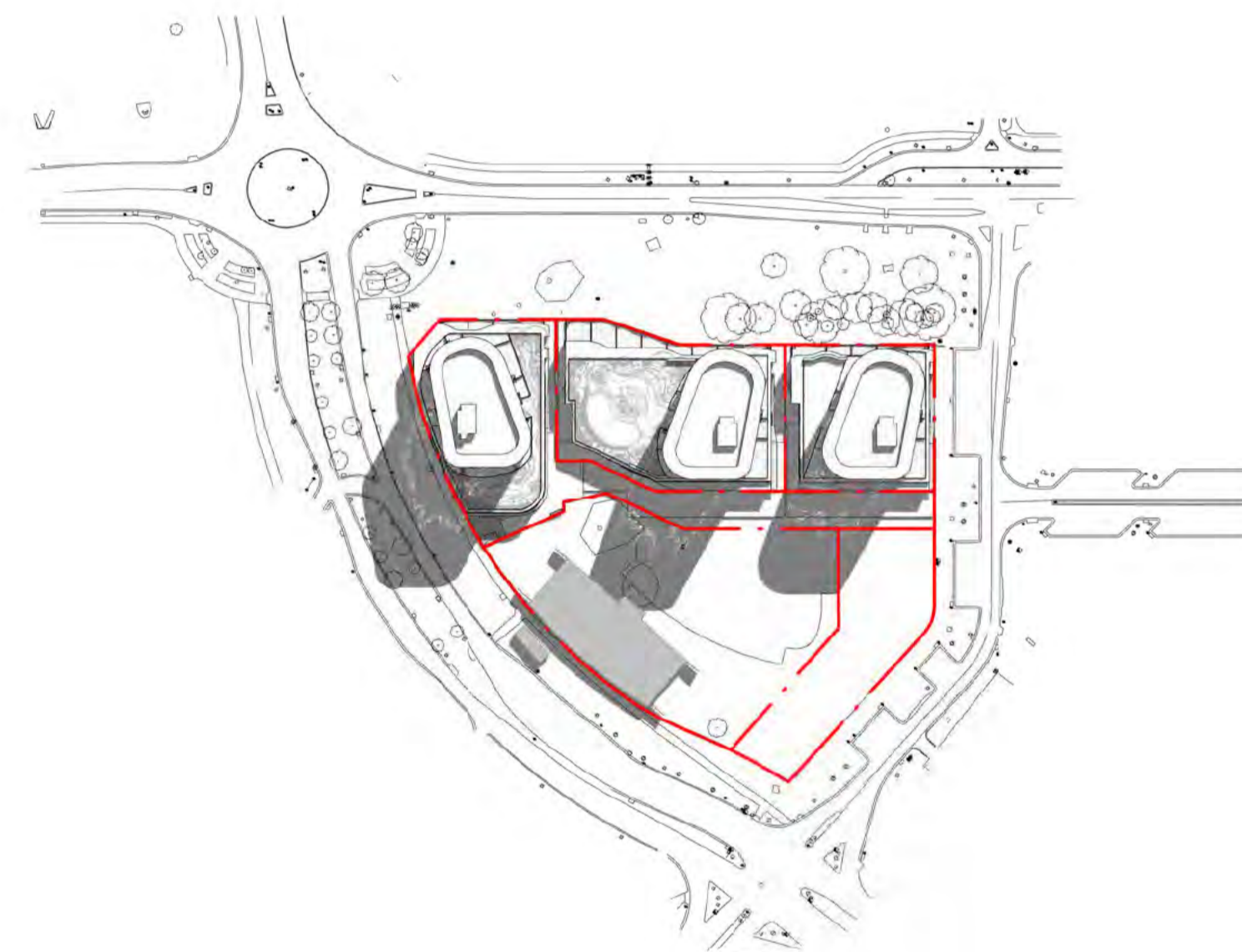
2 SITE SHADOW PLAN - DECEMBER 12pm
1:2000



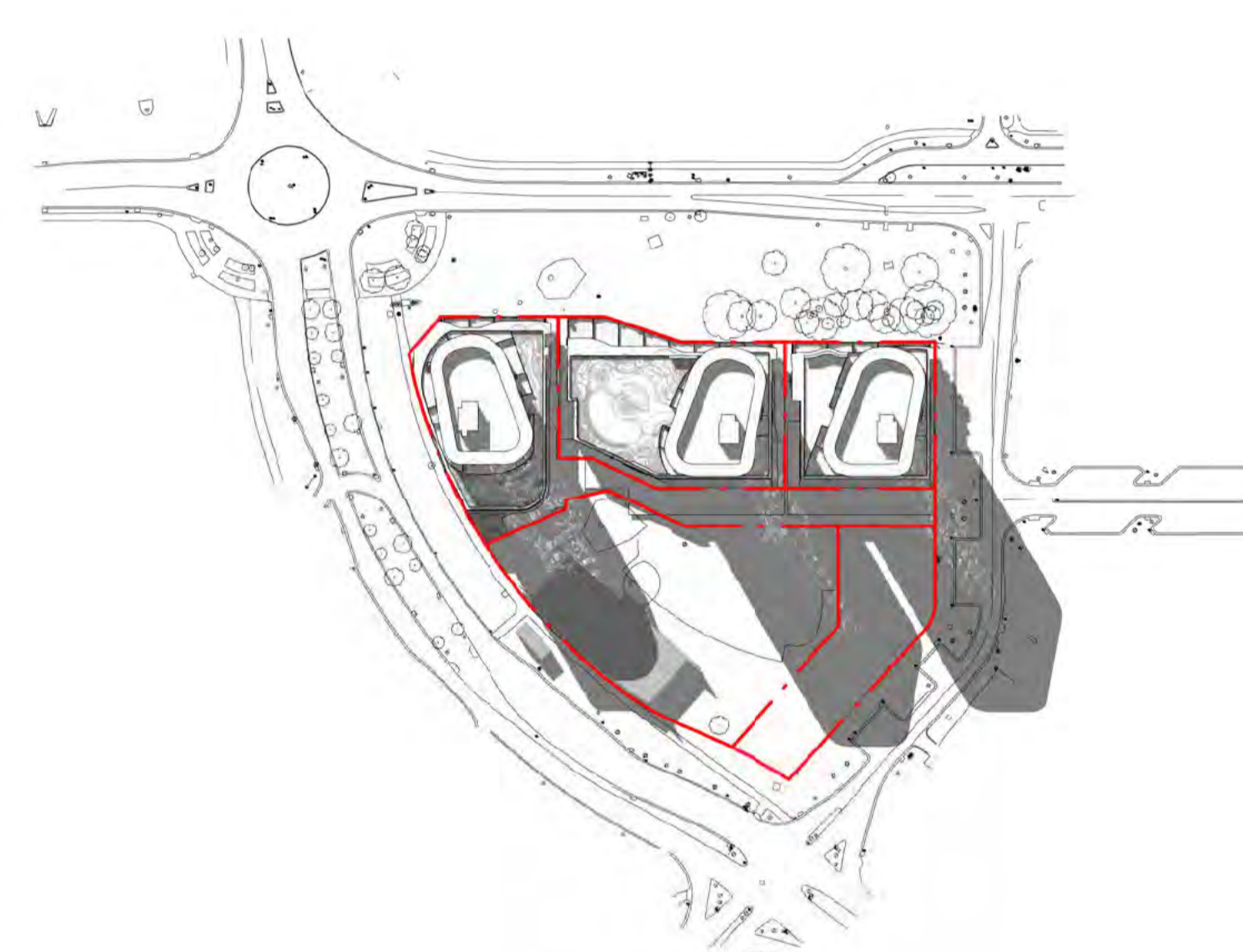
3 SITE SHADOW PLAN - DECEMBER 3pm
1:2000



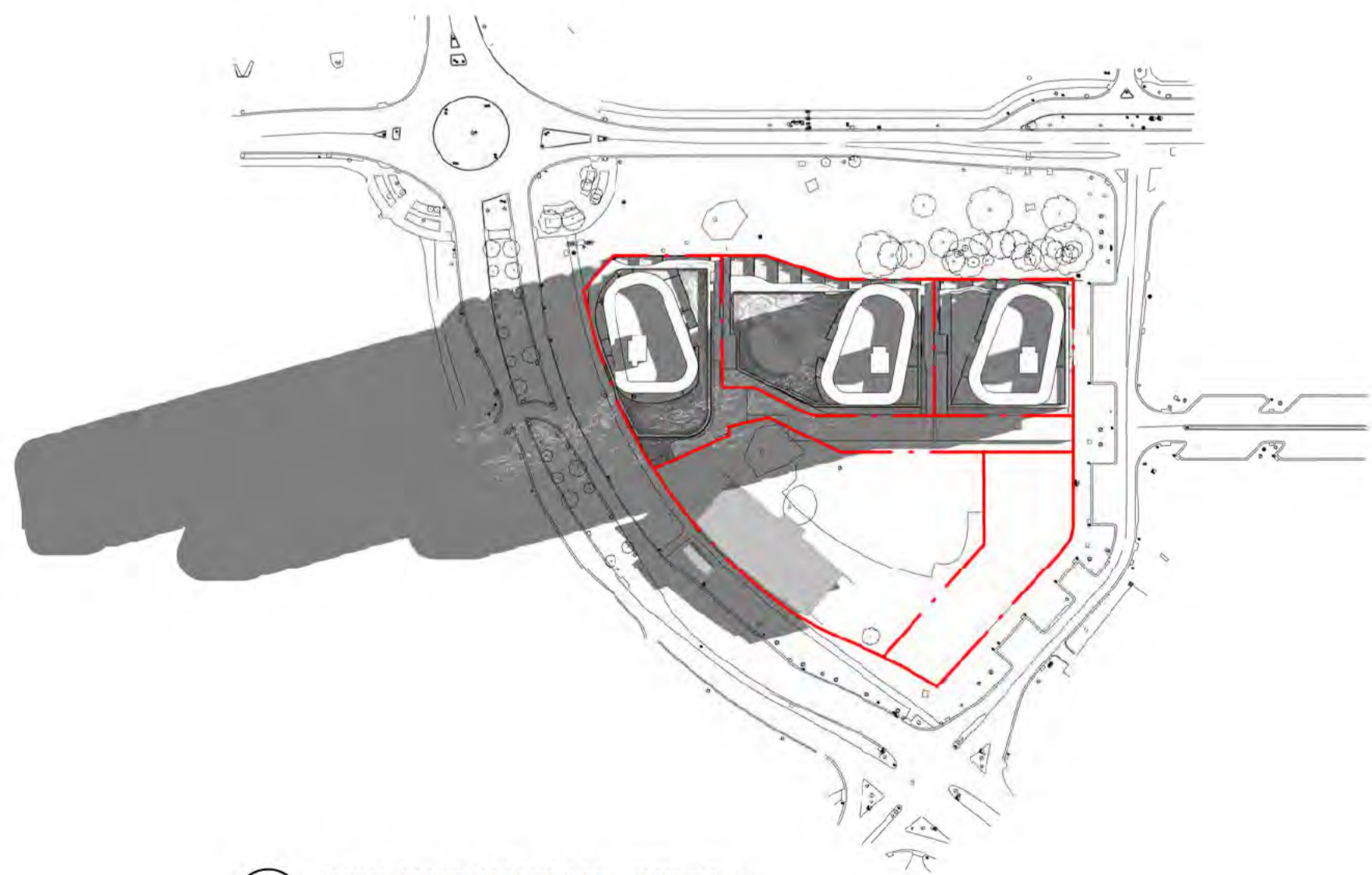
4 SITE SHADOW PLAN - SEPTEMBER 9am
1:2000



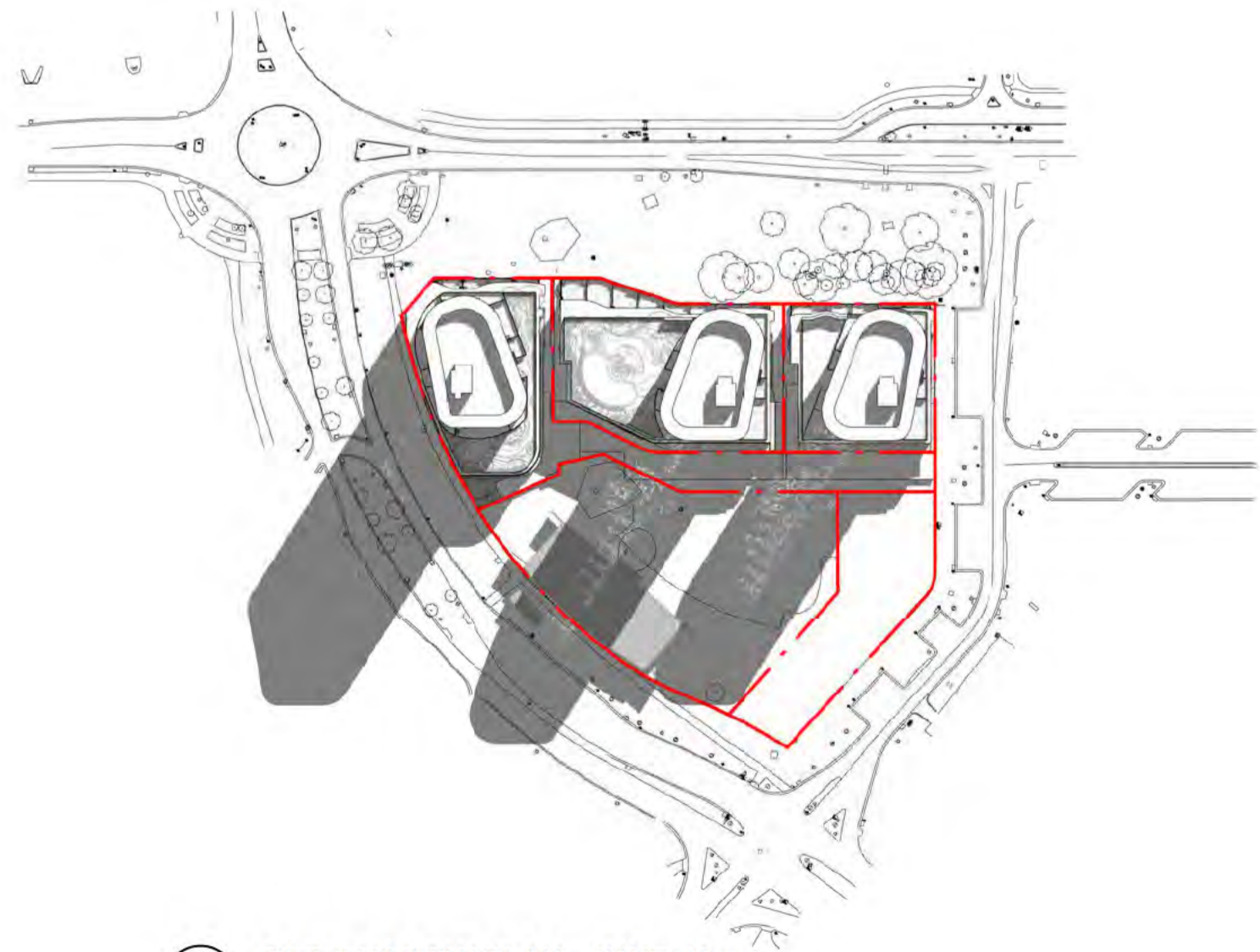
5 SITE SHADOW PLAN - SEPTEMBER 12pm
1:2000



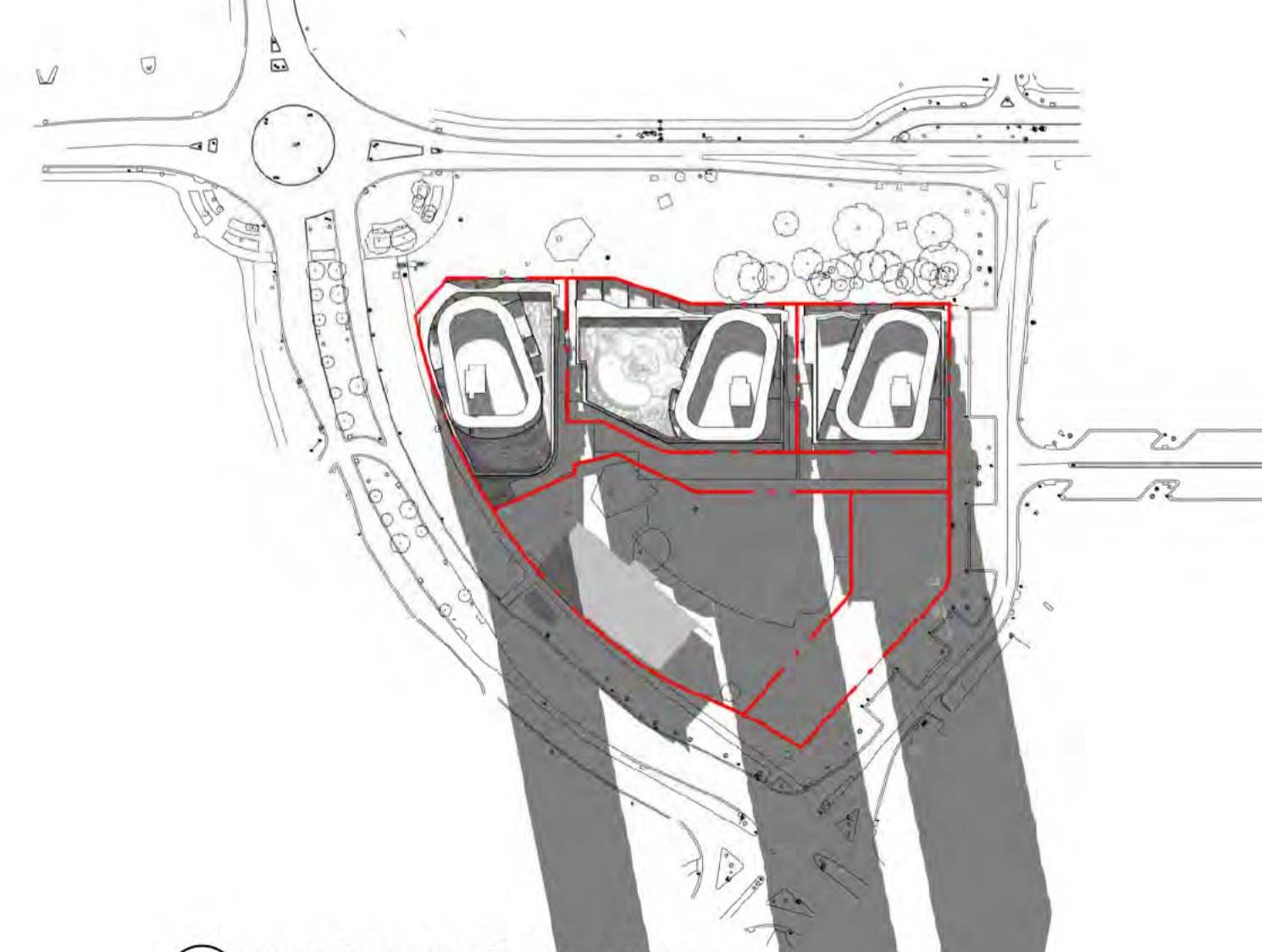
6 SITE SHADOW PLAN - SEPTEMBER 3pm
1:2000



7 SITE SHADOW PLAN - JUNE 9am
1:2000



8 SITE SHADOW PLAN - JUNE 12pm
1:2000



9 SITE SHADOW PLAN - JUNE 3pm
1:2000



GUNDAROO DRIVE

GRIBBLE STREET

ANTHONY ROLFE AVE



1 OVERALL GROUND LEVEL(1)
1:400

GEOCON GUNGAHLIN
GUNGAHLIN

DA-S001

SITE - PUBLIC NOTIFICATION
PLAN

0 4 8 12 16 20m Scale 1:400 @ A1
 revision B date 03.02.15
 project 4188



GFA SCHEDULE - BUILDING A - OVERALL

LEVEL	AREA
BASEMENT 1.5	134 m ²
BASEMENT 2.5	45 m ²
GROUND	782 m ²
LEVEL 1	414 m ²
LEVEL 2	533 m ²
LEVEL 3	506 m ²
LEVEL 4	454 m ²
LEVEL 5	792 m ²
LEVEL 6	792 m ²
LEVEL 7	792 m ²
LEVEL 8	792 m ²
LEVEL 9	792 m ²
LEVEL 10	792 m ²
LEVEL 11	792 m ²
LEVEL 12	792 m ²
LEVEL 13	792 m ²
LEVEL 14	792 m ²
LEVEL 15	792 m ²
LEVEL 16	792 m ²
LEVEL 17	792 m ²
LEVEL 18	792 m ²
LEVEL 19	792 m ²
LEVEL 20 (PLANT)	592 m ²
TOTAL	15337 m ²

GFA SCHEDULE - BUILDING A - RETAIL

LEVEL	AREA
GROUND	220 m ²

PARKING SCHEDULE - BUILDING A OVERALL

TYPE	COUNT
ACCESSIBLE	19
STANDARD	184
Total	203

UNIT SCHEDULE - BUILDING A

NAME	COUNT
1 BED (A)	15
1 BED (B)	30
1 BED (C)	25
1 BED (D)	5
1 BED + (A)	29
1 BED + (B)	5
2 BED 1B (A)	14
2 BED 1B (B)	4
2 BED 2B (A)	16
2 BED 2B (AA)	15
2 BED 2B (B)	15
2 BED 2B (C)	4
3 BED (A)	15
Total: 192	

BICYCLE RAIL SCHEDULE - BUILDING A

DESCRIPTION	COUNT
DUAL BICYCLE RAIL	19

GFA SCHEDULE - BUILDING B - OVERALL

LEVEL	AREA
BASEMENT 1.5	179 m ²
GROUND LEVEL	1019 m ²
LEVEL 1	699 m ²
LEVEL 2	658 m ²
LEVEL 3	658 m ²
LEVEL 4	631 m ²
LEVEL 5	810 m ²
LEVEL 6	810 m ²
LEVEL 7	810 m ²
LEVEL 8	810 m ²
LEVEL 9	810 m ²
LEVEL 10	810 m ²
LEVEL 11	810 m ²
LEVEL 12	810 m ²
LEVEL 13	810 m ²
LEVEL 14	810 m ²
LEVEL 15	810 m ²
LEVEL 16	810 m ²
LEVEL 17	810 m ²
LEVEL 18	810 m ²
LEVEL 19	810 m ²
LEVEL 20	810 m ²
LEVEL 21	810 m ²
LEVEL 22 (PLANT)	616 m ²
TOTAL	18231 m ²

PARKING SCHEDULE - BUILDING B OVERALL

TYPE	COUNT
ACCESSIBLE	24
STANDARD	258
STANDARD (PARALLEL)	10
Total	292

UNIT SCHEDULE - BUILDING B

NAME	COUNT
1 BED (A)	16
1 BED (B)	34
1 BED (C)	17
1 BED (D)	17
1 BED (E)	17
1 BED (F)	10
1 BED (G)	5
1 BED + (A)	34
1 BED + (B)	20
2 BED 1B (A)	17
2 BED 2B (A)	17
2 BED 2B (AA)	17
2 BED 2B (B)	17
3 BED (A)	5
Total: 243	

BICYCLE RAIL SCHEDULE - BUILDING B

DESCRIPTION	COUNT
DUAL BICYCLE RAIL	10

GFA SCHEDULE - BUILDING C - OVERALL

LEVEL	AREA
BASEMENT 1.5	36 m ²
GROUND	629 m ²
LEVEL 1	381 m ²
LEVEL 2	383 m ²
LEVEL 3	383 m ²
LEVEL 4	383 m ²
LEVEL 5	810 m ²
LEVEL 6	810 m ²
LEVEL 7	810 m ²
LEVEL 8	810 m ²
LEVEL 9	810 m ²
LEVEL 10	810 m ²
LEVEL 11	810 m ²
LEVEL 12	810 m ²
LEVEL 13	810 m ²
LEVEL 14	810 m ²
LEVEL 15	810 m ²
LEVEL 16	810 m ²
LEVEL 17	810 m ²
LEVEL 18	810 m ²
LEVEL 19 (PLANT)	616 m ²
TOTAL	14154 m ²

PARKING SCHEDULE - BUILDING C OVERALL

TYPE	COUNT
ACCESSIBLE	19
SMALL CAR	3
STANDARD	152
STANDARD (PARALLEL)	8
Total	182

UNIT SCHEDULE - BUILDING C

NAME	COUNT
1 BED (A)	14
1 BED (B)	28
1 BED (C)	14
1 BED (D)	14
1 BED (E)	14
1 BED (F)	10
1 BED (G)	5
1 BED + (A)	27
1 BED + (B)	5
2 BED 1B (A)	14
2 BED 1B (B)	5
2 BED 2B (A)	14
2 BED 2B (AA)	14
2 BED 2B (B)	14
2 BED 2B (B)	14
Total: 192	

BICYCLE RAIL SCHEDULE - BUILDING C

DESCRIPTION	COUNT
DUAL BICYCLE RAIL	15

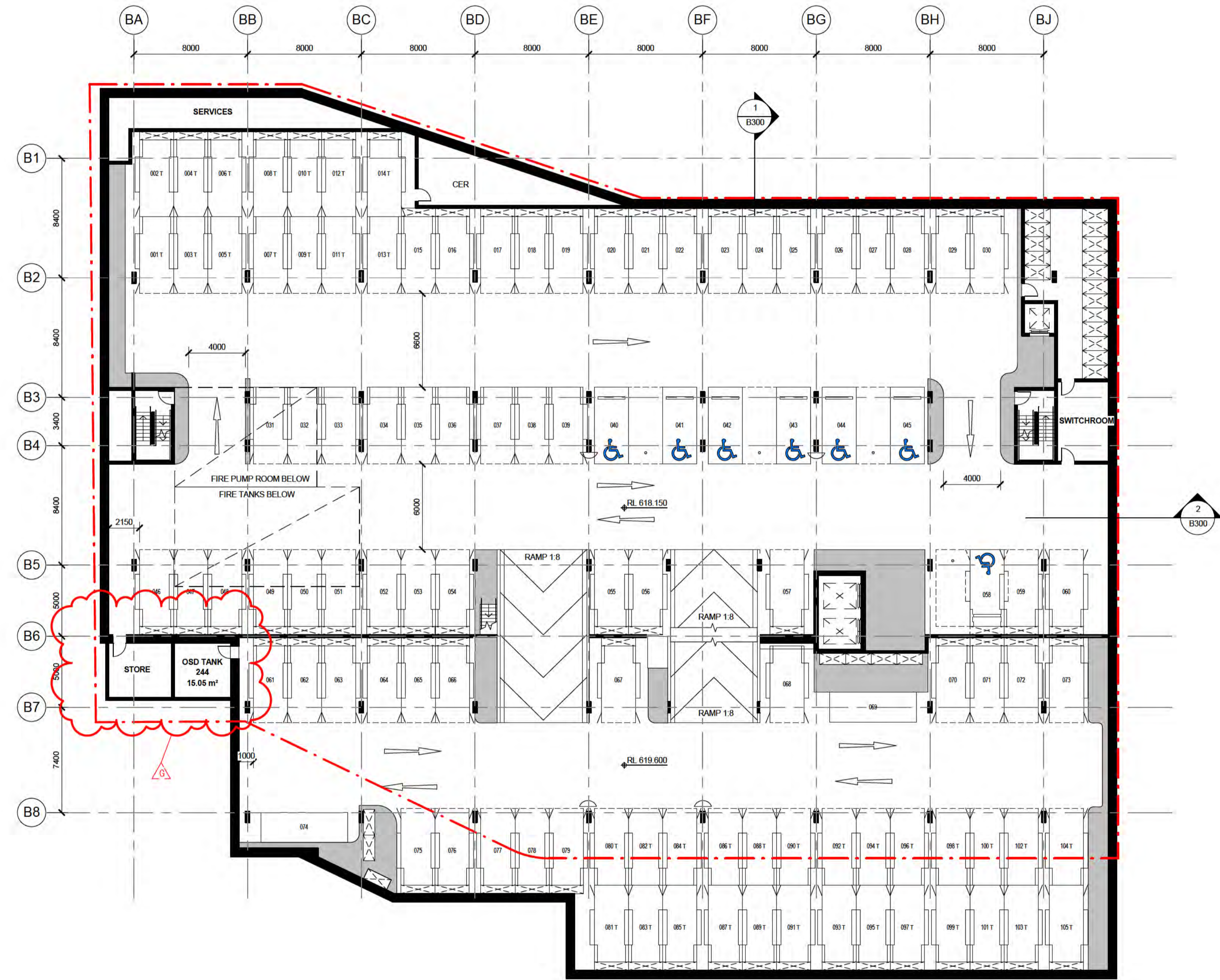
LEGEND
ELECTRICAL EASEMENT

PARKING SCHEDULE - BUILDING B BASEMENT

TYPE	COUNT
ACCESSIBLE	7
STANDARD	96
STANDARD (PARALLEL)	2
Total	105

GFA SCHEDULE - BUILDING B - OVERALL

LEVEL	AREA
BASEMENT 1.5	179 m ²
GROUND LEVEL	1019 m ²
LEVEL 1	699 m ²
LEVEL 2	658 m ²
LEVEL 3	658 m ²
LEVEL 4	631 m ²
LEVEL 5	810 m ²
LEVEL 6	810 m ²
LEVEL 7	810 m ²
LEVEL 8	810 m ²
LEVEL 9	810 m ²
LEVEL 10	810 m ²
LEVEL 11	810 m ²
LEVEL 12	810 m ²
LEVEL 13	810 m ²
LEVEL 14	810 m ²
LEVEL 15	810 m ²
LEVEL 16	810 m ²
LEVEL 17	810 m ²
LEVEL 18	810 m ²
LEVEL 19	810 m ²
LEVEL 20	810 m ²
LEVEL 21	810 m ²
LEVEL 22 (PLANT)	1616 m ²
TOTAL	18232 m²



- NOTES**
- HEAD HEIGHT OVER ACCESSIBLE CAR PARKING SPACES TO BE IN ACCORDANCE WITH AS 2890.6
 - PASSENGER LIFTS TO AS 1736.12 & BCA E3.6
 - ACCESSIBLE PATH OF TRAVEL PROVIDED TO ALL SOUL OCCUPANCY UNITS SERVED BY A LIFT
 - TACTILE INDICATORS TO ROAD CROSSINGS AS PER AS 1428.4
 - ENTRANCE TO ALL BUILDINGS ALONG ACCESSIBLE PATH OF TRAVEL ARE ACCESSIBLE TO AS 128.1
 - ALL DOORS SINGLE LEAF 920mm OR ACTIVE LEAF OF DOUBLE DOORS MIN 920mm
 - ACCESS TO WASTE ROOM NOT PROVIDED TO TENANTS
 - ALL FLOOR SURFACES TO BE SLIP RESISTANT, BROOM FINISHED CONCRETE EXTERNAL (OR SIMILAR), SLIP RESISTANT FLOOR FINISH INTERNALLY (TO BE SELECTED BY COMMERCIAL TENANT)
 - HANDRAIL TO AS 1428.1
 - EXTERNAL LIGHTING DESIGNED IN ACCORDANCE WITH AS 1158.3 - LIGHTING OF ROADS & PUBLIC SPACES & TO THE ACT CRIME PREVENTION & URBAN DESIGN RESOURCES MANUAL
 - TO BE READ IN CONJUNCTION WITH LANDSCAPE DRAWINGS
 - ALL ADAPTABLE UNITS TO COMPLY WITH AS 4299-1995 & THE ACCESS MOBILITY CODE
 - REFER TO ACOUSTIC REPORT
 - REFER TO WIND REPORT
 - TENANCY LAYOUT, RETAIL CONFIGURATION & ACCESS OFF STREET TENANCIES TO BE CONFIRMED WITH SUBSEQUENT INDIVIDUAL DEVELOPMENT APPLICATIONS
 - MINIMUM SIGHTLINES FOR PEDESTRIAN SAFETY WILL OCCUR IN ACCORDANCE WITH AS 2890.1
- ADAPTABLE PARKING
 - BICYCLE PARKING
 - STORAGE AREA 2400mm x 600mm
 - VISITOR PARKING
 - CAR PARK MIRRORS
 - DRYING AREA
 - CONDENSOR UNITS
 - SITE BOUNDARY

ADDITIONAL INFORMATION	DATE
1. FLOOR PLAN (TYPICAL), PUBLIC NOTIFICATION PLAN (TYPICAL) AND OVERALL SITE PLANS FOR LEVEL 6 FLOOR PLAN (TYPICAL) AMENDED TO INCLUDE REFERENCE TO EXTENT OF LEVELS ABOVE. SITE PLANS AMENDED TO INCLUDE NAMING REFERENCE TO RELEVANT AND SPECIFIC TOWERS. BLOCK SPECIFIC SITE PLANS DISPLAYING ROOF PLAN INCLUDING PLANT ROOMS AND LIFT OVERRUN. SCHEDULING OF PROPOSED ADAPTABLE UNITS FOR EACH BLOCK AND BUILDING AMENDED PARKING PLANS TO REFLECT REQUIRED ADAPTABLE NUMBERS BUILDING A: 20, BUILDING B: 25, BUILDING C: 20 INCLUSION OF OSD CATCHMENT TANKS IN BASEMENT AND AT PODIUM LEVEL FOR EACH BUILDING	29.05.15

PARKING SCHEDULE - BUILDING B OVERALL	
TYPE	COUNT
ACCESSIBLE	25
STANDARD	257
STANDARD (PARALLEL)	10
Total	292

PARKING SCHEDULE - BUILDING B GROUND FLOOR	
TYPE	COUNT
ACCESSIBLE	4
STANDARD	26
Total	30

UNIT SCHEDULE - BUILDING B	
NAME	COUNT
1 BED (A)	16
1 BED (B)	34
1 BED (C)	17
1 BED (D)	17
1 BED (E)	17
1 BED (F)	10
1 BED (G)	5
1 BED + (A)	34
1 BED + (B)	20
2 BED 1B (A)	17
2 BED 2B (A)	17
2 BED 2B (AA)	17
2 BED 2B (B)	17
3 BED (A)	5
Total:	243

STORAGE SCHEDULE - BUILDING B	
DESCRIPTION	COUNT
PARKING STORAGE UNIT	243

BICYCLE RAIL SCHEDULE - BUILDING B	
DESCRIPTION	COUNT
DUAL BICYCLE RAIL	10

GFA SCHEDULE - BUILDING B - OVERALL	
LEVEL	AREA
BASEMENT 1.5	179 m ²
GROUND LEVEL	1019 m ²
LEVEL 1	699 m ²
LEVEL 2	658 m ²
LEVEL 3	658 m ²
LEVEL 4	631 m ²
LEVEL 5	810 m ²
LEVEL 6	810 m ²
LEVEL 7	810 m ²
LEVEL 8	810 m ²
LEVEL 9	810 m ²
LEVEL 10	810 m ²
LEVEL 11	810 m ²
LEVEL 12	810 m ²
LEVEL 13	810 m ²
LEVEL 14	810 m ²
LEVEL 15	810 m ²
LEVEL 16	810 m ²
LEVEL 17	810 m ²
LEVEL 18	810 m ²
LEVEL 19	810 m ²
LEVEL 20	810 m ²
LEVEL 21	810 m ²
LEVEL 22 (PLANT)	616 m ²
TOTAL	18232 m²

NOTES

HEAD HEIGHT OVER ACCESSIBLE CAR PARKING SPACES TO BE IN ACCORDANCE WITH AS 2890.6

PASSENGER LIFTS TO AS 1735.12 & BCA E3.6

ACCESSIBLE PATH OF TRAVEL PROVIDED TO ALL SOUL OCCUPANCY UNITS SERVED BY A LIFT

TACTILE INDICATORS TO ROAD CROSSINGS AS PER AS 1428.4

ENTRANCE TO ALL BUILDINGS ALONG ACCESSIBLE PATH OF TRAVEL ARE ACCESSIBLE TO AS 128.1

ALL DOORS SINGLE LEAF 920mm OR ACTIVE LEAF OF DOUBLE DOORS MIN 920mm

ACCESS TO WASTE ROOM NOT PROVIDED TO TENANTS

ALL FLOOR SURFACES TO BE SLIP RESISTANT, BROOM FINISHED CONCRETE EXTERNAL (OR SIMILAR), SLIP RESISTANT FLOOR FINISH INTERNALLY (TO BE SELECTED BY COMMERCIAL TENANT)

HANDRAIL TO AS 1428.1

EXTERNAL LIGHTING DESIGNED IN ACCORDANCE WITH AS 1198.3 - LIGHTING OF ROADS & PUBLIC SPACES & TO THE ACT CRIME PREVENTION & URBAN DESIGN RESOURCES MANUAL

TO BE READ IN CONJUNCTION WITH LANDSCAPE DRAWINGS

ALL ADAPTABLE UNITS TO COMPLY WITH AS 4299-1995 & THE ACCESS MOBILITY CODE

REFER TO ACOUSTIC REPORT

REFER TO WIND REPORT

TENANCY LAYOUT, RETAIL CONFIGURATION & ACCESS OFF STREET TENANCIES TO BE CONFIRMED WITH SUBSEQUENT INDIVIDUAL DEVELOPMENT APPLICATIONS

MINIMUM SIGHTLINES FOR PEDESTRIAN SAFETY WILL OCCUR IN ACCORDANCE WITH AS 2890.1

ADAPTABLE UNITS - BUILDING B		
Level	Room Number	Unit Type
LEVEL 5	049	1 BED + (A)
LEVEL 6	060	1 BED + (A)
LEVEL 6	061	1 BED + (A)
LEVEL 7	068	1 BED + (A)
LEVEL 7	069	1 BED + (A)
LEVEL 8	080	1 BED + (A)
LEVEL 8	081	1 BED + (A)
LEVEL 9	092	1 BED + (A)
LEVEL 9	093	1 BED + (A)
LEVEL 10	104	1 BED + (A)
LEVEL 10	105	1 BED + (A)
LEVEL 11	116	1 BED + (A)
LEVEL 11	117	1 BED + (A)
LEVEL 12	128	1 BED + (A)
LEVEL 12	129	1 BED + (A)
LEVEL 13	140	1 BED + (A)
LEVEL 13	141	1 BED + (A)
LEVEL 14	152	1 BED + (A)
LEVEL 14	153	1 BED + (A)
LEVEL 15	164	1 BED + (A)
LEVEL 15	165	1 BED + (A)
LEVEL 16	176	1 BED + (A)
LEVEL 16	177	1 BED + (A)
LEVEL 17	188	1 BED + (A)
LEVEL 17	189	1 BED + (A)
LEVEL 18	200	1 BED + (A)
LEVEL 18	201	1 BED + (A)
LEVEL 19	212	1 BED + (A)
LEVEL 19	213	1 BED + (A)
LEVEL 20	224	1 BED + (A)
LEVEL 20	225	1 BED + (A)
LEVEL 21	236	1 BED + (A)
LEVEL 21	237	1 BED + (A)
Total Adaptable Units:	33	

NOTES

PASSENGER LIFTS TO AS 1735.12 & BCA E3.6

ALL ADAPTABLE UNITS TO COMPLY WITH AS 4299-1995 & THE ACCESS MOBILITY CODE

ALL UNITS TO COMPLY WITH RELEVANT SECTIONS OF THE BCA & AUSTRALIAN STANDARDS

ALL TOWER UNITS HAVE DIRECT ACCESS TO WASTE CHUTE THAT FEED TO WASTE ROOM BELOW

ACCESSIBLE PATH OF TRAVEL PROVIDED TO SOUL OCCUPANCY UNITS SERVED BY A LIFT

TACTILE INDICATORS TO ROAD CROSSINGS AS PER AS 1428.4

ENTRANCE TO ALL BUILDINGS ALONG ACCESSIBLE PATH OF TRAVEL ARE ACCESSIBLE TO AS 128.1

ALL DOORS SINGLE LEAF 920mm OR ACTIVE LEAF OF DOUBLE DOORS MIN 920mm

ACCESS TO WASTE ROOM, ELECTRICAL ROOM OR GREASE TRAP ROOM NOT PROVIDED TO TENANTS

ALL FLOOR SURFACES TO BE SLIP RESISTANT, BROOM FINISHED CONCRETE EXTERNAL (OR SIMILAR), SLIP RESISTANT FLOOR FINISH INTERNALLY (TO BE SELECTED BY COMMERCIAL TENANT)

HANDRAIL TO AS 1428.1

LEGEND

A ACCESSIBLE APARTMENT

PS 1.8 NOM. HIGH PRIVACY SCREENING

ADAPTABLE PARKING

BICYCLE PARKING

STORAGE AREA 2400mm x 600mm

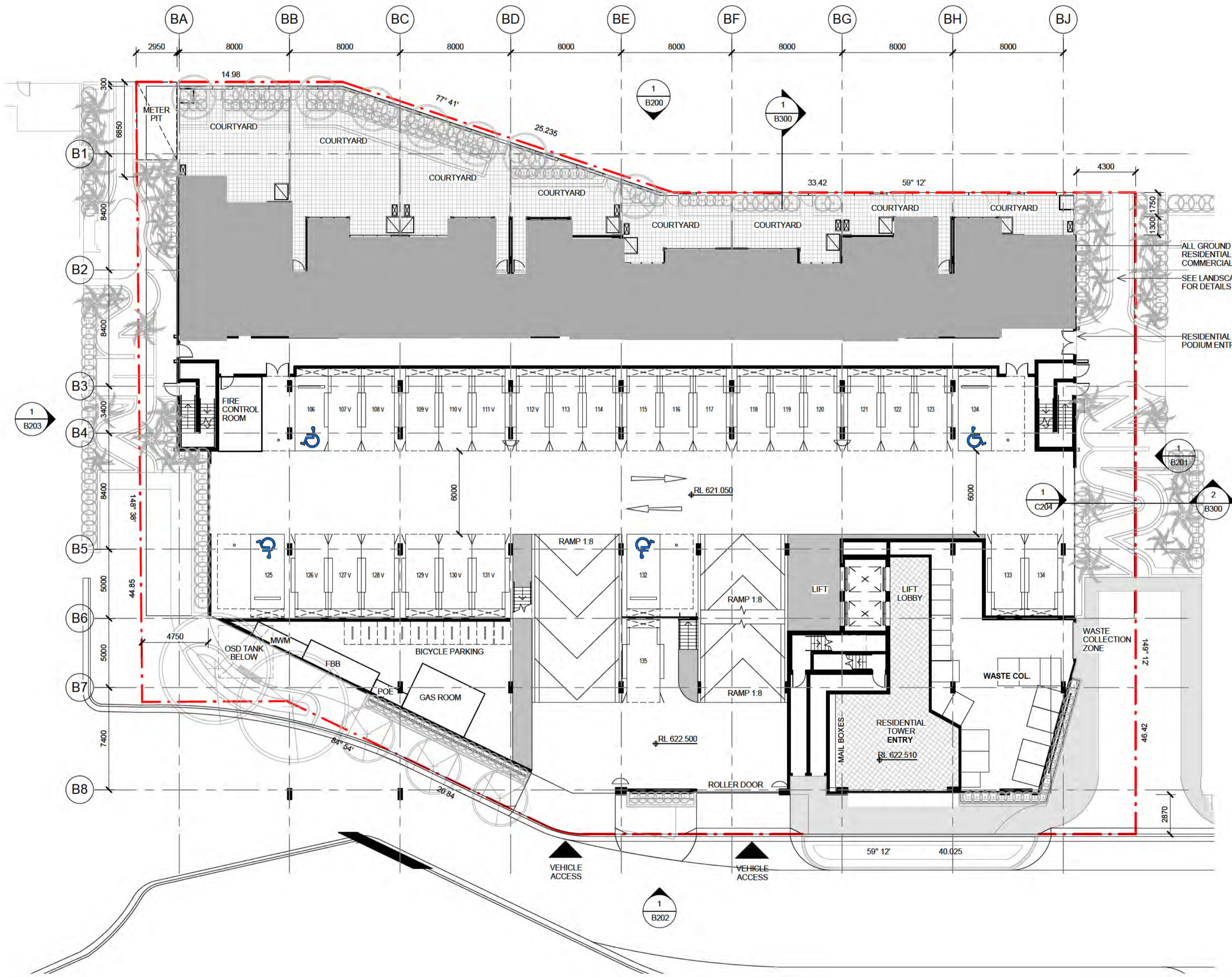
V VISITOR PARKING

CAR PARK MIRRORS

DRYING AREA

CONDENSOR UNITS

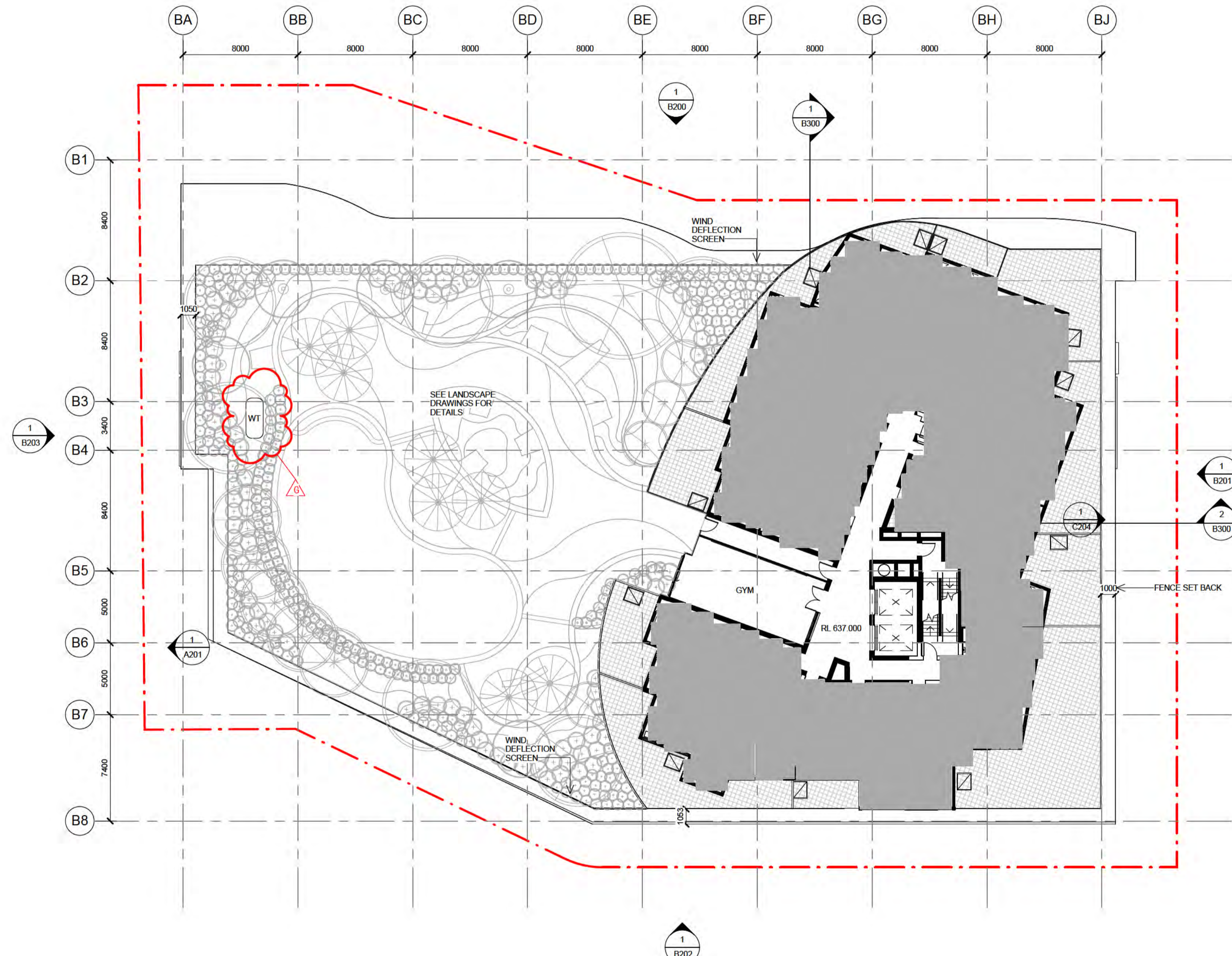
SITE BOUNDARY



ADDITIONAL INFORMATION	DATE
1. FLOOR PLAN (TYPICAL), PUBLIC NOTIFICATION PLAN (TYPICAL) AND OVERALL SITE PLANS FOR LEVEL 6 FLOOR PLAN (TYPICAL) AMENDED TO INCLUDE REFERENCE TO EXTENT OF LEVELS ABOVE.	29.05.15
SITE PLANS AMENDED TO INCLUDE NAMING REFERENCE TO RELEVANT AND SPECIFIC TOWERS.	
BLOCK SPECIFIC SITE PLANS DISPLAYING ROOF PLAN INCLUDING PLANT ROOMS AND LIFT OVERRUN.	
SCHEDULING OF PROPOSED ADAPTABLE UNITS FOR EACH BLOCK AND BUILDING	
AMENDED PARKING PLANS TO REFLECT REQUIRED ADAPTABLE NUMBERS BUILDING A: 20, BUILDING B: 25, BUILDING C: 20	
INCLUSION OF OSD CATCHMENT TANKS IN BASEMENT AND AT PODIUM LEVEL FOR EACH BUILDING	

GFA SCHEDULE - BUILDING B - OVERALL

LEVEL	AREA
BASEMENT 1.5	179 m ²
GROUND LEVEL	1019 m ²
LEVEL 1	699 m ²
LEVEL 2	658 m ²
LEVEL 3	658 m ²
LEVEL 4	631 m ²
LEVEL 5	810 m ²
LEVEL 6	810 m ²
LEVEL 7	810 m ²
LEVEL 8	810 m ²
LEVEL 9	810 m ²
LEVEL 10	810 m ²
LEVEL 11	810 m ²
LEVEL 12	810 m ²
LEVEL 13	810 m ²
LEVEL 14	810 m ²
LEVEL 15	810 m ²
LEVEL 16	810 m ²
LEVEL 17	810 m ²
LEVEL 18	810 m ²
LEVEL 19	810 m ²
LEVEL 20	810 m ²
LEVEL 21	810 m ²
LEVEL 22 (PLANT)	616 m ²
TOTAL	18232 m²

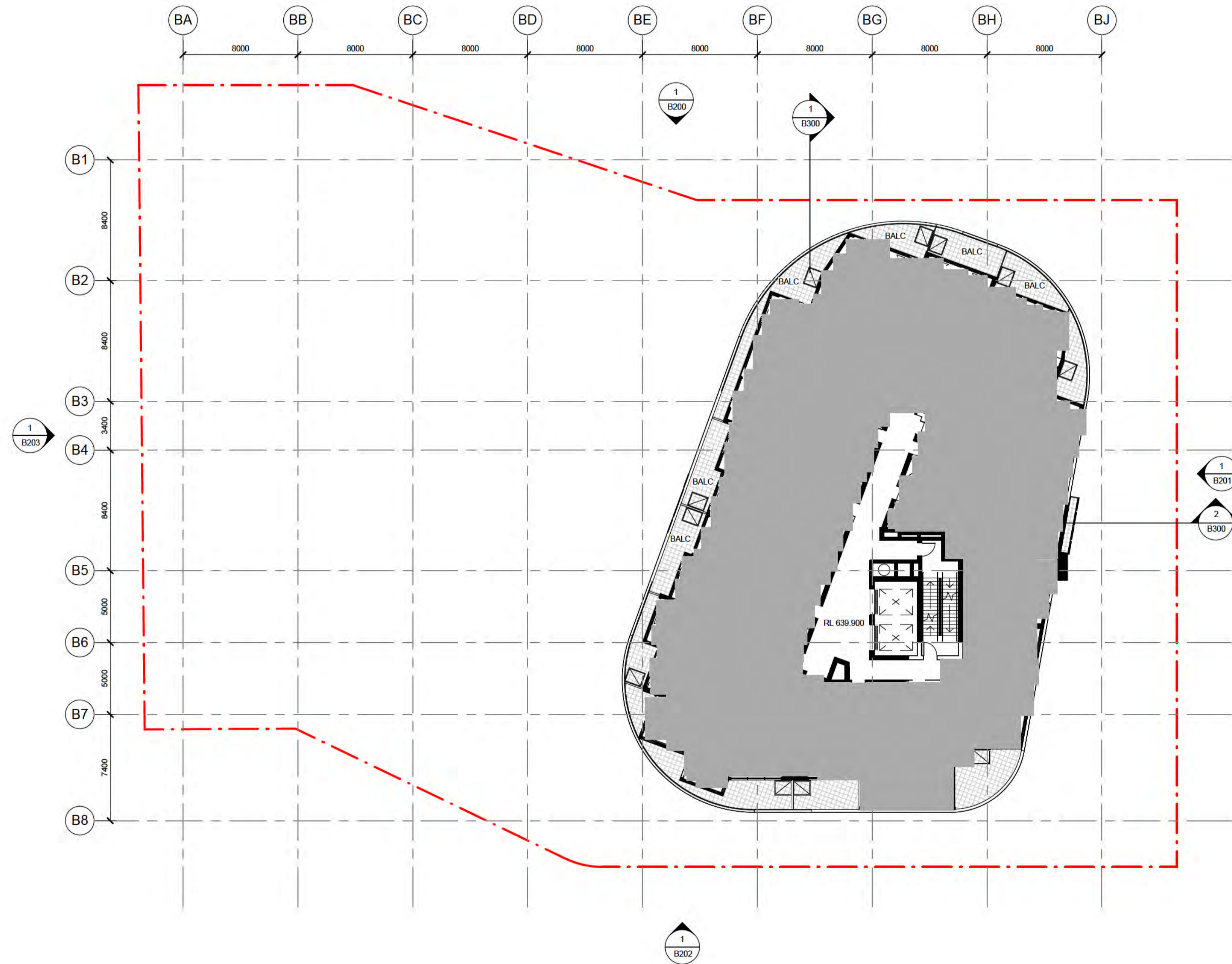


- NOTES**
- PASSENGER LIFTS TO AS1735.12 & BCA E3.6
 - ALL ADAPTABLE UNITS TO COMPLY WITH AS 4299-1996 & THE ACCESS MOBILITY CODE
 - ALL UNITS TO COMPLY WITH RELEVANT SECTIONS OF THE BCA & AUST STANDARDS
 - ALL TOWER UNITS HAVE DIRECT ACCESS TO WASTE CHUTE THAT FEED TO WASTE ROOM BELOW
 - ACCESSIBLE PATH OF TRAVEL PROVIDED TO SOUL OCCUPANCY UNITS SERVED BY A LIFT
 - TACTILE INDICATORS TO ROAD CROSSINGS AS PER AS 1428.4
 - ENTRANCE TO ALL BUILDINGS ALONG ACCESSIBLE PATH OF TRAVEL ARE ACCESSIBLE TO AS 128.1
 - ALL DOORS SINGLE LEAF 920mm OR ACTIVE LEAF OF DOUBLE DOORS MIN 920mm
 - ACCESS TO WASTE ROOM, ELECTRICAL ROOM OR GREASE TRAP ROOM NOT PROVIDED TO TENANTS
 - ALL FLOOR SURFACES TO BE SLIP RESISTANT, BROOM FINISHED CONCRETE EXTERNAL (OR SIMILAR), SLIP RESISTANT FLOOR FINISH INTERNALLY (TO BE SELECTED BY COMMERCIAL TENANT)
 - HANDRAIL TO AS 1428.1
- LEGEND**
- A ACCESSIBLE APARTMENT
 - PS 1.8 NOM. HIGH PRIVACY SCREENING
 - ADAPTABLE PARKING
 - BICYCLE PARKING
 - STORAGE AREA 2400mm x 600mm
 - V VISITOR PARKING
 - CAR PARK MIRRORS
 - DRYING AREA
 - CONDENSOR UNITS
 - SITE BOUNDARY

ADDITIONAL INFORMATION	DATE
1. FLOOR PLAN (TYPICAL), PUBLIC NOTIFICATION PLAN (TYPICAL) AND OVERALL SITE PLANS FOR LEVEL 6 FLOOR PLAN (TYPICAL) AMENDED TO INCLUDE REFERENCE TO EXTENT OF LEVELS ABOVE.	29.05.15
SITE PLANS AMENDED TO INCLUDE NAMING REFERENCE TO RELEVANT AND SPECIFIC TOWERS.	
BLOCK SPECIFIC SITE PLANS DISPLAYING ROOF PLAN INCLUDING PLANT ROOMS AND LIFT OVERRUN.	
SCHEDULING OF PROPOSED ADAPTABLE UNITS FOR EACH BLOCK AND BUILDING	
AMENDED PARKING PLANS TO REFLECT REQUIRED ADAPTABLE NUMBERS BUILDING A: 20, BUILDING B: 25, BUILDING C: 20	
INCLUSION OF OSD CATCHMENT TANKS IN BASEMENT AND AT PODIUM LEVEL FOR EACH BUILDING	

GFA SCHEDULE - BUILDING B - OVERALL

LEVEL	AREA
BASEMENT 1.5	179 m ²
GROUND LEVEL	1019 m ²
LEVEL 1	699 m ²
LEVEL 2	658 m ²
LEVEL 3	658 m ²
LEVEL 4	631 m ²
LEVEL 5	810 m ²
LEVEL 6	810 m ²
LEVEL 7	810 m ²
LEVEL 8	810 m ²
LEVEL 9	810 m ²
LEVEL 10	810 m ²
LEVEL 11	810 m ²
LEVEL 12	810 m ²
LEVEL 13	810 m ²
LEVEL 14	810 m ²
LEVEL 15	810 m ²
LEVEL 16	810 m ²
LEVEL 17	810 m ²
LEVEL 18	810 m ²
LEVEL 19	810 m ²
LEVEL 20	810 m ²
LEVEL 21	810 m ²
LEVEL 22 (PLANT)	616 m ²
TOTAL	18232 m²



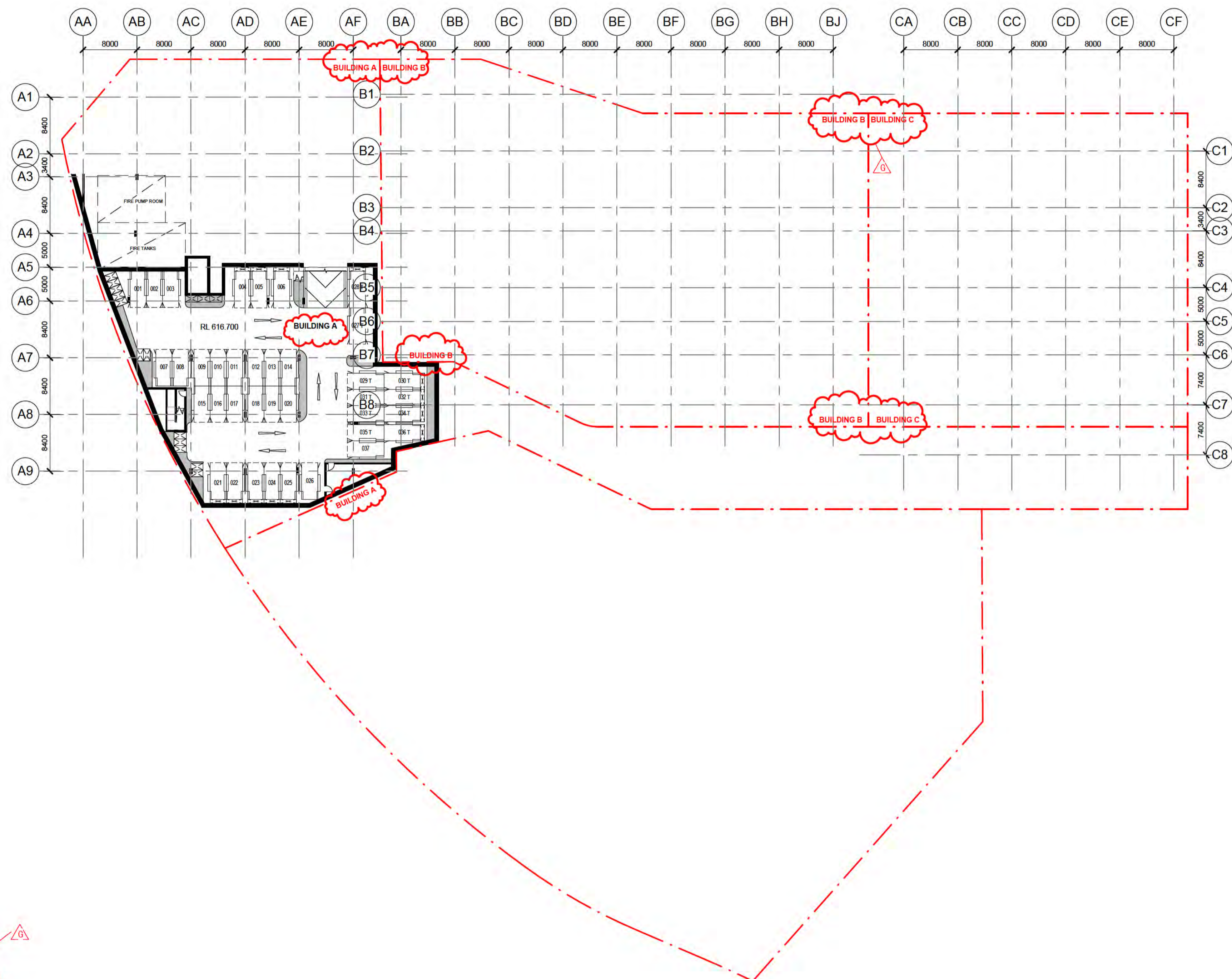
- NOTES**
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 - HANDRAIL TO AS 1428.1
- LEGEND**
- A ACCESSIBLE APARTMENT
 - PS 1.8 NOM. HIGH PRIVACY SCREENING
 - ADAPTABLE PARKING
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 - V VISITOR PARKING
 - CAR PARK MIRRORS
 - DRYING AREA
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ADDITIONAL INFORMATION	DATE
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INCLUSION OF OSD CATCHMENT TANKS IN BASEMENT AND AT PODIUM LEVEL FOR EACH BUILDING	

**PARKING SCHEDULE -
BUILDING A BASEMENT 2**

TYPE	COUNT
------	-------

STANDARD	37
Total	37



ADDITIONAL INFORMATION

1.	DATE
FLOOR PLAN (TYPICAL), PUBLIC NOTIFICATION PLAN (TYPICAL) AND OVERALL SITE PLANS FOR LEVEL 6 FLOOR PLAN (TYPICAL) AMENDED TO INCLUDE REFERENCE TO EXTENT OF LEVELS ABOVE.	29.05.15

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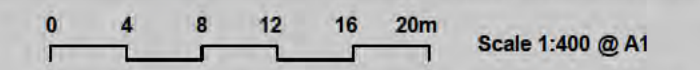
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INCLUSION OF OSD CATCHMENT TANKS IN BASEMENT AND AT PODIUM LEVEL FOR EACH BUILDING

- LEGEND**
- ADAPTABLE PARKING
 - BICYCLE PARKING
 - STORAGE AREA 2400mm x 600mm
 - VISITOR PARKING
 - CAR PARK MIRRORS
 - DRYING AREA
 - CONDENSOR UNITS
 - SITE BOUNDARY

NOT TO BE USED FOR CONSTRUCTION



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DA-S100 OVERALL - BASEMENT 2 PLAN

revision G date 29.05.15
project 4188



PARKING SCHEDULE - BUILDING A BASEMENT

TYPE	COUNT
------	-------

ACCESSIBLE	5
STANDARD	56
Total	61

PARKING SCHEDULE - BUILDING B BASEMENT

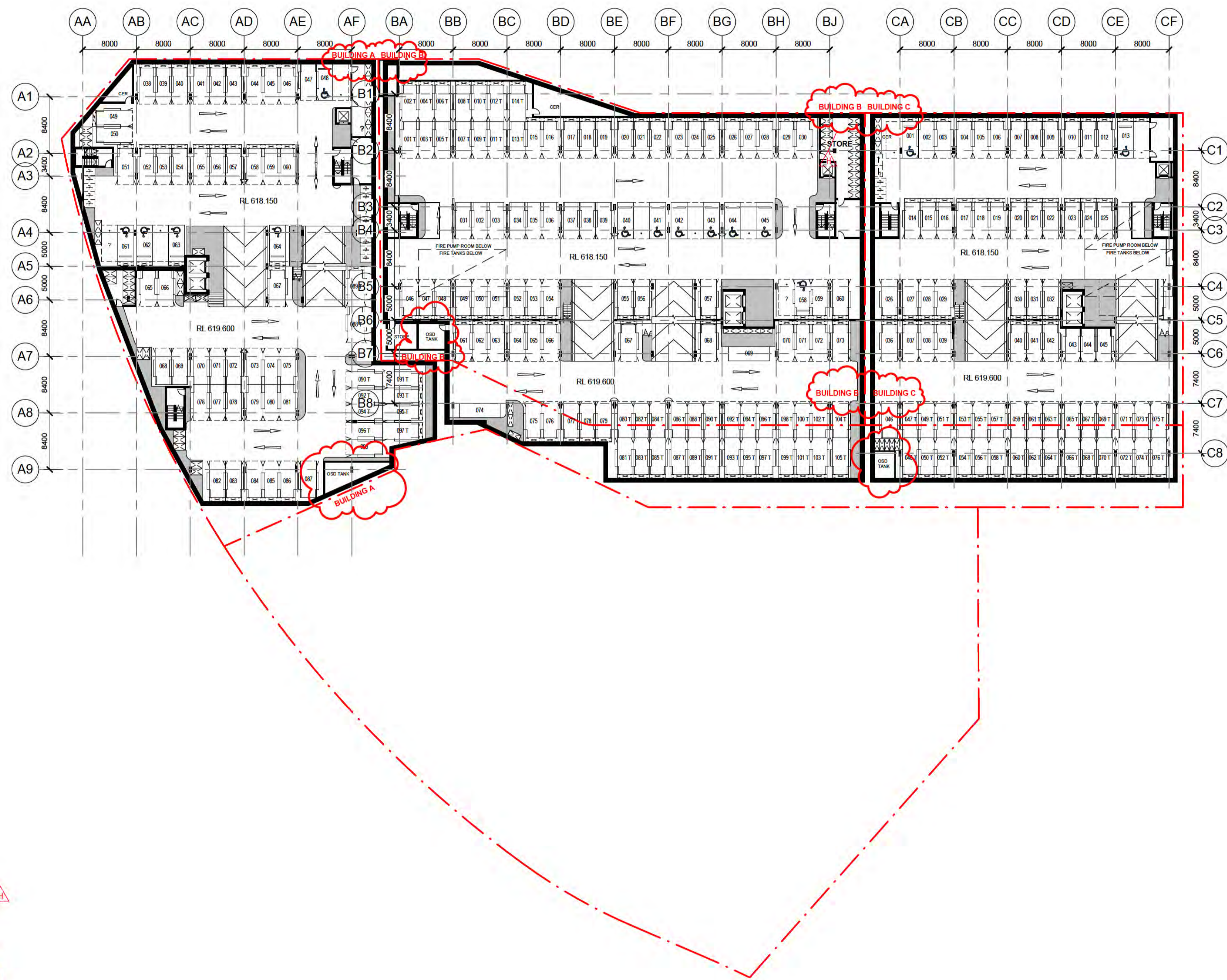
TYPE	COUNT
------	-------

ACCESSIBLE	7
STANDARD	96
STANDARD (PARALLEL)	2
Total	105

PARKING SCHEDULE - BUILDING C BASEMENT

TYPE	COUNT
------	-------

ACCESSIBLE	3
SMALL CAR	3
STANDARD	70
Total	76



ADDITIONAL INFORMATION

NO.	DESCRIPTION	DATE
1.	FLOOR PLAN (TYPICAL), PUBLIC NOTIFICATION PLAN (TYPICAL) AND OVERALL SITE PLANS FOR LEVEL 6 FLOOR PLAN (TYPICAL) AMENDED TO INCLUDE REFERENCE TO EXTENT OF LEVELS ABOVE.	29.05.15

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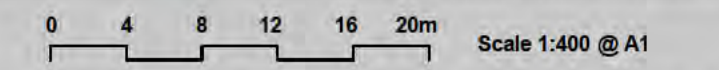
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INCLUSION OF OSD CATCHMENT TANKS IN BASEMENT AND AT PODIUM LEVEL FOR EACH BUILDING.

- LEGEND**
- ADAPTABLE PARKING
 - BICYCLE PARKING
 - STORAGE AREA 2400mm x 600mm
 - VISITOR PARKING
 - CAR PARK MIRRORS
 - DRYING AREA
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DA-S101 OVERALL - BASEMENT PLAN

revision H date 29.05.15
project 4188

PARKING SCHEDULE - BUILDING A GROUND FLOOR

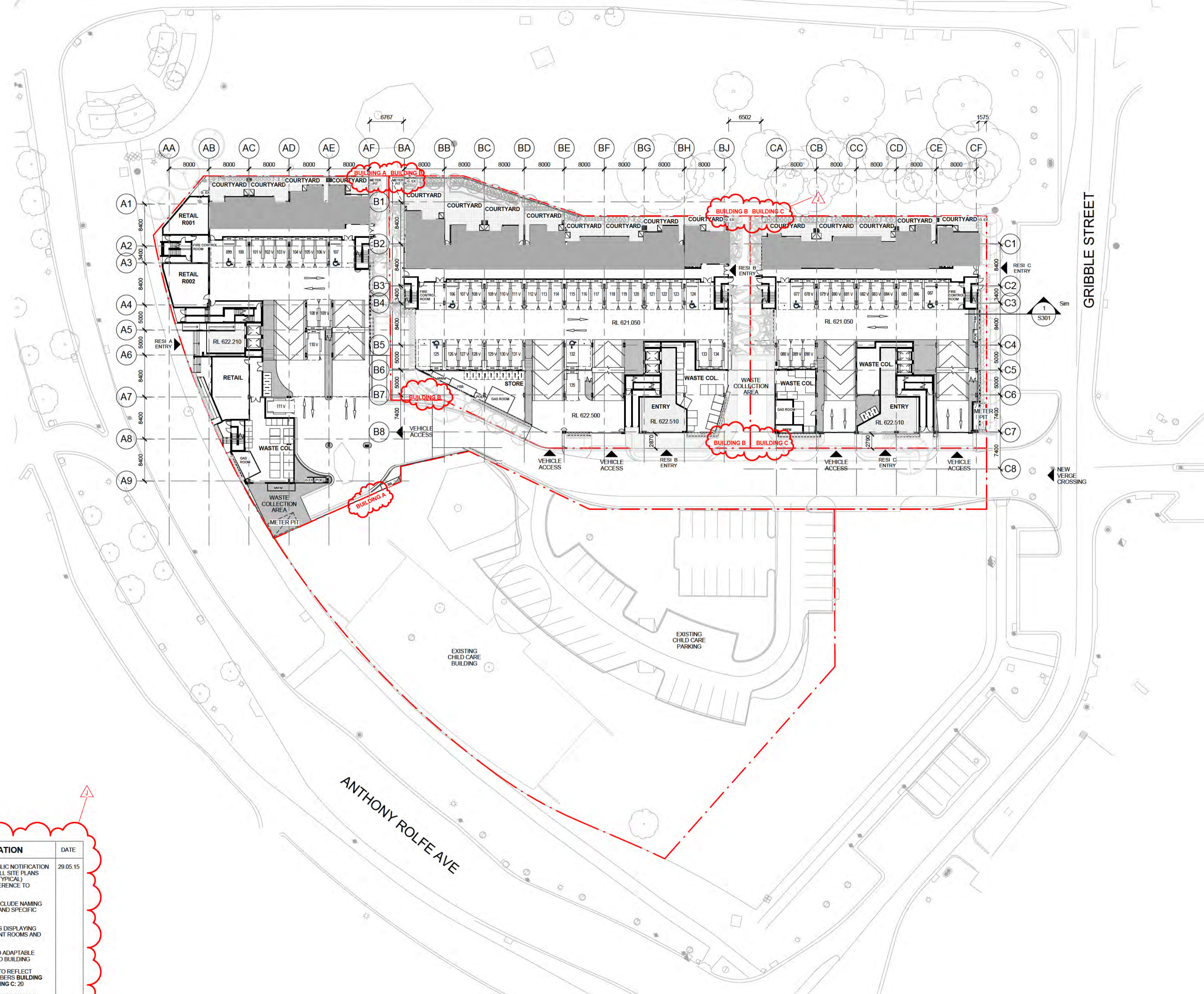
TYPE	COUNT
ACCESSIBLE	2
STANDARD	11
Total	13

PARKING SCHEDULE - BUILDING B GROUND FLOOR

TYPE	COUNT
ACCESSIBLE	4
STANDARD	26
Total	30

PARKING SCHEDULE - BUILDING C GROUND FLOOR

TYPE	COUNT
ACCESSIBLE	2
STANDARD	12
Total	14

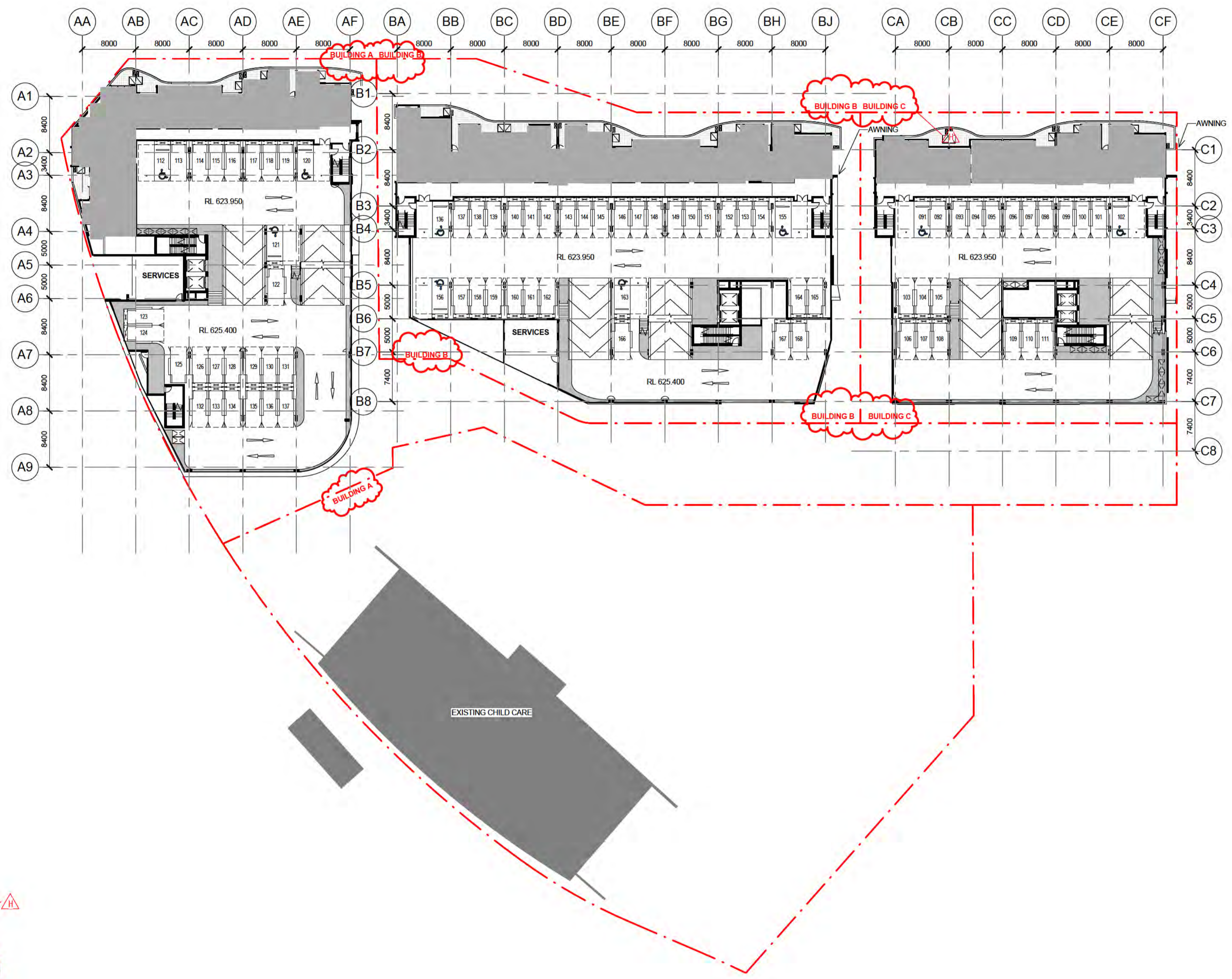


ANTHONY ROLFE AVE

GRIBBLE STREET

ADDITIONAL INFORMATION	DATE
1. FLOOR PLAN (TYPICAL), PUBLIC NOTIFICATION PLAN (TYPICAL) AND OVERALL SITE PLANS FOR LEVEL 6 FLOOR PLAN (TYPICAL) AMENDED TO INCLUDE REFERENCE TO EXTENT OF LEVELS ABOVE. SITE PLANS AMENDED TO INCLUDE NAMING REFERENCE TO RELEVANT AND SPECIFIC TOWERS. BLOCK SPECIFIC SITE PLANS DISPLAYING ROOF PLAN INCLUDING PLANT ROOMS AND LIFT OVERRUN. SCHEDULING OF PROPOSED ADAPTABLE UNITS FOR EACH BLOCK AND BUILDING AMENDED PARKING PLANS TO REFLECT REQUIRED ADAPTABLE NUMBERS BUILDING A: 20, BUILDING B: 25, BUILDING C: 20 INCLUSION OF OSD CATCHMENT TANKS IN BASEMENT AND AT PODIUM LEVEL FOR EACH BUILDING	29.05.15

- LEGEND**
- ADAPTABLE PARKING
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 - DRYING AREA
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 - SITE BOUNDARY



PARKING SCHEDULE - BUILDING A LEVEL 1

TYPE	COUNT
------	-------

ACCESSIBLE	3
STANDARD	23
Total	26

PARKING SCHEDULE - BUILDING B LEVEL 1

TYPE	COUNT
------	-------

ACCESSIBLE	4
STANDARD	29
Total	33

PARKING SCHEDULE - BUILDING C LEVEL 1

TYPE	COUNT
------	-------

ACCESSIBLE	2
STANDARD	19
Total	21

ADDITIONAL INFORMATION

NO.	DESCRIPTION	DATE
1.	FLOOR PLAN (TYPICAL), PUBLIC NOTIFICATION PLAN (TYPICAL) AND OVERALL SITE PLANS FOR LEVEL 01 FLOOR PLAN (TYPICAL) AMENDED TO INCLUDE REFERENCE TO EXTENT OF LEVELS ABOVE.	29.05.15

SITE PLANS AMENDED TO INCLUDE NAMING REFERENCE TO RELEVANT AND SPECIFIC TOWERS.

BLOCK SPECIFIC SITE PLANS DISPLAYING ROOF PLAN INCLUDING PLANT ROOMS AND LIFT OVERRUN.

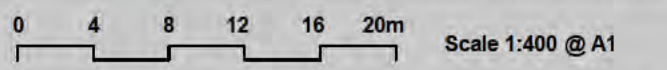
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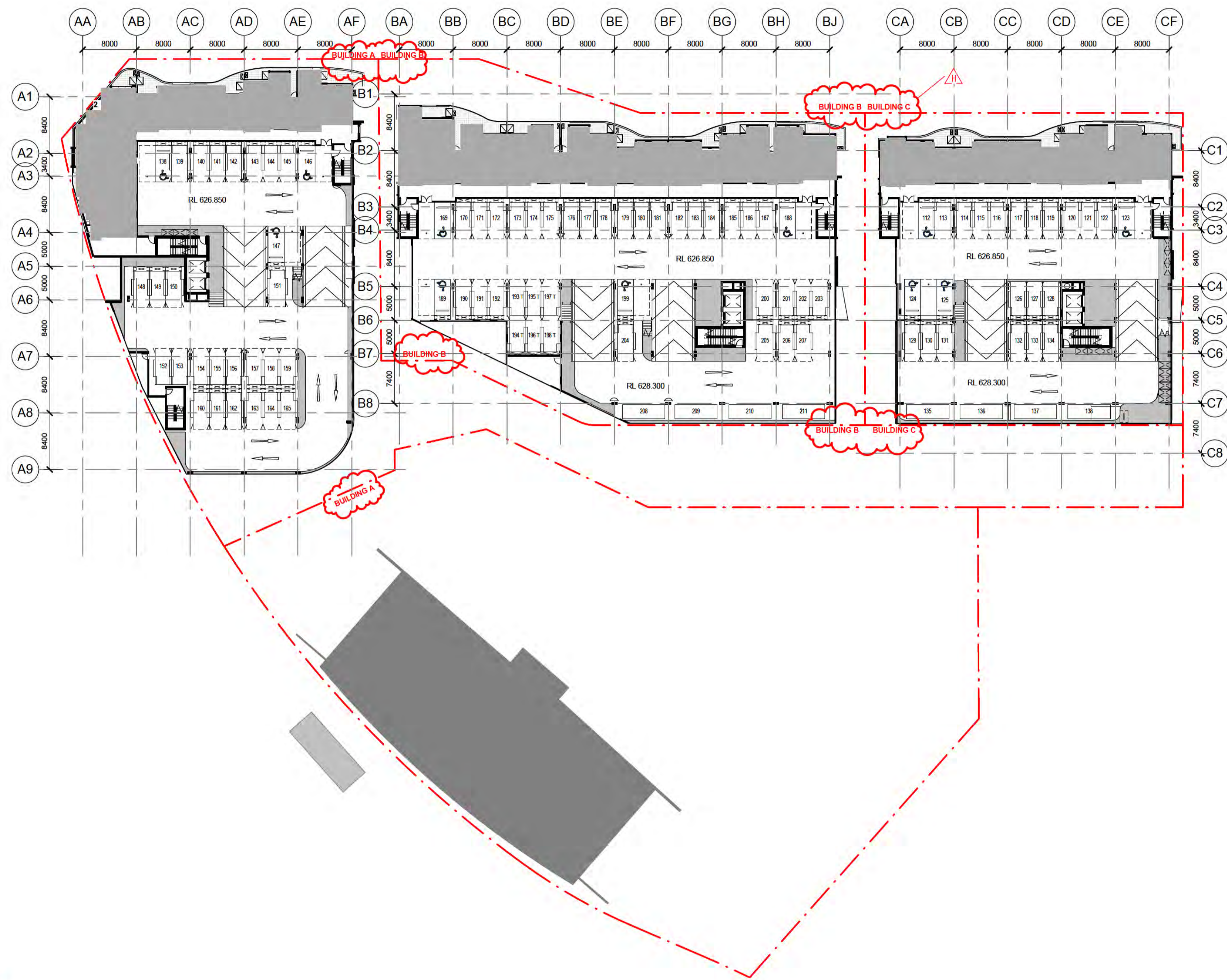
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DA-S103 OVERALL - LEVEL 01 FLOOR PLAN



PARKING SCHEDULE - BUILDING A LEVEL 2

TYPE	COUNT
ACCESSIBLE	3
STANDARD	25
Total	28

PARKING SCHEDULE - BUILDING B LEVEL 2

TYPE	COUNT
ACCESSIBLE	4
STANDARD	35
STANDARD (PARALLEL)	4
Total	43

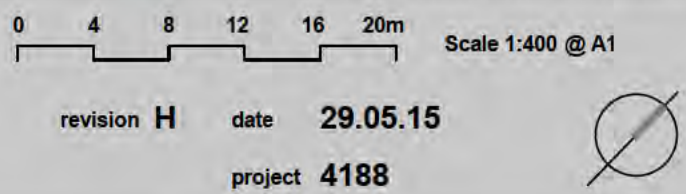
PARKING SCHEDULE - BUILDING C LEVEL 2

TYPE	COUNT
ACCESSIBLE	4
BICYCLE	7
STANDARD	19
STANDARD (PARALLEL)	4
Total	34

ADDITIONAL INFORMATION	DATE
1. FLOOR PLAN (TYPICAL), PUBLIC NOTIFICATION PLAN (TYPICAL) AND OVERALL SITE PLANS FOR LEVEL 02 FLOOR PLAN (TYPICAL) AMENDED TO INCLUDE REFERENCE TO EXTENT OF LEVELS ABOVE. SITE PLANS AMENDED TO INCLUDE NAMING REFERENCE TO RELEVANT AND SPECIFIC TOWERS. BLOCK SPECIFIC SITE PLANS DISPLAYING ROOF PLAN INCLUDING PLANT ROOMS AND LIFT OVERRUN. SCHEDULING OF PROPOSED ADAPTABLE UNITS FOR EACH BLOCK AND BUILDING AMENDED PARKING PLANS TO REFLECT REQUIRED ADAPTABLE NUMBERS BUILDING A: 20, BUILDING B: 25, BUILDING C: 20 INCLUSION OF OSD CATCHMENT TANKS IN BASEMENT AND AT PODIUM LEVEL FOR EACH BUILDING	29.05.15

- LEGEND**
- ADAPTABLE PARKING
 - BICYCLE PARKING
 - STORAGE AREA 2400mm x 600mm
 - VISITOR PARKING
 - CAR PARK MIRRORS
 - DRYING AREA
 - CONDENSOR UNITS
 - SITE BOUNDARY

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DA-S104 OVERALL - LEVEL 02 FLOOR PLAN

PARKING SCHEDULE - BUILDING A LEVEL 3

TYPE	COUNT
------	-------

ACCESSIBLE	3
STANDARD	23
Total	26

PARKING SCHEDULE - BUILDING B LEVEL 3

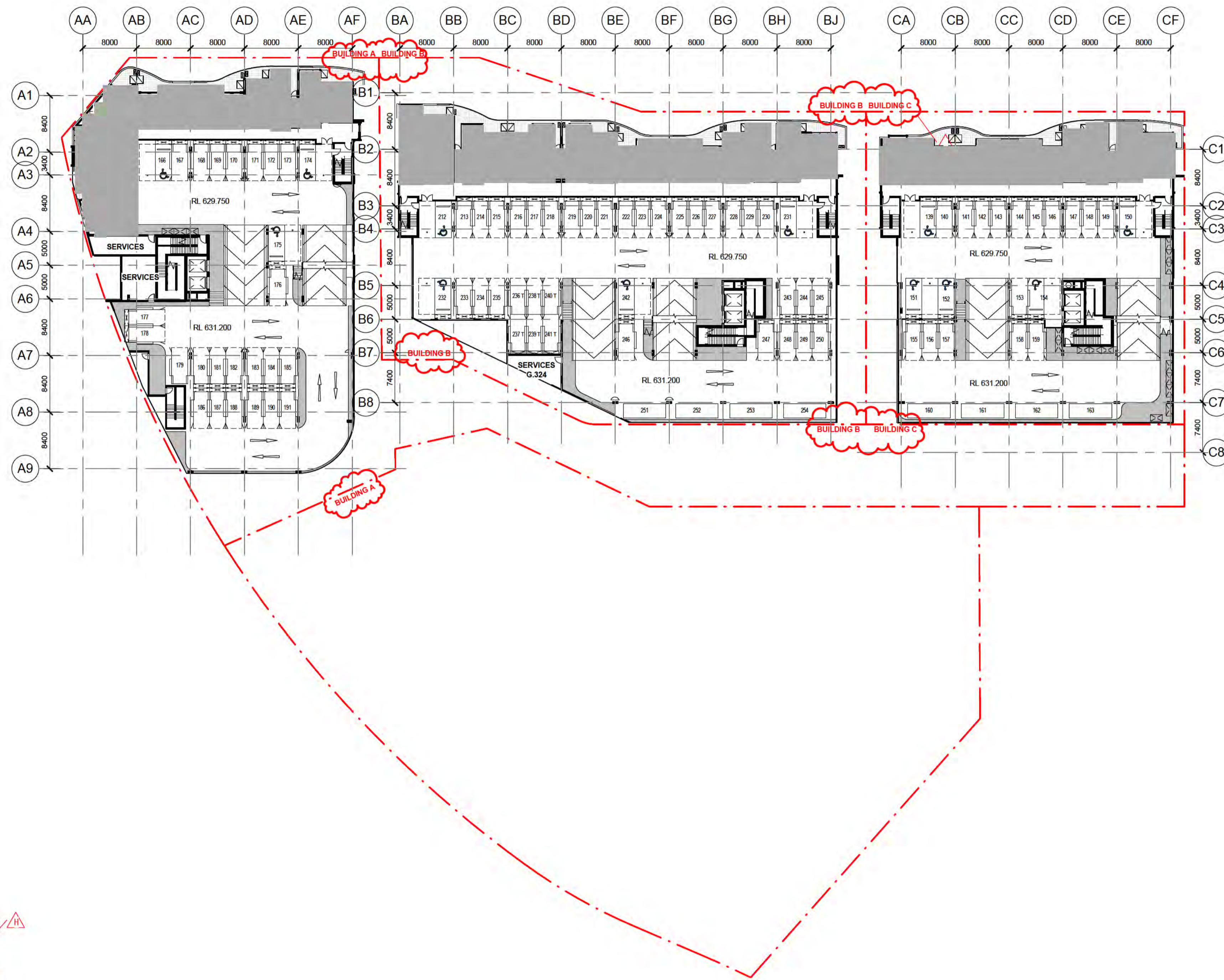
TYPE	COUNT
------	-------

ACCESSIBLE	4
STANDARD	35
STANDARD (PARALLEL)	4
Total	43

PARKING SCHEDULE - BUILDING C LEVEL 3

TYPE	COUNT
------	-------

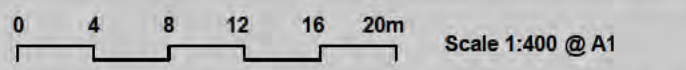
ACCESSIBLE	5
STANDARD	16
STANDARD (PARALLEL)	4
Total	25



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DA-S105 OVERALL - LEVEL 03 FLOOR PLAN

PARKING SCHEDULE - BUILDING A LEVEL 4

TYPE	COUNT
------	-------

ACCESSIBLE	4
STANDARD	8
Total	12

PARKING SCHEDULE - BUILDING B LEVEL 4

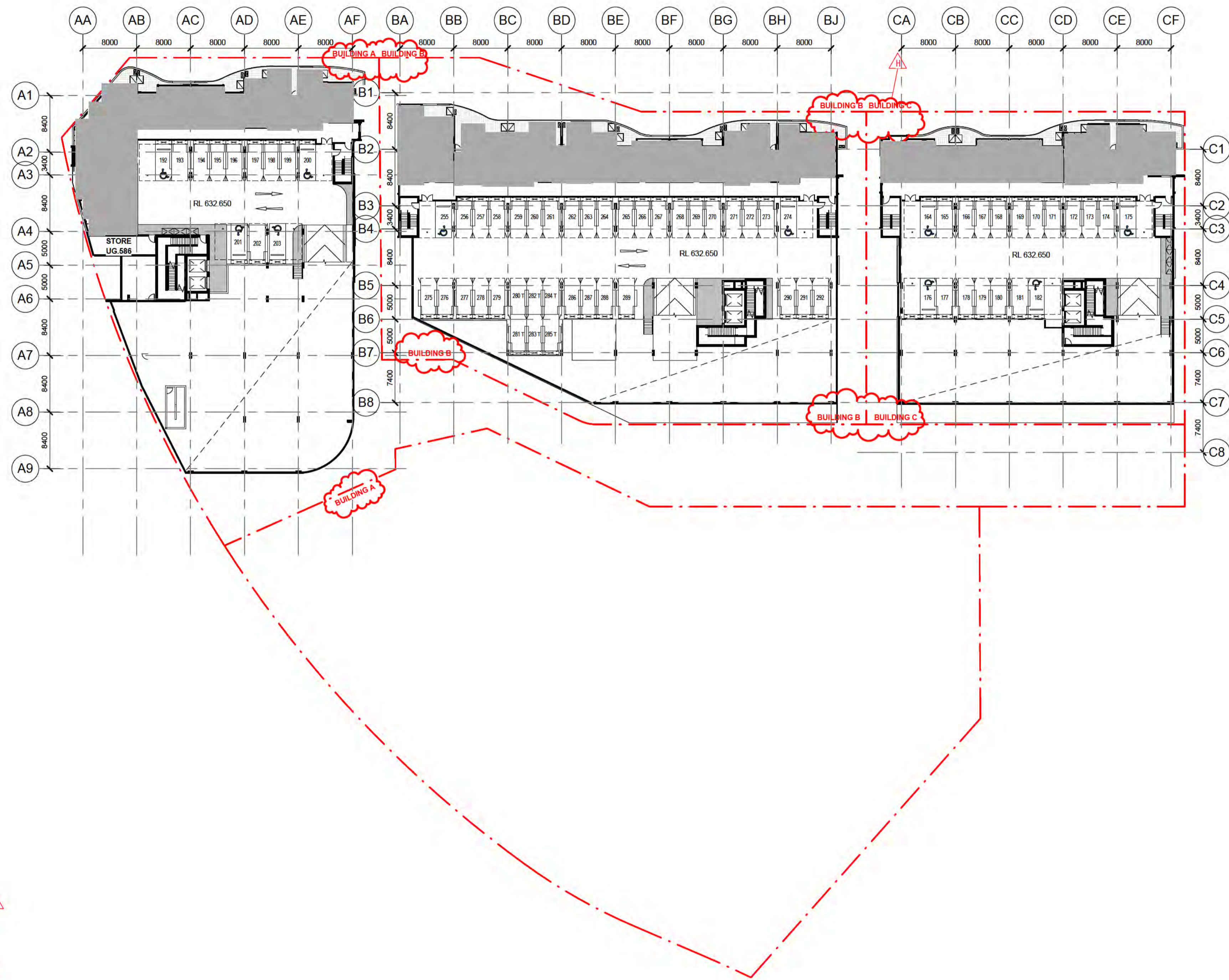
TYPE	COUNT
------	-------

ACCESSIBLE	2
STANDARD	36
Total	38

PARKING SCHEDULE - BUILDING C LEVEL 4

TYPE	COUNT
------	-------

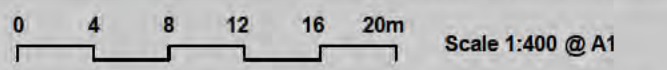
ACCESSIBLE	4
STANDARD	15
Total	19



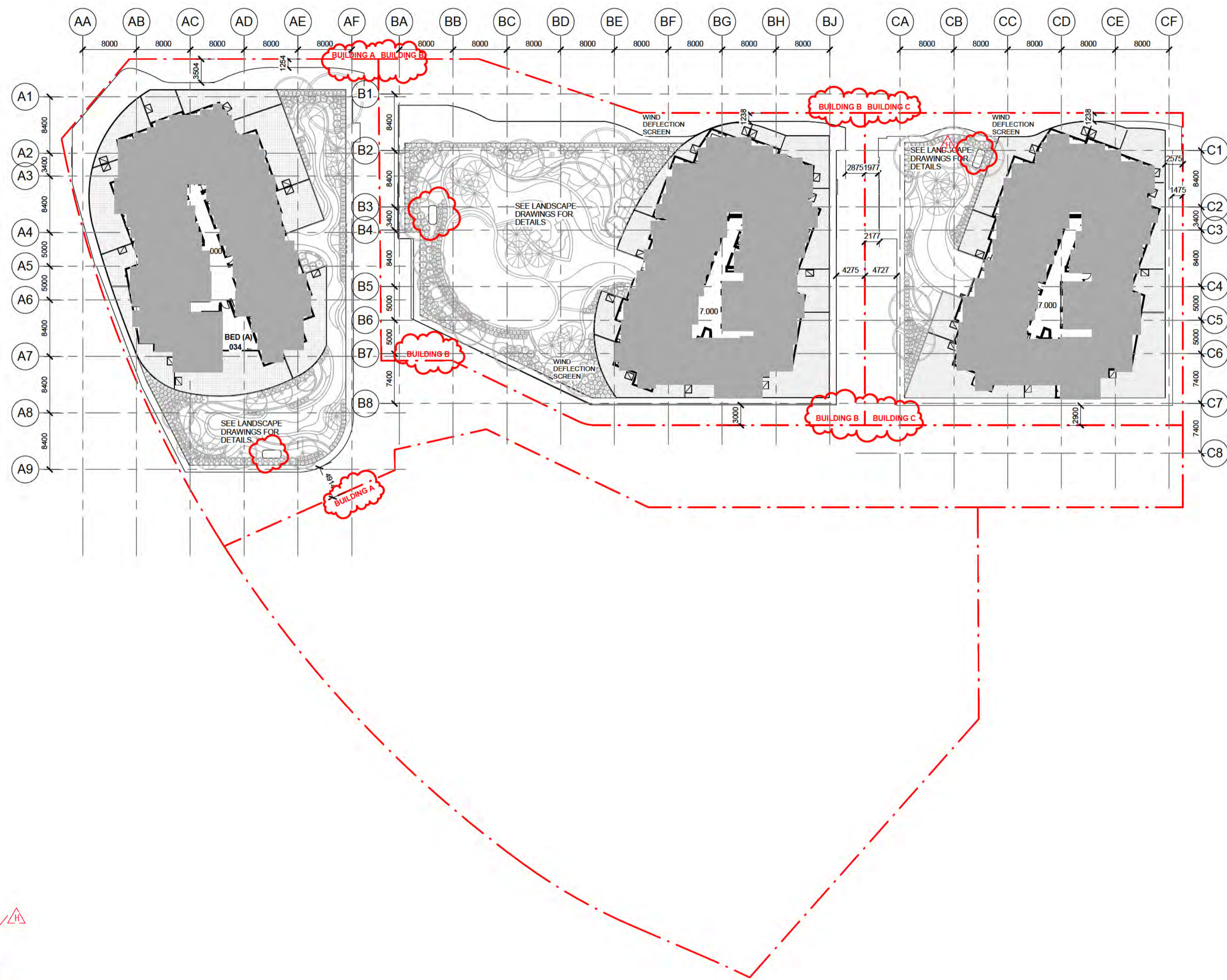
ADDITIONAL INFORMATION	DATE
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revision H date 29.05.15 project 4188



ADDITIONAL INFORMATION	DATE
<p>1. FLOOR PLAN (TYPICAL), PUBLIC NOTIFICATION PLAN (TYPICAL) AND OVERALL SITE PLANS FOR LEVEL 05 FLOOR PLAN (TYPICAL) AMENDED TO INCLUDE REFERENCE TO EXTENT OF LEVELS ABOVE.</p> <p>SITE PLANS AMENDED TO INCLUDE NAMING REFERENCE TO RELEVANT AND SPECIFIC TOWERS.</p> <p>BLOCK SPECIFIC SITE PLANS DISPLAYING ROOF PLAN INCLUDING PLANT ROOMS AND LIFT OVERRUN.</p> <p>SCHEDULING OF PROPOSED ADAPTABLE UNITS FOR EACH BLOCK AND BUILDING</p> <p>AMENDED PARKING PLANS TO REFLECT REQUIRED ADAPTABLE NUMBERS BUILDING A: 20, BUILDING B: 25, BUILDING C: 20</p> <p>INCLUSION OF OSD CATCHMENT TANKS IN BASEMENT AND AT PODIUM LEVEL FOR EACH BUILDING</p>	29.05.15

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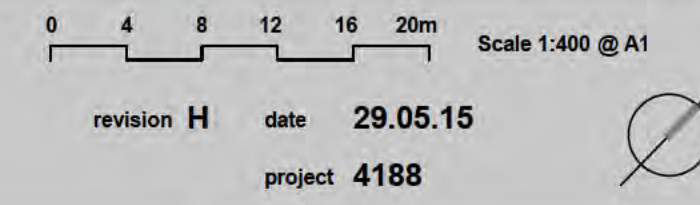
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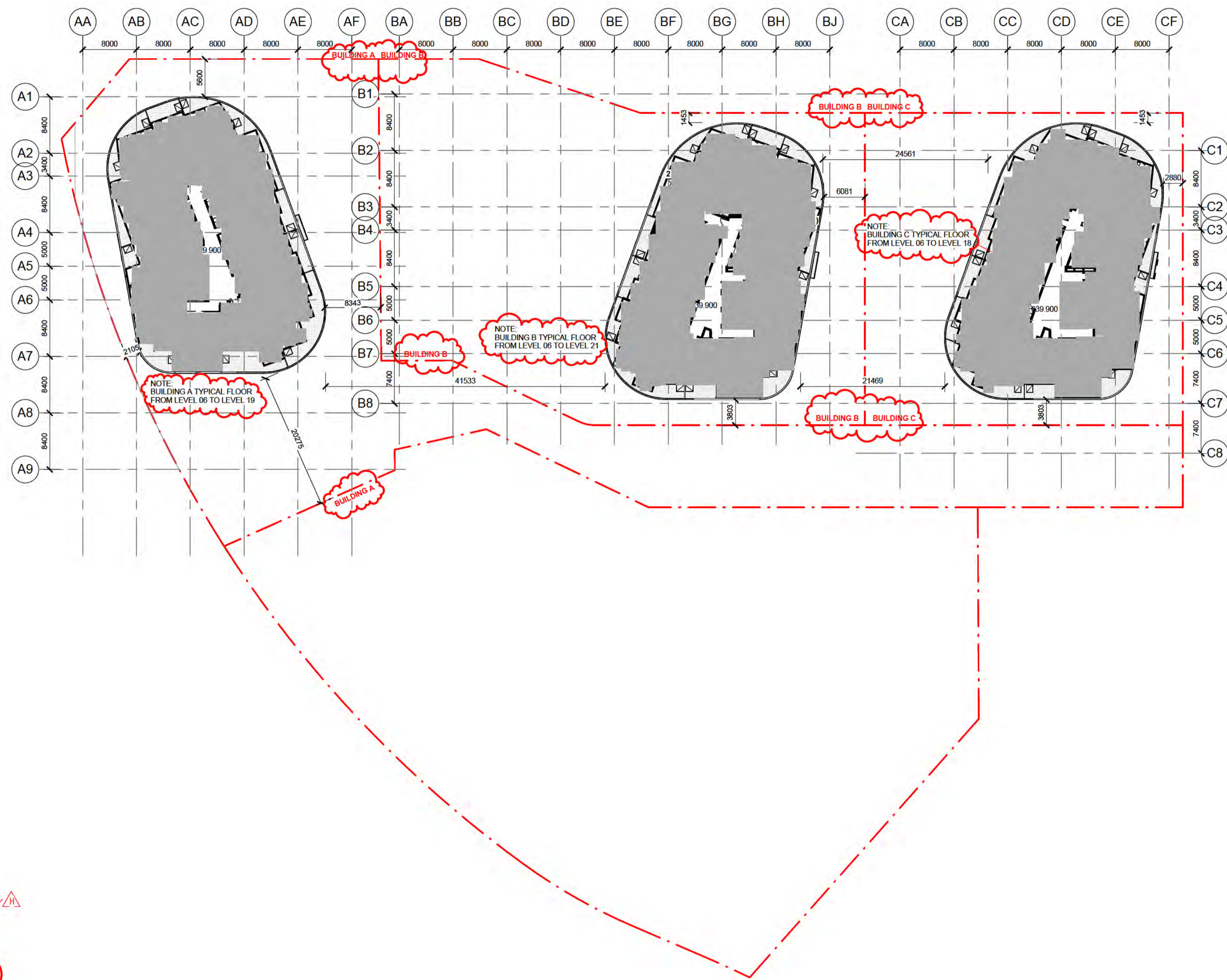


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DA-S107 OVERALL - LEVEL 05 FLOOR PLAN

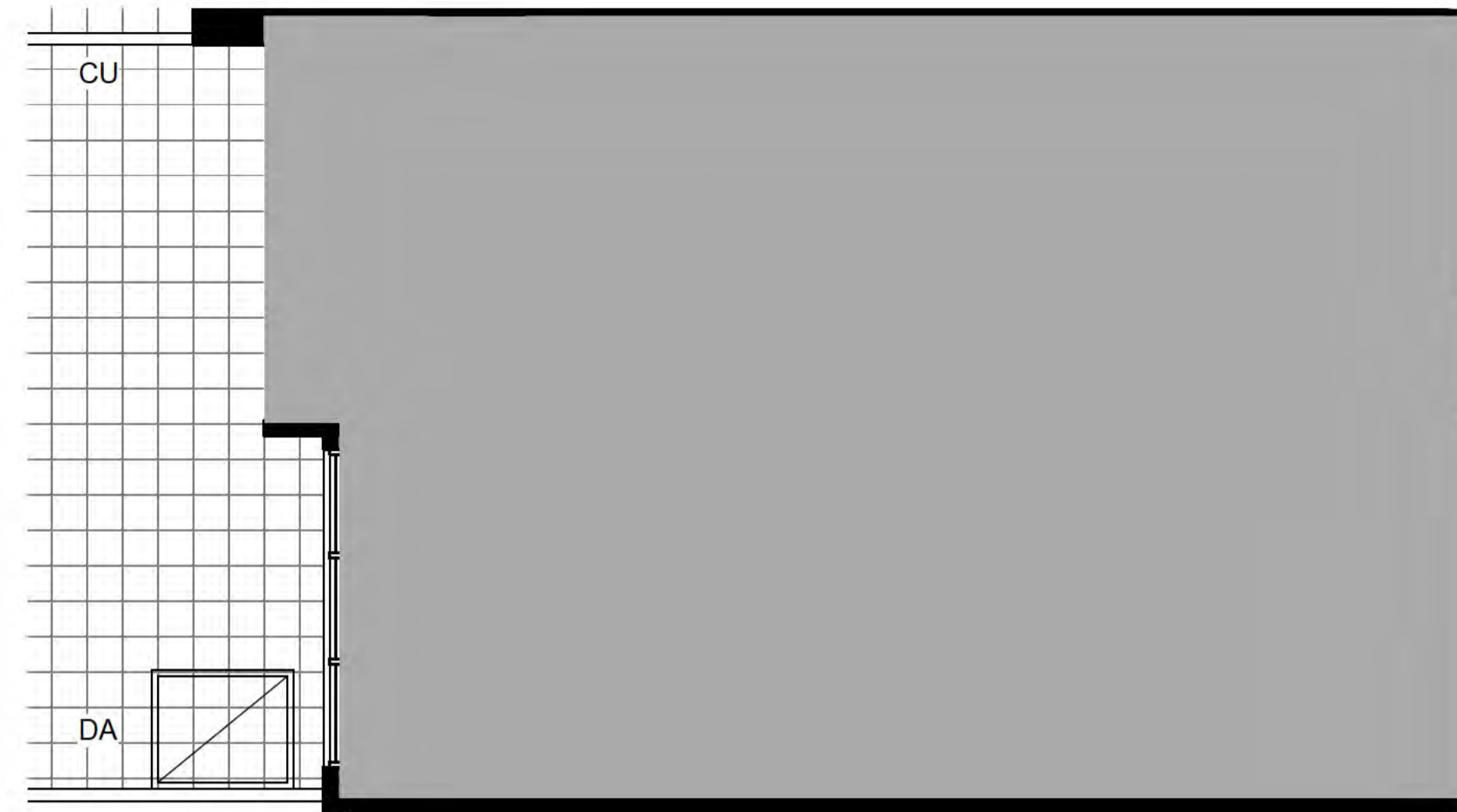




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- LEGEND**
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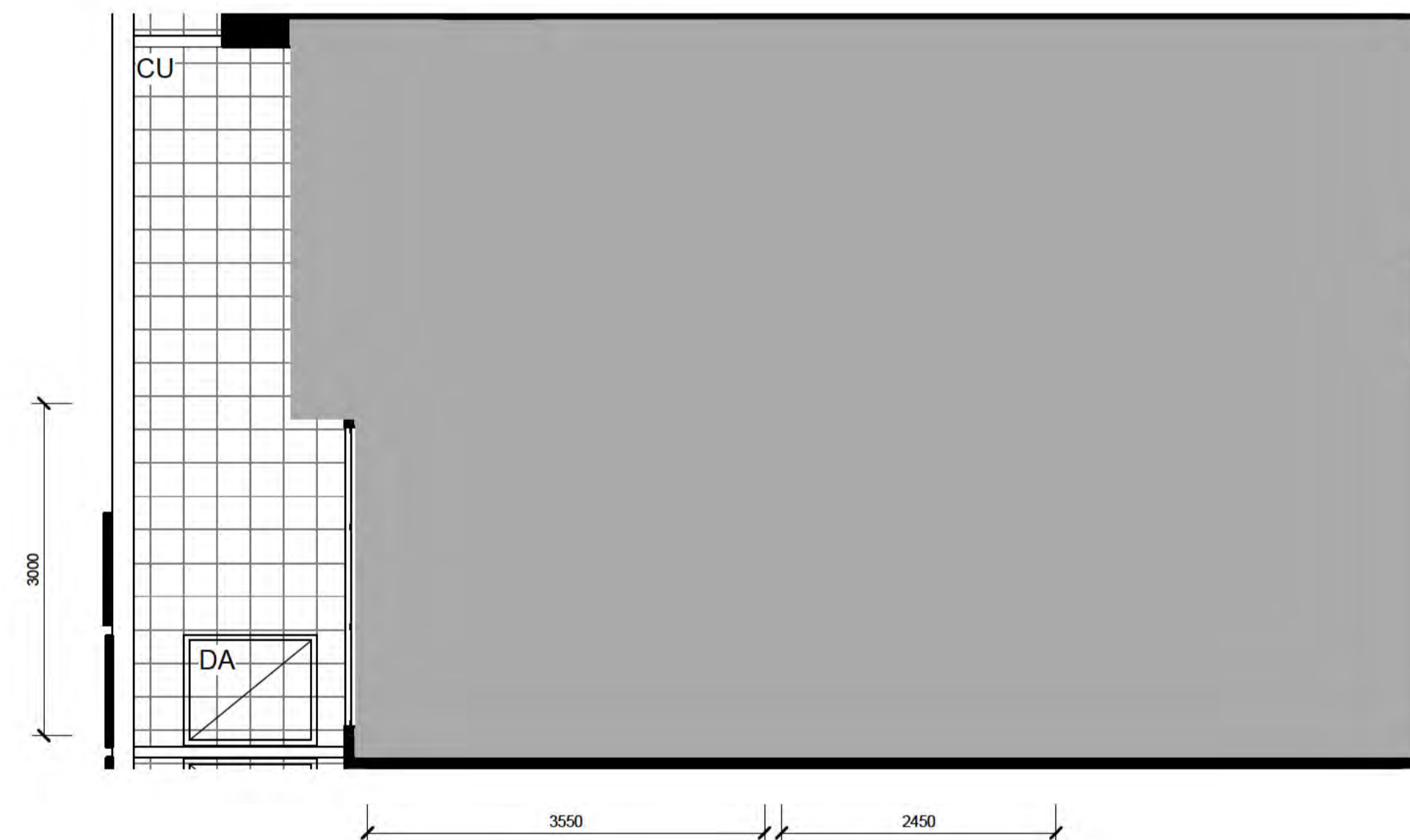
NOT TO BE USED FOR CONSTRUCTION



1 PRE ADAPTABLE UNIT - 1 BED + TYPE A
1:50

UNIT AREA: 64m²
BALCONY AREA: 12m²

LEVEL 5 COURTYARD AREA
BLDG A: 38m²
BLDG B: 26m²
BLDG C: 24m²
NUMBER OF UNITS: 90



2 POST ADAPTABLE UNIT - 1 BED + TYPE A
1:50

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ADAPTABLE UNITS - BUILDING A

Level	Room Number	Unit Type
LEVEL 5	032	1 BED + (A)
LEVEL 6	042	1 BED + (A)
LEVEL 6	043	1 BED + (A)
LEVEL 7	053	1 BED + (A)
LEVEL 7	054	1 BED + (A)
LEVEL 8	064	1 BED + (A)
LEVEL 8	065	1 BED + (A)
LEVEL 9	075	1 BED + (A)
LEVEL 9	076	1 BED + (A)
LEVEL 10	086	1 BED + (A)
LEVEL 10	087	1 BED + (A)
LEVEL 11	097	1 BED + (A)
LEVEL 11	098	1 BED + (A)
LEVEL 12	108	1 BED + (A)
LEVEL 12	109	1 BED + (A)
LEVEL 13	119	1 BED + (A)
LEVEL 13	120	1 BED + (A)
LEVEL 14	130	1 BED + (A)
LEVEL 14	131	1 BED + (A)
LEVEL 15	141	1 BED + (A)
LEVEL 15	142	1 BED + (A)
LEVEL 16	152	1 BED + (A)
LEVEL 16	153	1 BED + (A)
LEVEL 17	163	1 BED + (A)
LEVEL 17	164	1 BED + (A)
LEVEL 18	174	1 BED + (A)
LEVEL 18	175	1 BED + (A)
LEVEL 19	185	1 BED + (A)
LEVEL 19	186	1 BED + (A)

Total Adaptable Units: 29

ADAPTABLE UNITS - BUILDING B

Level	Room Number	Unit Type
LEVEL 5	049	1 BED + (A)
LEVEL 6	060	1 BED + (A)
LEVEL 6	061	1 BED + (A)
LEVEL 7	068	1 BED + (A)
LEVEL 7	069	1 BED + (A)
LEVEL 8	080	1 BED + (A)
LEVEL 8	081	1 BED + (A)
LEVEL 9	092	1 BED + (A)
LEVEL 9	093	1 BED + (A)
LEVEL 10	104	1 BED + (A)
LEVEL 10	105	1 BED + (A)
LEVEL 11	116	1 BED + (A)
LEVEL 11	117	1 BED + (A)
LEVEL 12	128	1 BED + (A)
LEVEL 12	129	1 BED + (A)
LEVEL 13	140	1 BED + (A)
LEVEL 13	141	1 BED + (A)
LEVEL 14	152	1 BED + (A)
LEVEL 14	153	1 BED + (A)
LEVEL 15	164	1 BED + (A)
LEVEL 15	165	1 BED + (A)
LEVEL 16	176	1 BED + (A)
LEVEL 16	177	1 BED + (A)
LEVEL 17	188	1 BED + (A)
LEVEL 17	189	1 BED + (A)
LEVEL 18	200	1 BED + (A)
LEVEL 18	201	1 BED + (A)
LEVEL 19	212	1 BED + (A)
LEVEL 19	213	1 BED + (A)
LEVEL 20	224	1 BED + (A)
LEVEL 20	225	1 BED + (A)
LEVEL 21	236	1 BED + (A)
LEVEL 21	237	1 BED + (A)

Total Adaptable Units: 33

ADAPTABLE UNITS - BUILDING C

Level	Room Number	Unit Type
LEVEL 5	034	1 BED + (A)
LEVEL 6	045	1 BED + (A)
LEVEL 6	046	1 BED + (A)
LEVEL 7	053	1 BED + (A)
LEVEL 7	054	1 BED + (A)
LEVEL 8	065	1 BED + (A)
LEVEL 8	066	1 BED + (A)
LEVEL 9	077	1 BED + (A)
LEVEL 9	078	1 BED + (A)
LEVEL 10	089	1 BED + (A)
LEVEL 10	090	1 BED + (A)
LEVEL 11	101	1 BED + (A)
LEVEL 11	102	1 BED + (A)
LEVEL 12	113	1 BED + (A)
LEVEL 12	114	1 BED + (A)
LEVEL 13	125	1 BED + (A)
LEVEL 13	126	1 BED + (A)
LEVEL 14	137	1 BED + (A)
LEVEL 14	138	1 BED + (A)
LEVEL 15	149	1 BED + (A)
LEVEL 15	150	1 BED + (A)
LEVEL 16	161	1 BED + (A)
LEVEL 16	162	1 BED + (A)
LEVEL 17	173	1 BED + (A)
LEVEL 17	174	1 BED + (A)
LEVEL 18	185	1 BED + (A)
LEVEL 18	186	1 BED + (A)

Total Adaptable Units: 27

ADAPTABLE UNITS - TOTAL

Total Adaptable Units: 89

ADAPTABLE UNIT

ALL LIFTS TO BE AS 1735.12 COMPLIANT
ALL ADAPTABLE UNITS TO COMPLY WITH AS 4299-1995 & THE ACCESS AND MOBILITY CODE

KITCHEN:
FLOOR FINISH TO CONTINUE UNDER RELEVANT JOINERY.
RECONFIGURE JOINERY TO SUIT END USER. TURNING CIRCLE OF 1550 ACHIEVED AS SHOWN.

LIVING:
TURNING CIRCLE OF 2500MM ACHIEVED AS SHOWN.

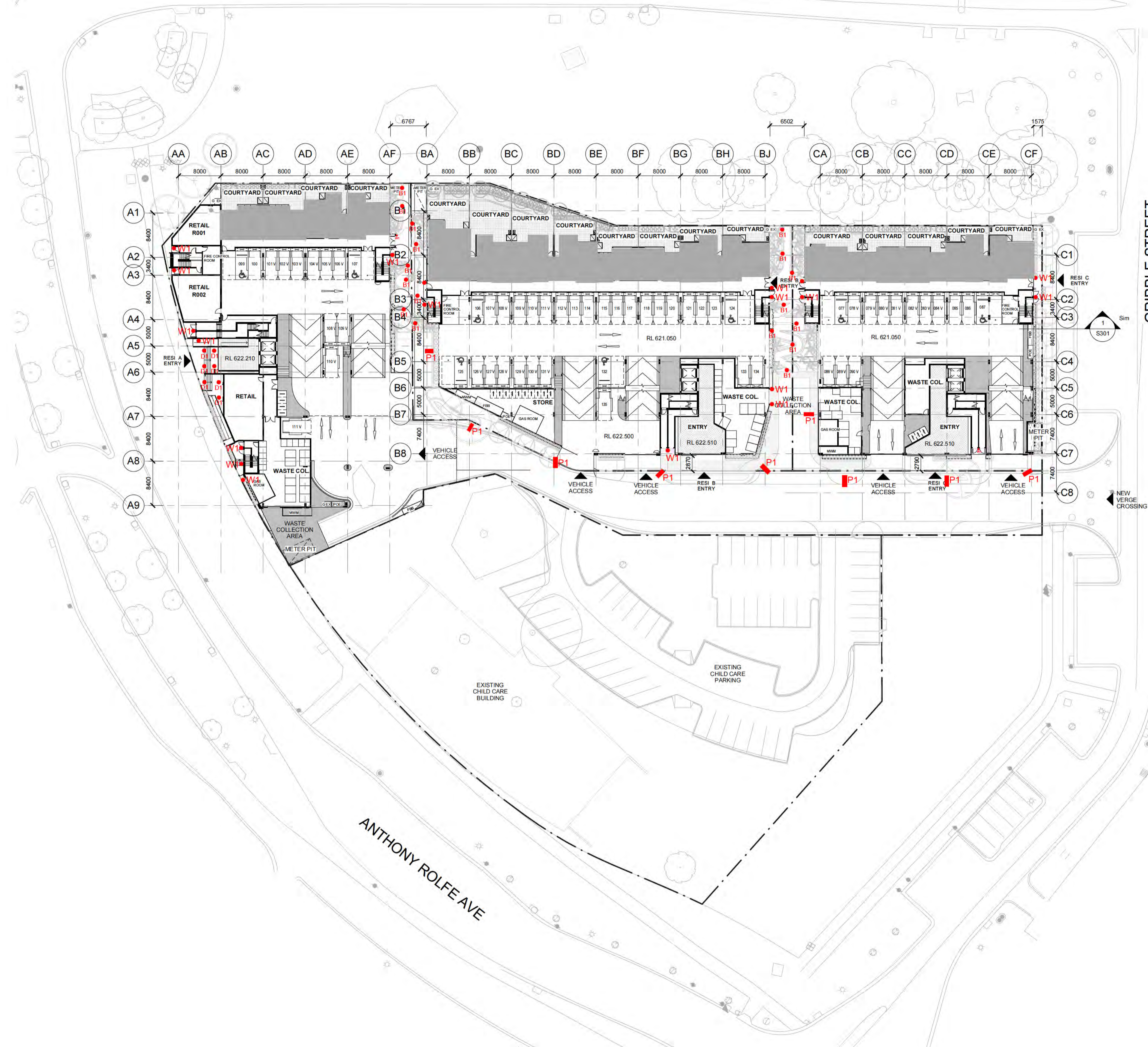
BEDROOM:
1550MM TURNING CIRCLE ACHIEVED AS SHOWN WITH STANDARD DOUBLE BED. REMOVE JOINERY AS SHOWN. FLOOR FINISH TO CONTINUE UNDER RELEVANT JOINERY.

BATHROOM:
REPLACE AND RELOCATE SHOWER, BASIN & WC WITH AS1428 APPROVED VERSIONS. INSTALL SHOWER CURTAIN, FOLD DOWN SEAT & GRAB RAILS AS REQUIRED.

BALCONY:
STEPLESS TRANSITION TO BALCONY. ACCESS FROM LIVING ROOM.

LAUNDRY:
PROVISION FOR FUTURE REPLUMBING & POWER TO BE INSTALLED.

GENERAL NOTES.
Living/Dining
Please ensure a telephone point is adjacent a GPO. Ensure illumination level of min. 300 lux provided.
Kitchen
Ensure heights and provisions of kitchen facilities are in accordance with AS4299 - 1995
Bathroom
Fixtures and fittings within bathroom to comply with AS1428.1 and AS4299. Flooring to bathroom to comply with HB197 and AS3740
Laundry
Ensure a double GPO is provided.



PARKING SCHEDULE - BUILDING A GROUND FLOOR

TYPE	COUNT
------	-------

ACCESSIBLE	2
STANDARD	11
Total	13

PARKING SCHEDULE - BUILDING B GROUND FLOOR

TYPE	COUNT
------	-------

ACCESSIBLE	4
STANDARD	26
Total	30

PARKING SCHEDULE - BUILDING C GROUND FLOOR

TYPE	COUNT
------	-------

ACCESSIBLE	2
STANDARD	12
Total	14


LIGHTING

- P1 LED POLE TOP LUMINAIRE ON 4.5 METER POLE
- W1 LED WEATHERPROOF WALL MOUNT LUMINAIRE WITH DIFFUSER
- D1 LED SURFACE MOUNTED WEATHERPROOF DOWNLIGHT
- B1 LED BOLLARD LIGHT

ANTHONY ROLFE AVE

GRIBBLE STREET

This drawing is for information purposes only.



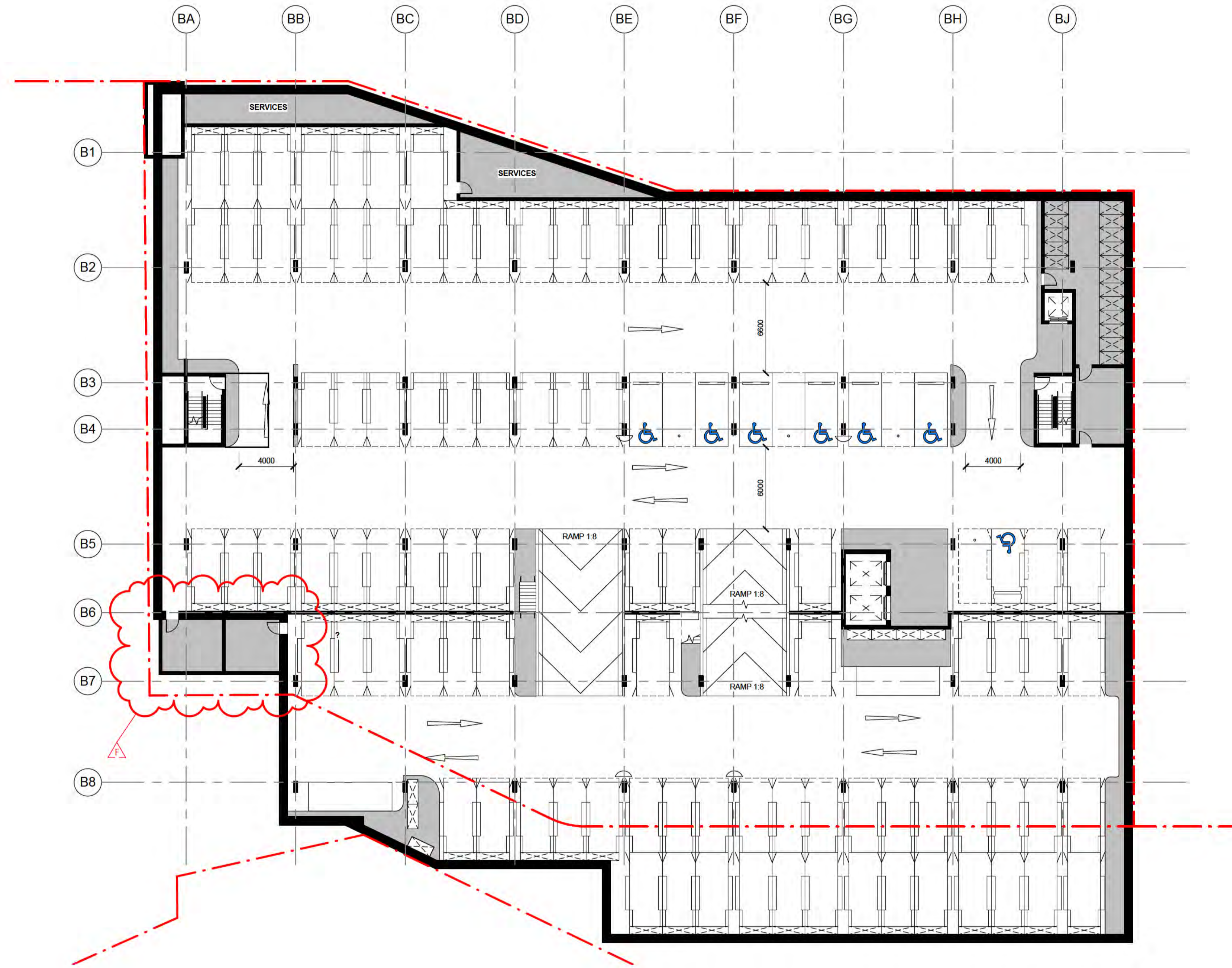
Project: GUNGAHLIN DEVELOPMENT
 Title: External Lighting Layout
 Document Number: SK-E-001
 Project No: C00394-001 | Drawn: DL | Date: 25/06/15 | Scale: NTS | Rev: 1.0

PARKING SCHEDULE - BUILDING B BASEMENT

TYPE	COUNT
ACCESSIBLE	7
STANDARD	96
STANDARD (PARALLEL)	2
Total	105

GFA SCHEDULE - BUILDING B - OVERALL

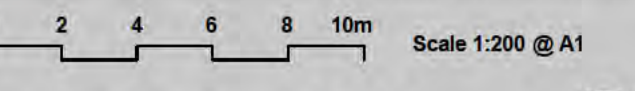
LEVEL	AREA
BASEMENT 1.5	179 m ²
GROUND LEVEL	1019 m ²
LEVEL 1	699 m ²
LEVEL 2	658 m ²
LEVEL 3	658 m ²
LEVEL 4	631 m ²
LEVEL 5	810 m ²
LEVEL 6	810 m ²
LEVEL 7	810 m ²
LEVEL 8	810 m ²
LEVEL 9	810 m ²
LEVEL 10	810 m ²
LEVEL 11	810 m ²
LEVEL 12	810 m ²
LEVEL 13	810 m ²
LEVEL 14	810 m ²
LEVEL 15	810 m ²
LEVEL 16	810 m ²
LEVEL 17	810 m ²
LEVEL 18	810 m ²
LEVEL 19	810 m ²
LEVEL 20	810 m ²
LEVEL 21	810 m ²
LEVEL 22 (PLANT)	616 m ²
TOTAL	18232 m²



- NOTES**
- HEAD HEIGHT OVER ACCESSIBLE CAR PARKING SPACES TO BE IN ACCORDANCE WITH AS 2890.6
 - PASSENGER LIFTS TO AS 1736.12 & BCA E3.6
 - ACCESSIBLE PATH OF TRAVEL PROVIDED TO ALL SOUL OCCUPANCY UNITS SERVED BY A LIFT
 - TACTILE INDICATORS TO ROAD CROSSINGS AS PER AS 1428.4
 - ENTRANCE TO ALL BUILDINGS ALONG ACCESSIBLE PATH OF TRAVEL ARE ACCESSIBLE TO AS 128.1
 - ALL DOORS SINGLE LEAF 920mm OR ACTIVE LEAF OF DOUBLE DOORS MIN 920mm
 - ACCESS TO WASTE ROOM NOT PROVIDED TO TENANTS
 - ALL FLOOR SURFACES TO BE SLIP RESISTANT, BROOM FINISHED CONCRETE EXTERNAL (OR SIMILAR), SLIP RESISTANT FLOOR FINISH INTERNALLY (TO BE SELECTED BY COMMERCIAL TENANT)
 - HANDRAIL TO AS 1428.1
 - EXTERNAL LIGHTING DESIGNED IN ACCORDANCE WITH AS 1188.3 - LIGHTING OF ROADS & PUBLIC SPACES & TO THE ACT CRIME PREVENTION & URBAN DESIGN RESOURCES MANUAL
 - TO BE READ IN CONJUNCTION WITH LANDSCAPE DRAWINGS
 - ALL ADAPTABLE UNITS TO COMPLY WITH AS 4299-1996 & THE ACCESS MOBILITY CODE
 - REFER TO ACOUSTIC REPORT
 - REFER TO WIND REPORT
 - TENANCY LAYOUT, RETAIL CONFIGURATION & ACCESS OFF-STREET TENANCIES TO BE CONFIRMED WITH SUBSEQUENT INDIVIDUAL DEVELOPMENT APPLICATIONS
 - MINIMUM SIGHTLINES FOR PEDESTRIAN SAFETY WILL OCCUR IN ACCORDANCE WITH AS 2890.1

- ADAPTABLE PARKING
- BICYCLE PARKING
- STORAGE AREA 2400mm x 600mm
- VISITOR PARKING
- CAR PARK MIRRORS
- DRYING AREA
- CONDENSOR UNITS
- SITE BOUNDARY

NOT TO BE USED FOR CONSTRUCTION



revision F date 29.05.15 project 4188

ADDITIONAL INFORMATION	DATE
1. FLOOR PLAN (TYPICAL), PUBLIC NOTIFICATION PLAN (TYPICAL) AND OVERALL SITE PLANS FOR LEVEL 6 FLOOR PLAN (TYPICAL) AMENDED TO INCLUDE REFERENCE TO EXTENT OF LEVELS ABOVE. SITE PLANS AMENDED TO INCLUDE NAMING REFERENCE TO RELEVANT AND SPECIFIC TOWERS. BLOCK SPECIFIC SITE PLANS DISPLAYING ROOF PLAN INCLUDING PLANT ROOMS AND LIFT OVERRUN. SCHEDULING OF PROPOSED ADAPTABLE UNITS FOR EACH BLOCK AND BUILDING AMENDED PARKING PLANS TO REFLECT REQUIRED ADAPTABLE NUMBERS BUILDING A: 20, BUILDING B: 25, BUILDING C: 20 INCLUSION OF OSD CATCHMENT TANKS IN BASEMENT AND AT PODIUM LEVEL FOR EACH BUILDING	29.05.15



**GEOCON GUNGAHLIN
BLOCK 3 SECTION 209 GUNGAHLIN**

DA-B151 BUILDING B - PUBLIC NOTIFICATION PLAN - BASEMENT 1

PARKING SCHEDULE - BUILDING B OVERALL	
TYPE	COUNT
ACCESSIBLE	25
STANDARD	257
STANDARD (PARALLEL)	10
Total	292

PARKING SCHEDULE - BUILDING B LEVEL 1	
TYPE	COUNT
ACCESSIBLE	4
STANDARD	29
Total	33

GFA SCHEDULE - BUILDING B - OVERALL	
LEVEL	AREA
BASEMENT 1.5	179 m ²
GROUND LEVEL	1019 m ²
LEVEL 1	699 m ²
LEVEL 2	658 m ²
LEVEL 3	658 m ²
LEVEL 4	631 m ²
LEVEL 5	810 m ²
LEVEL 6	810 m ²
LEVEL 7	810 m ²
LEVEL 8	810 m ²
LEVEL 9	810 m ²
LEVEL 10	810 m ²
LEVEL 11	810 m ²
LEVEL 12	810 m ²
LEVEL 13	810 m ²
LEVEL 14	810 m ²
LEVEL 15	810 m ²
LEVEL 16	810 m ²
LEVEL 17	810 m ²
LEVEL 18	810 m ²
LEVEL 19	810 m ²
LEVEL 20	810 m ²
LEVEL 21	810 m ²
LEVEL 22 (PLANT)	616 m ²
TOTAL	18232 m²

STORAGE SCHEDULE - BUILDING B	
DESCRIPTION	COUNT
PARKING STORAGE UNIT	243



ADAPTABLE UNITS - BUILDING B		
Level	Room Number	Unit Type
LEVEL 5	049	1 BED + (A)
LEVEL 6	060	1 BED + (A)
LEVEL 6	061	1 BED + (A)
LEVEL 7	068	1 BED + (A)
LEVEL 7	069	1 BED + (A)
LEVEL 8	080	1 BED + (A)
LEVEL 8	081	1 BED + (A)
LEVEL 9	092	1 BED + (A)
LEVEL 9	093	1 BED + (A)
LEVEL 10	104	1 BED + (A)
LEVEL 10	105	1 BED + (A)
LEVEL 11	116	1 BED + (A)
LEVEL 11	117	1 BED + (A)
LEVEL 12	128	1 BED + (A)
LEVEL 12	129	1 BED + (A)
LEVEL 13	140	1 BED + (A)
LEVEL 13	141	1 BED + (A)
LEVEL 14	152	1 BED + (A)
LEVEL 14	153	1 BED + (A)
LEVEL 15	164	1 BED + (A)
LEVEL 15	165	1 BED + (A)
LEVEL 16	176	1 BED + (A)
LEVEL 16	177	1 BED + (A)
LEVEL 17	188	1 BED + (A)
LEVEL 17	189	1 BED + (A)
LEVEL 18	200	1 BED + (A)
LEVEL 18	201	1 BED + (A)
LEVEL 19	212	1 BED + (A)
LEVEL 19	213	1 BED + (A)
LEVEL 20	224	1 BED + (A)
LEVEL 20	225	1 BED + (A)
LEVEL 21	236	1 BED + (A)
LEVEL 21	237	1 BED + (A)
Total Adaptable Units: 33		

NOTES

PASSENGER LIFTS TO AS 1735.12 & BCA E3.6

ALL ADAPTABLE UNITS TO COMPLY WITH AS 4299-1995 & THE ACCESS MOBILITY CODE

ALL UNITS TO COMPLY WITH RELEVANT SECTIONS OF THE BCA & AUSTRALIAN STANDARDS

ALL TOWER UNITS HAVE DIRECT ACCESS TO WASTE CHUTE THAT FEED TO WASTE ROOM BELOW

ACCESSIBLE PATH OF TRAVEL PROVIDED TO SOUL OCCUPANCY UNITS SERVED BY A LIFT

TACTILE INDICATORS TO ROAD CROSSINGS AS PER AS 1428.4

ENTRANCE TO ALL BUILDINGS ALONG ACCESSIBLE PATH OF TRAVEL ARE ACCESSIBLE TO AS 128.1

ALL DOORS SINGLE LEAF 920mm OR ACTIVE LEAF OF DOUBLE DOORS MIN 920mm

ACCESS TO WASTE ROOM, ELECTRICAL ROOM OR GREASE TRAP ROOM NOT PROVIDED TO TENANTS

ALL FLOOR SURFACES TO BE SLIP RESISTANT, BROOM FINISHED CONCRETE EXTERNAL (OR SIMILAR), SLIP RESISTANT FLOOR FINISH INTERNALLY (TO BE SELECTED BY COMMERCIAL TENANT)

HANDRAIL TO AS 1428.1

LEGEND

A ACCESSIBLE APARTMENT

PS 1.8 NOM. HIGH PRIVACY SCREENING

NOTES

HEAD HEIGHT OVER ACCESSIBLE CAR PARKING SPACES TO BE IN ACCORDANCE WITH AS 2890.6

PASSENGER LIFTS TO AS 1735.12 & BCA E3.6

ACCESSIBLE PATH OF TRAVEL PROVIDED TO ALL SOUL OCCUPANCY UNITS SERVED BY A LIFT

TACTILE INDICATORS TO ROAD CROSSINGS AS PER AS 1428.4

ENTRANCE TO ALL BUILDINGS ALONG ACCESSIBLE PATH OF TRAVEL ARE ACCESSIBLE TO AS 128.1

ALL DOORS SINGLE LEAF 920mm OR ACTIVE LEAF OF DOUBLE DOORS MIN 920mm

ACCESS TO WASTE ROOM NOT PROVIDED TO TENANTS

ALL FLOOR SURFACES TO BE SLIP RESISTANT, BROOM FINISHED CONCRETE EXTERNAL (OR SIMILAR), SLIP RESISTANT FLOOR FINISH INTERNALLY (TO BE SELECTED BY COMMERCIAL TENANT)

HANDRAIL TO AS 1428.1

EXTERNAL LIGHTING DESIGNED IN ACCORDANCE WITH AS 1168.3 - LIGHTING OF ROADS & PUBLIC SPACES & TO THE ACT CRIME PREVENTION & URBAN DESIGN RESOURCES MANUAL

TO BE READ IN CONJUNCTION WITH LANDSCAPE DRAWINGS

ALL ADAPTABLE UNITS TO COMPLY WITH AS 4299-1995 & THE ACCESS MOBILITY CODE

REFER TO ACOUSTIC REPORT

REFER TO WIND REPORT

TENANCY LAYOUT, RETAIL CONFIGURATION & ACCESS OFF STREET TENANCIES TO BE CONFIRMED WITH SUBSEQUENT INDIVIDUAL DEVELOPMENT APPLICATIONS

MINIMUM SIGHTLINES FOR PEDESTRIAN SAFETY WILL OCCUR IN ACCORDANCE WITH AS 2890.1

LEGEND

ADAPTABLE PARKING

BICYCLE PARKING

STORAGE AREA 2400mm x 600mm

V VISITOR PARKING

CAR PARK MIRRORS

DRYING AREA

CONDENSOR UNITS

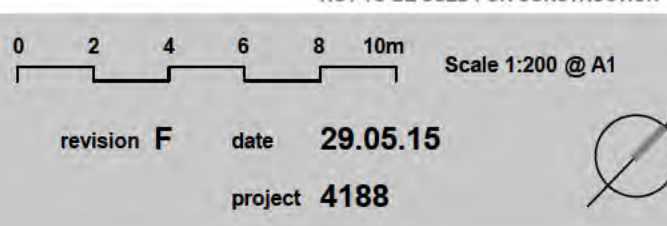
SITE BOUNDARY

ADDITIONAL INFORMATION	DATE
1. FLOOR PLAN (TYPICAL), PUBLIC NOTIFICATION PLAN (TYPICAL) AND OVERALL SITE PLANS FOR LEVEL 6 FLOOR PLAN (TYPICAL) AMENDED TO INCLUDE REFERENCE TO EXTENT OF LEVELS ABOVE.	29.05.15
SITE PLANS AMENDED TO INCLUDE NAMING REFERENCE TO RELEVANT AND SPECIFIC TOWERS.	
BLOCK SPECIFIC SITE PLANS DISPLAYING ROOF PLAN INCLUDING PLANT ROOMS AND LIFT OVERRUN.	
SCHEDULING OF PROPOSED ADAPTABLE UNITS FOR EACH BLOCK AND BUILDING	
AMENDED PARKING PLANS TO REFLECT REQUIRED ADAPTABLE NUMBERS BUILDING A: 20, BUILDING B: 25, BUILDING C: 20	
INCLUSION OF OSD CATCHMENT TANKS IN BASEMENT AND AT PODIUM LEVEL FOR EACH BUILDING	



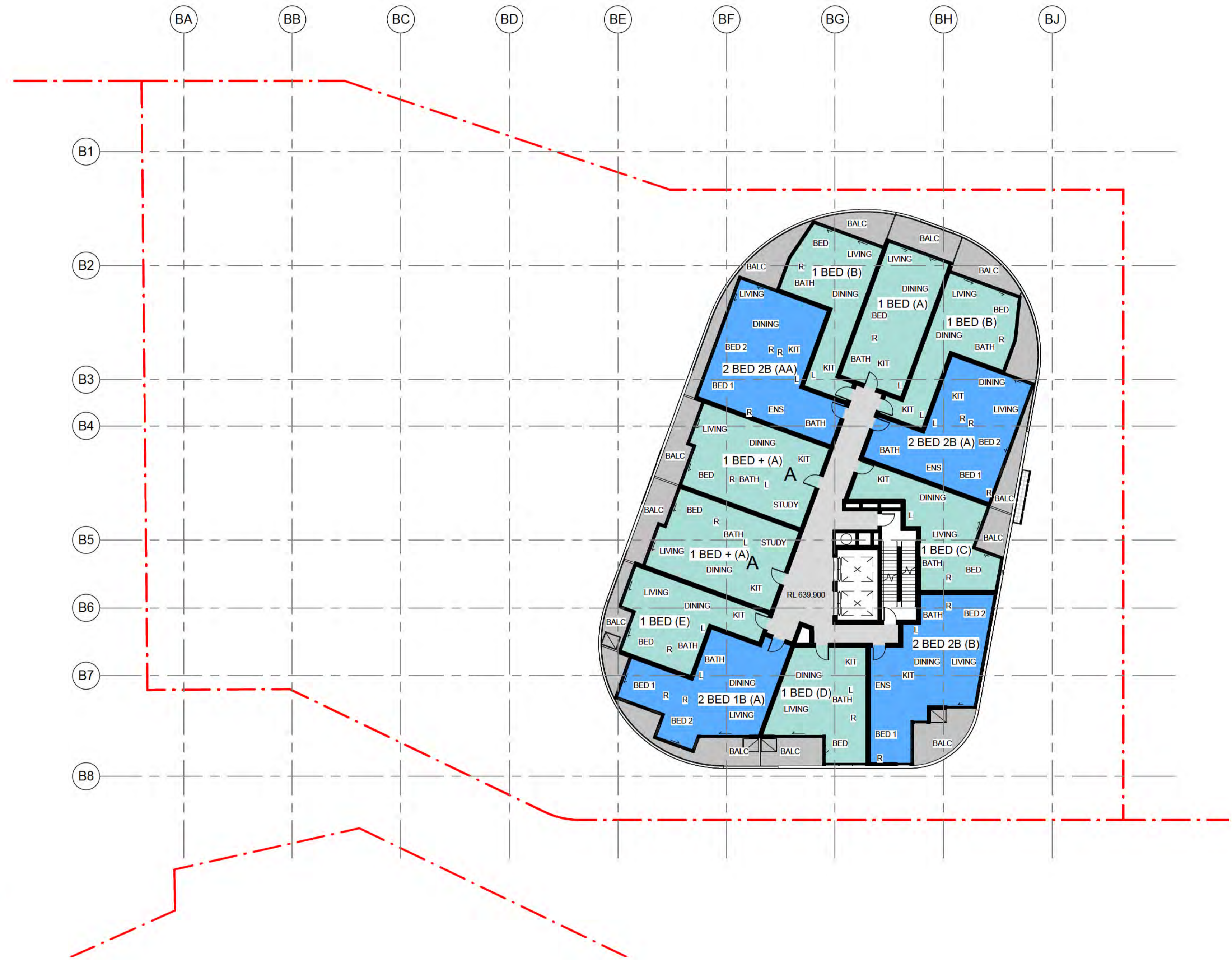
GEOCON GUNGAHLIN
BLOCK 3 SECTION 209 GUNGAHLIN

DA-B152 BUILDING B - PUBLIC NOTIFICATION PLAN - GROUND FLOOR



GFA SCHEDULE - BUILDING B - OVERALL

LEVEL	AREA
BASEMENT 1.5	179 m ²
GROUND LEVEL	1019 m ²
LEVEL 1	699 m ²
LEVEL 2	658 m ²
LEVEL 3	658 m ²
LEVEL 4	631 m ²
LEVEL 5	810 m ²
LEVEL 6	810 m ²
LEVEL 7	810 m ²
LEVEL 8	810 m ²
LEVEL 9	810 m ²
LEVEL 10	810 m ²
LEVEL 11	810 m ²
LEVEL 12	810 m ²
LEVEL 13	810 m ²
LEVEL 14	810 m ²
LEVEL 15	810 m ²
LEVEL 16	810 m ²
LEVEL 17	810 m ²
LEVEL 18	810 m ²
LEVEL 19	810 m ²
LEVEL 20	810 m ²
LEVEL 21	810 m ²
LEVEL 22 (PLANT)	616 m ²
TOTAL	18232 m²



- NOTES**
- PASSENGER LIFTS TO AS1736.12 & BCA E3.6
 - ALL ADAPTABLE UNITS TO COMPLY WITH AS 4299-1995 & THE ACCESS MOBILITY CODE
 - ALL UNITS TO COMPLY WITH RELEVANT SECTIONS OF THE BCA & AUSTRALIAN STANDARDS
 - ALL TOWER UNITS HAVE DIRECT ACCESS TO WASTE CHUTE THAT FEED TO WASTE ROOM BELOW
 - ACCESSIBLE PATH OF TRAVEL PROVIDED TO SOUL OCCUPANCY UNITS SERVED BY A LIFT
 - ACCESSIBLE PATH OF TRAVEL ARE ACCESSIBLE TO AS 128.1
 - TACTILE INDICATORS TO ROAD CROSSINGS AS PER AS 1428.4
 - ENTRANCE TO ALL BUILDINGS ALONG ACCESSIBLE PATH OF TRAVEL ARE ACCESSIBLE TO AS 128.1
 - ALL DOORS SINGLE LEAF 920mm OR ACTIVE LEAF OF DOUBLE DOORS MIN 920mm
 - ACCESS TO WASTE ROOM, ELECTRICAL ROOM OR GREASE TRAP ROOM NOT PROVIDED TO TENANTS
 - ALL FLOOR SURFACES TO BE SLIP RESISTANT, BROOM FINISHED CONCRETE EXTERNAL (OR SIMILAR), SLIP RESISTANT FLOOR FINISH INTERNALLY (TO BE SELECTED BY COMMERCIAL TENANT)
 - HANDRAIL TO AS 1428.1
- LEGEND**
- A ACCESSIBLE APARTMENT
 - PS 1.8 NOM. HIGH PRIVACY SCREENING
 - ADAPTABLE PARKING
 - BICYCLE PARKING
 - STORAGE AREA 2400mm x 600mm
 - V VISITOR PARKING
 - CAR PARK MIRRORS
 - DRYING AREA
 - CONDENSOR UNITS
 - SITE BOUNDARY

ADDITIONAL INFORMATION	DATE
1. FLOOR PLAN (TYPICAL), PUBLIC NOTIFICATION PLAN (TYPICAL) AND OVERALL SITE PLANS FOR LEVEL 06 FLOOR PLAN (TYPICAL) AMENDED TO INCLUDE REFERENCE TO EXTENT OF LEVELS ABOVE.	29.05.15
SITE PLANS AMENDED TO INCLUDE NAMING REFERENCE TO RELEVANT AND SPECIFIC TOWERS.	
BLOCK SPECIFIC SITE PLANS DISPLAYING ROOF PLAN INCLUDING PLANT ROOMS AND LIFT OVERRUN.	
SCHEDULING OF PROPOSED ADAPTABLE UNITS FOR EACH BLOCK AND BUILDING	
AMENDED PARKING PLANS TO REFLECT REQUIRED ADAPTABLE NUMBERS BUILDING A: 20, BUILDING B: 25, BUILDING C: 20	
INCLUSION OF OSD CATCHMENT TANKS IN BASEMENT AND AT PODIUM LEVEL FOR EACH BUILDING	



**GEOCON GUNGAHLIN
BLOCK 3 SECTION 209 GUNGAHLIN**

DA-B158

BUILDING B - PUBLIC NOTIFICATION PLAN - LEVEL 06 TO LEVEL 21 (TYPICAL)

NOT TO BE USED FOR CONSTRUCTION

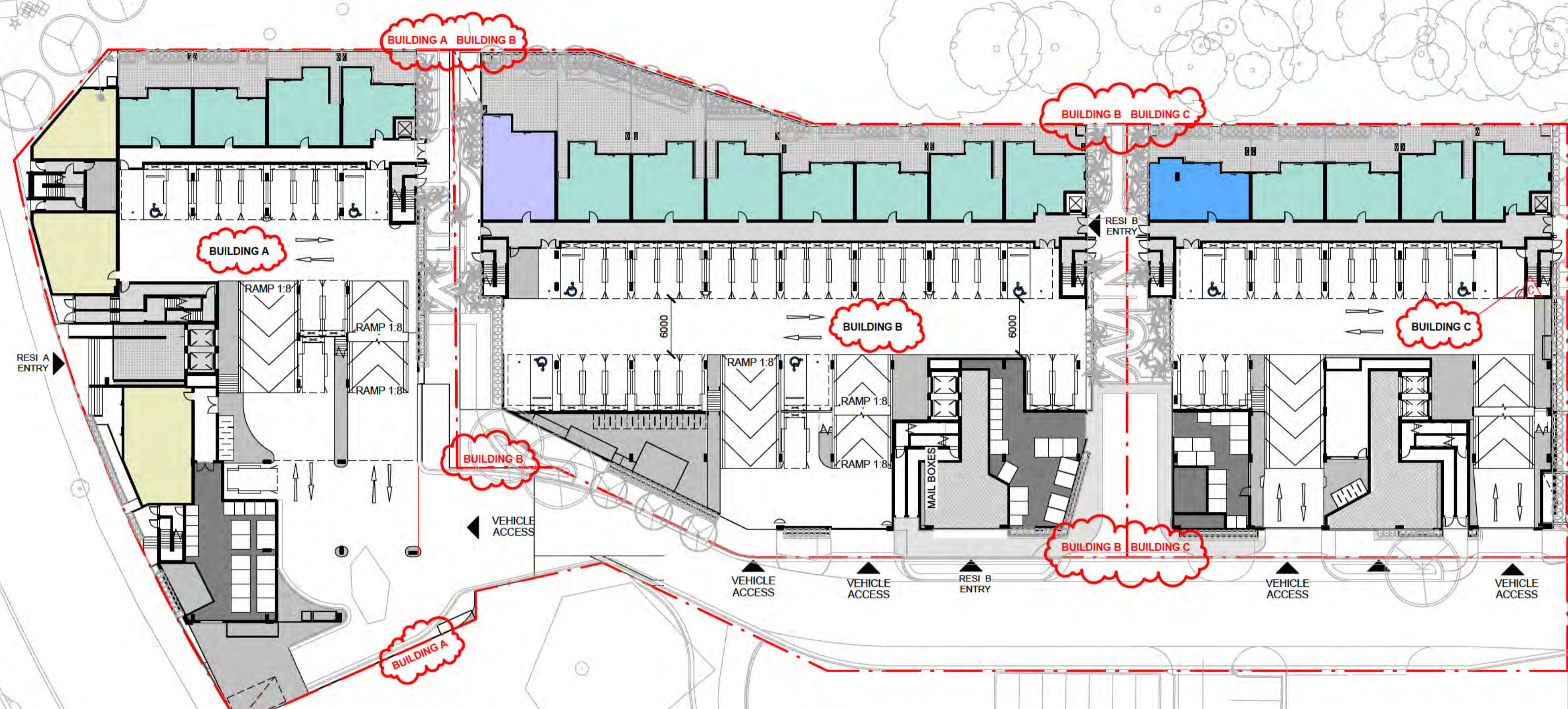
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revision F date 29.05.15 project 4188

GUNDAROO DRIVE

GRIBBLE STREET

ANTHONY ROLFE AVE



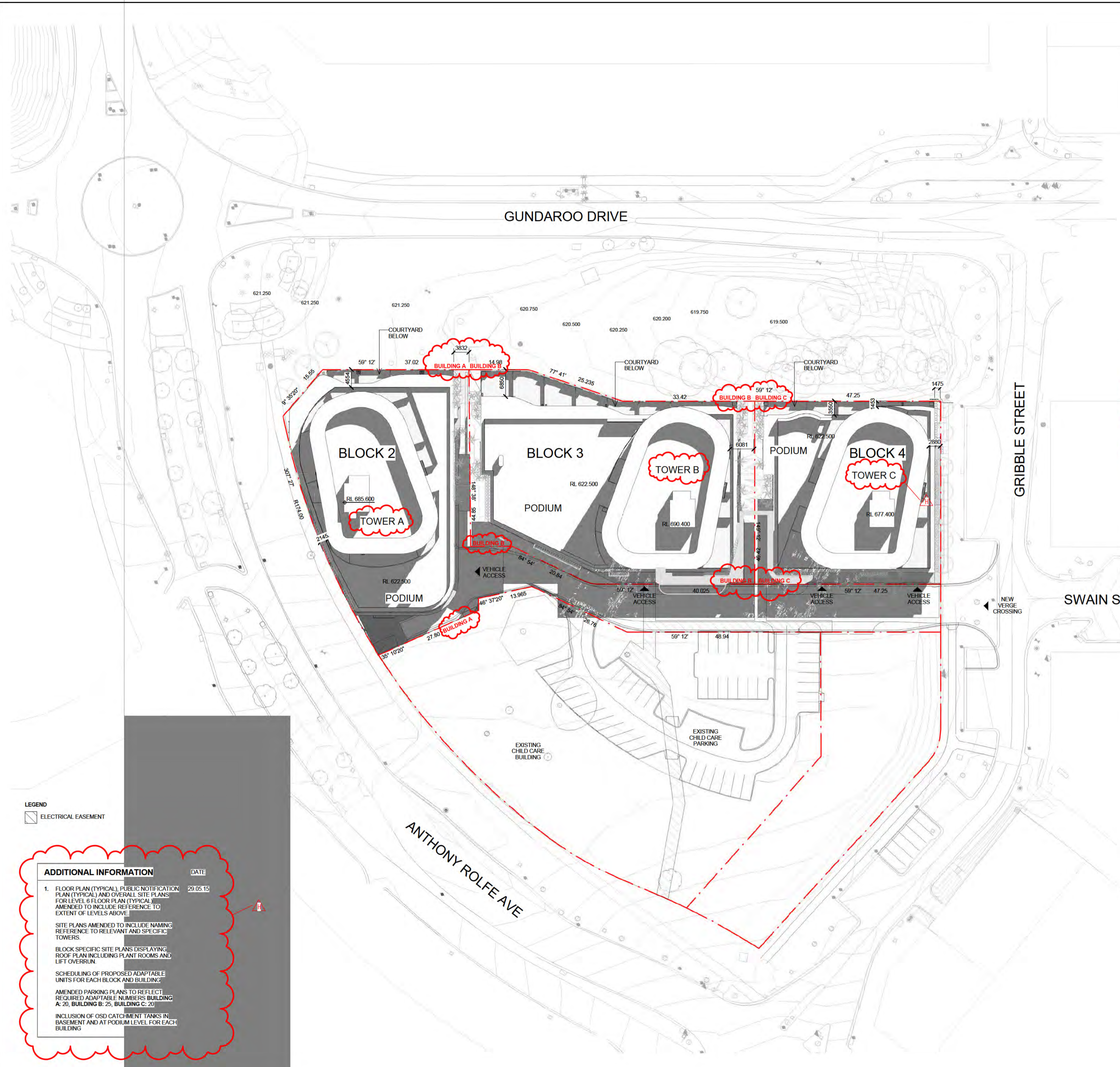
ADDITIONAL INFORMATION	DATE
1. FLOOR PLAN (TYPICAL), PUBLIC NOTIFICATION PLAN (TYPICAL) AND OVERALL SITE PLANS FOR LEVEL 6 FLOOR PLAN (TYPICAL) AMENDED TO INCLUDE REFERENCE TO EXTENT OF LEVELS ABOVE. SITE PLANS AMENDED TO INCLUDE NAMING REFERENCE TO RELEVANT AND SPECIFIC TOWERS. BLOCK SPECIFIC SITE PLANS DISPLAYING ROOF PLAN INCLUDING PLANT ROOMS AND LIFT OVERRUN. SCHEDULING OF PROPOSED ADAPTABLE UNITS FOR EACH BLOCK AND BUILDING AMENDED PARKING PLANS TO REFLECT REQUIRED ADAPTABLE NUMBERS BUILDING A: 20, BUILDING B: 25, BUILDING C: 20 INCLUSION OF OSD CATCHMENT TANKS IN BASEMENT AND AT PODIUM LEVEL FOR EACH BUILDING	29.05.15

1 OVERALL GROUND LEVEL(1)
1:400

- LEGEND
- ADAPTABLE PARKING
 - BICYCLE PARKING
 - STORAGE AREA 2400mm x 600mm
 - V VISITOR PARKING
 - CAR PARK MIRRORS
 - DRYING AREA
 - CONDENSOR UNITS
 - SITE BOUNDARY

0 4 8 12 16 20m Scale 1:400 @ A1

revision C date 29.05.15 project 4188



GFA SCHEDULE - BUILDING A - OVERALL	
LEVEL	AREA
Not Placed	0 m ²
BASEMENT 1.5	109 m ²
BASEMENT 2.5	45 m ²
GROUND	782 m ²
LEVEL 1	414 m ²
LEVEL 2	533 m ²
LEVEL 3	506 m ²
LEVEL 4	454 m ²
LEVEL 5	792 m ²
LEVEL 6	792 m ²
LEVEL 7	792 m ²
LEVEL 8	792 m ²
LEVEL 9	792 m ²
LEVEL 10	792 m ²
LEVEL 11	792 m ²
LEVEL 12	792 m ²
LEVEL 13	792 m ²
LEVEL 14	792 m ²
LEVEL 15	792 m ²
LEVEL 16	792 m ²
LEVEL 17	792 m ²
LEVEL 18	792 m ²
LEVEL 19	792 m ²
LEVEL 20 (PLANT)	592 m ²
TOTAL	15313 m ²

GFA SCHEDULE - BUILDING B - OVERALL	
LEVEL	AREA
BASEMENT 1.5	179 m ²
GROUND LEVEL	1019 m ²
LEVEL 1	699 m ²
LEVEL 2	668 m ²
LEVEL 3	668 m ²
LEVEL 4	631 m ²
LEVEL 5	810 m ²
LEVEL 6	810 m ²
LEVEL 7	810 m ²
LEVEL 8	810 m ²
LEVEL 9	810 m ²
LEVEL 10	810 m ²
LEVEL 11	810 m ²
LEVEL 12	810 m ²
LEVEL 13	810 m ²
LEVEL 14	810 m ²
LEVEL 15	810 m ²
LEVEL 16	810 m ²
LEVEL 17	810 m ²
LEVEL 18	810 m ²
LEVEL 19	810 m ²
LEVEL 20	810 m ²
LEVEL 21	810 m ²
LEVEL 22 (PLANT)	616 m ²
TOTAL	18232 m ²

GFA SCHEDULE - BUILDING C - OVERALL	
LEVEL	AREA
Not Placed	0 m ²
BASEMENT 1.5	12 m ²
GROUND	628 m ²
LEVEL 1	381 m ²
LEVEL 2	383 m ²
LEVEL 3	383 m ²
LEVEL 4	383 m ²
LEVEL 5	810 m ²
LEVEL 6	810 m ²
LEVEL 7	810 m ²
LEVEL 8	810 m ²
LEVEL 9	810 m ²
LEVEL 10	810 m ²
LEVEL 11	810 m ²
LEVEL 12	810 m ²
LEVEL 13	810 m ²
LEVEL 14	810 m ²
LEVEL 15	810 m ²
LEVEL 16	810 m ²
LEVEL 17	810 m ²
LEVEL 18	810 m ²
LEVEL 19 (PLANT)	616 m ²
TOTAL	14129 m ²

GFA SCHEDULE - BUILDING A - RETAIL	
LEVEL	AREA
GROUND	220 m ²

PARKING SCHEDULE - BUILDING A OVERALL	
TYPE	COUNT
ACCESSIBLE	20
STANDARD	183
Total	203

PARKING SCHEDULE - BUILDING B OVERALL	
TYPE	COUNT
ACCESSIBLE	25
STANDARD	257
STANDARD (PARALLEL)	10
Total	292

PARKING SCHEDULE - BUILDING C OVERALL	
TYPE	COUNT
ACCESSIBLE	20
SMALL CAR	3
STANDARD	151
STANDARD (PARALLEL)	8
Total	182

UNIT SCHEDULE - BUILDING A	
NAME	COUNT
1 BED (A)	15
1 BED (B)	30
1 BED (C)	25
1 BED (D)	5
1 BED + (A)	29
1 BED + (B)	5
2 BED 1B (A)	14
2 BED 1B (B)	4
2 BED 2B (A)	16
2 BED 2B (AA)	15
2 BED 2B (B)	15
2 BED 2B (C)	4
3 BED (A)	15
Total:	192

UNIT SCHEDULE - BUILDING B	
NAME	COUNT
1 BED (A)	16
1 BED (B)	34
1 BED (C)	17
1 BED (D)	17
1 BED (E)	17
1 BED (F)	10
1 BED (G)	5
1 BED + (A)	34
1 BED + (B)	20
2 BED 1B (A)	17
2 BED 2B (A)	17
2 BED 2B (AA)	17
2 BED 2B (B)	17
3 BED (A)	5
Total:	243

UNIT SCHEDULE - BUILDING C	
NAME	COUNT
1 BED (A)	14
1 BED (B)	28
1 BED (C)	14
1 BED (D)	14
1 BED (E)	14
1 BED (F)	10
1 BED (G)	5
1 BED + (A)	27
1 BED + (B)	5
2 BED 1B (A)	14
2 BED 1B (B)	5
2 BED 2B (A)	14
2 BED 2B (AA)	14
2 BED 2B (B)	14
2 BED 2B (B)	14
Total:	192

BICYCLE RAIL SCHEDULE - BUILDING A	
DESCRIPTION	COUNT
DUAL BICYCLE RAIL	19

BICYCLE RAIL SCHEDULE - BUILDING B	
DESCRIPTION	COUNT
DUAL BICYCLE RAIL	10

BICYCLE RAIL SCHEDULE - BUILDING C	
DESCRIPTION	COUNT
DUAL BICYCLE RAIL	15

LEGEND
 ELECTRICAL EASEMENT

ADDITIONAL INFORMATION DATE: 29.05.15

- FLOOR PLAN (TYPICAL), PUBLIC NOTIFICATION PLAN (TYPICAL) AND OVERALL SITE PLANS FOR LEVEL 6 FLOOR PLAN (TYPICAL) AMENDED TO INCLUDE REFERENCE TO EXTENT OF LEVELS ABOVE.
- SITE PLANS AMENDED TO INCLUDE NAMING REFERENCE TO RELEVANT AND SPECIFIC TOWERS.
- BLOCK SPECIFIC SITE PLANS DISPLAYING ROOF PLAN INCLUDING PLANT ROOMS AND LIFT OVERRUN.
- SCHEDULING OF PROPOSED ADAPTABLE UNITS FOR EACH BLOCK AND BUILDING.
- AMENDED PARKING PLANS TO REFLECT REQUIRED ADAPTABLE NUMBERS BUILDING A: 20, BUILDING B: 25, BUILDING C: 20.
- INCLUSION OF OSD CATCHMENT TANKS IN BASEMENT AND AT PODIUM LEVEL FOR EACH BUILDING.

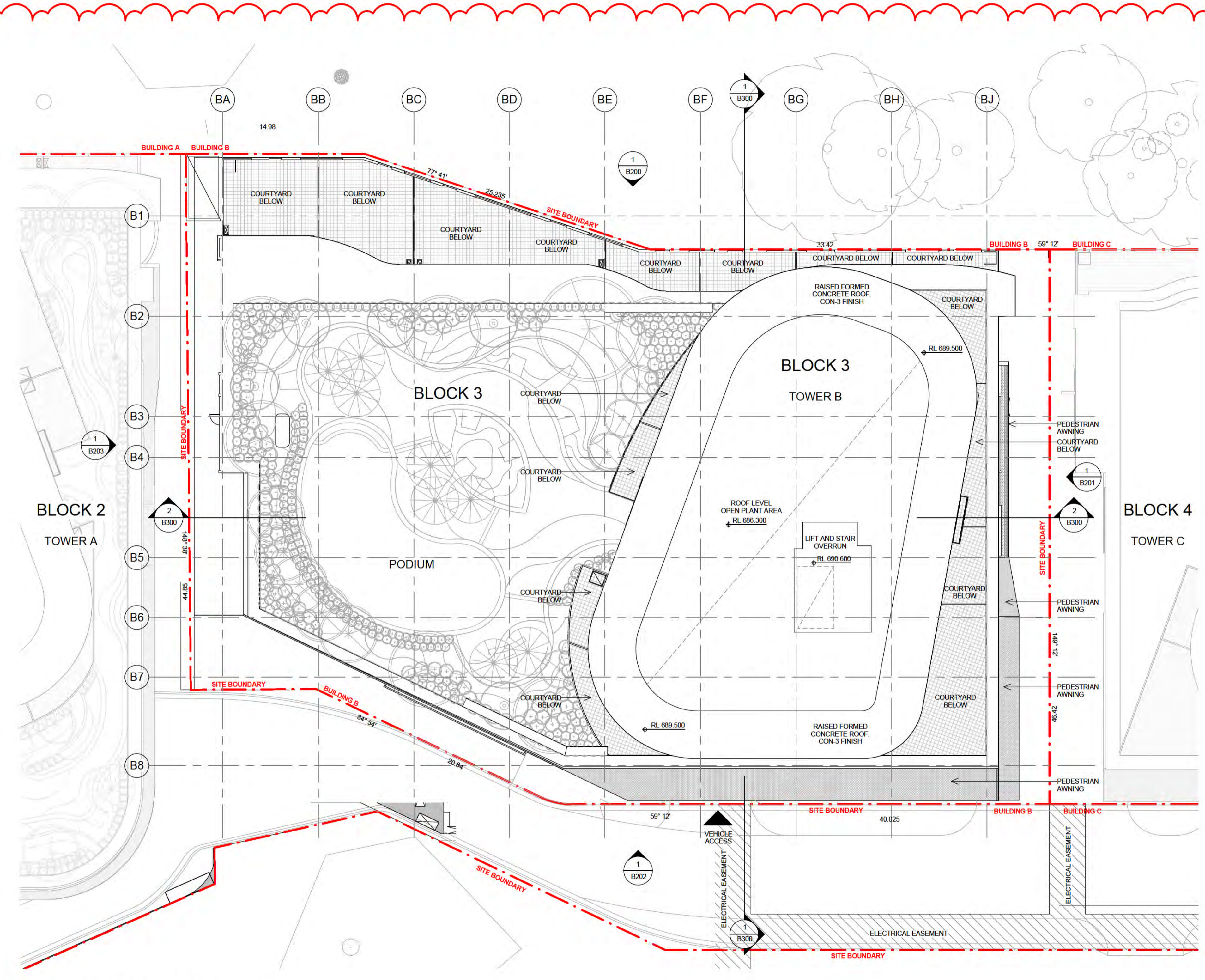
LEGEND

- ADAPTABLE PARKING
- BICYCLE PARKING
- STORAGE AREA 2400mm x 600mm
- VISITOR PARKING
- CAR PARK MIRRORS
- DRYING AREA
- CONDENSOR UNITS
- SITE BOUNDARY

NOT TO BE USED FOR CONSTRUCTION
 0 5 10 15 20 25m Scale 1:500 @ A1

GFA SCHEDULE - BUILDING B - OVERALL

LEVEL	AREA
BASEMENT 1.5	179 m ²
GROUND LEVEL	1019 m ²
LEVEL 1	699 m ²
LEVEL 2	658 m ²
LEVEL 3	658 m ²
LEVEL 4	631 m ²
LEVEL 5	810 m ²
LEVEL 6	810 m ²
LEVEL 7	810 m ²
LEVEL 8	810 m ²
LEVEL 9	810 m ²
LEVEL 10	810 m ²
LEVEL 11	810 m ²
LEVEL 12	810 m ²
LEVEL 13	810 m ²
LEVEL 14	810 m ²
LEVEL 15	810 m ²
LEVEL 16	810 m ²
LEVEL 17	810 m ²
LEVEL 18	810 m ²
LEVEL 19	810 m ²
LEVEL 20	810 m ²
LEVEL 21	810 m ²
LEVEL 22 (PLANT)	616 m ²
TOTAL	18232 m²



1 BUILDING B - SITE PLAN (OVERALL ROOF PLAN)
1:200

ADDITIONAL INFORMATION	DATE
1. FLOOR PLAN (TYPICAL), PUBLIC NOTIFICATION PLAN (TYPICAL) AND OVERALL SITE PLANS FOR LEVEL 6 FLOOR PLAN (TYPICAL) AMENDED TO INCLUDE REFERENCE TO EXTENT OF LEVELS ABOVE.	29.05.15
SITE PLANS AMENDED TO INCLUDE NAMING REFERENCE TO RELEVANT AND SPECIFIC TOWERS.	
BLOCK SPECIFIC SITE PLANS DISPLAYING ROOF PLAN INCLUDING PLANT ROOMS AND LIFT OVERRUN.	
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INCLUSION OF OSD CATCHMENT TANKS IN BASEMENT AND AT PODIUM LEVEL FOR EACH BUILDING	

- NOTES**
- HEAD HEIGHT OVER ACCESSIBLE CAR PARKING SPACES TO BE IN ACCORDANCE WITH AS 2890.6
 - PASSENGER LIFTS TO AS 1736.12 & BCA E3.6
 - ACCESSIBLE PATH OF TRAVEL PROVIDED TO ALL SOUL OCCUPANCY UNITS SERVED BY A LIFT
 - TACTILE INDICATORS TO ROAD CROSSINGS AS PER AS 1428.4
 - ENTRANCE TO ALL BUILDINGS ALONG ACCESSIBLE PATH OF TRAVEL ARE ACCESSIBLE TO AS 128.1
 - ALL DOORS SINGLE LEAF 920mm OR ACTIVE LEAF OF DOUBLE DOORS MIN 920mm
 - ACCESS TO WASTE ROOM NOT PROVIDED TO TENANTS
 - ALL FLOOR SURFACES TO BE SLIP RESISTANT, BROOM FINISHED CONCRETE EXTERNAL (OR SIMILAR), SLIP RESISTANT FLOOR FINISH INTERNALLY (TO BE SELECTED BY COMMERCIAL TENANT)
 - HANDRAIL TO AS 1428.1
 - EXTERNAL LIGHTING DESIGNED IN ACCORDANCE WITH AS 1188.3 - LIGHTING OF ROADS & PUBLIC SPACES & TO THE ACT CRIME PREVENTION & URBAN DESIGN RESOURCES MANUAL
 - TO BE READ IN CONJUNCTION WITH LANDSCAPE DRAWINGS
 - ALL ADAPTABLE UNITS TO COMPLY WITH AS 4299-1995 & THE ACCESS MOBILITY CODE
 - REFER TO ACOUSTIC REPORT
 - REFER TO WIND REPORT
 - TENANCY LAYOUT, RETAIL CONFIGURATION & ACCESS OFF STREET TENANCIES TO BE CONFIRMED WITH SUBSEQUENT INDIVIDUAL DEVELOPMENT APPLICATIONS
 - MINIMUM SIGHTLINES FOR PEDESTRIAN SAFETY WILL OCCUR IN ACCORDANCE WITH AS 2890.1

- LEGEND**
- ADAPTABLE PARKING
 - BICYCLE PARKING
 - STORAGE AREA 2400mm x 600mm
 - VISITOR PARKING
 - CAR PARK MIRRORS
 - DRYING AREA
 - CONDENSOR UNITS
 - SITE BOUNDARY

