
From: Exemptdec
Sent: Tuesday, 22 October 2019 12:38 PM
To: EPD, Customer Services
Subject: Exempt Declaration Form 1N, [REDACTED] HARRISON-S154-B4 [SEC=UNCLASSIFIED, DLM=Sensitive: Personal]
Attachments: EXEMPTION-DECLARATION-4-154-HARRISON-APPLICATION-01.xml; EXEMPTION-DECLARATION-4-154-HARRISON-APPLICATION-01.pdf; 4 of 154 harrison - full set.pdf; lodgment form.pdf

Plans are sufficient.

Kind Regards
Amy

Amy Williams | Development Assessment
Phone 02 6205 2888

Planning Delivery Division | Environment Planning and Sustainable Development Directorate | ACT Government
Dame Pattie Menzies House, Challis Street, Dickson | GPO Box 1908 Canberra ACT 2601 | www.environment.act.gov.au

From: smartforms@act.gov.au <smartforms@act.gov.au>
Sent: Thursday, 17 October 2019 6:01 PM
To: Exemptdec <Exemptdec@act.gov.au>
Subject: Exempt Declaration Form 1N, [REDACTED], HARRISON-S154-B4 [SEC=UNCLASSIFIED, DLM=Sensitive: Personal]

Exempt Declaration Form 1N

Form data summary

Submission ID [REDACTED]

Reference code [REDACTED]

For issues or questions relating to SmartForms please contact the Payment Services Integration Team on *5 4607 or email smartforms.admin@act.gov.au.

Exempt Declaration Form 1N - Submission confirmation

Your submission has been successful. Please keep a copy of this receipt for your records.

Date and time

17 Oct 2019 5:58:17 PM

Reference code

Environment, Planning and Sustainable
Development Directorate

GPO Box 158
Canberra City ACT 2601

Telephone: (02) 6207 1923

Lease/site details

Suburb/District *

HARRISON

Section *

154

Block *

4

If you require help with suburb/district, section or block details, visit [ACTMAPi](#).

Address line 1 *

61 HELBY STREET

Address line 2

Suburb *

HARRISON

State

ACT

Postcode *

2914

Applicant/certifier details

Is the applicant a *

Company

Individual

Contact details

Title

Given name *

Family name *

Please enter at least one phone number: *

Home phone number

Work phone number

Mobile number

Email address *

Decision and Plans - Your decision and plans will be returned via email. Please ensure your email address provided is correct.

Lessee (Property owners) details

All lessees must be included in this form and **must** sign the Letter of Authority authorising the lodgement of this application. In doing so the lessee gives authority to the applicant to negotiate any dealings in relation to the application through to its determination.

Item Number 1

Same as applicant

Lessee

Is this lessee a *

Company

Individual

Contact details

Title

Given name *

Family name *

Please enter at least one phone number: *

Home phone number

Work phone number

Mobile number

Email address *

Item Number 2

Lessee

Is this lessee a *

Company

Individual

Contact details

Title Given name * Family name *

Please enter at least one phone number: *

Home phone number Work phone number Mobile number

Email address *

Please attach a letter of authority signed by all lessee's. *

File: Lodgment Form.pdf

Rule departure/s

This application seeks approval for the following minor departure/s from the Single Residential Housing Development Code.

Item Number 1

Rule number *

Description of departure *

Item Number 2

Rule number *

Description of departure *

Relevant plans and supporting documentation that clearly identify the rule departure/s must be uploaded as a single PDF. *

File: 4 of 154 HARRISON - FULL SET.pdf

Is the work detailed in this application currently under construction? *

Yes No

Is this application for an existing structure? *

- Yes No

Is the application being considered subject to a current Building Approval? *

- Yes No

Is the application subject to a completed Building Approval? *

- Yes No

Is this application currently subject to compliance action? *

- Yes No

Applicant declaration

I,

- declare that all the information given on this form and its attachments is true and complete. ***
 - declare that the attached plans clearly show the departure (for example, through using colour), and any other relevant information. ***
 - I understand an assessment is only conducted once an application is lodged, and incorrect documentation may result in a refusal. ***
-



ACT
Government

Environment, Planning and
Sustainable Development

Planning and Development Act 2007

EXEMPTION DECLARATION FORM

Form 1N

APPLICATION FOR APPROVAL OF MINOR DEPARTURE/S FROM THE SINGLE RESIDENTIAL HOUSING DEVELOPMENT CODE

Departures from the numerical controls in the Rules of the Single Residential Housing Development Code will only be considered in relation to building envelope controls, the minimum dimension for private open space and setbacks for proposed development on residential land. The Planning and Land Authority may only approve a minor departure/s where no-one other than the applicant will be adversely affected by the departure and the environmental impact caused by the approval of the departure will do no more than minimally increase the environmental impact of the development.

Lease/Site Details *Please Print*

If more than one lease/site, attach the following details for each lease/site

Block/s Section Suburb Unit No.

District

Street Number

Street Name

Postcode

Applicant/Certifier Details *Please Print*

Surname First Name

Company Name

Position held in company

Australian Company/Business Number (ACN/ABN)

Postal Address

Suburb

State

Postcode

Phone Number Business Hours

Mobile

EMAIL ADDRESS

Lessee (Property Owners) Details *Please Print*

1st Lessee's Details

Surname

First Name

Company Name

Position held in company

Australian
Company/Business
Number (ACN/ABN)

Postal Address

Suburb

State

Postcode

Phone Number Business
Hours

Mobile

EMAIL ADDRESS

2nd Lessee's Details

Surname

First Name

Company Name

Position held in company

Australian
Company/Business
Number (ACN/ABN)

Postal Address

Suburb

State

Postcode

Phone Number Business
Hours

Mobile

EMAIL ADDRESS

All lessees must sign authorising the lodgement of this application. In doing so the lessee gives authority to the applicant to negotiate any dealings in relation to the application through to its determination. If there are more than two lessees please ensure that the details and authorisation are attached to the application.

Decision and Plans

Unless otherwise specified your decision and plans will be returned via email please ensure your email address is provided.

Rule Departure/s – Residential Land ONLY

NOTE: An application for a departure from the requirements of a mandatory rule will not be approved
 This application seeks approval for the following minor departure/s from the Single Residential Housing Development Code

Rule Number	Description of Departure
11	Corner encroachment to front boundary setback
8	Minor encroachment into building envelope over garage & bedroom

**Relevant plans and supporting documentation that clearly identify the rule departure/s must be provided at the time of lodgement*

- Is the work detailed in this application currently under construction? YES NO
- Is this application for an existing structure? YES NO
- Is the application being considered subject to a current Building Approval?
 If YES – provide building approval project number BA _____ YES NO
- Is the application subject to a completed Building Approval? YES NO
- Is this application currently subject to compliance action? YES NO

NOTE: There are penalties for deliberately giving false and misleading information.

The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation

Applicant Declaration *If there are more than two lessees please ensure that the details and authorisation are attached to the application.*

I/we declare that this application is accompanied by all of the required information or documents

I/we declare that all the information given on this form and its attachments is true and complete.

Applicant Signature (s)		Date	<input type="text" value="9/10/19"/>
* Lessee 1 Signature		Date	<input type="text" value="10/10/19"/>
Lessee 2 Signature	<input type="text"/>	Date	<input type="text"/>

Privacy Notice

The personal information on this form is being collected to enable processing of your application. Collection of personal information is authorised by Chapters 7, 8 and 9 of the *Planning and Development Act 2007*. The information that you provide may be disclosed to the ACT Revenue Office, the Australian Valuation Office and the Registrar-General's Office. The information may be accessed by other government agencies, ACTEWAGL, ACTEW Corporation and other commercial organisations interested in development and building information.

Contact Details:

Environment, Planning and Sustainable Development Directorate
 Customer Service Centre
 GPO Box 158, Canberra City 2601
 16 Challis Street, Dickson ACT 2602
 Business Hours: 8.30am to 4.30pm weekdays (excluding Public Holidays)
 Phone: (02) 6207 1923
 Email: epdcustomerservices@act.gov.au Website: www.planning.act.gov.au

OFFICE USE ONLY

**ASSESSMENT OF PROPOSAL
DETERMINATION UNDER SECTION 1.100A OF THE
PLANNING AND DEVELOPMENT REGULATION 2008**

Description of Extended Distance:

Assessment:

	<u>PASS</u>	<u>FAIL</u>
Is the non-compliance minor?	<input type="checkbox"/> YES	<input type="checkbox"/> NO

Will building the dwelling other than in accordance with the relevant rules:

- | | | |
|---|-----------------------------|------------------------------|
| <input type="checkbox"/> adversely affect someone other than the applicant? | <input type="checkbox"/> NO | <input type="checkbox"/> YES |
| <input type="checkbox"/> increase the environmental impact of the dwelling more than minimally? | <input type="checkbox"/> NO | <input type="checkbox"/> YES |

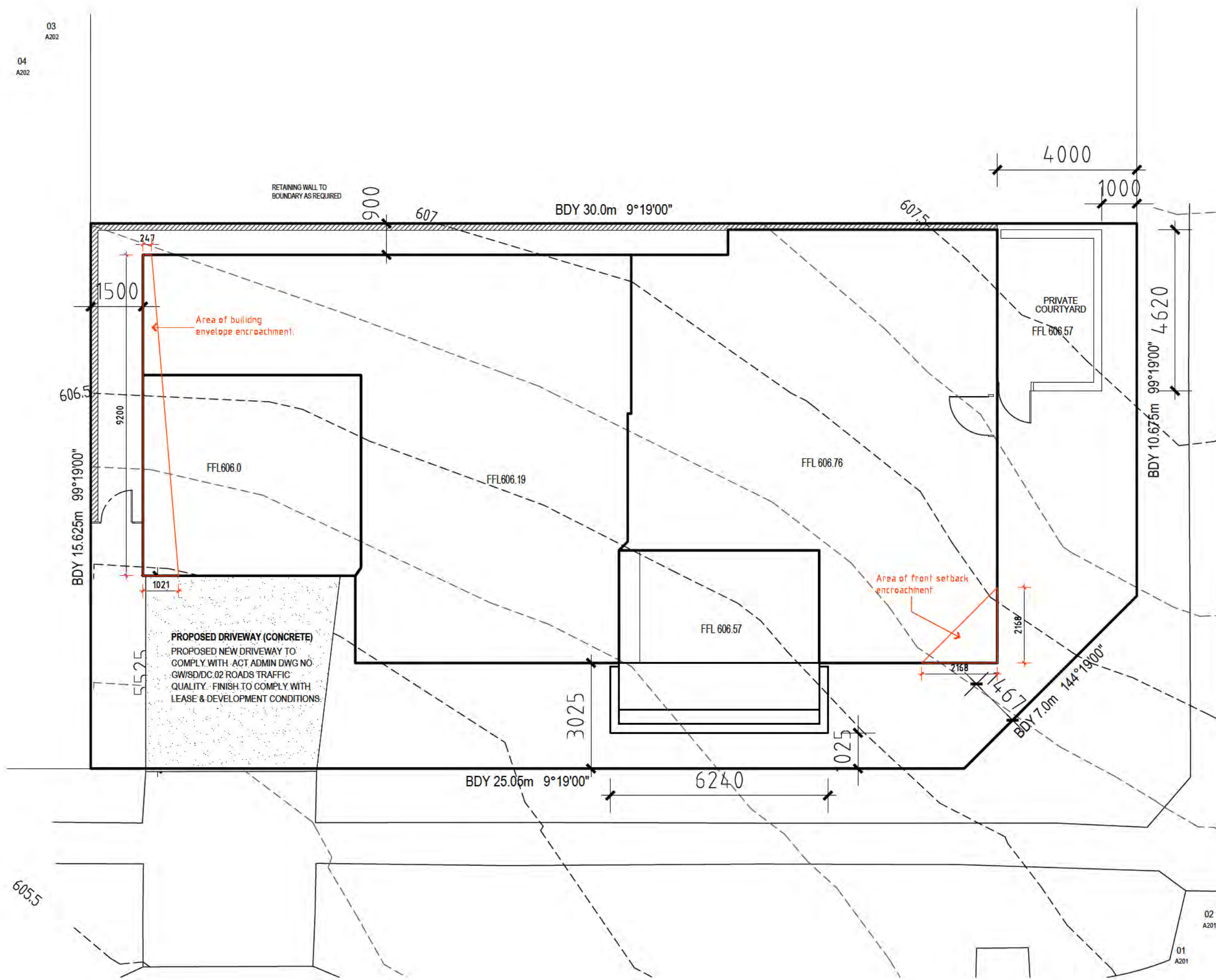
Plans provided adequately identify departures	<input type="checkbox"/> YES	<input type="checkbox"/> NO
---	------------------------------	-----------------------------

Comments:

Approved / Refused

Plans Stamped

.....
Delegate of the
Planning and Land Authority



LEGEND

REV	DESCRIPTION	BY	DATE

PROJECT ADDRESS
BLOCK 4 SECTION 154
HARRISON

DRAWING TITLE
SITE PLAN

PROJECT NAME
NEW RESIDENCE

CLIENT
MASTRO 5

DRAWING STATUS
PRELIMINARY

SCALE 1:200

PRINT DATE 26.9.19

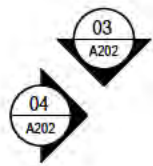
DESIGNED/
DRAWN LC

PROJECT No 19912

DWG No A001 REVISION

02
A201

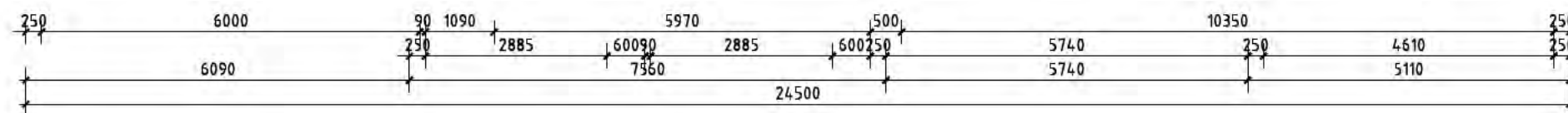
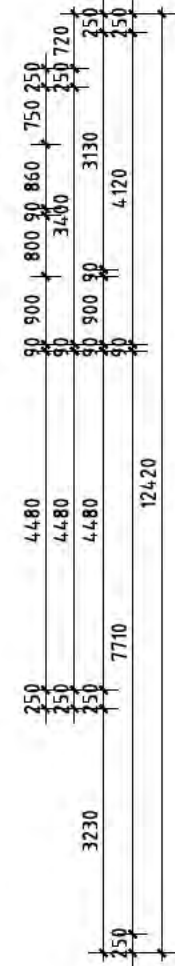
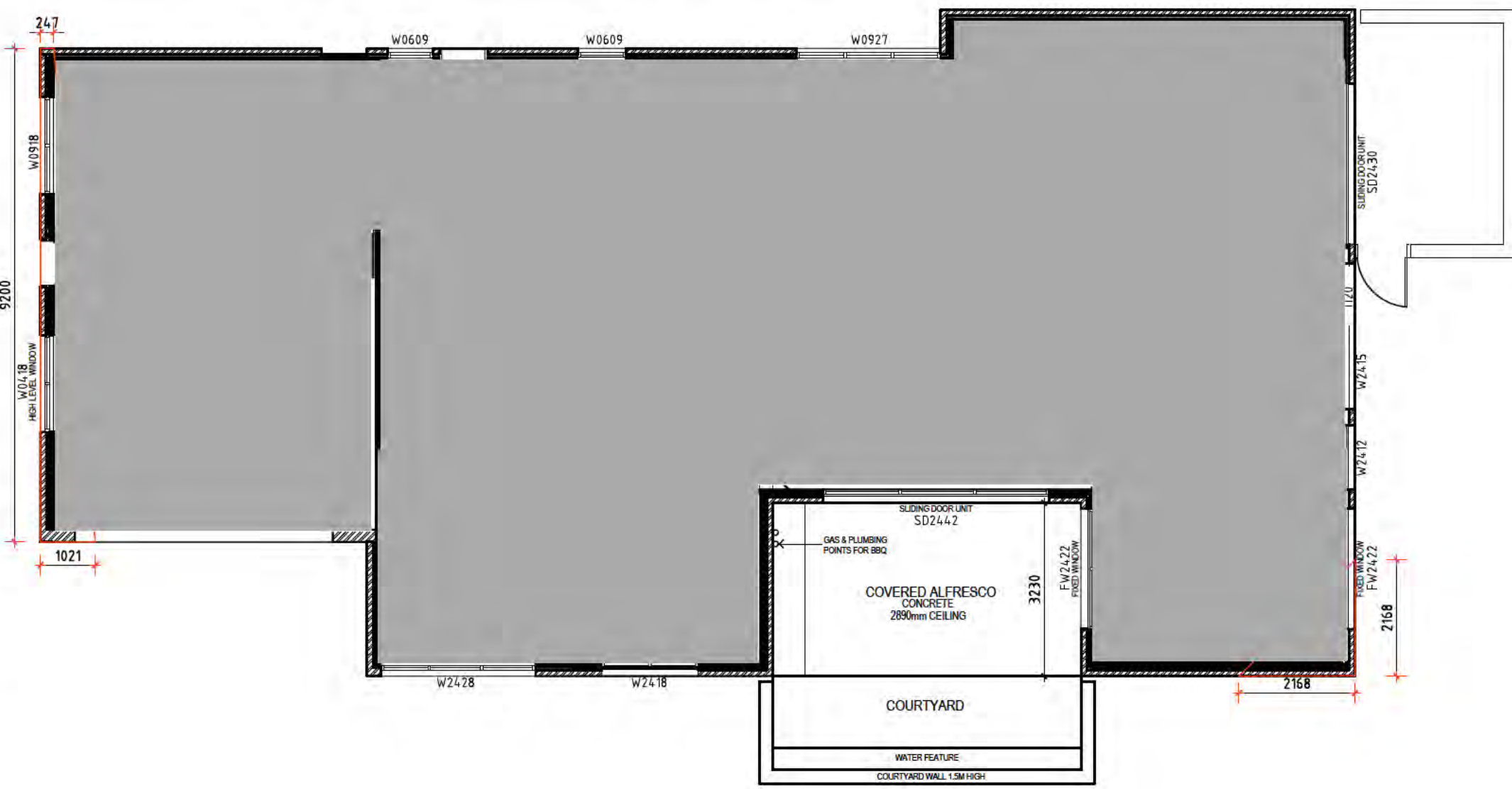
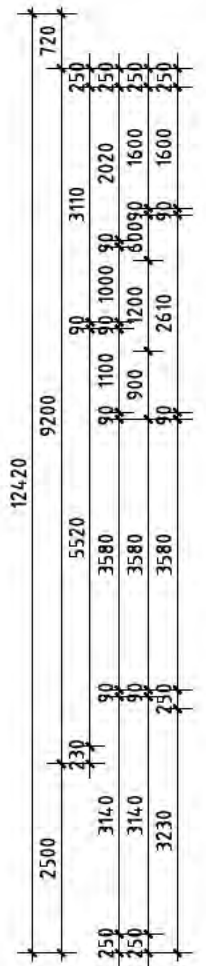
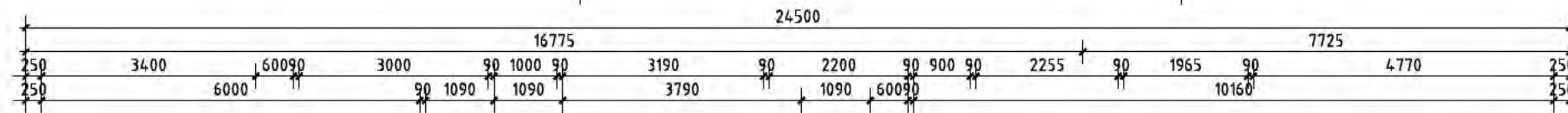
01
A201



0404 874 888
 lachlan@lhcdrafting.com.au
 www.lhcdrafting.com.au
 Mob: 0404 874 888
 Email: lachlan@lhcdrafting.com.au
 Web: www.lhcdrafting.com.au



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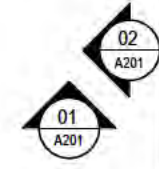
LEGEND

REV	DESCRIPTION	BY	DATE
01	ISSUED FOR PERMIT	HLA	26.9.19

PROJECT ADDRESS
 BLOCK 4 SECTION 154
 HARRISON
 DRAWING TITLE
 FLOOR PLAN
 PROJECT NAME
 NEW RESIDENCE
 CLIENT
 MASTRO 5

DRAWING STATUS
 PRELIMINARY
 SCALE 1:100
 PRINT DATE 26.9.19
 DESIGNED/DRAWN LC
 PROJECT No 19912
 DWG No A100 REVISION

LIVING AREA: 222.52sqm
GARAGE: 35.91sqm

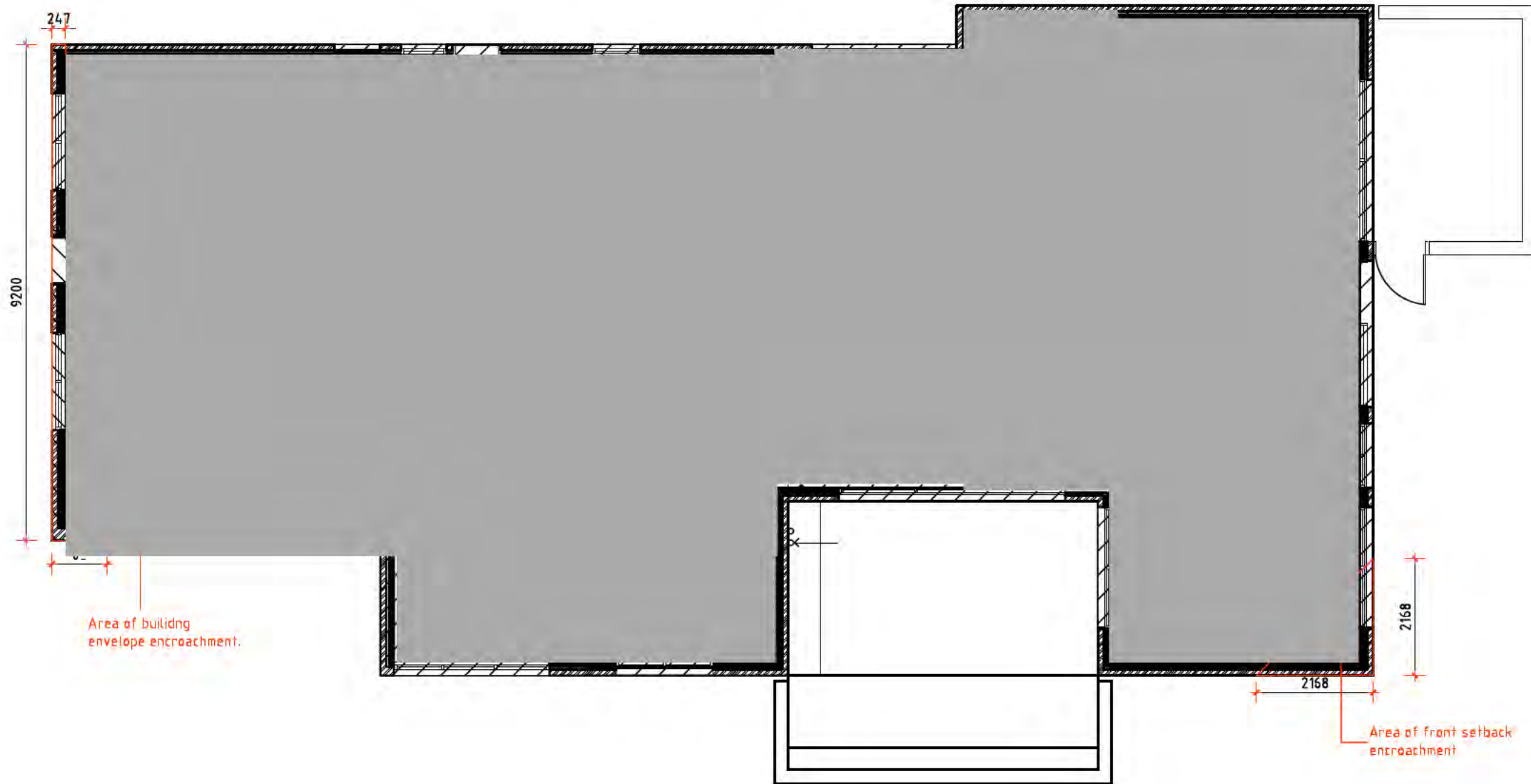




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LIVING AREA: 222.52sqm
GARAGE: 35.91sqm

LEGEND

REV	DESCRIPTION	BY	DATE

Consent of the whole or any of the described contents, or otherwise in writing. The consent does not constitute approval in the standard or otherwise. The consent of the Council is not required for the use of information data and content in any other way. The user will be deemed to have accepted the conditions.

PROJECT ADDRESS
BLOCK 4 SECTION 154
HARRISON
DRAWING TITLE
AREA PLAN

PROJECT NAME
NEW RESIDENCE

CLIENT
MASTRO 5

DRAWING STATUS
PRELIMINARY

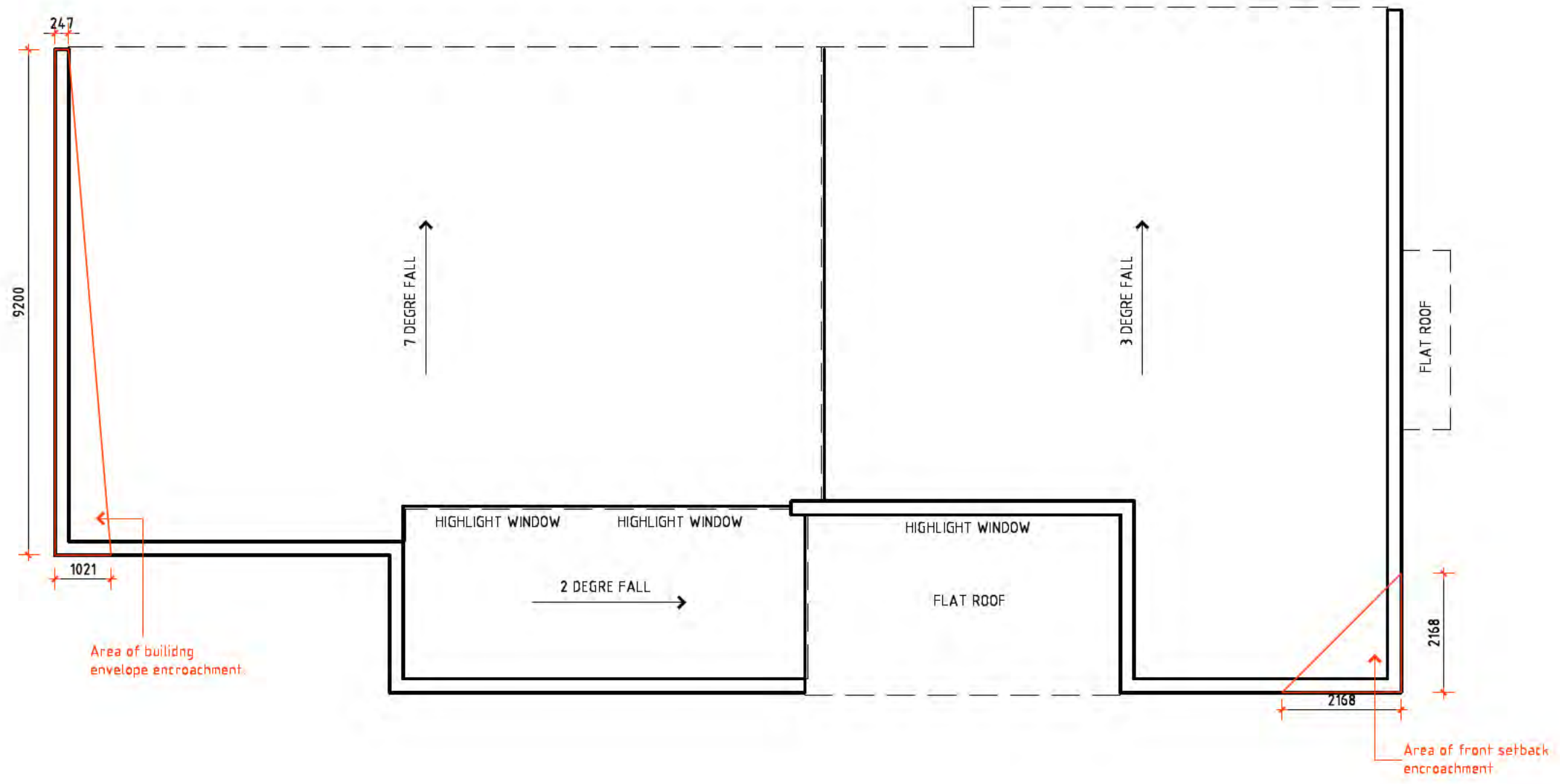
SCALE 1:100
 PRINT DATE 26.9.19
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 PROJECT No 19912
 DWG No A101 REVISION



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Consent of the whole or any part of this document is hereby granted to the recipient of this document for their personal use only. The recipient agrees to indemnify and hold the drafter harmless from any and all claims, damages, costs and expenses, including legal fees, arising from any use of this document other than for the intended purpose.

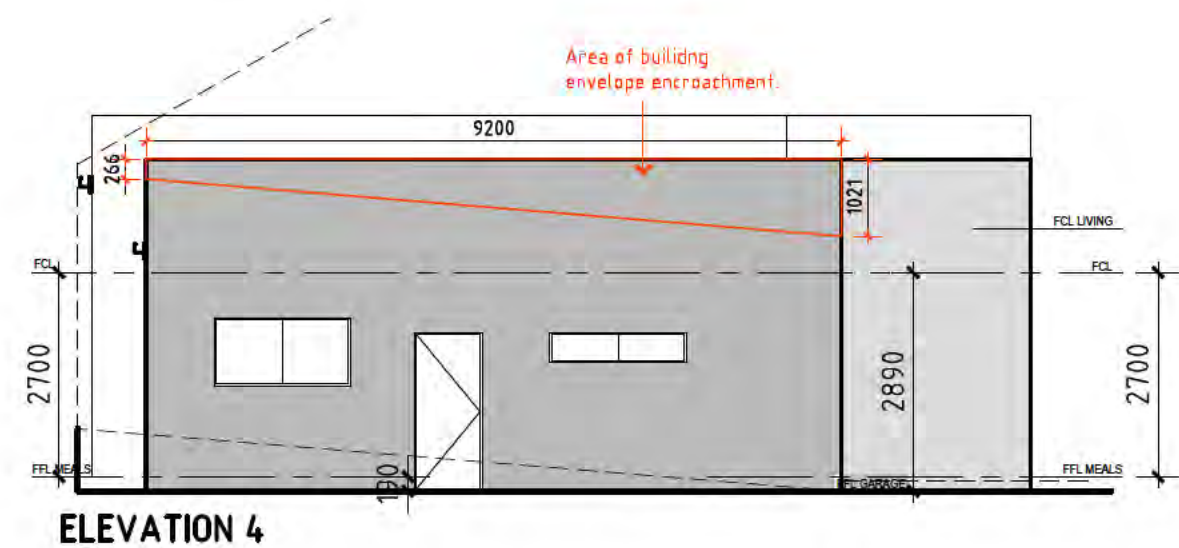
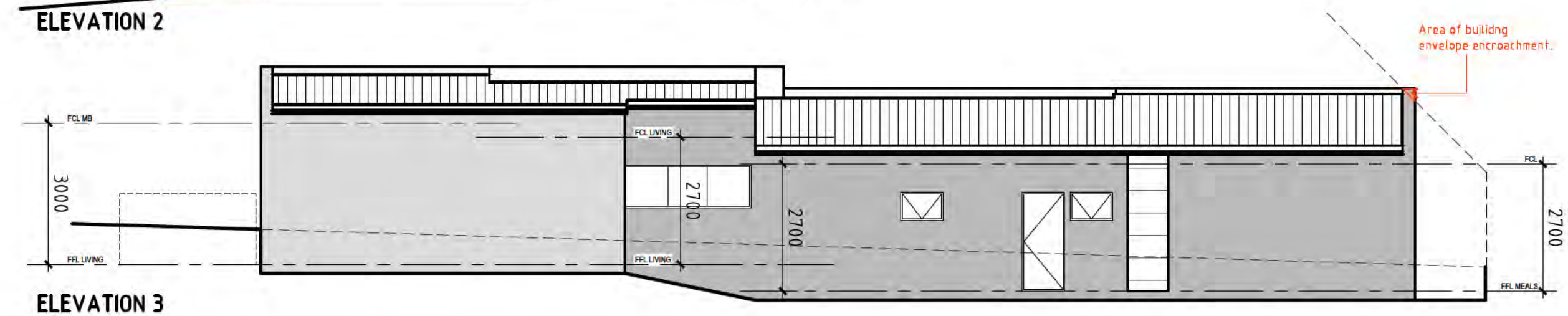
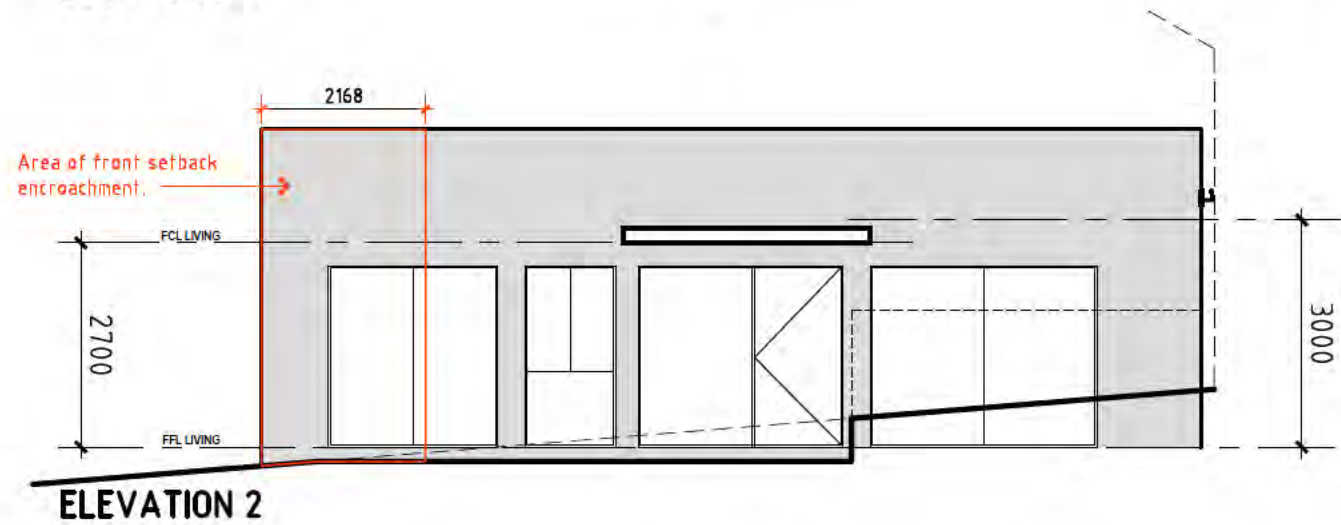
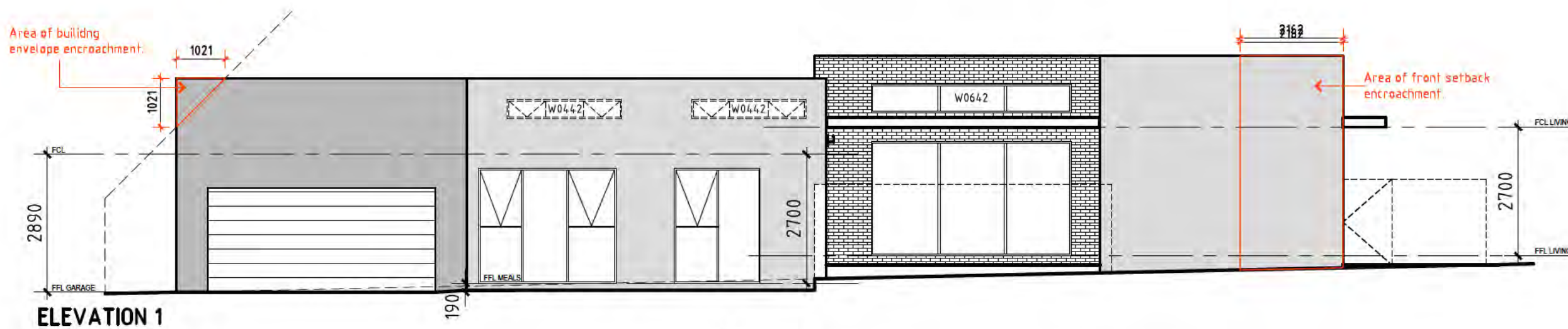
PROJECT ADDRESS
 BLOCK 4 SECTION 154
 HARRISON
 DRAWING TITLE
 ROOF PLAN

PROJECT NAME
 NEW RESIDENCE

CLIENT
 MASTRO 5

DRAWING STATUS
 PRELIMINARY

SCALE 1:100
 PRINT DATE 26.9.19
 DESIGNED/ DRAWN LC
 PROJECT No 19912
 DWG No A102 REVISION



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REV	DESCRIPTION	BY	DATE

PROJECT ADDRESS
 BLOCK 4 SECTION 154
 HARRISON
 DRAWING TITLE
 ELEVATIONS

PROJECT NAME
 NEW RESIDENCE

CLIENT
 MASTRO 5

DRAWING STATUS
 PRELIMINARY

SCALE 1:100

PRINT DATE 26.9.19

DESIGNED/
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PROJECT No 19912

DWG No A200 REVISION



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 www.lhcdrafting.com.au
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LEGEND

REV	DESCRIPTION	BY	DATE

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PROJECT ADDRESS
 BLOCK 4 SECTION 154
 HARRISON

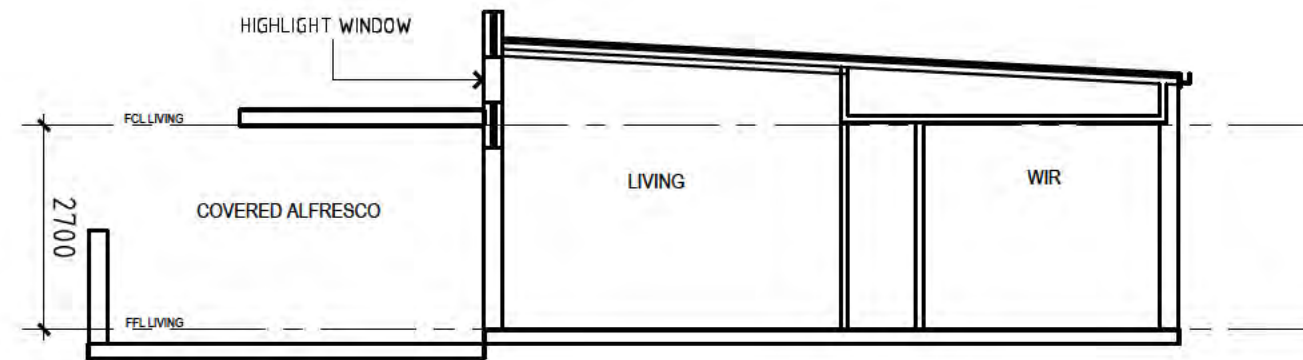
DRAWING TITLE
 SECTION

PROJECT NAME
 NEW RESIDENCE

CLIENT
 MASTRO 5

DRAWING STATUS
 PRELIMINARY

SCALE 1:100
 PRINT DATE 26.9.19
 DESIGNED/ DRAWN LC
 PROJECT No 19912
 DWG No A300 REVISION



SECTION 1



SECTION 2

ADMIN CHECK LIST - EXEMPTION DECLARATION – FORM 1N

Block: 4 Section: 154 Suburb: HARRISON

Are the Lessee/s details correct (Use Tarquin) NO YES

- If the LDA is the land custodian, an authorisation letter must be provided, made attention to the applicant and give authority to lodge an Exemption Declaration Application
- Use PALM to perform the below checks:

Does the block and section match the street address? NO YES

Is it Heritage? (If yes, a letter from heritage is required, except Moncrieff/Throsby/Taylor/Lawson) NO YES

Is there Compliance action? (If yes add comment to the 'Ready for Assessment' email) NO YES

Save e-mail to objective under Development Application B/S/S Exemption Declaration YES

Comments:

Check Completed by: JASON

Date Processed: 22/10/19

Fee Advice Sent by: JASON

Date Sent: 22/10/19

PAYMENT

Receipt Attached:

Date Sent to Assessing Officer: 31/10/19

Payment Method: smartform

Date Due (10 working days): 13/11/19

From: EPD, Customer Services
Sent: Tuesday, 22 October 2019 3:12 PM
To: [REDACTED]
Subject: FEE ADVICE-EXEMPTION DECLARATION-4-154-HARRISON [SEC=UNCLASSIFIED]

Good afternoon,

We have received and completed our initial check of the Exemption Declaration Application for Block 4 Section 154 HARRISON, it is ready to proceed to assessment once payment is received.

Please click the link below and complete the online form for payment of **\$600.00**

<https://form.act.gov.au/smartforms/landing.htm?formCode=1215>

Alternatively, payment can be made via cash or cheque at the ACT Government shopfront, 16 Challis Street Dickson.

Regards,

Jason | Customer Coordination | Environment, Land and Planning shopfront
Phone: 02 6207 1923 | **Email:** epdcustomerservices@act.gov.au
Access Canberra | Chief Minister Treasury and Economic Development Directorate | ACT Government
16 Challis St, Dickson | GPO BOX 158, Canberra City ACT 2601 | www.act.gov.au/accessCBR



Fee Advice Payments - EPSDD - Tax receipt

This transaction will appear on your credit card statement as ACCESS CBR INTERNET CANBERRA.

Date and time	Reference code	Payment receipt number	Total amount paid
30 Oct 2019 2:10:06 PM			\$600.00

Environment, Planning and Sustainable
Development Directorate
ABN 31 432 729 493

GPO Box 158
Canberra ACT 2601

Email: epdcustomerservices@act.gov.au
Phone: 02 6207 1923

Fee Advice Payments - EPSDD

This payment is for: *

Exempt declaration

Property 1

Suburb/District *

HARRISON

Section *

154

Block *

4

Unit

If you require help with suburb/district, section or block details, visit [ACTMAPI](#).

Reference

I declare that the payment is being made in accordance with the fee advice I have received by Environment, Planning and Sustainable Development Directorate. *

Payer name *

Phone number *

Email *

Payment amount

\$600.00

From: Exemptdec
Sent: Tuesday, 5 November 2019 5:01 PM
To: Exemptdec
Subject: FW: READY FOR ASSESSMENT-EXEMPTION DECLARATION-4-154-HARRISON [SEC=UNCLASSIFIED]
Attachments: EXEMPTION DECLARATION.obr
Follow Up Flag: Follow up
Flag Status: Flagged

UNCLASSIFIED

Refused with Clinton Cashen's consent.

Kind Regards

Anna Musgrove

Assessment Officer | Gateway Team
Development Assessment | Planning Delivery Division
Environment, Planning and Sustainable Development | ACT Government
Phone 02 6205 0179 | Email anna.musgrove@act.gov.au
Dame Pattie Menzies House, Challis Street, Dickson | GPO Box 158 Canberra ACT

From: EPD, Customer Services <EPDCustomerServices@act.gov.au>
Sent: Thursday, 31 October 2019 8:45 AM
To: Exemptdec <Exemptdec@act.gov.au>
Subject: READY FOR ASSESSMENT-EXEMPTION DECLARATION-4-154-HARRISON [SEC=UNCLASSIFIED]

From: EPD, Customer Services
Sent: Wednesday, 6 November 2019 3:32 PM
To: [REDACTED]
Cc: [REDACTED]
Subject: EXEMPTION DECLARATION APPLICATION AND REFUSED PLANS FOR B4/S154 HARRISON [SEC=UNCLASSIFIED]
Attachments: EXEMPTION-DECLARATION-4-154-HARRISON-APPLICATION-01.pdf; EXEMPTION-DECLARATION-4-154-HARRISON-PLANS-01.pdf; EXEMPTION DECLARATION-S154-B0004-HARRISON-ASSESSMENT CHECKLIST.pdf

Good afternoon,

Please see attached Exemption Declaration Application & Refused Plans for B4/S154 HARRISON.

For further information please contact the DA Gateway Team on 6205 2888 or email exemptdec@act.gov.au

Regards,

Customer Services

Phone 02 6207 1923

Access Canberra | ACT Government

Dame Pattie Menzies House, Challis Street, Dickson | GPO Box 158 Canberra ACT 2601 Access Canberra is an ACT Government service that brings together customer and regulatory services, including the former Environment and Planning Directorates Customer Services Team. Access Canberra has been set up to make it easier for business, community organisations and individuals to work with ACT Government and deliver a more seamless experience. www.planning.act.gov.au | EPDcustomerservices@act.gov.au

**ASSESSMENT OF PROPOSAL
DETERMINATION UNDER SECTION 1.100A OF THE
PLANNING AND DEVELOPMENT REGULATION 2008**

Description of extended distance:

Rule 8 - Building envelope departure of a maximum 1021mm for a length of 9500mm

Rule 11 - Front boundary setback departure of a maximum 1533mm for a length of 2168mm

Assessment:

PASS

FAIL

Is the non-compliance minor?

Yes

No

Will building the dwelling other than in accordance with the relevant rules:

- Adversely affect someone other than the applicant?

No

Yes

- Increase the environmental impact of the dwelling more than minimally?

No

Yes

Plans provided adequately identify departures?

Yes

No

Comments:

Not considered to be minor in context

Plans stamped:

Approved

Refused

Delegate of

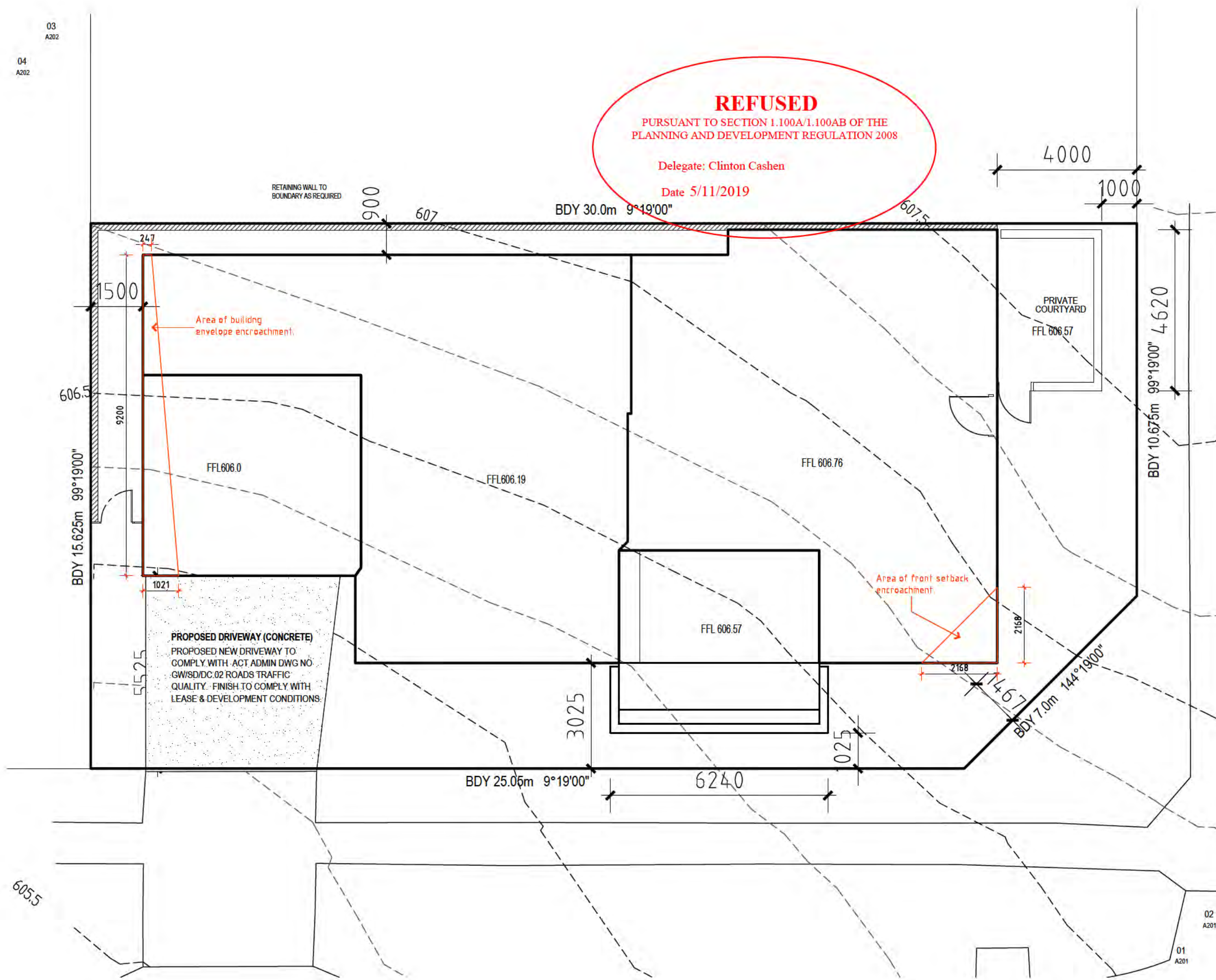
Environment, Planning and Sustainable Development Directorate: Clinton Cashen 05/11/2019



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REFUSED
PURSUANT TO SECTION 1.100A/1.100AB OF THE
PLANNING AND DEVELOPMENT REGULATION 2008

Delegate: Clinton Cashen
Date 5/11/2019



LEGEND

Table with 3 columns: REV, DESCRIPTION, BY DATE. The table is currently empty.

PROJECT ADDRESS

BLOCK 4 SECTION 154
HARRISON

DRAWING TITLE

SITE PLAN

PROJECT NAME

NEW RESIDENCE

CLIENT

MASTRO 5

DRAWING STATUS

PRELIMINARY

SCALE 1:200

PRINT DATE 26.9.19

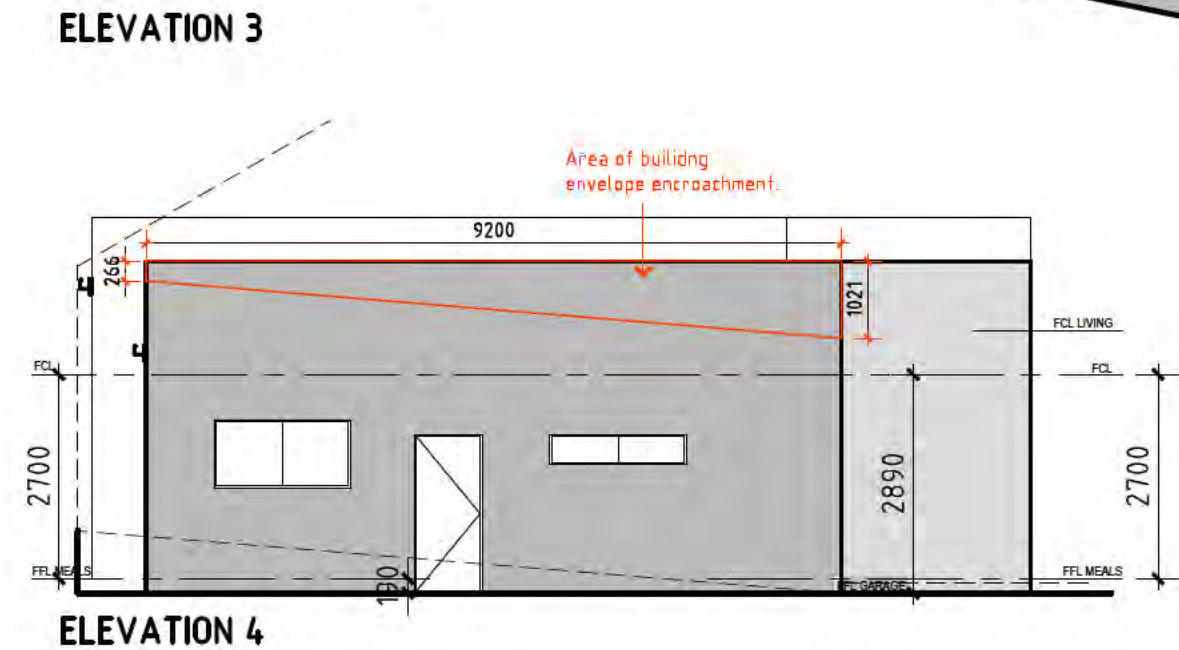
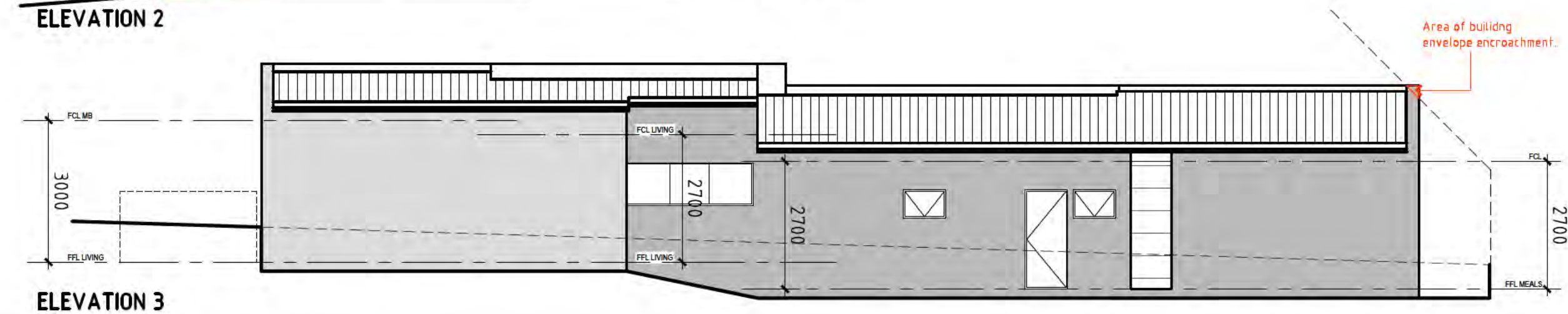
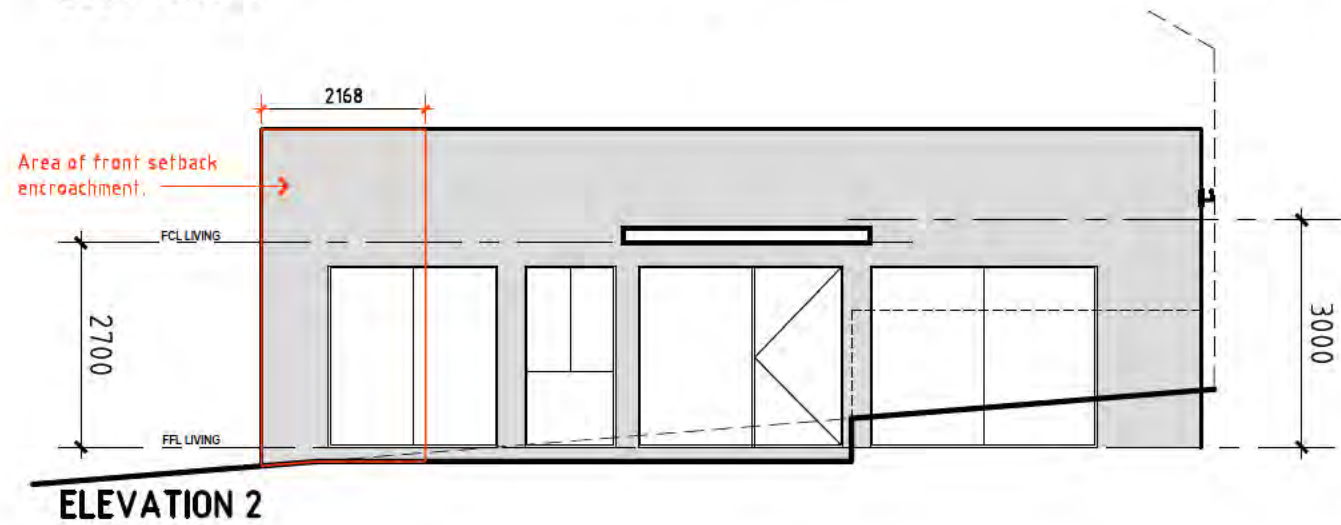
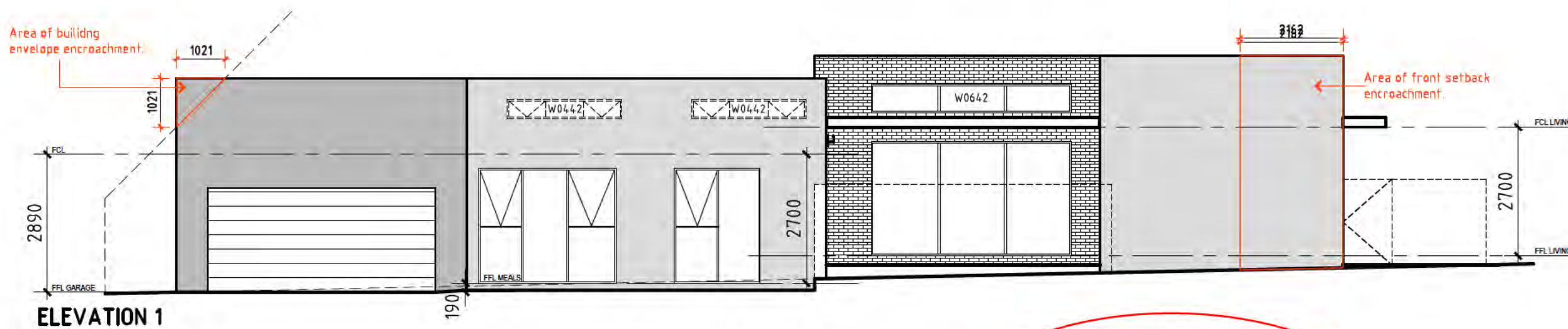
DESIGNED/ DRAWN LC

PROJECT No 19912

DWG No A001 REVISION

02
A201

01
A201



REFUSED
 PURSUANT TO SECTION 1.100A/1.100AB OF THE
 PLANNING AND DEVELOPMENT REGULATION 2008

Delegate: Clinton Cashen
 Date 5/11/2019



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 www.lhcdrafting.com.au
 Mob: 0404 874 888
 Email: lhc@lhcdrafting.com.au
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REV	DESCRIPTION	BY	DATE

PROJECT ADDRESS
 BLOCK 4 SECTION 154
 HARRISON
 DRAWING TITLE
 ELEVATIONS

PROJECT NAME
 NEW RESIDENCE

CLIENT
 MASTRO 5

DRAWING STATUS
 PRELIMINARY

SCALE 1:100
 PRINT DATE 26.9.19
 DESIGNED/DRAWN LC
 PROJECT No 19912
 DWG No A200 REVISION

C:\LHC\DRAWING\003 Client\Directory\19912-HARRISON Mastro 5\4 OF 154 HARRISON - SD1.dwg

From: Exemptdec
Sent: Wednesday, 19 May 2021 10:24 AM
To: AC, EPD Customer Services
Subject: FW: Exempt Declaration Form 1N, [REDACTED] HARRISON-S154-B4
[SEC=UNCLASSIFIED, DLM=Sensitive: Personal]
Attachments: EXEMPTION-DECLARATION-4-154-HARRISON-APPLICATION-01.xml;
authorisation..pdf; EXEMPTION-DECLARATION-4-154-HARRISON-APPLICATION-01.pdf; Block 4 Section 154 Harrison 02.pdf

OFFICIAL

Plans are sufficient

Paul Wang | Gateway Team

02 6205 2888

Statutory Planning Division | Environment, Planning and Sustainable Development Directorate **ACT Government**

480 Northbourne Avenue, Dickson, 2602 | GPO Box 1908 Canberra ACT 2601 | www.planning.act.gov.au

From: smartforms@act.gov.au <smartforms@act.gov.au>
Sent: Thursday, 15 April 2021 9:59 AM
To: Exemptdec <Exemptdec@act.gov.au>
Subject: Exempt Declaration Form 1N, CNV9L9, HARRISON-S154-B4 [SEC=UNCLASSIFIED, DLM=Sensitive: Personal]

Exempt Declaration Form 1N

Form data summary

Submission ID [REDACTED]

Reference code [REDACTED]

smartforms.admin@act.gov.au

Exempt Declaration Form 1N - Submission confirmation

Your submission has been successful. Please keep a copy of this receipt for your records.

Date and time

15 Apr 2021 9:57:25 AM

Reference code

Environment, Planning and Sustainable
Development Directorate

GPO Box 158
Canberra City ACT 2601

Telephone: (02) 6207 1923

Lease/site details

Suburb/District *

HARRISON

Section *

154

Block *

4

If you require help with suburb/district, section or block details, visit [ACTMAPI](#).

Address line 1 *

61 Helby Street

Address line 2

Suburb *

HARRISON

State

ACT

Postcode *

2914

Applicant/certifier details

Is the applicant a *

Company

Individual

Company name *

BLD Homes

Provide either an ABN or an ACN *

ABN

86092105603

ACN

Contact details

Title

Given name *

Family name *

Position held in company *

Director

Please enter at least one phone number: *

Home phone number

Work phone number

Mobile number

Email address *

Decision and Plans - Your decision and plans will be returned via email. Please ensure your email address provided is correct.

Lessee (Property owners) details

All lessees must be included in this form and **must** sign the Letter of Authority authorising the lodgement of this application. In doing so the lessee gives authority to the applicant to negotiate any dealings in relation to the application through to its determination.

Item Number 1

Same as applicant

Lessee

Is this lessee a *

Company

Individual

Contact details

Title

Given name *

Family name *

Please enter at least one phone number: *

Home phone number

Work phone number

Mobile number

Email address *

Item Number 2

Lessee

Is this lessee a *

Company

Individual

Contact details

Title	Given name *	Family name *
<input type="text"/>		

Please enter at least one phone number: *

Home phone number	Work phone number	Mobile number
<input type="text"/>	<input type="text"/>	<input type="text"/>

Email address *

Please attach a letter of authority signed by all lessee's. *

File: Authorisation..pdf

Rule departure/s

This application seeks approval for the following minor departure/s from the Single Residential Housing Development Code.

Item Number 1

Rule number *

Description of departure *

Item Number 2

Rule number *

Description of departure *

We are proposing to have a 900mm setback in the primary zone with a window to the bathroom.
This is in keeping to the windows in the rear zone and there is a fence to provide privacy to the neighbour
The window will allow for additional light to the en-suite
This complies with the BCA

Item Number 3

Rule number *

Description of departure *

This rule is read in relation to Rule 12. We have removed the eave to minimise the impact on the neighbour.
This also complies with the BCA

Relevant plans and supporting documentation that clearly identify the rule departure/s must be uploaded as a single PDF. *

File: PDF_Low Res Color.PDF

Is the work detailed in this application currently under construction? *

Yes No

Is this application for an existing structure? *

Yes No

Is the application being considered subject to a current Building Approval? *

Yes No

Is the application subject to a completed Building Approval? *

Yes No

Is this application currently subject to compliance action? *

Yes No

Applicant declaration

I, [REDACTED]

declare that all the information given on this form and its attachments is true and complete. *

declare that the attached plans clearly show the departure (for example, through using colour), and any other relevant information. *

I understand an assessment is only conducted once an application is lodged, and incorrect documentation may result in a refusal. *



**LETTER OF AUTHORISATION
FOR APPLICANTS TO OBTAIN PERMISSION FROM
LESSEE/S TO LODGE AN APPLICATION WITH THE
ACT GOVERNMENT ON THEIR BEHALF**

LEASE/SITE DETAILS (Please Print)

If more than one lease/site please attach the following details for each additional lease/site on a separate sheet

Block Section Suburb
 Unit No. Street Address

LESSEE(S) DECLARATION If more than two lessees please provide details of each additional lessee on a separate sheet

- I/we declare that I am/we are the lessee(s) of the land described above;
- I/we have been made aware of the declaration clauses; and
- I/we declare that all the information given on this form is true and complete.

Print Name	<input type="text"/>	Signature	<input type="text"/>	Date	<input type="text" value="13/4/21"/>
Print Name	<input type="text"/>	Signature	<input type="text"/>	Date	<input type="text" value="13/04/21"/>

Please tick the applicable box below

This authorisation relates to:

- | | | |
|--|--|--|
| <input type="checkbox"/> Certificate of Compliance | <input type="checkbox"/> Extension of Time | <input checked="" type="checkbox"/> Exempt Declaration Application |
| <input type="checkbox"/> Land Rent Payout | <input type="checkbox"/> Further Crown Lease | <input checked="" type="checkbox"/> Other <u>1N</u> |

APPLICANT DECLARATION

- I/we declare that all information given on this form and its attachment is true and correct.
- If signing on behalf of an organisation:
- I/we the undersigned declare I/we have the appropriate delegation or authority to sign on behalf of the organisation.

Applicant Name	<input type="text" value="BLD Enterprises PL"/>	Organisation Name	<input type="text" value="BLD Enterprises PL"/>
Signature	<input type="text"/>	Date	<input type="text" value="13/4/2021"/>

Privacy Notice
 The personal information on this form is provided to Access Canberra (AC) and Environment and Planning Directorate (EPD) to enable the processing of your application. The collection of personal information is authorised by the *Planning and Development Act 2007*. If all or some of the personal information is not collected AC or EPD cannot process your application. The *Planning and Development Act 2007* requires the details of applications, decisions and orders to be kept on a register and made available for public inspection. Information and documentation relevant to a development application may be made available via the Internet. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office, the Registrar General's Office, ACTEW Corporation, ActewAGL, Icon Water, Territory and Municipal Services Directorate and other Government agencies with a direct interest in the development assessment process. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Personal information may be used or disclosed in accordance with the information Privacy Act 2014. For details on the collection of personal information in this form please refer to the *Access Canberra Information Collection Notice*. If you have questions about how your information will be handled please see the *Access Canberra Privacy Policy*. The EPD Information Privacy Policy can be found at www.planning.act.gov.au

Contact Information:

Online www.act.gov.au/accessCBR www.planning.act.gov.au	Phone (02) 62071923 TTY (02) 62072622	In Person Building Services Shopfront – Mitchell Environment, Planning and Land Shopfront - Dickson For opening hours and location details please visit www.act.gov.au/accessCBR or call Access Canberra 13 22 81.
---	--	---

PS.DS – 55735
5 March 2021



BLD Homes
PO Box 1372
FYSHWICK ACT 2609

Dear Sir


As instructed, we have surveyed land at Harrison, in the Division of Harrison, District of Gungahlin, having frontages of 10.675 metres to Casilda Street, a splayed corner of 7.0 metres, to a frontage of 25.05 metres to Helby Street, being **Block 4 Section 154 Deposited Plan Numbered 10913** as shown in the sketch plan below.

Upon this land stands the concrete foundation of a building in the course of erection to be on completion a cottage residence.

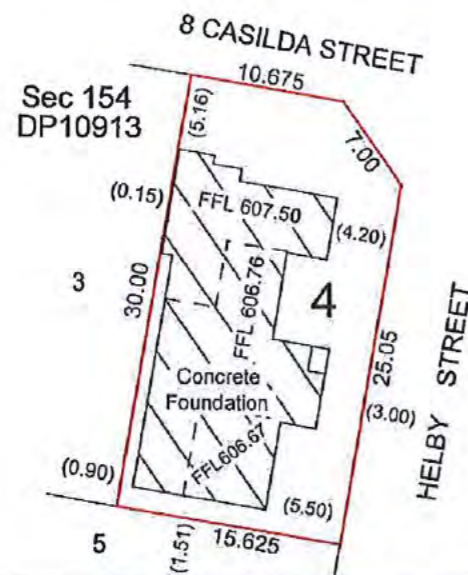
The sketch shows the position of the foundations relative to the boundaries.


Other than as stated or referred to above, there are no apparent encroachments upon this land or by this property on adjoining land or street(s).

Yours faithfully
SELFE SURVEYS PTY LTD


Peter Selfe
Registered Surveyor

cc. Chief Surveyor




SCALE 1:500 N
LENGTHS ARE IN METRES

PO Box 230
GUNGAHLIN ACT 2912

Mobile: 0404 046 021
Email: info@selfesurveys.com.au
ABN 90 172 686 014

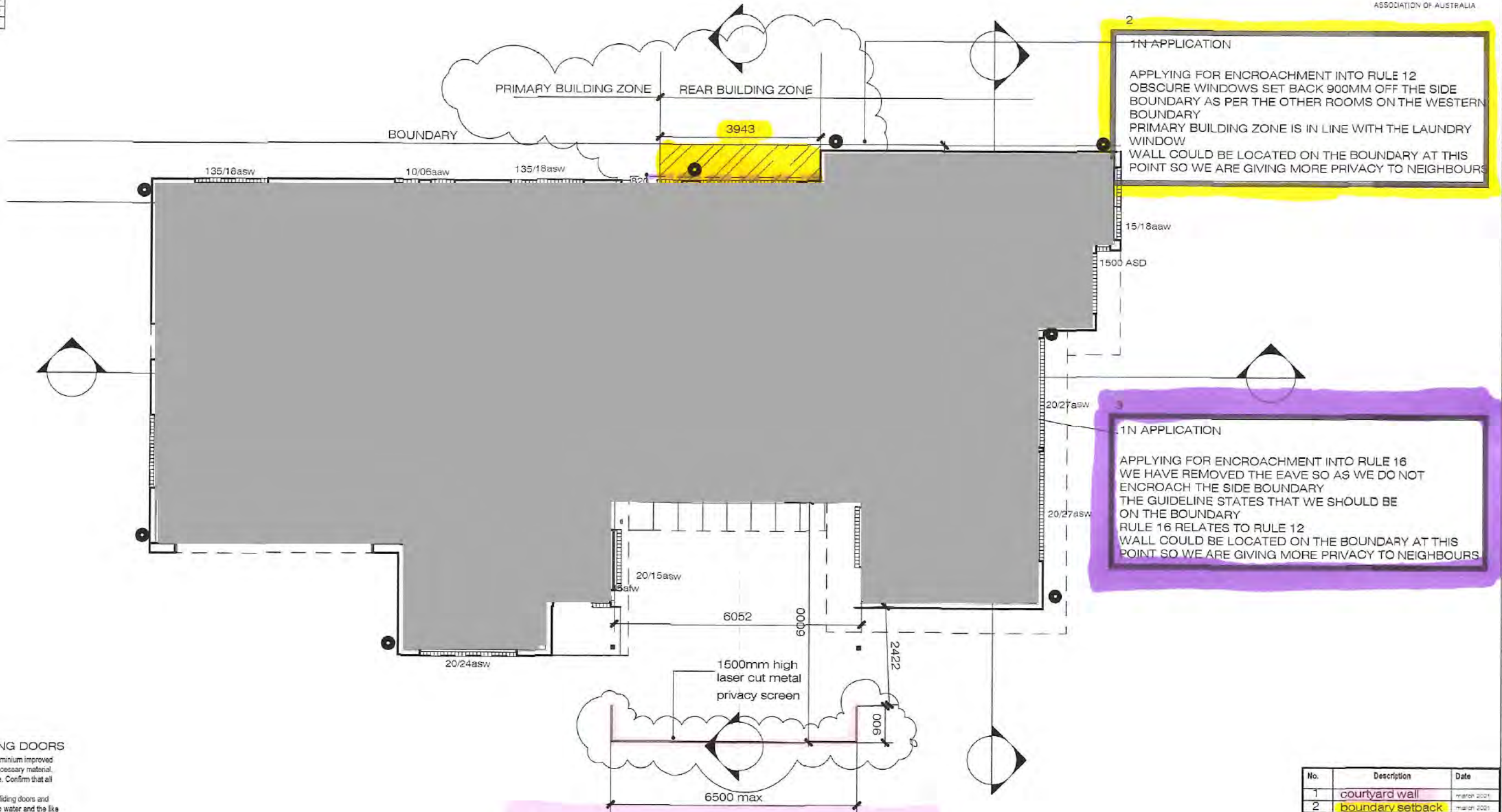
Complying with Rule 41 Documentation

- Complies with minimum dimensions specified in table 8. 6000mm from wall frame to line of screen wall and 6052mm between wall frames
- Courtyard is at ground level
- Directly accessible from the living area
- Area is screened from adjoining public street and public open space
- It is located behind a courtyard wall
- It is located to the south east but the attached diagram shows that 3 hours of sunlight is provided between 9.00am and 12.00 noon on June 21
- Area of sunlight is 28m² which is above 50% of the area of the courtyard (36m² courtyard area)

We feel that we have addressed the Rule and the Criteria outlined in this ruling

In this situation we have no overshadowing in the future from adjoining buildings as we are facing the street

NAME	AREA
Lower floor	189.026m ²
Upper floor	000.000m ²
Porch	2.620m ²
Garage	35.811m ²
Allreaco	00.000m ²
Carport	
TOTAL	227.457m²
Block area	456.000m ²
Plot ratio	49%



2
1N APPLICATION
APPLYING FOR ENCROACHMENT INTO RULE 12
OBSCURE WINDOWS SET BACK 900MM OFF THE SIDE
BOUNDARY AS PER THE OTHER ROOMS ON THE WESTERN
BOUNDARY
PRIMARY BUILDING ZONE IS IN LINE WITH THE LAUNDRY
WINDOW
WALL COULD BE LOCATED ON THE BOUNDARY AT THIS
POINT SO WE ARE GIVING MORE PRIVACY TO NEIGHBOURS

3
1N APPLICATION
APPLYING FOR ENCROACHMENT INTO RULE 16
WE HAVE REMOVED THE EAVE SO AS WE DO NOT
ENCROACH THE SIDE BOUNDARY
THE GUIDELINE STATES THAT WE SHOULD BE
ON THE BOUNDARY
RULE 16 RELATES TO RULE 12
WALL COULD BE LOCATED ON THE BOUNDARY AT THIS
POINT SO WE ARE GIVING MORE PRIVACY TO NEIGHBOURS

1N APPLICATION
SHOWING THAT WE COMPLY WITH RULE 41
SETBACKS ARE BASED ON R26 PAGE 21 SDHC
1500mm COURTYARD WALL
1000mm SETBACK FOR NOT MORE THAN 6500mm
3 HOURS OF SUNLIGHT PROVIDED

WINDOWS AND SLIDING DOORS

All aluminium doors and windows to be aluminium improved and to Australian Standards. Provide all necessary material, fixing, frames, glazing, flyscreens & the like. Confirm that all relevant trade practices and codes.

Ensure the correct operation of windows, sliding doors and the like ensuring correct protection from the water and the like

SMOKE ALARMS

Provide mains powered smoke alarms installed to AS 3786-2010 and wired in accordance with AS 3000 (locations are indicative only)

WATERPROOFING

Wet area to comply with AS 3740-2010 for general bathroom floor. Minimum 1,100 fall to waste

Shower floor, sufficient to prevent water being retained on shower floor, or discharged outside shower area

Waterproofing membranes in accordance with AS/NZS 4658

STAIR CONSTRUCTION

Ceiling height in stairway minimum 2000mm measured vertically above the nosing line.

BCA 3.9.2.2. Risers and goings to be in accordance with BCA P.g. 3.9.1.2. Treads to be slip resistant. Openings between treads balustrade not to permit a 125mm sphere to pass through

THERMAL INSULATION

Roof sarking installed under roof tile battens
R 4.0 insulation to ceiling area
R 2.0 min insulation bats (90mm thick) installed to all external walls
Ensure insulation bats are installed to stud wall between garage and residence

ROOF TRUSS AND BRACING

as per roof truss manufacturers engineering truss layout plan and tie down detail

STRUCTURAL WALL BRACING

Bracing must be installed & conform to the requirements of AS 1684 section 8 & related sections
Plywood Bracing noted as 'pb' on floor plans
Metal diagonal cross bracing noted as 'cb' on floor plan

No.	Description	Date
1	courtyard wall	march 2021
2	boundary setback	march 2021
3	roof setback	march 2021

Drawing Name		BLD homes
FLOOR PLAN		
Project number	005	
Date	01/09/2020	
Drawn by		
Checked by		
Scale	1:100	

NAME	AREA
Lower floor	189.020m ²
Upper floor	000.000m ²
Porch	2.620m ²
Garage	35.811m ²
Allresco	00.000m ²
Carport	
TOTAL	227.457m²
Block area	456.000m ²
Plot ratio	49%



WINDOWS AND SLIDING DOORS

All aluminium doors and windows to be aluminium improved and to Australian Standards. Provide all necessary material, fixing, frames, glazing, flyscreens & the like. Confirm that all relevant trade practices and codes.

Ensure the correct operation of windows, sliding doors and the like ensuring correct protection from the water and the like.

SMOKE ALARMS

Provide mains powered smoke alarms installed to AS 3788-2010 and wired in accordance with AS 3000 (locations are indicative only)

WATERPROOFING

Wet area to comply with AS 3740-2010 for general bathroom floor. Minimum 1:100 fall to waste
Shower floor, sufficient to prevent water being retained on shower floor, or discharged outside shower area
Waterproofing membrane in accordance with AS/NZS 4858

rule 41
Showing that the proposed POS does allow for 3 hours sunlight and that the setback is based on Rule 26 page 21 SDHC of 1m setback/ 1500mm high and does not exceed 1500mm height

THERMAL INSULATION

Roof sarking installed under roof tile battens
R 4.0 insulation to ceiling area
R 2.0 min insulation batts (90mm thick) installed to all external walls
Ensure insulation batts are installed to stud wall between garage and residence

ROOF TRUSS AND BRACING
as per roof truss manufacturers engineering truss layout plan and tile down detail

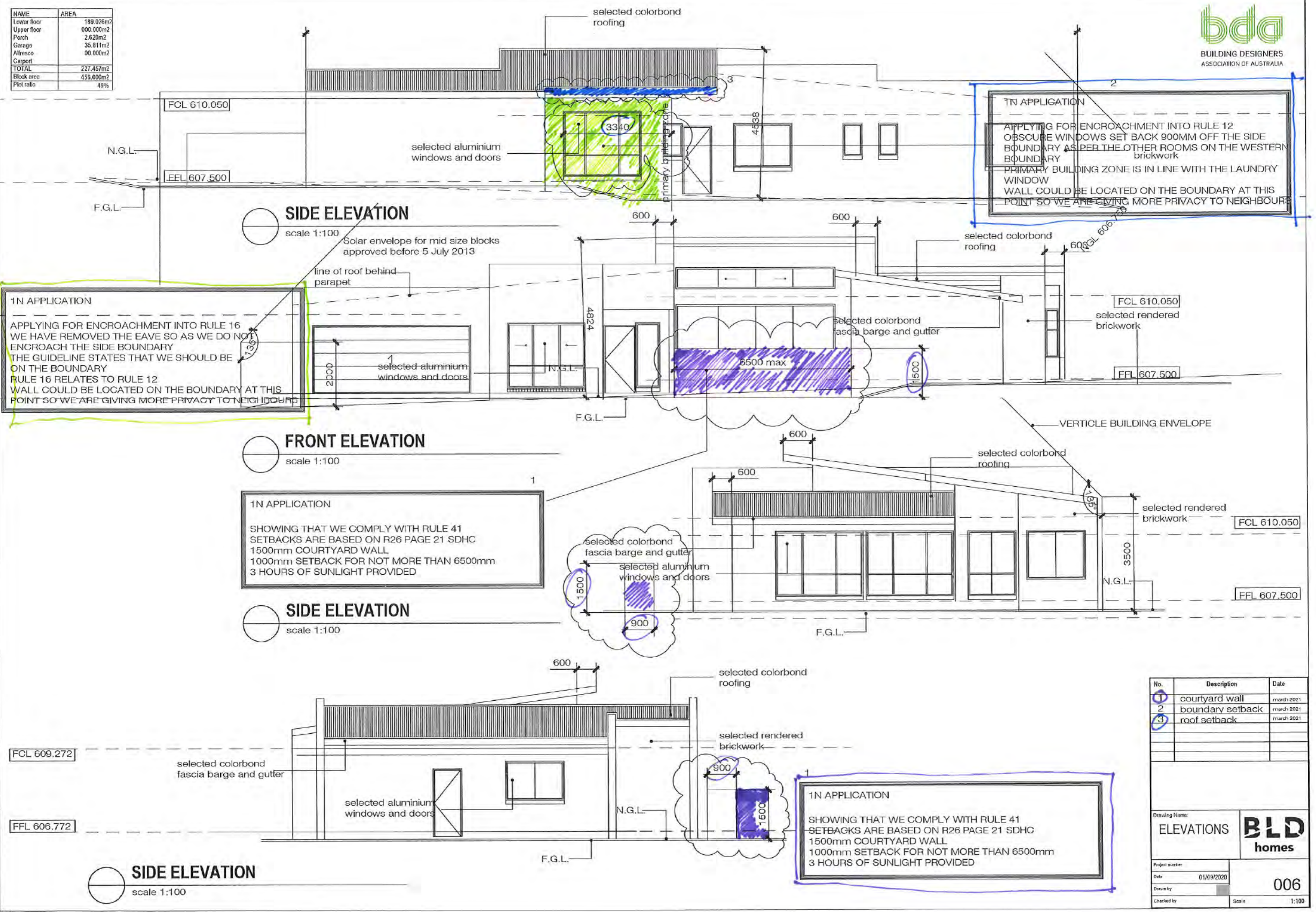
STRUCTURAL WALL BRACING

Bracing must be installed & conform to the requirements of AS 1684 section 8 & related sections
Plywood Bracing noted as 'pb' on floor plans
Metal diagonal cross bracing noted as 'cb' on floor plan

No.	Description	Date
1	courtyard wall	march 2021

Drawing Name: SHADOW PLAN		BLD homes
Project number:	002	
Date:	01/09/2020	Scale: FIT
Drawn by:		
Checked by:		

NAME	AREA
Lower floor	189.026m ²
Upper floor	000.000m ²
Porch	2.620m ²
Garage	35.811m ²
Allresco	00.000m ²
Carport	
TOTAL	227.457m ²
Block area	455.000m ²
Plot ratio	49%



FCL 610.050
N.G.L.
EFL 607.500
F.G.L.

1N APPLICATION
APPLYING FOR ENCROACHMENT INTO RULE 16
WE HAVE REMOVED THE EAVE SO AS WE DO NOT
ENCROACH THE SIDE BOUNDARY
THE GUIDELINE STATES THAT WE SHOULD BE
ON THE BOUNDARY
RULE 16 RELATES TO RULE 12
WALL COULD BE LOCATED ON THE BOUNDARY AT THIS
POINT SO WE ARE GIVING MORE PRIVACY TO NEIGHBOURS

2N APPLICATION
APPLYING FOR ENCROACHMENT INTO RULE 12
OBSCURE WINDOWS SET BACK 900MM OFF THE SIDE
BOUNDARY AS PER THE OTHER ROOMS ON THE WESTERN
BOUNDARY
PRIMARY BUILDING ZONE IS IN LINE WITH THE LAUNDRY
WINDOW
WALL COULD BE LOCATED ON THE BOUNDARY AT THIS
POINT SO WE ARE GIVING MORE PRIVACY TO NEIGHBOURS

SIDE ELEVATION

scale 1:100

FRONT ELEVATION

scale 1:100

1N APPLICATION
SHOWING THAT WE COMPLY WITH RULE 41
SETBACKS ARE BASED ON R26 PAGE 21 SDHC
1500mm COURTYARD WALL
1000mm SETBACK FOR NOT MORE THAN 6500mm
3 HOURS OF SUNLIGHT PROVIDED

SIDE ELEVATION

scale 1:100

1N APPLICATION
SHOWING THAT WE COMPLY WITH RULE 41
SETBACKS ARE BASED ON R26 PAGE 21 SDHC
1500mm COURTYARD WALL
1000mm SETBACK FOR NOT MORE THAN 6500mm
3 HOURS OF SUNLIGHT PROVIDED

No.	Description	Date
1	courtyard wall	march 2021
2	boundary setback	march 2021
3	roof setback	march 2021

Drawing Name: ELEVATIONS		BLD homes
Project number:		
Date:	01/09/2020	006
Drawn by:		
Checked by:		Scale: 1:100

ADMIN CHECK LIST - EXEMPTION DECLARATION – FORM 1N

Block: 4 Section: 154 Suburb: HARRISON

Are the Lessee/s details correct (Use Tarquin) NO YES

- If the LDA is the land custodian, an authorisation letter must be provided, made attention to the applicant and give authority to lodge an Exemption Declaration Application
- Use PALM to perform the below checks:

Does the block and section match the street address? NO YES

Is it Heritage? (If yes, a letter from heritage is required, except Moncrieff/Throsby/Taylor/Lawson) NO YES

Is there Compliance action? (If yes add comment to the 'Ready for Assessment' email) NO YES

Save e-mail to objective under Development Application B/S/S Exemption Declaration YES

Comments: Different address on Autho and App, but 2 addresses on block in PALM and ACTLIS.

Check Completed by: Caitlin

Date Processed: 20/05/2021

Fee Advice Sent by: Caitlin

Date Sent: 20/05/2021

PAYMENT

Receipt Attached:

Date Sent to Assessing Officer: 20/05/2021

Payment Method: smartform

Date Due (10 working days): 02/06/2021

From: AC, EPD Customer Services
Sent: Thursday, 20 May 2021 10:38 AM
To: [REDACTED]@bldhomes.com.au
Subject: FEE ADVICE-EXEMPTION DECLARATION-4-154-HARRISON

OFFICIAL

Good morning,

We have received and completed our initial check of the Exemption Declaration Application for Block 4 Section 154 HARRISON, it is ready to proceed to assessment once payment is received.

Please click the link below and complete the online form for payment of **\$600.00**

<https://form.act.gov.au/smartforms/landing.htm?formCode=1215>

Alternatively, payment can be made via cash or cheque at the ACT Government shopfront, 8 Darling Street Mitchell.

Kind regards,

Caitlin Soxsmith | DA Lodgements Team

Phone: 02 6207 1923 | **Email:** epdcustomerservices@act.gov.au

Access Canberra | Chief Minister Treasury and Economic Development Directorate | ACT Government

8 Darling St, Mitchell | GPO BOX 158, Canberra City ACT 2601 | www.act.gov.au/accessCBR





Fee Advice Payments - EPSDD_New - receipt

Your submission has been successful. Please keep a copy of this receipt for your records. This transaction will appear on your statement as ACCESS CBR INTERNET CANBERRA

Date and time	Reference code	Payment receipt number	Total amount paid
20 May 2021 12:56:58 PM			\$ 600.00

Environment, Planning and Sustainable
Development Directorate
ABN: 31 432 729 493

GPO Box 158
Canberra ACT 2605

Phone: (02) 6207 1923
Email: EPDcustomerservices@act.gov.au

Fee Advice Payments - EPSDD

This payment is for: *

Exempt declaration

1				
Suburb1 *	Section1 *	Block4 *	Unit1	Floor1
HARRISON	154	4		

Reference

I declare that the payment is being made in accordance with the fee advice I have received by Environment and Planning Directorate. *

Payer name *

BLD Enterprises Pty Ltd

Phone number *

Email *

admin@bldhomes.com.au

Payment amount

\$ 600.00

From: Exemptdec
Sent: Tuesday, 25 May 2021 10:08 AM
To: Exemptdec
Subject: APPROVED-EXEMPTION DECLARATION-4-154-HARRISON
Attachments: EXEMPTION DECLARATION 02.obr

OFFICIAL

Application approved by delegate (Matt Davis)

Paul Wang | Gateway Team

02 6205 2888

Statutory Planning Division | Environment, Planning and Sustainable Development Directorate ACT Government
480 Northbourne Avenue, Dickson, 2602 | GPO Box 1908 Canberra ACT 2601 | www.planning.act.gov.au

-----Original Message-----

From: AC, EPD Customer Services <ACEPDCustomerServices@act.gov.au>

Sent: Thursday, 20 May 2021 2:18 PM

To: Exemptdec <Exemptdec@act.gov.au>

Subject: READY FOR ASSESSMENT-EXEMPTION DECLARATION-4-154-HARRISON

OFFICIAL

Caitlin Soxsmith has sent you a link to "EXEMPTION DECLARATION 02" (fA11115700) from Objective.

Open in Navigator

Double click on the attachment

Open in ECM for Browser

<https://objective.act.gov.au/#/documents/fA11115700/details>

From: AC, EPD Customer Services
Sent: Thursday, 27 May 2021 2:32 PM
To: [REDACTED]@bldhomes.com.au; [REDACTED]
Subject: EXEMPTION DECLARATION AND APPROVED PLANS - B4/S154 HARRISON
Attachments: EXEMPTION-DECLARATION-4-154-HARRISON-APPLICATION-01.pdf; EXEMPTION-DECLARATION-4-154-HARRISON-PLANS-01.pdf; EXEMPTION DECLARATION-S154-B0004-HARRISON-ASSESSMENT CHECKLIST.pdf

OFFICIAL

Good afternoon,

Please see attached Exemption Declaration Application & Approved Plans for B4/S154 Harrison.

For further information please contact the DA Gateway Team on 6205 2888 or email exemptdec@act.gov.au

Regards,

Lucy Vest | Customer Coordination | Planning and Building Services shopfront

Phone: 02 6207 1923 | Email: epdcustomerservices@act.gov.au Access Canberra | Chief Minister Treasury and Economic Development Directorate | ACT Government

8 Darling Street, Mitchell | GPO BOX 158, Canberra City ACT 2601 | www.act.gov.au/accessCBR

**ASSESSMENT OF PROPOSAL
DETERMINATION UNDER SECTION 1.100A OF THE
PLANNING AND DEVELOPMENT REGULATION 2008**

Description of extended distance:

Rule 12 - Side boundary setback departure of a maximum 599mm for a length of 3943mm

Rule 13 - Side boundary setback departure of a maximum 599mm for a length of 3943mm

Assessment:

	<u>PASS</u>	<u>FAIL</u>
Is the non-compliance minor?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No

Will building the dwelling other than in accordance with the relevant rules:

- | | | |
|--|--|------------------------------|
| • Adversely affect someone other than the applicant? | <input checked="" type="checkbox"/> No | <input type="checkbox"/> Yes |
| • Increase the environmental impact of the dwelling more than minimally? | <input checked="" type="checkbox"/> No | <input type="checkbox"/> Yes |

Plans provided adequately identify departures?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
--	---	-----------------------------

Comments:

Considered to be minor in context

Plans stamped:

Approved Refused

Delegate of

Environment, Planning and Sustainable Development Directorate: Matt Davis 27/05/2021

NAME	AREA
Lower floor	189.026m ²
Upper floor	000.000m ²
Porch	2.920m ²
Garage	38.811m ²
Alfresco	00.000m ²
Carport	
TOTAL	227.457m ²
Block area	456.000m ²
PLOT ratio	49%

APPROVED

PURSUANT TO SECTION 1.100A/1.100AB OF THE
PLANNING AND DEVELOPMENT REGULATION 2008

Delegate: Matt Davis

Date 27/5/2021

DECLARATION OF EXTENDED DISTANCE

Rule 12 - Side boundary setback departure of a maximum 599mm
for a length of 3943mm

Rule 13 - Side boundary setback departure of a maximum 599mm
for a length of 3943mm

1 IN APPLICATION

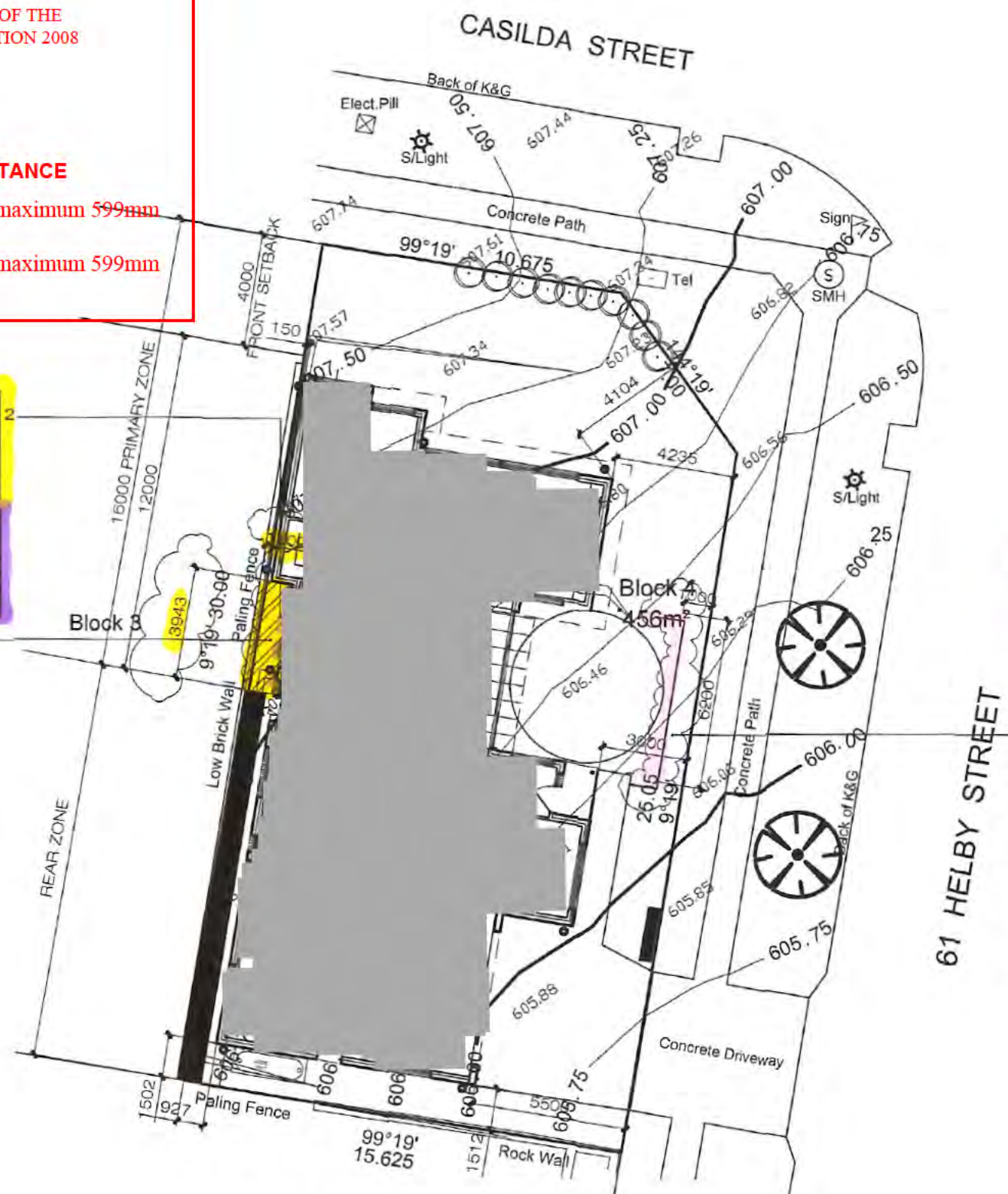
APPLYING FOR ENCROACHMENT INTO RULE 12
OBSOLETE WINDOWS SET BACK 300MM OFF THE SIDE
BOUNDARY AS PER THE OTHER ROOMS ON THE WESTERN
BOUNDARY
PRIMARY BUILDING ZONE IS IN LINE WITH THE LAUNDRY
WINDOW
WALL COULD BE LOCATED ON THE BOUNDARY AT THIS
POINT SO WE ARE GIVING MORE PRIVACY TO NEIGHBOUR

2 IN APPLICATION

APPLYING FOR ENCROACHMENT INTO RULE 13
WE HAVE REMOVED THE EAVE SO AS WE DO NOT
ENCROACH THE SIDE BOUNDARY
THE GUIDELINE STATES THAT WE SHOULD BE
ON THE BOUNDARY
RULE 13 RELATES TO RULE 12
WALL COULD BE LOCATED ON THE BOUNDARY AT THIS
POINT SO WE ARE GIVING MORE PRIVACY TO NEIGHBOUR

1 IN APPLICATION

SHOWING THAT WE COMPLY WITH RULE 41
SETBACKS ARE BASED ON RPT PAGE 21 ETC
1800MM COURTYARD WALL
1000MM SETBACK FOR NOT MORE THAN 600MM
2 HOURS OF SUNLIGHT PROVIDED



WINDOWS AND SLIDING DOORS
All aluminium doors and windows to be aluminium improved and to Australian Standards. Provide all necessary material, fixing, frames, glazing, flyscreens & the like. Confirm that all relevant trade practices and codes.
Ensure the correct operation of windows, sliding doors and the like ensuring correct protection from the water and the like.

SMOKE ALARMS
Provide mains powered smoke alarms installed to AS 3786-2010 and wired in accordance with AS 3000 (locations are indicative only)

WATERPROOFING
Wet area to comply with AS 3740-2010 for general bathroom floor.
Minimum 1:100 fall to waste
Shower floor, sufficient to prevent water being retained on shower floor, or discharged outside shower area
Waterproofing membrane in accordance with AS/NZS 4858

THERMAL INSULATION
Roof sarking installed under roof tile battens
R 4.0 insulation to ceiling area
R 2.0 min insulation batts (90mm thick) installed to all external walls
Ensure insulation batts are installed to stud wall between garage and residence

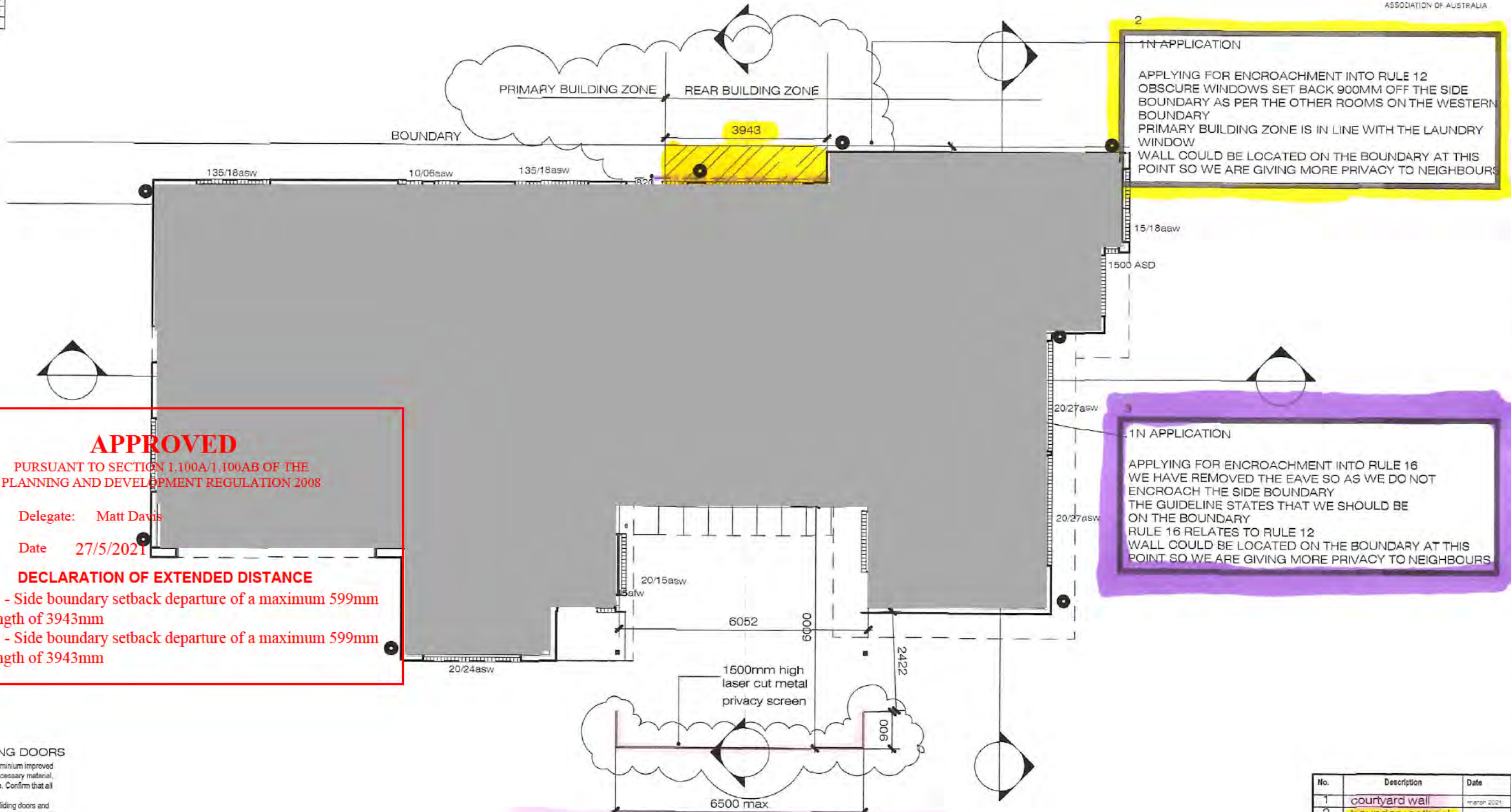
ROOF TRUSS AND BRACING
as per roof truss manufacturers engineering truss layout plan and tie down detail

STRUCTURAL WALL BRACING
Bracing must be installed & conform to the requirements of AS 1684 section 8 & related sections
Plywood Bracing noted as 'pb' on floor plans
Metal diagonal cross bracing noted as 'cb' on floor plan

No.	Description	Date
1	courtyard wall	March 2021
2	boundary setback	March 2021
3	roof setback	March 2021

Drawing Name		BLD homes
SITE PLAN		
Project number	002	
Date	01/09/2020	
Drawn by		
Checked by	Scale	1:100

NAME	AREA
Lower floor	189.026m ²
Upper floor	000.000m ²
Porch	2.620m ²
Garage	35.811m ²
Allreaco	00.000m ²
Carport	
TOTAL	227.457m²
Block area	456.000m ²
Plot ratio	49%



1N APPLICATION

APPLYING FOR ENCROACHMENT INTO RULE 12
 OBSCURE WINDOWS SET BACK 900MM OFF THE SIDE
 BOUNDARY AS PER THE OTHER ROOMS ON THE WESTERN
 BOUNDARY
 PRIMARY BUILDING ZONE IS IN LINE WITH THE LAUNDRY
 WINDOW
 WALL COULD BE LOCATED ON THE BOUNDARY AT THIS
 POINT SO WE ARE GIVING MORE PRIVACY TO NEIGHBOURS

1N APPLICATION

APPLYING FOR ENCROACHMENT INTO RULE 16
 WE HAVE REMOVED THE EAVE SO AS WE DO NOT
 ENCROACH THE SIDE BOUNDARY
 THE GUIDELINE STATES THAT WE SHOULD BE
 ON THE BOUNDARY
 RULE 16 RELATES TO RULE 12
 WALL COULD BE LOCATED ON THE BOUNDARY AT THIS
 POINT SO WE ARE GIVING MORE PRIVACY TO NEIGHBOURS

APPROVED

PURSUANT TO SECTION 1.100A/1.100AB OF THE
 PLANNING AND DEVELOPMENT REGULATION 2008

Delegate: Matt Davis
 Date 27/5/2021

DECLARATION OF EXTENDED DISTANCE

Rule 12 - Side boundary setback departure of a maximum 599mm
 for a length of 3943mm
 Rule 13 - Side boundary setback departure of a maximum 599mm
 for a length of 3943mm

1N APPLICATION

SHOWING THAT WE COMPLY WITH RULE 41
 SETBACKS ARE BASED ON R26 PAGE 21 SDHC
 1500mm COURTYARD WALL
 1000mm SETBACK FOR NOT MORE THAN 6500mm
 3 HOURS OF SUNLIGHT PROVIDED

WINDOWS AND SLIDING DOORS

All aluminium doors and windows to be aluminium improved and to Australian Standards. Provide all necessary material, fixing, frames, glazing, flyscreens & the like. Confirm that all relevant trade practices and codes.

Ensure the correct operation of windows, sliding doors and the like ensuring correct protection from the water and the like

SMOKE ALARMS

Provide mains powered smoke alarms installed to AS 3786-2010 and wired in accordance with AS 3000 (locations are indicative only)

WATERPROOFING

Wet area to comply with AS 3740-2010 for general bathroom floor. Minimum 1,100 fall to waste

Shower floor, sufficient to prevent water being retained on shower floor, or discharged outside shower area

Waterproofing membranes in accordance with AS/NZS 4658

STAIR CONSTRUCTION

Ceiling height in stairway minimum 2000mm measured vertically above the nosing line.

BCA 3.9.2.2. Risers and goings to be in accordance with BCA Fig. 3.9.1.2. Treads to be slip resistant. Openings between treads balustrade not to permit a 125mm sphere to pass through

THERMAL INSULATION

Roof sarking installed under roof tile battens

R 4.0 insulation to ceiling area

R 2.0 min insulation bats (90mm thick) installed to all external walls

Ensure insulation bats are installed to stud wall between garage and residence

ROOF TRUSS AND BRACING

as per roof truss manufacturers engineering truss layout plan and tie down detail

STRUCTURAL WALL BRACING

Bracing must be installed & conform to the requirements of AS 1684 section 8 & related sections

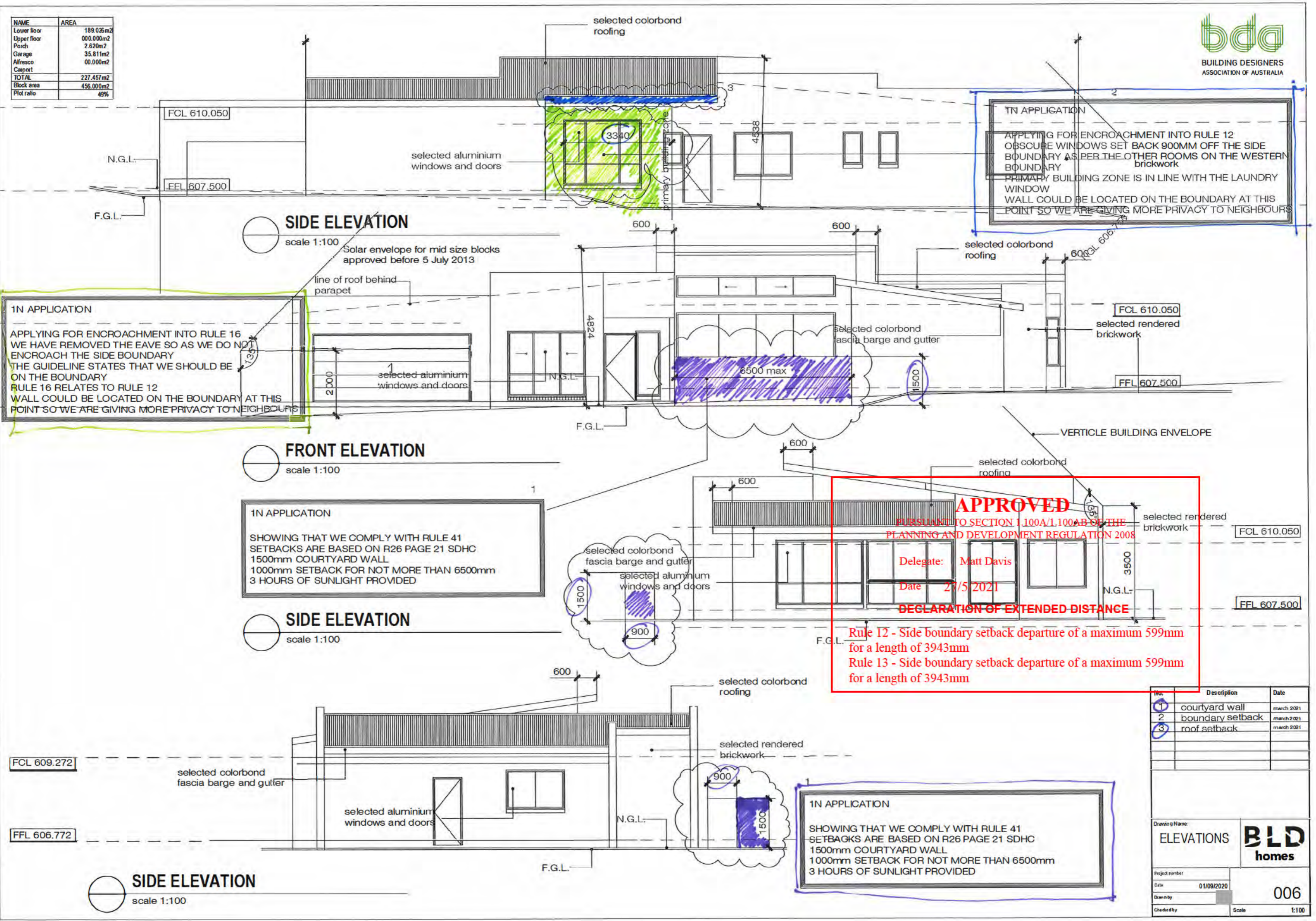
Plywood Bracing noted as 'pb' on floor plans

Metal diagonal cross bracing noted as 'cb' on floor plan

No.	Description	Date
1	courtyard wall	march 2021
2	boundary setback	march 2021
3	roof setback	march 2021

Drawing Name		BLD homes
FLOOR PLAN		
Project number	005	
Date	01/09/2021	
Drawn by		
Checked by		
Scale	1:100	

NAME	AREA
Lower floor	189.026m ²
Upper floor	000.000m ²
Porch	2.620m ²
Garage	35.811m ²
Allresco	00.000m ²
Carport	
TOTAL	227.457m ²
Block area	456.000m ²
Plot ratio	49%



FCL 610.050
N.G.L.
EFL 607.500
F.G.L.

1N APPLICATION
APPLYING FOR ENCROACHMENT INTO RULE 16
WE HAVE REMOVED THE EAVE SO AS WE DO NOT
ENCROACH THE SIDE BOUNDARY
THE GUIDELINE STATES THAT WE SHOULD BE
ON THE BOUNDARY
RULE 16 RELATES TO RULE 12
WALL COULD BE LOCATED ON THE BOUNDARY AT THIS
POINT SO WE ARE GIVING MORE PRIVACY TO NEIGHBOURS

TN APPLICATION
APPLYING FOR ENCROACHMENT INTO RULE 12
OBSCURE WINDOWS SET BACK 900MM OFF THE SIDE
BOUNDARY AS PER THE OTHER ROOMS ON THE WESTERN
BOUNDARY
PRIMARY BUILDING ZONE IS IN LINE WITH THE LAUNDRY
WINDOW
WALL COULD BE LOCATED ON THE BOUNDARY AT THIS
POINT SO WE ARE GIVING MORE PRIVACY TO NEIGHBOURS

SIDE ELEVATION
scale 1:100
Solar envelope for mid size blocks
approved before 5 July 2013

FRONT ELEVATION
scale 1:100

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SIDE ELEVATION
scale 1:100

APPROVED
SUBSTANT TO SECTION 1.100A/1.100AB OF THE
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3 HOURS OF SUNLIGHT PROVIDED

No.	Description	Date
1	courtyard wall	march 2021
2	boundary setback	march 2021
3	roof setback	march 2021

Drawing Name: ELEVATIONS		BLD homes
Project number:	006	
Date:	01/09/2020	
Drawn by:		
Checked by:		Scale: 1:100