



REV	DATE	AMENDMENT	ACT Government Economic Development	Land Development Agency CANBERRA FIRST	SCALE	DRAWING TITLE	DWG NO.	DATE
A	13/06/17	Following note added: <i>Note that the hardstand area will generally be secured and not used for commuter parking. It will however be opened for special events, such as Floriade bus parking.</i>			Not to scale	SITE RESTORATION PLAN BASED ON 2014 AERIAL PHOTO	3 of 3	7 June 2017



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Drawing 4: 600 high ranger gate 8 June 2017

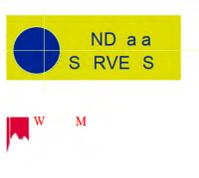
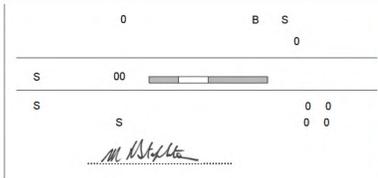




- LEGEND
- ELECTRICITY PILLAR
 - STORMWATER MANHOLE
 - STOP COCK
 - ⊗ LIGHT POLE
 - ▲ MISC PIT
 - ⊙ PARKING METER
 - ⊗ SHRUB
 - SIGN
 - ⊙ STOP VALVE
 - ⊙ HYDRANT
 - ⊙ IRRIGATION CONTROL BOX
 - ⊙ TAP
 - BOLLARD
 - ⊙ COMMS PIT
 - EARTH ROD
 - SEWERAGE MANHOLE
 - TREE
 - VENT
 - ⊙ WATER MARKER POST



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ACT
Government

Environment, Planning and
Sustainable Development

Planning and Development Act 2007, s425

**APPLICATION FOR:
SCOPING DOCUMENT
ENVIRONMENTAL SIGNIFICANCE OPINION S211
EXEMPTION FROM EIS
Form 1M**

1. Type of Application

- Request for Scoping Document OR
- Application for Environmental Significance Opinion
Section 138AA Planning and Development Act 2007 OR
- Request for Exemption to Provide Environmental Impact Statement
Section 211 Planning and Development Act 2007 OR
- Additional Information as requested by the planning and land
authority for any application for Scoping, EIS, or ESO

If you attended a pre-application meeting or written pre-application advice in relation to the proposal that is the subject of this application please provide proposal number Proposal Number 20 _____

Project Name Stromlo Forest Park - Additional visitor facilities.

Project Description Locate two 40 foot containers 600mm above ground level and link the two containers with about 300m² of roofed decking. The structure will be installed adjacent to Dave McInnes Road, on a site that is highly disturbed.

2. Lease/Site Details *Please Print*

Provide the following details for each lease/site:

Site 1

Block: 511 Section: Rural Suburb: Stromlo.

Street Address (if applicable) Stromlo Forest Park
Dave McInnes Road.

Land Use Zone/s applicable to this site MUZ3 with Special Purpose Reserve overlay.

Site 2

Block: Section: Suburb:

Street Address (if applicable)

Land Use Zone/s applicable to this site

Site 3

Block: Section: Suburb:

Street Address (if applicable)

Land Use Zone/s applicable to this site

If more than three sites please provide details on separate page

3. Applicant Details *Please Print*

Surname	Baxter	First Name	Rod
Name of Company/Department/ Government Agency	Chief Minister, Treasury & Economic Development Directorate.		
Position held in Company/Department/ Government Agency	Senior Manager.		
Australian Company/Business Number (ACN/ABN)	72 397 293 490		
Postal Address	GPO Box 158 Canberra ACT 2601		
Suburb		State	
		Postcode	
Phone Number Business Hours	6205 2663	Mobile	0400 441 103.
EMAIL ADDRESS	rod.baxter@act.gov.au		

4. Lessee (Property Owners) or Government Land Custodian Details *Please Print*

SITE 1

1st Lessee or Land Custodian Details

2nd Lessee or Land Custodian Details

Full Name:	Rod Florence	Full Name:	
Company Name:	Venues Canberra	Company Name:	
Position Held in Company:	Senior Manager	Position Held In Company:	
ACN Number:		ACN Number:	
Postal Address:	PO Box 666 Jamison ACT 2614	Postal Address:	
Telephone BH:	6256 6713	Telephone BH:	
Mobile:	0450 960 413	Mobile:	
Email Address:	rod.florence@act.gov.au	Email Address:	

SITE 2

1st Lessee or Land Custodian Details

2nd Lessee or Land Custodian Details

Full Name:	<input type="text"/>	Full Name:	<input type="text"/>
Company Name:	<input type="text"/>	Company Name:	<input type="text"/>
Position Held in Company:	<input type="text"/>	Position Held In Company:	<input type="text"/>
ACN Number:	<input type="text"/>	ACN Number:	<input type="text"/>
Postal Address:	<input type="text"/>	Postal Address:	<input type="text"/>
Telephone BH:	<input type="text"/>	Telephone BH:	<input type="text"/>
Mobile:	<input type="text"/>	Mobile:	<input type="text"/>
Email Address:	<input type="text"/>	Email Address:	<input type="text"/>

SITE 3

1st Lessee or Land Custodian Details

2nd Lessee or Land Custodian Details

Full Name:	<input type="text"/>	Full Name:	<input type="text"/>
Company Name:	<input type="text"/>	Company Name:	<input type="text"/>
Position Held in Company:	<input type="text"/>	Position Held In Company:	<input type="text"/>
ACN Number:	<input type="text"/>	ACN Number:	<input type="text"/>
Postal Address:	<input type="text"/>	Postal Address:	<input type="text"/>
Telephone BH:	<input type="text"/>	Telephone BH:	<input type="text"/>
Mobile:	<input type="text"/>	Mobile:	<input type="text"/>
Email Address:	<input type="text"/>	Email Address:	<input type="text"/>

All lessees must sign authorising the lodgement of this application. In doing so the lessee gives authority to the applicant to negotiate any dealings in relation to the application through to its determination. If there are more than two lessees please ensure that the details and authorisation are attached to the application.

If a lessee signature can not be obtained and either a land acquisition or lease withdrawal is underway to facilitate the project to which the EIS Scope relates then the applicant must submit documentary evidence that such land acquisition or lease withdrawal is occurring and that the lessee is aware of the project to which the EIS Scope relates.

5. EIS Requirements – complete this part for Application for Scoping Document ONLY

Please identify why your proposal requires an Environmental Impact Statement and include applicable references to the *Planning and Development Act 2007 (P&D Act)*.

- NA .
- The proposal is a type listed under schedule 4 of the P&D Act. Please list item numbers: 4.3 Item 3 .
- The proposal is not an EXEMPT, CODE, or MERIT track development where the development is allowed under an existing lease
- The proposal is permissible under the National Capital Plan but listed as prohibited in the relevant development table
- The proposal has been declared under section 124 and section 125 of the P&D Act
- The proposal is not listed anywhere in the relevant development table (in-nominate use)

6. Complete this part for Application for Environmental Significance Opinion ONLY
S138AA Planning and Development Act 2007

Are you seeking an Environmental Significance Opinion? YES NO

IF YES - Identify the item(s) for opinion under Schedule 4 of the *Planning and Development Act 2007*

- | | | |
|---|---|--|
| <input type="checkbox"/> Section 4.2 Item 3 (c) | <input type="checkbox"/> Section 4.2 Item 3 (d) | <input type="checkbox"/> Section 4.3 Item 1 |
| <input type="checkbox"/> Section 4.3 Item 2 (a) | <input type="checkbox"/> Section 4.3 Item 2 (b) | <input checked="" type="checkbox"/> Section 4.3 Item 3 |
| <input type="checkbox"/> Section 4.3 Item 6 | | |

Note: Applications for Environmental Significance Opinion from the ACT Heritage Council must be accompanied by a Statement of Heritage Effects prepared by a suitably qualified heritage professional regarding the potential impacts of the proposal.

7. Complete this part for Request for Exemption to Provide Environmental Impact Statement ONLY
S.211 Planning & Development Act 2007

The Minister may exempt a development proposal from a requirement to include an EIS if satisfied that the expected environmental impact of the development proposal has already been sufficiently addressed by another study, whether or not the study relates to the particular development proposal.

If the proposal is a type listed under Schedule 4 of the P&D Act, please list the item numbers: _____

Please supply supporting documentation to justify s211 consideration and a statement as to how the supporting documentation satisfies the requirement of s.211 and s50A of the P&D Regulation. Documentation Attached

8. Environment Protection and Biodiversity Conservation Act 1999

Does the Commonwealth Environment Protection and Biodiversity Conservation Act 1999 (EPBC) affect your proposal? NO YES

If YES - attach copies of the Commonwealth Department of the Environment "Notification of Referral Decision" and "Decision on Assessment Approach"

NOTE: Copies of these documents must be attached to this application form before it can be accepted for processing by the planning and land authority.

IF NO - Have you had meetings/discussions with the Department of the Environment? NO YES

If YES - Please provide the contact details of the Department of the Environment officer

Name: _____ Contact No. _____

9. Your Proposal – Required for ALL application types

Please attach to this application form a document that provides sufficient detail to enable prescribed entities to obtain an understanding of the full extent of your proposal and any associated works, including:

1. a statement outlining the objectives of the project and why it is needed;
2. a description of the nature/type of project proposed by providing location map(s) of the project site(s), preliminary design drawings and satellite/aerial photographs;
3. a preliminary risk assessment (PRA) based on the guidance document attached to this form (not required for an ESO application);
4. a description of the natural conservation values of the site based on the considerations listed in the "Preparation of an application for scoping and preparation of an ESO" guideline available from the EPD website;
5. a description of measures within the proposal that seek to avoid and minimise (and as a last resort offset) impact on identified conservation values (for ESO and Section 211 applications only);
6. any decision made under the EPBC Act in relation to this proposal.
7. For s211 applications only, the following additional information is required:
 - details of qualifications, expertise and experience of the person(s) who conducted previous studies supporting the application;
 - details of public consultation undertaken, as part of statutory requirement, for projects or previous studies included as supporting documentation undertaken. Details of public consultation not required for a statutory process should also be included;
 - verification from a qualified person that the information in the previous studies supporting the application is still current.

10. Prescribed Entities

Have you had any meetings/discussions with relevant prescribed entities?

NO
 YES

IF YOU ANSWERED YES TO THE QUESTION – please complete the following table and provide meeting minutes:

ENTITY (please tick)	DATE/s OF MEETING/s	ENTITY CONTACT
<input type="checkbox"/> ACTEW Corporation Ltd		
<input type="checkbox"/> ACTEWAGL Distribution		
<input type="checkbox"/> Conservator Flora & Fauna		
<input type="checkbox"/> Emergency Services		
<input type="checkbox"/> Environment Protection		
<input type="checkbox"/> Heritage Council		
<input type="checkbox"/> Health Policy		
<input type="checkbox"/> Territories & Municipal Services		
<input checked="" type="checkbox"/> Custodian of the Land		Rod Florence
<input type="checkbox"/> Other: _____ Please specify		

11. Conflict of Interest Declaration

Does the applicant or lessee have any association with EPD staff?

NO
 YES

If YES please provide details:

NOTE: There are penalties for deliberately giving false and misleading information. The planning and land authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

12. Other Application Requirements

DOCUMENTATION AND PLANS

All required documentation must be provided in an electronic format on compact disc/DVD or via email and meet the following requirements (Form can be submitted in hardcopy if lodged over the counter)

- Each document must be saved as a PDF and named in accordance with the naming convention as detailed on the EPD website.
- All plans must be to scale.
- All plans must be rotated to the correct orientation i.e. they are the right way up when opened
- All plans are to be clear and concise and generally consistent with Australian Standard 1100.301 - 1985 and Australian Standard 1100.301 supplementary - as updated from time to time.
- The documentation provided on CD/DVD either over the counter or via an electronic lodgment process (email or internet) will be considered to be the relevant documentation associated with this application.

HARDCOPY DOCUMENTATION REQUIREMENTS FOR ALL APPLICATION TYPES

In addition to the documentation being provided on CD/DVD one bound and one unbound hard copy must also be provided.

13. Applicant and Lessee Declaration

I/we the undersigned, declare that this application is accompanied by all of the required information and or documents and understand that the documentation provided on CD/DVD or via electronic lodgment process (email or Internet) will be considered to be the relevant documentation associated with this application; and understand that the information submitted with this application form will undergo a documentation check. I/we understand that this application will be considered lodged once the relevant application fees have been paid;

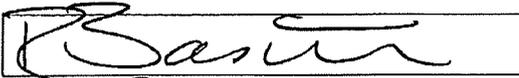
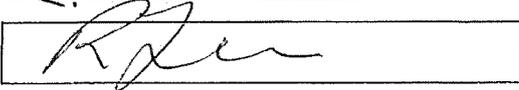
I/we hereby authorise ACT Government officers to access the subject property(s) for the purpose of evaluating the proposal;

I/we the undersigned (lessee) appoint the applicant whose name and signature appear below to act on my/our behalf in relation to this application. This authorises the applicant to pay for all application fees, bonds, and securities, liaise with the planning and land authority when required, alter amend or provide further information as necessary and receive any communications relating to this application;

I/we declare that all the information given on this form and its attachments is true and complete;

if signing on behalf of a company, organisation or Government agency: -

I/we the undersigned, declare I/we have the appropriate delegation or authority to sign on behalf of the company, organisation or Government agency.

Applicant Signature (s)		Date	23/5/17
1 st Lessee Signature		Date	23/5/17
2 nd Lessee Signature		Date	
Govt Land Custodian Signature (unleased land only)		Date	
Delegate of the planning and land authority (unleased land only)		Date	

SITE 1

SITE 2

1st Lessee Signature	<input type="text"/>	Date	<input type="text"/>
2nd Lessee Signature	<input type="text"/>	Date	<input type="text"/>
Govt Land Custodian Signature (unleased land only)	<input type="text"/>	Date	<input type="text"/>
Delegate of the planning and land authority (unleased land only)	<input type="text"/>	Date	<input type="text"/>

SITE 3

1st Lessee Signature	<input type="text"/>	Date	<input type="text"/>
2nd Lessee Signature	<input type="text"/>	Date	<input type="text"/>
Govt Land Custodian Signature (unleased land only)	<input type="text"/>	Date	<input type="text"/>
Delegate of the planning and land authority (unleased land only)	<input type="text"/>	Date	<input type="text"/>

Does the Commonwealth Environment Protection and Biodiversity Conservation Act 1999 (EPBC) affect your proposal?

The EPBC came into operation on 16 July 2000. It establishes an environmental assessment and approval system that is separate and distinct from the ACT system. It does not affect the validity of ACT development assessment and approval processes, but may affect the assessment track. The ACT cannot provide preliminary advice on whether a proposal falls within the definition of a controlled action, or requires referral to the Commonwealth. You should consult with the Commonwealth to determine if your proposal is a controlled action before seeking any approvals under the *Planning and Development Act 2007*. For information about the EPBC, including the referral process and when a referral should be made, contact the Commonwealth Department of the Environment www.environment.gov.au

Privacy Notice

The personal information on this form is being collected to enable processing of your application. Collection of personal information is authorised by Chapters 7, 8 and 9 of the *Planning and Development Act 2007*. The information that you provide may be disclosed to the ACT Revenue Office, the Australian Valuation Office and the Registrar-General's Office. The information may be accessed by other government agencies, ACTEWAGL, ACTEW Corporation and other commercial organisations interested in development and building information.

Contact Details:

Environment, Planning and Sustainable Development Directorate
Customer Service Centre
GPO Box 158, Canberra City 2601
16 Challis Street, Dickson ACT 2602
Business Hours: 8.30am to 4.30pm weekdays (excluding Public Holidays)
Phone: (02) 6207 1923

Email: epdcustomerservices@act.gov.au **Website:** www.planning.act.gov.au

Container Village

Café Container Tender Comparison

	Price	Price
Quotation excl GST	\$ 25,000.00	\$ 35,000.00
<u>Inclusions</u>		<u>Inclusions</u>
40 Foot Shipping Container		40 Foot Shipping Container
Electrical POE and Infrastructure		Electrical POE and Infrastructure
Interior and Exterior Lighting		Interior Lighting
Plumbing		Plumbing
Reem Hot Water System		HWS
Double Sink Bench		5 x 2.2metre Stainless Steel Benches
Hand Wash Basin		Double Commercial Sink
600mm x 600mm Stainless Steel		
Benchtop		1000mm Freestanding Electric Exhaust unit
3000mm Custom Kitchen inc - laminated		
benchtop, melamine drawers and doors		2 x induction Hot plates
Stainless Steel Exhaust Canopy - Grease		
filters and 2 Axial flow fans -		2 x 5 litre Electric Deep Fryers
Mechanically certified to AS1668		2 x 7.5 Litre Electric Deep Fryers
Dual Custom Steel Servery doors		3 door Drinks Fridge
External LPG Storage Cage		3 door Salad Bar Fridge
Steel Padlock Cover		2 Door Drinks Fridge
Certification		Single Glass Door Upright Fridge
		Double Glass Door Upright Fridge
		2 x Commercial Sandwich Press
		3 Group Head Coffee Machine
		Commercial Coffee Grinder
		1 x Robot Coupe Commercial Food Processor
		1 x Robot Coupe Commercial Stick Blender
		2 x 30 Litre SS Stock Pots
		Gastro Trays (various Sizes)
		Infra-red food Warmer/Meat Carvery
		4 Hot Food Bags
		Utensils
		Till
		3000mm x 3000mm Market Marquee
		6 Bar Stools, 8 Tables and 16 Chairs
		Timber Servery Doors
		10 x 15m 10amp Extention Cords
		Certification
Optional	Oven, Refrigeration and Storage Available for Purchase	
Total Price	\$ 25,000.00	\$ 35,000.00
GST	\$ 2,500.00	\$ 3,500.00
GST Inclusive Total	\$ 27,500.00	\$ 38,500.00
CCA Comments:		
<ul style="list-style-type: none"> • Extra cost involved in modifying [redacted] servery windows (from timber to steel) • [redacted] can be leased fully equipped however is \$5000 above the original Cost Plan Budget • [redacted] is more of a blank slate which may give prospective tenant more of scope to equip the container to suit their needs • [redacted] is under the budget by \$5000 and is secured by steel servery doors thus there should be no modification costs added to the build 		
Budget		
	\$30,000	
	\$ -	
Total Budget Allocation	\$ 30,000.00	
GST	\$ 3,000.00	
GST Inclusive Total	\$ 33,000.00	

QUOTE



**WESTSIDE ACTON PARK
3 BARRINE DRIVE ACTON 2601
ABN 26355034994**

QUOTE FOR SUPPLY OF COMMERCIAL KITCHEN & FOOD SALES CONTAINER

// ATTENTION:



SUPPLY OF FULLY FUNCTIONAL & TRANSPORTABLE 40FT SHIPPING CONTAINER KITCHEN	
40FT CONTAINER	
PRE-EXISTING POWER SETUP	
FULL INTERIOR & EXTERIOR LIGHTING	
EXTERIOR LOCK COVER	
RHEEM HOT WATER SYSTEM	
DOUBLE SINK BENCH	
HAND WASH BASIN	
STAINLESS STEEL WORKBENCH 600mmx600mm	
CUSTOM KITCHEN BENCH, UNDERBENCH DRAWERS & CUPBOARDS 3000mm	

SUPPLY OF FULLY FUNCTIONAL & TRANSPORTABLE 40FT SHIPPING CONTAINER KITCHEN	
STAINLESS STEEL EXHAUST CANOPY, MECHANICALLY CERTIFIED TO AS1668 part 2 2012 STANDARDS. GREASE FILTERS, TWO AXIAL FLOW FANS	
STAINLESS STEEL EXHAUST CANOPY, MECHANICALLY CERTIFIED TO AS1668 part 2 2012 STANDARDS. GREASE FILTERS, TWO AXIAL FLOW FANS	
CUSTOM EXTERIOR GAS STORAGE CAGE (2x45kg LPG)	
OVEN, REFRIGERATION & STORAGE AVAILABLE FOR PURCHASE	
DUAL CUSTOM SERVERY DOORS	
	\$27500
	GST INCLUDED
SHIPPING CONTAINER WILL BE SOLD AS IS WITH RELEVANT PAPERWORK (PLUMBING CERTIFICATION, BUILD CERTIFICATION). PURCHASER WILL BE LIABLE FOR ALL TRANSPORT FEES	

Kind regards,





E-Mail Quotation

To: [REDACTED] Complete Construction

Date: 7/07/17

Message: West Basin

Price to remove existing steel structure from West Basin, relocate and re-assemble at Mt Stromlo as per documents provided.

\$218760.00 plus GST

Please note we have allowed to carry out all works during normal business hours.

If you have any questions regarding this quotation please do not hesitate to contact me.

Regards,

[REDACTED]

[REDACTED]

Communications sensitive rigging and engineering



Data & Electrical Installations
Program Maintenance
Telecommunications
Specialist earthing

Complete Constructions Aust. Pty Ltd.
PO Box 128
Lyneham ACT, 2602
29/06/2017

RE: WESTSIDE CONTAINER VILLAGE, ACTON

Hughes Contracting and Communications PTY LTD has an hourly rate of **\$90/hr + gst** for works carried out in relation to electrical works including the disconnection, make sake, removal and temporary site power. This rate is for works carried out between the hours from Monday to Friday 7am to 4pm. Outside these times will attract additional cost.

Any materials required will be cost + 10%.

Any EWP required to be supplied by HCC will be hire cost, delivery cost plus 10%

For further information please contact the undersigned,
Regards

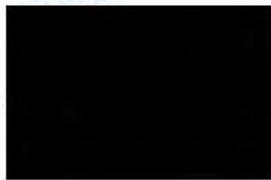
Office Address
Unit 4/134 Gilmore Road
Queanbeyan NSW

Mail Address
PO Box 1711
Queanbeyan NSW 2620
Australia

Telephone 02 6297 6111
Facsimile 02 6299 7381

E-mail
[Redacted]
office@hughescontracting.com.au

Mobile



Licence Number
COLA 19905124
NSW 194091C

ABN
20 096 243 640

RAM

HYDRAULICS AND CIVIL

ABN No : 32 517 193 873

1 BROUGHTON CRT MURRUMBATEMAN NSW 2582

Complete Constructions Aust. PTY Ltd.

Po Box 128

Lyneham ACT 2602

29/6/2017

[REDACTED]

Re: Westside Container Village, Acton

Ram Hydraulics and civil have an hourly rate of \$90/hr +GST for works carried out in the field of Plumbing , Drainage and Gas.

Our Machinery rate is as follows

Excavator \$120 per hour including operator

12 tonne tipper and 8 tonne tipper with hiab \$100 per hour

These rates are for the hours of 7am to 4pm Monday to Friday, Out side these hours will attract additional cost.

For further information please do not hesitate to contact me .

Best regards [REDACTED]

[REDACTED]

[REDACTED]

Plumbers lic no. [REDACTED] ACT

23 May 2017

Our ref: JM/C8701

Land Development Agency
TransACT House,
470 Northbourne Avenue
Dickson ACT 2602
GPO Box 158
Canberra ACT 2601

Attention: Rod Baxter

Dear Sir

PROPOSED CONTAINER VILLAGE - STROMLO FOREST PARK

GEOTECHNICAL INVESTIGATION REPORT

At the request of Land Development Agency, ACT Geotechnical Engineers Pty Ltd carried out a geotechnical investigation for the proposed container village at Stromlo Forest Park.

The project involves the relocation of the Westside Container Village to the Stromlo Forest Park. It has been indicated that this may include stacked shipping containers, with suspended slabs between. It is understood that the area may comprise uncontrolled fill, and advice for the most economical footing system, possibly bored piers or screw piles, is required.

1 SITE DESCRIPTION & GEOLOGY

The Stromlo Forest Park is located on Rural Block 511 in Stromlo, ACT. The ~13m x ~33m container village will be located ~40m S/SW of the pavilion, just on the west side of Dave McInnes Road. Figure 1 shows the site locality.

The area is presently undeveloped, and the ground surface is grassed and dips gently east. Cut-to-fill earthworks were carried out in 2006 for the Stromlo Forest Park development. ACT Geotechnical Engineers supervised and certified the controlled fill works for Simeonov Civil Engineering Pty Ltd (Report C4917.4), and bulk earthworks plans show that only minor fill was placed in the area of the proposed container village. Figure 2 is a recent aerial photograph showing the present site layout.

The 1:50,000 Canberra, Queanbeyan, & Environs Geology Map indicates the area to be covered by Quaternary age alluvial deposits of sand, silt, clay, and gravel, associated with Holdens Creek, underlain by Silurian age Deakin Volcanics bedrock, which includes green-grey and purple rhyodacite.

2 INVESTIGATION PROCEDURE

Subsurface conditions were investigated on 15 July 2014, comprising two push-tube boreholes, designated 1A and 2A, terminating at near refusal in cemented alluvial soils at 0.8m/1.1m depth. The locations of the boreholes are shown on Figure 2, and the detailed logs are attached at the end of the report. The subsurface profiles were logged according to the Unified Soil Classification System (USCS).

3 INVESTIGATION RESULTS

3.1 Subsurface Conditions

Boreholes 1A and 2A found the following subsurface profile:

Geological Profile	Depth Interval	Description
TOPSOIL	0m to 0.1m	CLAYEY SILTY SAND; fine to medium sand, low plasticity fines, dark brown, grass roots, moist, loose.
FILL	0m/0.1m to 0.2m	GRAVELLY CLAYEY SAND; fine to coarse sand, low plasticity clay, angular sedimentary and volcanic gravel to 5mm size, pale grey-brown, dry to moist, medium dense.
ALLUVIAL SOIL	0.2m to 0.4m/0.9m	SANDY CLAY; medium to high plasticity clay, fine to coarse sand, mottled orange-brown and grey, dry to moist, very stiff, over
	below 0.4m/0.9m	SILTY CLAYEY SAND; fine to coarse sand, low plasticity fines, pale grey, some orange, trace rounded gravel and ferruginous nodules to 5mm size, very dense, moderately cemented.

Fill was encountered in both boreholes, however, it only extended to 0.2m depth. Natural alluvial soils are present below ~0.2m depth, with the alluvial soils becoming very dense and moderately cemented below 0.4m/0.9m depth.

3.2 Groundwater

The soils and bedrock were generally dry, and permanent groundwater is not expected within at least 2m of the existing ground surface. However, temporary, perched seepages could be encountered within the more pervious soils following rainfall.

4 DISCUSSION & RECOMMENDATIONS

4.1 Site Classification

Using the instability index method described in AS2870 "Residential Slabs and Footings", and our assessment of the extent and potential reactivity of the site clayey soils, the potential design characteristic ground surface movement (y_s) due to seasonal ground moisture variation is estimated to be less than 20mm. The site of the proposed container village at Stromlo Forest Park is therefore a Class "S" (slightly reactive) site.

Deemed-to-comply footing designs provided by AS2870 are applicable specifically to residential-style one and two-storey structures, or buildings with similar loads and superstructure stiffness.

4.2 Excavation Conditions & Use of Excavated Material

Very dense and moderately cemented alluvial sands were encountered at 0.4m/0.9m depth, with near refusal occurring at 0.8m/1.1m depth. The soils and weakly cemented sands to about 1m/1.5m depth are expected to be diggable using a medium-sized excavator, although moderately cemented sands below about 1m/1.5m depth would require ripping and rock hammering.

Bored piers could be drilled through the topsoil, fill, and clayey alluvial soils using a backhoe or excavator with an auger attachment, to terminate in the cemented alluvial sands at ~1m/1.5m depth. The sides of bored pier holes would be stable, and would be more practical than screw piles.

The existing fill and the sandy/clayey alluvial soils can be used for controlled fill construction. The topsoil and high plasticity clays are unsuitable for use in controlled fill, but could be used for landscaping.

4.3 Structure Footings & Ground Slabs

The container village is expected to be founded close to existing grade or on a shallow cut-to-fill platform. Therefore, shallow pad and/or strip footings founded in natural alluvial soils or newly placed controlled fill (Section 4.3) would be appropriate. Footings must not be founded in the topsoil or existing uncontrolled fill, and a suitable founding depth of ~0.2m is expected. Alternatively, bored/bulk pier footings could be used, founding in the cemented alluvial sands at ~1m/1.5m depth. Recommended allowable end-bearing pressures for various footings systems and likely foundation materials are provided in Table 1.

**TABLE 1
Recommended Allowable End-Bearing Pressures for Footings**

Foundation Material Type	Expected Depth Below Existing Levels	Allowable End-Bearing Pressure		
		Strips	Pads	Bored Piers
Newly Placed Controlled Fill & Very Stiff Alluvial Soils	~0.2m	125kPa	150kPa	N/A
Moderately Cemented Alluvial Sands	~1m/1.5m	N/A	N/A	500kPa

All footing excavations should be inspected and approved by an experienced geotechnical engineer to confirm the foundation material and design values, and to ensure the excavations are clean and stable.

Groundslabs can be constructed on the existing fill or on newly placed controlled fill. Following excavation to required level, slab areas on soil should be proof-rolled by a pad-foot roller to check for any weak, wet or deforming soils that may require replacement. Suitable replacement fill should be compacted in not thicker than 150mm layers to not less than 95%ModMDD.

If required for design of ground slabs, a modulus of subgrade reaction of 50kPa/mm can be assumed for an existing fill or controlled fill foundation.

4.4 Controlled Fill Construction

For construction of controlled fill platforms for buildings and pavements, it is recommended:

1. Areas be fully stripped of all topsoil and existing uncontrolled fill. A general stripping depth of about 0.2m is expected.
2. Stripped foundations on soil be cross-rippled, moisture conditioned, and proof-rolled by a vibratory pad-foot roller of not less than 9 tonne static mass to check for any weak or wet areas that require replacement.
3. Replacement fill and platform fill of suitable materials be compacted to required level in not thicker than 150mm layers to not less than 95%ModMDD at about optimum moisture content.
4. Fill placement and control testing be overviewed and certified by a geotechnical engineer at Level 1 or 2 responsibility as defined in AS3798 - 1996 "Guidelines on Earthworks for Commercial & Residential Developments".

4.5 Drainage

Suitable surface drainage should be provided to ensure rainfall run-off or other surface water cannot pond against buildings or pavements.

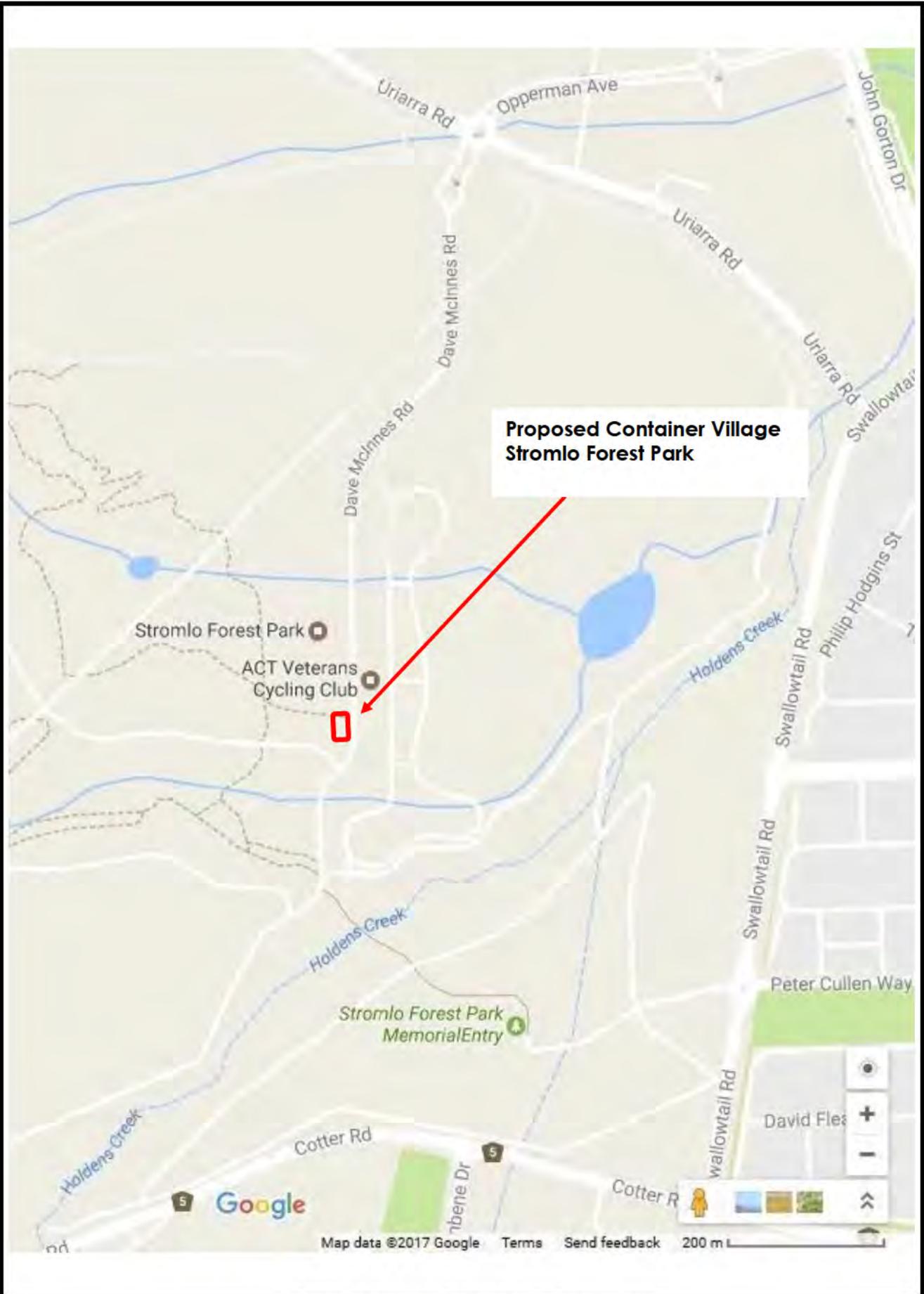
Should you require any further information, please contact our office.

Yours faithfully

ACT Geotechnical Engineers Pty Ltd



Senior Geotechnical Engineer



**LAND DEVELOPMENT AGENCY
PROPOSED CONTAINER VILLAGE – STROMLO FOREST PARK
SITE LOCALITY**



**LAND DEVELOPMENT AGENCY
 PROPOSED CONTAINER VILLAGE – STROMLO FOREST PARK
 AERIAL PHOTOGRAPH & LOCATION OF BOREHOLES**

Borehole Log

Borehole No.	1A
Sheet	1 of 1
Job No.	C8701
Location : See Site Plan	
Correlation Level : Not Known	
Angle From Vertical : 0°	
Bearing : N.A.	

CLIENT: LAND DEVELOPMENT AGENCY
PROJECT PROPOSED CONTAINER VILLAGE STROMLO FOREST PARK
Equipment Type : Mechanically Push Tube Hole Diameter : 70mm

Samples	Water	Casing	Depth Metres	Graphic Log	U.S.C.S.	Material Description, Structure <small>Soil type Plasticity or Particle Characteristics Colour Secondary and Minor Components Moisture Structure</small>	Consistency or Relative Density	Field Test Results	Geological Profile
			0.1		SM	CLAYEY SILTY SAND fine to medium sand low plasticity fines dark brown grass roots moist	LOOSE		OPSO L
			0.2		SC	GRAVELLY CLAYEY SAND fine to coarse sand low plasticity clay angular sedimentary and volcanic gravels to 5mm size pale grey-brown dry to moist	MEDIUM DENSE		FLL
			0.9		CL/CH	SANDY CLAY medium to high plasticity clay fine to coarse sand mottled pale grey and orange dry to moist	VERY STIFF		ALLUVIUM
			1.0		SC	SILTY CLAYEY SAND fine to coarse sand low plasticity fines pale grey some orange trace rounded gravel and ferruginous nodules to 5mm size dry moderately cemented	VERY DENSE		
			1.1						
			2.0						
			2.5						
BOREHOLE TERMINATED AT 11m A REFUSAL IN MODERATELY CEMENTED ALLUVIAL SANDS									

Logged By : JM

Date : 23/5/17

Checked By :

Date :

BOREHOLE/EXCAVATION LOG C8701 GPJ AC GEO GD 23/5/17

Borehole Log

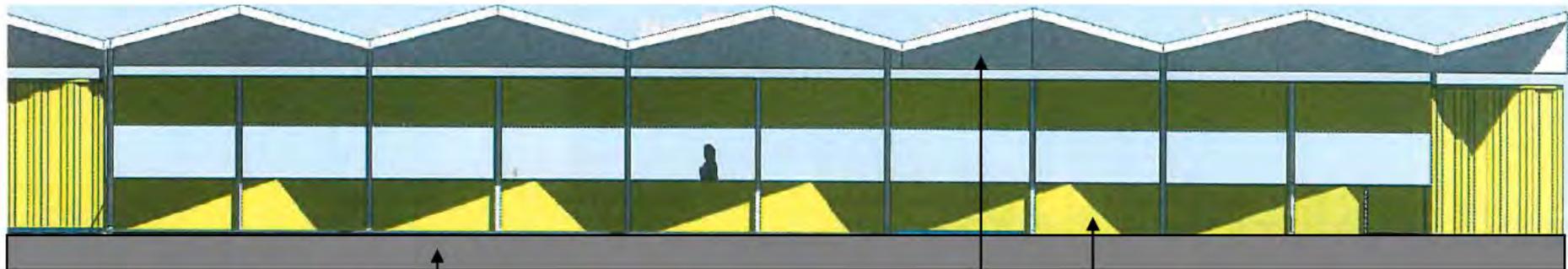
Borehole No.	2A
Sheet	1 of 1
Job No.	C8701
Location : See Site Plan	
Corr Level : Not Known	
Angle From Vertical : 0°	
Bearing : N.A.	

CLIENT: LAND DEVELOPMENT AGENCY
PROJECT PROPOSED CONTAINER VILLAGE STROMLO FOREST PARK
Equipment Type : Mechanical Push Tube Hole Diameter : 70mm

Samples	Water	Casing	Depth Metres	Graphic Log	U.S.C.S.	Material Description, Structure <small>Soil type Plasticity or Particle Characteristics Colour Secondary and Minor Components Moisture Structure</small>	Consistency or Relative Density	Field Test Results	Geological Profile
None Encountered			0.2		SC	GRAVELLY CLAYEY SAND fine to coarse sand low plasticity clay angular sedimentary and volcanic gravels to 5mm size pale grey-brown dry to moist	MEDIUM DENSE		FILL
			0.4		CL/CH	SANDY CLAY medium to high plasticity clay fine to coarse sand mottled pale grey and orange dry to moist	VERY SOFT		ALLUVIUM
			0.8		SC	SILTY CLAYEY SAND fine to coarse sand low plasticity fines pale grey some orange trace rounded gravel and ferruginous nodules to 5mm size dry moderately cemented	VERY DENSE		
			1.0			BOREHOLE TERMINATED AT 0.8m A REFUSAL IN MODERATELY CEMENTED ALLUVIAL SANDS			
			2.0						
			2.5						

BOREHOLE/EXCAVATION LOG C8701 GPJ AC GEO GD 23/5/17

Logged By : JM	Date : 23/5/17	Checked By :	Date :
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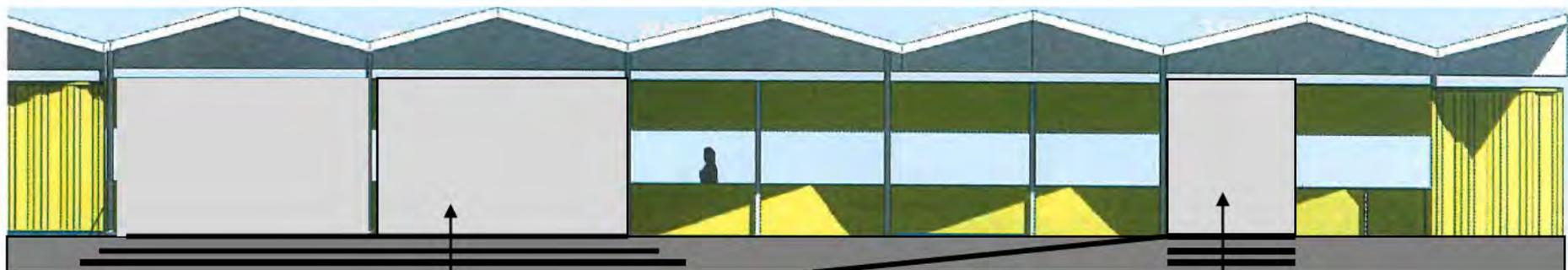


APPROXIMATE 600 HIGH PERFORATED METAL SKIRT TO CONCEAL SUB FLOOR. COLOUR 'WINDSPRAY'

NOTE THAT ROOF COMPRISES CANTILVERED ENDS PLUS FIVE COLUMN SUPPORTED INTERNAL BAYS. THE CURRENT STRUCTURE COMPRISES SEVEN ROOF MODULES.

CONTINUOUSLY UTILISE EXISTING SCREENS AND PLASTIC CURTAIN ALONG WESTERN ELEVATION TO AMELIORATE WIND.

WEST ELEVATION



OPENINGS IN SCREEN ADJACENT TO CAFE TO PROVIDE OUTDOOR DECK AREA AND STAIRS

COMPLIANT RAMP, STAIRS AND OPENING ADJACENT TO BIKE REPAIR AREA

EAST ELEVATION

Our ref: JM/PC5228

18 May 2017

Major Projects
Office of the Coordinator General
Chief Minister, Treasury and Economic Development Directorate
470 Northbourne Avenue
Dickson ACT 2604

Attention: Rod Baxter

**PROPOSED CONTAINER VILLAGE - STROMLO FOREST PARK
GEOTECHNICAL INVESTIGATION PROPOSAL**

We are pleased to present our proposal to carry out a geotechnical investigation for a proposed container village at Stromlo Forest Park. The project involves the relocation of the Westside Container Village to the Stromlo Forest Park. It is understood that the area may comprise uncontrolled fill, and advice for the most economical footing system, possible bored piers or screw piles, is required. Our estimate of fees and costs to carry out the investigation is detailed in Attachment A.

The Stromlo Forest Park is located on Rural Block 511 in Stromlo, ACT. The ~13m x ~33m container village will be located ~40m S/SW of the pavilion, just on the west side of Dave McInnes Road. The area is presently undeveloped, and the ground surface is grassed and dips gently east. Local geology maps indicate the site to be underlain by Silurian age Deakin Volcanics bedrock, which includes green-grey and purple rhyodacite.

We would investigate subsurface conditions by using two (2) boreholes using an auger operated from the jib of a backhoe. The boreholes would be taken to about 3m depth or earlier refusal in bedrock. Subsurface conditions at each location would be visually logged by an experienced geotechnical engineer, and the holes immediately backfilled upon completion. The fieldwork can be done within a week of approval, allowing for underground services clearances, and our report would be issued a few days thereafter. If the proposal is approved by COB 19 May 2017, then the report would be issued by 31 May 2017.

Following the sitework, we would provide a PDF copy of the report, which would include:

- engineering logs of the boreholes & plan showing locations
- description of site geology/subsurface conditions including existing fill, bedrock and groundwater
- site classification to AS2870
- recommended building footing types, founding strata and allowable bearing pressures
- advice on preparation of subgrades for building slabs, vehicle pavements and carpark
- excavation conditions, suitability of excavated material for use in controlled fill platforms, and advice for construction of building platforms
- stability of cut batters
- advice on site drainage

Should you require any further information regarding this proposal, please do not hesitate to contact our office.

Yours faithfully

ACT Geotechnical Engineers Pty Ltd


 Senior Geotechnical Engineer

ATTACHMENT A
PROPOSED CONTAINER VILLAGE - STROMLO FOREST PARK
GEOTECHNICAL INVESTIGATION PROPOSAL

ESTIMATE OF FEES & COSTS

1 FIELDWORK

Services search, travel, locating positions on site for boreholes, augering and logging 2 boreholes to ~3m depth, backfilling, clean-up, liaison with client.

Fees:

Geotechnical Engineer	3h	@	\$ 210	\$630	\$630
-----------------------	----	---	--------	-------	-------

Costs:

Backhoe Hire	3h	@	\$ 150	\$450	
Underground services locator			allow	\$100	\$650

2 REPORTING

Preparation of borehole logs & site plan showing locations, interpretation of site data and available inhouse reports and geology maps, formulation of design and construction recommendations, drafting, reporting etc.

Fees:

Senior Geotechnical Engineer	3h	@	\$ 220	\$660	\$660
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Expenses:

Site Vehicle			allow	\$60	\$60
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TOTAL	\$2,000
GST @ 10%	\$ 200
TOTAL, INCL. GST	\$2,200
=====	



ACT
Government

Chief Minister, Treasury and
Economic Development

Panel of Project Managers Procurement and Contract Authorisation Minute

PART A

PROCUREMENT OVERVIEW	
Name of Project	DEMOLITION AND REINSTATEMENT OF THE WESTSIDE TEMPORARY STRUCTURES
Site	Block 24, Section 33 Acton
Timing/Critical Dates	The Works Commencement Date is ASAP The estimated Date for Completion of the Services is November 2017
Objective or scope of works or services to be provided	Temporary structures currently occupying Acton Westside do so under license issued by the National Capital Authority (NCA). The license expires on 19 November 2017, at which time all structures shall be removed and relocated to an alternative site at Stromlo. The Westside site must then be reinstated to its original condition.
Nominated Panel Project Manager	Complete Constructions Australia
Panel Deed Number	2015.25045.110.05
Project Number	TBA

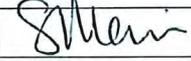
FINANCIAL SUMMARY	
Funding Source	Funding for this project will be through the Land Development Agency 2016/17 Capital Works budget.
Total Budget	\$764,400.00 ex GST (\$840,840.00 Incl GST)
Procurement and Capital Works Fee	4% of Total Budget. \$29,400 ex GST (\$32,340.00 Incl GST)
Project Managers Budget	\$735,000.00 ex GST (\$808,500.00 Incl GST) (includes \$3,500.00 Incl GST for Active Certification audit)

PROCUREMENT AND CAPITAL WORKS RECOMMENDATION

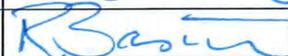
This project meets the requirements of procurement policy, practices, principles and legislation for the Project Management Services Panel Deed to be used as the delivery mechanism, as endorsed in Procurement Plan GPB/602. This Procurement and Contract Authorisation Plan requires that all projects undertaken using this methodology are assessed, to ascertain the most appropriate Project Manager to deliver the project, taking into account;

- X Appropriate financial level to undertake the Project;
- X The quoted price (if relevant) and value for money;
- X The capacity and availability of Project Manager's resources (including availability of any special equipment, expertise or products required);
- X The Project Manager's areas of speciality;
- X The Project Manager's ability to respond and complete performance of the work within the required timeframe (including in light of its current workloads); and
- X Attempt to balance workloads between the Panel members.

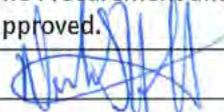
Based upon the above factors, I seek your approval to seek Client authorisation to engage **Complete Constructions Australia** to provide project management services for the above project.

Project Officer	Sam Macri	Signature and Date	
		Phone Number	X4523
PM Panel Manager	Natasha Kousvos	Signature and Date	 22/6/17
Manager	Grant Johnston	Signature and Date	 22-6-17
Director	Andrew Parkinson	Signature and Date	

DIRECTORATE CONTACT OFFICER / MANAGER ENDORSEMENT

Name	ROD BAXTER	Phone Number	62052663
Directorate, Branch and Section	Economic Development. Major Projects.		
Signature		Date	22/6/17.

PART B

WORK ORDER SUMMARY																																			
Project Manager's Representative	Name: ██████████ Telephone: ██████████ Email address: ██████@completeconstructionsaustralia.com.au																																		
Pricing Information:	<table style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="4" style="padding: 5px;">Lump Sum Components</td> </tr> <tr> <td style="padding: 5px;">Profit and Support Management Fee (Section A)</td> <td style="width: 15%;"></td> <td style="width: 15%;"></td> <td style="text-align: right; padding: 5px;">\$73,105.50</td> </tr> <tr> <td colspan="4" style="padding: 5px;">Reimbursable Components</td> </tr> <tr> <td style="padding: 5px;">Administration costs (Section B)</td> <td></td> <td></td> <td style="text-align: right; padding: 5px;">\$8,893.50</td> </tr> <tr> <td style="padding: 5px;">On Site Key Personnel (Section B)</td> <td></td> <td></td> <td style="text-align: right; padding: 5px;">\$67,375.00</td> </tr> <tr> <td style="padding: 5px;">Project Manager's Subcontracts and Materials (Section C)</td> <td></td> <td></td> <td style="text-align: right; padding: 5px;">\$655,826.00</td> </tr> <tr> <td style="padding: 5px;">Project Manager's Consultants (Section D)</td> <td></td> <td></td> <td style="text-align: right; padding: 5px;">\$3,300.00</td> </tr> <tr> <td style="padding: 5px;">TOTAL Contract Sum (inc. GST)</td> <td></td> <td></td> <td style="text-align: right; padding: 5px; border-top: 1px solid black;">\$808,500</td> </tr> </table>			Lump Sum Components				Profit and Support Management Fee (Section A)			\$73,105.50	Reimbursable Components				Administration costs (Section B)			\$8,893.50	On Site Key Personnel (Section B)			\$67,375.00	Project Manager's Subcontracts and Materials (Section C)			\$655,826.00	Project Manager's Consultants (Section D)			\$3,300.00	TOTAL Contract Sum (inc. GST)			\$808,500
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TOTAL Contract Sum (inc. GST)			\$808,500																																
Confidential Text	All pricing information																																		
DIRECTORATE DELEGATE AUTHORISATION TO IMPLEMENT THE PROJECT																																			
<p>I have the properly delegated authority from the Director General of the Transport Canberra and City Services Directorate with regard to the above approved procurement expenditure to authorise an officer of the Chief Minister, Treasury and Economic Development Directorate, Procurement and Capital Works, to sign documents as may be required to effect the delivery of the Project.</p> <p>I also have the properly delegated authority from the Director General of Transport Canberra and City Services Directorate with regard to the above approved procurement to expend \$7,500.00 incl GST per Work Health and Safety Audit in accordance with the Active Certification Policy http://www.procurement.act.gov.au/About/active-certification.</p> <p>The Director General of the Chief Ministers, Treasury and Economic Development Directorate has approved the confidentiality of all pricing information under the Project Management services Panel deed dated February 2015. As a result of this, all pricing pertaining to this contract will be kept confidential.</p>																																			
Delegate Name	Nicholas Holt	Phone Number	79646.																																
Position and Directorate	Director Urban Project																																		
Statement	The Procurement and Contract Authorisation Minute and attachments are approved.																																		
Signature		Date	22/6/17																																

STROMLO RURAL BLOCK 511

Proposal to locate two 40 foot containers linked by 300m² of decking and architecturally designed roof



**BACKGROUND REPORT SUPPORTING AN APPLICATION
FOR AN ENVIRONMENTAL SIGNIFICANCE OPINION**

May 2017

Table of contents

1.0	Introduction	1
2.0	Proposal	1
3.0	Description of the natural conservation values	2
4.0	Measures proposed to minimise impacts on conservation values	3
4.1	Minimising construction disturbance	3
4.2	Ameliorating visual impacts	3
4.3	Post construction soil erosion protection	3
5.0	Benefits of the proposal	

Plans

1.	Extract from the Territory Plan Map	4
2.	Strmolo Forest Park location plan 1	5
3.	Strmolo Forest Park location plan 2	6

1.0 INTRODUCTION

Following Canberra's 2003 bushfires that destroyed the Stromlo pine plantations, Stromlo Rural Block 511 was developed by the Territory as one of Australia's premier recreational bike riding, cross country running and equestrian facilities.

The site has been subject to extensive historical disturbance ranging from land clearing, erosion, farming, pine plantations, bush fires and most recently, substantial earthworks and land reshaping to create the car parks, tracks and facilities that are at the centre of Stromlo Forest Park multi-use recreation and sporting facility.

Stromlo Forest Park is zoned under the *Territory Plan* as NUZ3: Hills, Ridges and Buffer areas. The site has *Special Purpose Reserve* overlay. The Territory Plan extract is provided at [Plan 1](#).

Schedule 4 Part 4.3 of the *Planning and Development Act 2007* requires that Impact Track Development Approval will apply when:

Part 4.3 Item 3

Proposal for development on land reserved under s315 for the purpose of a wilderness area, nature reserve or special purpose reserve, unless the Conservator of Flora and Fauna produces an Environmental Significance Opinion (ESO) that the proposal is not likely to have a significant adverse environmental effect.

The Conservator of Flora and Fauna provided an ESO for the overall development of the 1,200 ha Stromlo Forest Park on 14 August 2013. That opinion was that the development was not likely to have a significant adverse environmental impact provided certain conditions were met.

Environment, Planning and Sustainable Development Directorate (EPSDD) provided advice on 22 May 2017 that the 2013 ESO expired after 18 months, and that any development proposal after 13 February 2015 would be the subject of a new ESO. That advice also suggested the scope of a new ESO only address the specific proposal. Limiting the scope would assist in providing the most timely response to the current development requirements.

2.0 PROPOSAL

The proposal is to permanently locate two 40 foot containers on footings, 600 above ground level and link the two containers with about 300m² of architecturally designed roof. The structures will be located on the southern side of the main car park adjacent to Dave McInnes Road, as shown in the location plans at [Plans 2 and 3](#).

The purpose of the development is to provide additional visitor facilities for the wide range of park users. The development is specifically intended to provide the following:

- Under cover seating and meeting area
- Space suitable for the operation of a cafe
- Space suitable for bike spare parts and bike repairs
- Viewing decks
- Landscaping and integration with the existing gravel car park

3.0 DESCRIPTION OF THE NATURAL CONSERVATION VALUES

As shown in Figures 1 and 2, the site is highly modified. It is a platform of fill material that was created as part of the bulk earthworks for the construction of the facilities hub for Stromlo Forest Park. That earthworks was done over 10 years ago and since that time, only a sparse cover of introduced grass and weed species has established on the site.



Figure 1: Proposed development site is a platform of fill material that was created as part of the bulk earthworks for the Stromlo Forest Park facilities hub.



Figure 2: Proposed development site is adjacent to the main car park and to the existing visitor facilities at Stromlo Forest Park.

4.0 MEASURES PROPOSED TO MINIMISE IMPACTS ON CONSERVATION VALUES

4.1 Minimising construction disturbance

Low impact construction methods are proposed. No site levelling or bulk earthworks will be required. The structure will sit above the existing finished ground level and be supported on shallow concrete pad footings, which will require only minimal excavation.

The two containers will then be placed directly onto the footings, as will the pre-fabricated floor and roof structure.

Electricity, water and sewer will be provided underground to the structure and then suspended beneath the sub floor. As can be seen in [Figure 1](#), utilities services are less than ten metres from the closest point of attachment to structure, limiting the extent of services trenching.

4.2 Ameliorating visual impacts

The containers and roof structure will be painted in neutral grey. The building is articulated with voids and shadow lines to further ameliorate the visual impact. As shown in [Figure 3](#), the maximum building height is 4.95 metres.

Native trees, which will be planted around the building, will quickly exceed the five metre building height, ensuring that the structure will be contained in a landscape backdrop that is consistent with the bushland setting.

4.3 Post construction soil erosion protection

The building will have defined entrance points that will be connected to the car park with concrete or bitumen paths. Hard paved paths will ensure that desire lines to the entrances do not become erosion risks.

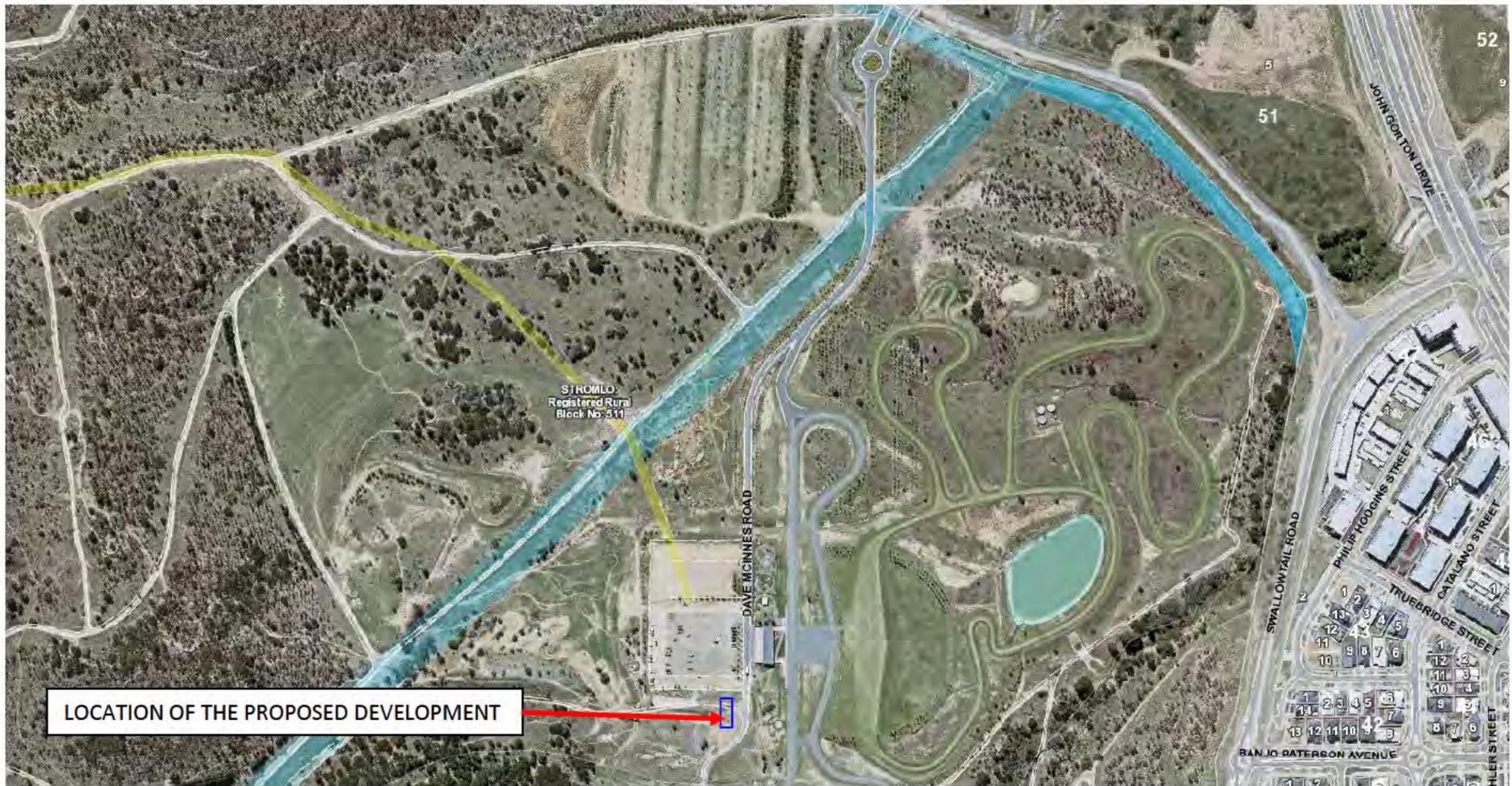
Roof water run-off will be collected in a rubble drain at the back of the building. The rubble drain will be planted with appropriate vegetation and will extend to join the existing overland drainage.

5.0 BENEFITS OF THE PROPOSAL

The proposal has the following benefits:

- Improve the existing degraded site with the introduction of landscaping and water sensitive urban design.
- Provide additional visitor facilities at Stromlo Forest Park including a cafe and bike support service.
- Provide a meeting place that is under-cover and protected from the westerly winds.

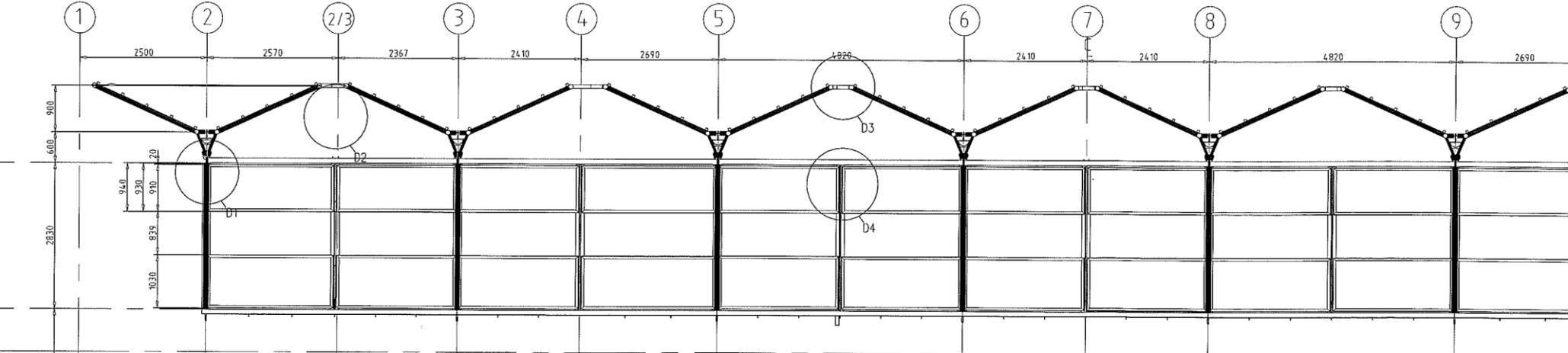
Plan 2: Stromlo Forest Park location plan 1.

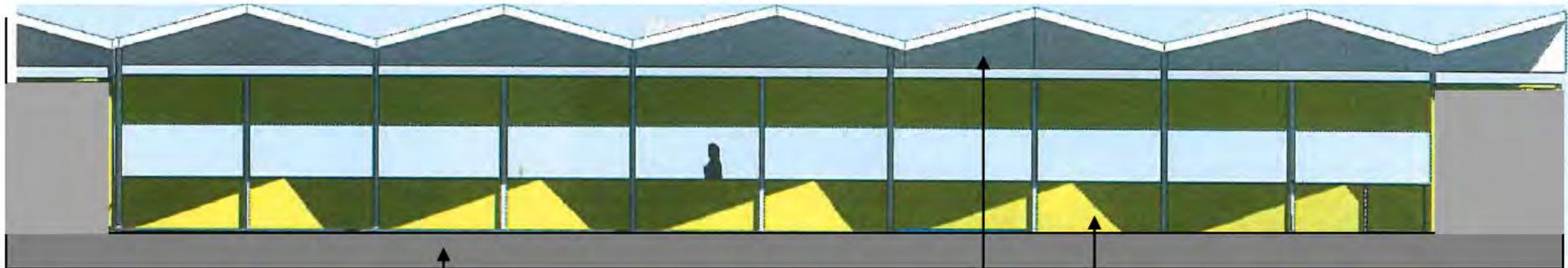


Plan 3: Stromlo Forest Park location plan 2.



Figure 3: Stromlo Forest Park amenities structure- Elevations and section.



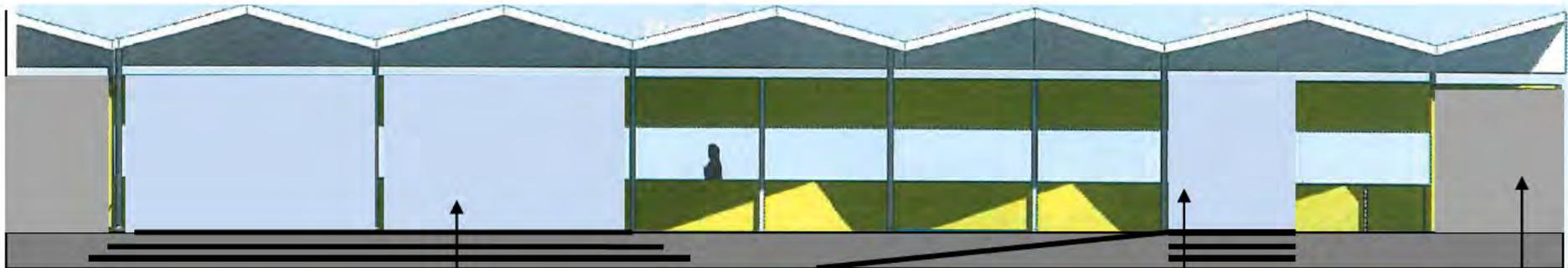


APPROXIMATE 600 HIGH PERFORATED METAL SKIRT TO CONCEAL SUB FLOOR. COLOUR 'WINDSPRAY'

NOTE THAT ROOF COMPRISES CANTILVERED ENDS PLUS FIVE COLUMN SUPPORTED INTERNAL BAYS. THE CURRENT STRUCTURE COMPRISES SEVEN ROOF MODULES.

CONTINUOUSLY UTILISE EXISTING SCREENS AND PLASTIC CURTAIN ALONG WESTERN ELEVATION TO AMELIORATE WIND.

WEST ELEVATION



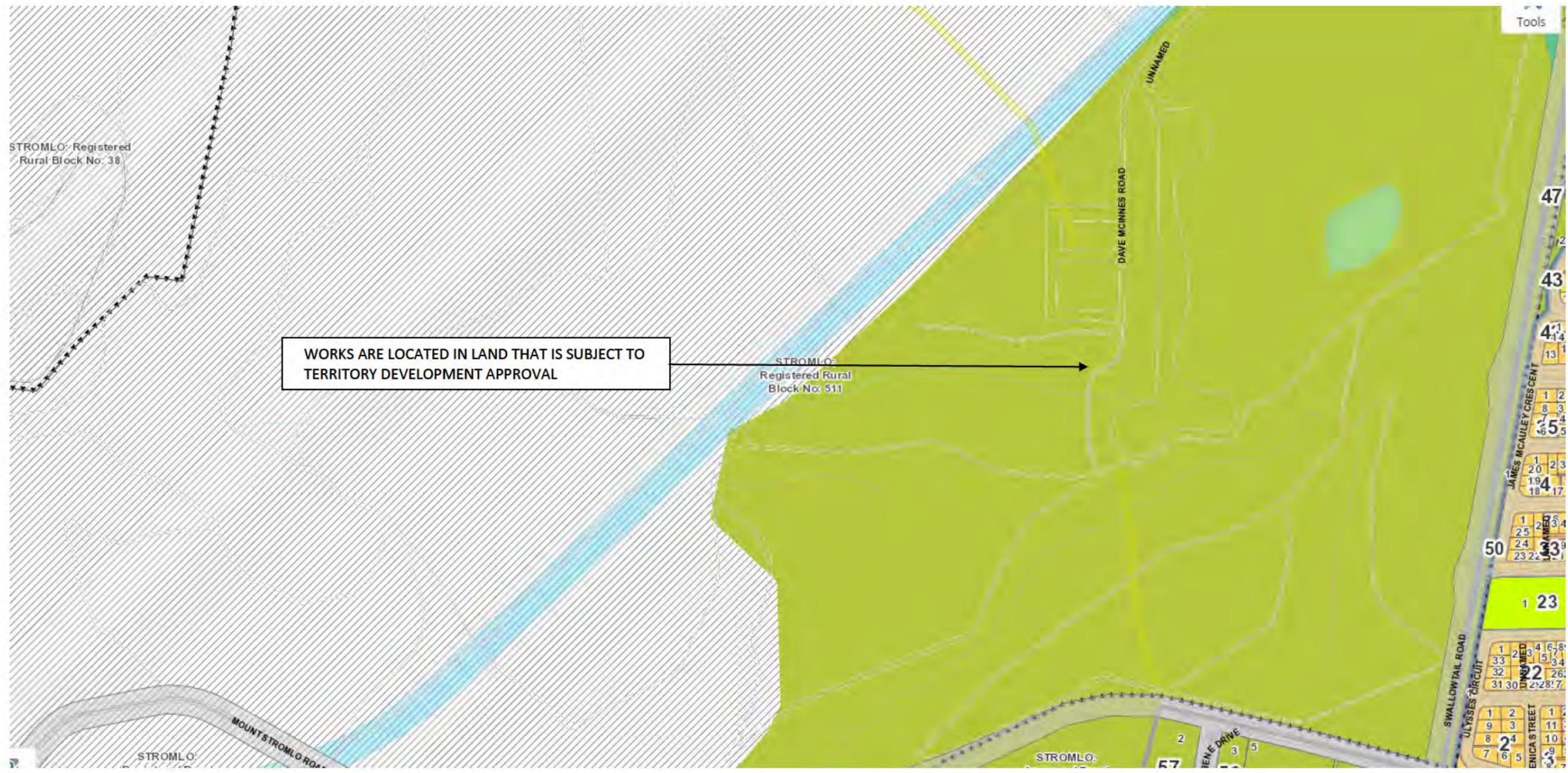
OPENINGS IN SCREEN ADJACENT TO CAFE TO PROVIDE OUTDOOR DECK AREA AND STAIRS

COMPLIANT RAMP, STAIRS AND OPENING ADJACENT TO BIKE REPAIR AREA

40 FOOT STEEL SHIPPING CONTAINER AT EACH END OF STRUCTURE. COLOUR- SHALE GREY

EAST ELEVATION

Figure 1: Territory Plan Map





Total: 0.48 m

DAVE MCINNES ROAD

12.1 Total: 90.89 m

32.28 m

32.42 m

13.10 m

STROMLO: Registered Rural Block No: 511

Tools





Stromlo Forest Park

Notes:

1: 1,000



DISCLAIMER

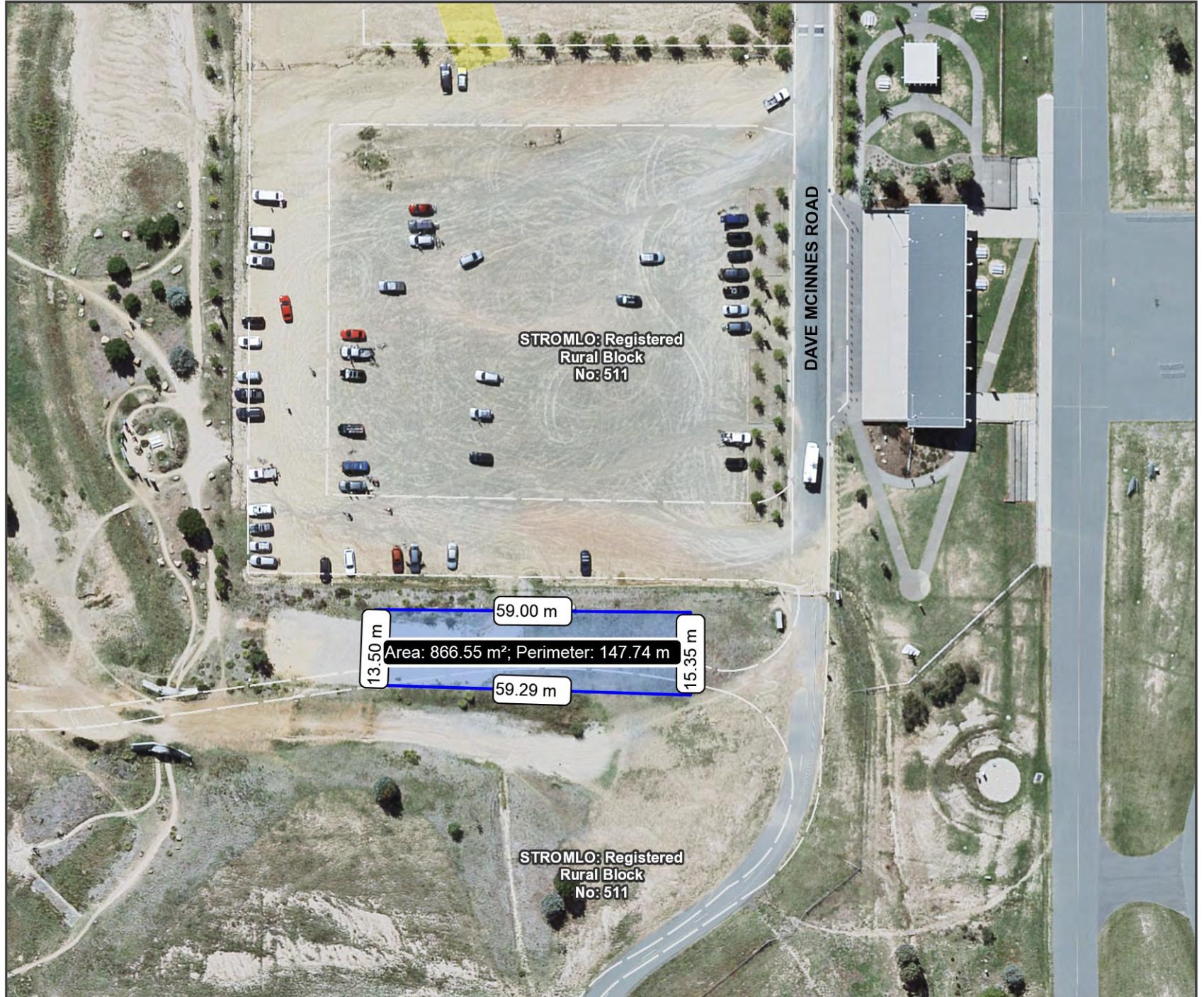
The map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current or otherwise reliable.

20-Mar-2017

Page 1 of 1



ACT
Government



INFORMATION SUPPORTING A WORKS APPROVAL APPLICATION FOR THE DEMOLITION AND REINSTATEMENT OF THE WESTSIDE TEMPORARY STRUCTURES LOCATED ON PART BLOCK 24 SECTION 33 ACTON

1.0 Introduction

Temporary structures currently occupying part Block 24 Section 33 Acton do so under license issued by the National Capital Authority (NCA). The license expires on 19 November 2017, at which time all structures shall be removed and the site reinstated to its 2014 condition.

2.0 Scope

The extent of the site where all containers and structures are to be removed and the site reinstated to its 2014 conditions is illustrated in **Figure 2**.

All utilities services are to be disconnected and demolished in accordance with the requirements of the various utilities services providers including Icon water and ActewAGL.

All footings are to be demolished at least 150mm below original finished levels. Log barriers, hard pavements and soft landscaping, as described in **Figure 2**, are to be reinstated.



Westside temporary commercial area is to be dismantled and the site reinstated to its pre 2014 condition.

3.0 Safe demolition practice

All work shall be undertaken by suitably qualified and experienced demolition contractors familiar with the *ACT Code of Practice for Safe Demolition Work*. Demolition processes shall be reviewed by the ACT Work Safe Commissioner and be subject to *Active Certification* as required.

FIGURE 1: Westside precinct aerial photo 2016. All structures to be removed and the area reinstated to its 2014 condition



FIGURE 2: Westside precinct aerial photo 2014. Site conditions immediately prior to the temporary installation of Westside 'stomping ground'

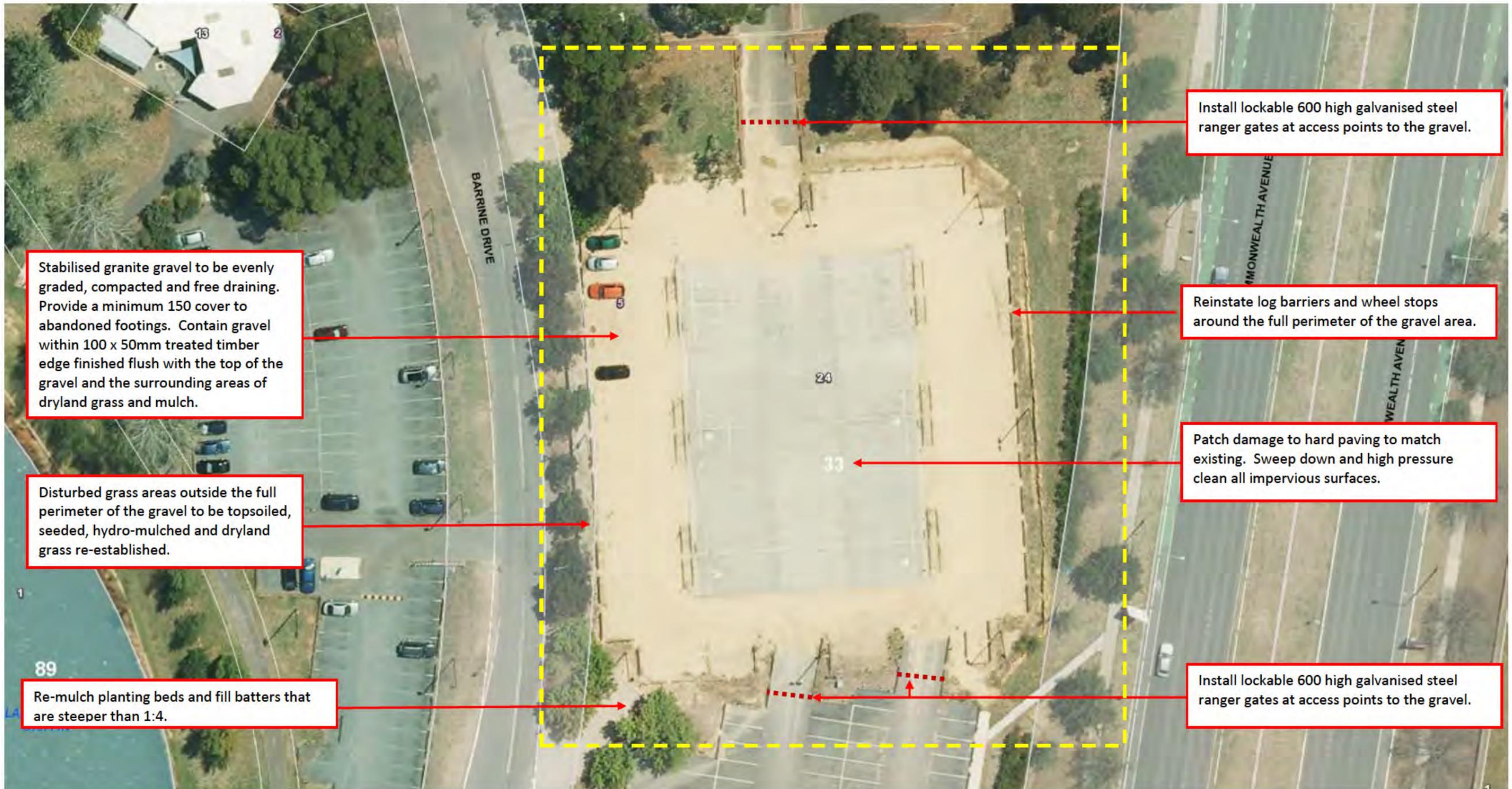
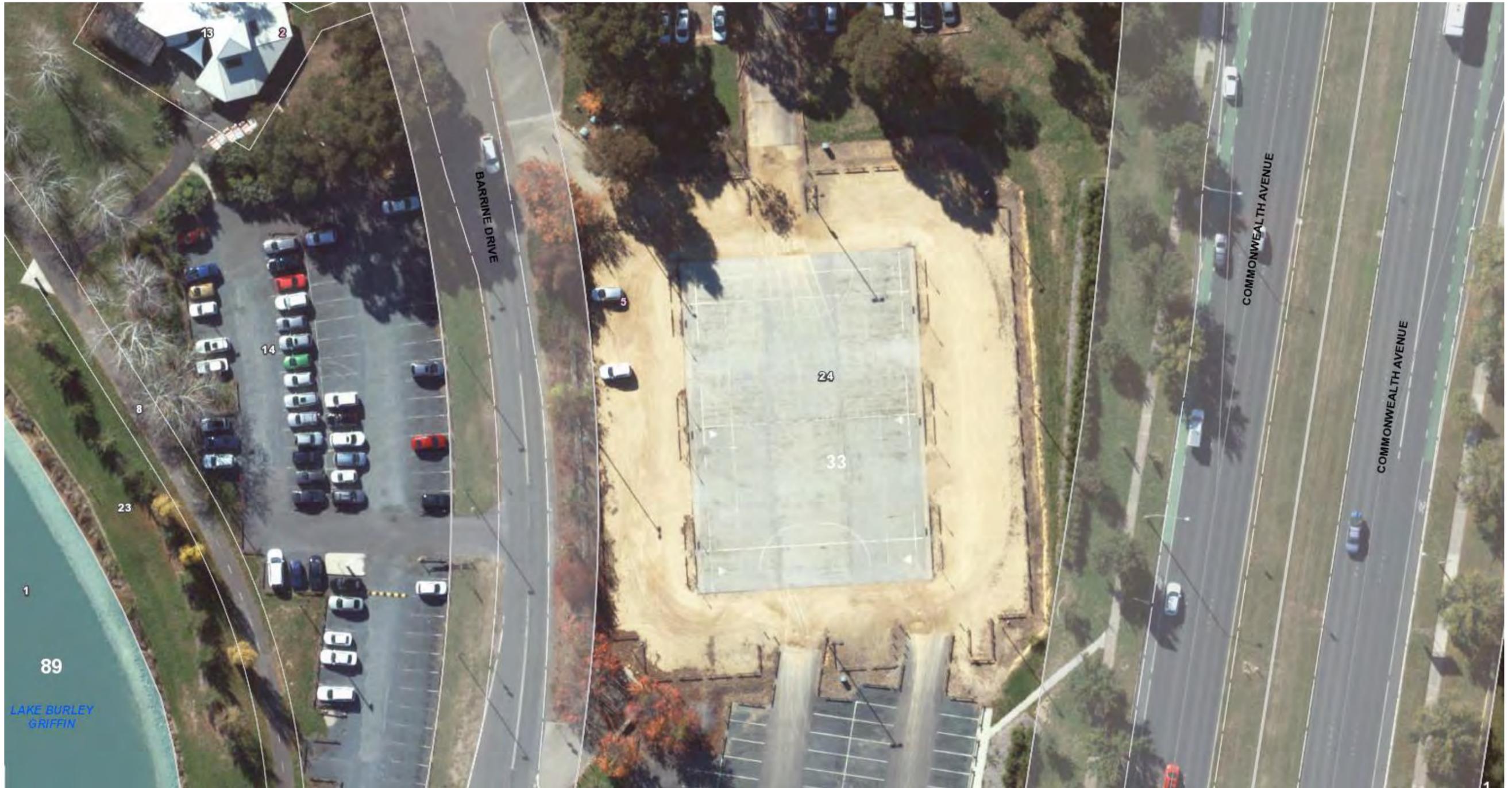
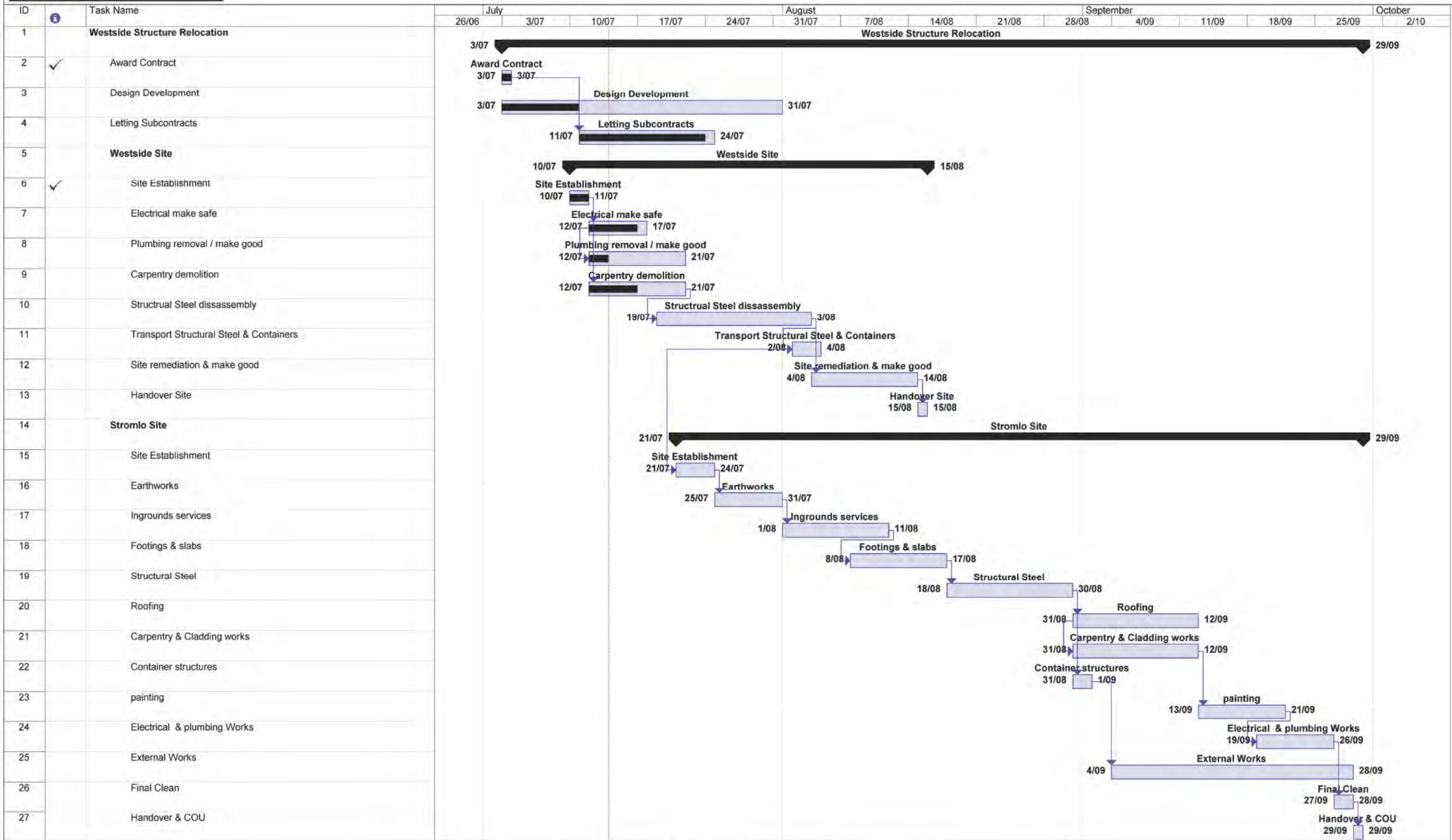
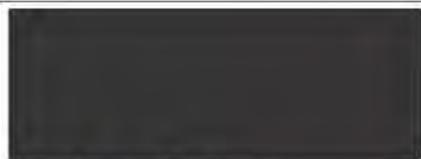


FIGURE 3: Westside precinct aerial photo 2012. Site conditions two years prior to the temporary installation of Westside 'stomping ground' (information only)





Project: Westside Structure Relocation
Date: Fri 14/07/17

Task Progress Summary External Tasks Deadline
 Split Milestone Project Summary External Milestone